



Planning and Development Department
Land Use Planning

U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code Title 23

USE PERMIT: ZP2016-0068

Property Address: **1737 TENTH STREET**

Permittee Name: **JOHN NEWTON**

Use and/or Construction Permitted: to construct a new, 1,344 square foot, four bedroom, two-story dwelling unit behind an existing three bedroom, two-story dwelling

- Use Permit to construct a new dwelling unit, under BMC Section 23D.20.030
- Use Permit to allow 6 or more bedrooms on a parcel, per BMC Section 23D.20.050.A

RESOLUTION, FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

The Use Permit herein described has been duly granted by the City Council and is in effect on February 15, 2017.

RESOLUTION NO. 67,839-N.S.

AFFIRMING THE ZONING ADJUSTMENTS BOARD'S APPROVAL OF USE PERMIT NO. ZP2016-0068 TO CONSTRUCT A NEW 1,344 SQUARE FOOT, FOUR BEDROOM, TWO-STORY DWELLING UNIT BEHIND AN EXISTING THREE BEDROOM, TWO-STORY DWELLING IN THE LIMITED TWO-FAMILY (R-1A) ZONING DISTRICT AND DISMISSING THE APPEAL

WHEREAS, on April 7, 2016, John Newton ("applicant") filed an application for a Use Permit to construct a new, 1,344 square foot, four bedroom, two-story dwelling unit behind an existing three bedroom, two-story dwelling at 1737 Tenth Street ("project"); and

WHEREAS, on August 22, 2016, staff deemed this application complete and determined that the project is categorically exempt from the California Environmental Quality Act ("CEQA") under Section 15303 of the CEQA Guidelines; and

WHEREAS, on September 28, 2016, staff mailed and posted a Notice of Public Hearing for the project in accordance with BMC Section 23B.32.020; and

WHEREAS, on October 13, 2016, the ZAB held a public hearing in accordance with BMC Section 23B.32.030, and approved the project; and

WHEREAS, on October 20, 2016, staff issued the notice of the ZAB decision; and

WHEREAS, on November 3, 2016, Sara Shumer and Toni Mester filed an appeal of the ZAB decision with the City Clerk on behalf of themselves and Leanne Parker, Vincent De'Armond, Ed Herzog, and Susan Henderson; and

WHEREAS, on February 14, 2017, the Council considered the record of the proceedings before the ZAB, and the staff report and correspondence presented to the Council, and, in the opinion of this Council, the facts stated in, or ascertainable from this information, do not warrant further hearing.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that it hereby adopts the findings made by the ZAB in Exhibit A and approves Use Permit No. ZP2016-0068, and adopts the revised conditions in Exhibit A and the project plans in Exhibit B.


The foregoing Resolution was adopted by the Berkeley City Council on February 14, 2017 by the following vote:

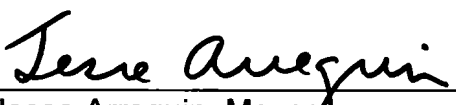
Ayes: Bartlett, Davila, Droste, Hahn, Maio, Wengraf, Worthington and Arreguin.

Noes: None.

Absent: None.

Attest:


Mark Numainville, City Clerk


Jesse Arreguin, Mayor

ATTACHMENT 1

FINDINGS AND CONDITIONS

FEBRUARY 14, 2017

1737 Tenth Street

Use Permit #ZP2016-0068 to construct a new, 1,344 square foot, four bedroom, two-story dwelling unit behind an existing three bedroom, two-story dwelling

PERMITS REQUIRED

- Use Permit under BMC 23D.20.030 to construct a new dwelling unit
- Use Permit under BMC 23D.20.050.A to establish more than 6 bedrooms on a parcel

I. CEQA FINDINGS

The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15303 of the CEQA Guidelines ("New Construction or Conversion of Small Structures"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.

II. FINDINGS FOR APPROVAL

As required by Section 23B.32.040.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:

- A. The subject site is located at the central eastern portion of the Limited Two-Family Residential (R-1A) District adjacent to the West Berkeley Commercial District (C-W). The neighborhood is primarily a mix of modest single- and multi-family dwellings that transitions well with the San Pablo Avenue Commercial District, which bounds the District to the east. The project will result in an additional, detached two-story dwelling unit towards the rear of the lot that that would not be readily visible from the public right-of-way to the west (Tenth Street). The four properties to the south (1029-39 Delaware Street) all have one-story accessory structures along the rear property line. The property abutting to the north (1735 Tenth Street), is a two-story triplex building that runs the depth of the lot along the south property line. The one-story commercial property to the east (1740 San Pablo Avenue) is developed along the rear property line, and the three-story apartment building diagonally to the northeast (1732 San Pablo Avenue) is almost to the rear property line. As there is a variety of development along the side and rear yard property lines on all abutting parcels, the new dwelling in the rear yard area of the

subject property would be compatible with the neighborhood scale and development pattern of the neighborhood.

- B. The new dwelling would be consistent with the purposes of the District in that it would permit two dwelling units on one lot while fitting in with the existing pattern of low medium residential density of the neighborhood. The project meets all the District's development standards, including a 33.6% lot coverage where a maximum of 40% is permissible. The new dwelling would, therefore, retain the existing pattern of open and spacious development of the District while protecting adjacent properties from unreasonable obstruction of light and air.
 - C. The proposal to construct a new single-family dwelling on this parcel is consistent with City's policies and goals related to the creation housing units and expansion of the City's housing supply. The resulting two dwelling units represent the maximum residential density permissible at this site.
 - D. The proposed single-family dwelling will not unreasonably obstruct sunlight on nearby existing dwellings. During the summer months, new shadows would fall on the subject property's front dwelling and the garage in the rear yard area of the corner lot (1029 Delaware) in the morning hours and on the garages and rear yard areas of the parcels to the east (1035 & 1039 Delaware) in the evening hours. During the winter months, the rear half of the triplex to the north will receive additional shading. However, as no window would be affected by new shadows for more than a couple of hours during the day, and as all impacts will be limited to only certain months of the year, shading impacts are determined to be reasonable. The proposed single-family dwelling will not unreasonably impact the air or privacy between neighbors, because the setbacks will exceed the side and front setbacks of the District. The reduced rear yard setback will not impact this condition because there are no buildings or routinely used outdoor areas on neighboring properties directly to the rear. Conditions of approval requiring privacy screening between the new dwelling and the existing dwelling to the south will avoid privacy concerns with that neighboring dwelling, and the configuration and design of the proposed dwelling and the separately proposed dwelling to the north will avoid privacy concerns in that direction.
 - E. The project will provide an off-street parking space for each dwelling unit. The two off-street parking spaces would be uncovered and located in the mid-yard area between the two dwellings. The proposed parking layout meets both the Zoning Ordinance standards as well as the minimum requirements for Traffic Engineering. The project would, therefore, satisfy the parking requirements for the District.
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III. STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions.' *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is approved is permitted unless the Permit is modified by the Zoning Adjustments Board, in conformance with Section 23B.56.020.A.

Changes in the plans for the construction of a building or structure may be modified prior to the completion of construction, in accordance with Section 23B.56.020.D. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project. The Zoning Officer may also approve a maximum two-foot variation to Board approved plans, provided that such variation does not increase a structure's height, reduce the minimum distance to any property line, and/or conflict with any special objective sought by the Board.

In the case of modifications to Use Permits for construction of, or additions or changes to, single-family homes which required Board review, the Zoning Officer shall follow Board policy adopted March 13, 1997, as follows:

- A. Upon applications for modifications to a home where a Use Permit has been granted, Staff shall review the Use Permit to determine if any explicit conditions were placed on the Use Permit that would be affected by the proposed modification.
- B. If, prior to acting on a Building Permit, Staff becomes aware of controversy over an earlier application, Staff may choose to conduct a more detailed review of the record to determine if conditions were implied by the Board or offered by the applicant (but not included in the Use Permit conditions) that would be affected by the proposed modification (this does not imply that Staff will review the whole Use Permit record for all applications).

- C. If there are explicit conditions (#A) or implied conditions (#B) affected by the proposed modification, the project shall be brought back to the Board as a Use Permit Modification.
- D. If there are no explicit conditions that would be affected by the proposed modification, and if Staff is not otherwise aware of implied conditions, and the project would otherwise meet the requirements of the Zoning Ordinance, Staff will approve the Building Permit without Board or public review.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorney's fees that may result.

IV. ADDITIONAL CONDITIONS IMPOSED BY THE ZONING ADJUSTMENTS BOARD

Pursuant to BMC 23B.32.040.D, the Zoning Adjustments Board attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

10. **Project Liaison.** The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage complaints generated from the project. The individual's name, telephone number, and responsibility for the project shall be posted at the project site for the duration of the project in a location easily visible to the public. The individual shall record all complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis.

Project Liaison

Name

Phone #

Prior to Issuance of a Building Permit:

11. The applicant shall file an "Address Assignment Request Application" with the Permit Service Center (2120 Milvia Street) for any address change or new address associated with this Use Permit. The new address(es) shall be assigned prior to issuance of a building permit.
12. The site plan shall show the gate and posts located outside the 7'-10" driveway width adjacent to the house, as reviewed and required by the Traffic Engineer.
13. The project plans as approved by ZAB, dated "Received August 2, 2016" shall reflect:
- Clerestory windows with a 6-foot bottom height on all south facing windows;
 - Raised and reduced window size on the north facing windows;
- In addition, the plans shall be modified to reflect the following:
- The ridge height of the new dwelling shall be reduced by three feet (3'), for a maximum height of 24 feet.

During Construction:

14. **Transportation Construction Plan.** The applicant and all persons associated with the project are hereby notified that a Transportation Construction Plan (TCP) is required for all phases of construction, particularly for the following activities:
- Alterations, closures, or blockages to sidewalks or pedestrian paths
 - Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
 - Storage of building materials, dumpsters, debris anywhere in the public ROW
 - Provision of exclusive contractor parking on-street relevant
 - Significant truck activity.

The applicant shall secure the City Traffic Engineer's approval of a TCP. Please contact the Office of Transportation at 981-7010, or 1947 Center Street, 3rd floor, and ask to speak to a traffic engineer. In addition to other requirements of the Traffic Engineer, this plan

shall include the locations of material and equipment storage, trailers, worker parking, a schedule of site operations that may block traffic, and provisions for traffic control. The TCP shall be consistent with any other requirements of the construction phase.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood. A current copy of this Plan shall be available at all times at the construction site for review by City Staff.

15. Construction Hours. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.

STORMWATER REQUIREMENTS

16. The applicant shall demonstrate compliance with the requirements of the City's National Pollution Discharge Elimination System (NPDES) permit as described in Berkeley Municipal Code Section 17.20. The following conditions apply:
 - A. The project plans shall identify and show site-specific Best Management Practices (BMPs) appropriate to activities conducted on-site to limit to the maximum extent practicable the discharge of pollutants to the City's storm drainage system, regardless of season or weather conditions.
 - B. Trash enclosures and/or recycling area(s) shall be covered; no other area shall drain onto this area. Drains in any wash or process area shall not discharge to the storm drain system; these drains should connect to the sanitary sewer. Applicant shall contact the City of Berkeley and EBMUD for specific connection and discharge requirements. Discharges to the sanitary sewer are subject to the review, approval and conditions of the City of Berkeley and EBMUD.
 - C. Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration and minimize the use of fertilizers and pesticides that contribute to stormwater pollution. Where feasible, landscaping shall be designed and operated to treat runoff. Where feasible, xeriscape and drought tolerant plants shall be incorporated into new development plans.
 - D. Design, location and maintenance requirements and schedules for any stormwater quality treatment structural controls shall be submitted to the Department of Public Works for review with respect to reasonable adequacy of the controls. The review does not relieve the property owner of the responsibility for complying with BMC Chapter 17.20 and future revisions to the City's overall stormwater quality ordinances. This review shall be conducted prior to the issuance of a Building Permit.
 - E. All paved outdoor storage areas must be designed to reduce/limit the potential for runoff to contact pollutants.
 - F. All on-site storm drain inlets/catch basins *must* be cleaned at least once a year immediately prior to the rainy season. The property owner shall be responsible for all costs associated with proper operation and maintenance of all storm drainage facilities (pipelines, inlets, catch basins, outlets, etc.) associated with the project,

- unless the City accepts such facilities by Council action. Additional cleaning may be required by City of Berkeley Public Works Engineering Dept.
- G. All private or public projects that create and/or replace 10,000 square feet or more of impervious surface must comply with Provision C.3 of the Alameda County NPDES permit and must incorporate stormwater controls to enhance water quality. Permit submittals shall include a Stormwater Requirement Checklist and detailed information showing how the proposed project will meet Provision C.3 stormwater requirements, including a) Site design measures to reduce impervious surfaces, promote infiltration, and reduce water quality impacts; b) Source Control Measures to keep pollutants out of stormwater runoff; c) Stormwater treatment measures that are hydraulically sized to remove pollutants from stormwater; d) an O & M (Operations and Maintenance) agreement for all stormwater treatment devices and installations; and e) Engineering calculations for all stormwater devices (both mechanical and biological).
- H. All on-site storm drain inlets must be labeled "No Dumping – Drains to Bay" or equivalent using methods approved by the City.
17. Public Works. Sidewalks and parking lots shall be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry to the storm drain system. If any cleaning agent or degreaser is used, wash water shall not discharge to the storm drains; wash waters should be collected and discharged to the sanitary sewer. Discharges to the sanitary sewer are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
18. Public Works. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
19. Public Works. The applicant is responsible for ensuring that all contractors and sub-contractors are aware of and implement all stormwater quality control measures. Failure to comply with the approved construction BMPs shall result in the issuance of correction notices, citations, or a project stop work order.
20. Public Works. Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.
21. Public Works. The removal or obstruction of any fire hydrant shall require the submission of a plan to the City's Public Works Department for the relocation of the fire hydrant during construction.
22. Public Works. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

23. **Public Works.** All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
24. **Public Works.** The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
25. **Public Works.** The project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season to prevent on-site soils from being washed off-site and into the storm drain system. The project sponsor shall comply with all City ordinances regarding construction and grading.
26. **Public Works.** Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department. The applicant shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.
27. **Public Works – Construction.** During construction, the project sponsor should require the construction contractor to implement the following BAAQMD's basic dust control measures:
 - A. Water all active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever possible.
 - B. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
 - C. Pave, apply water 3 times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
 - D. Sweep streets (with water sweepers using reclaimed water if possible) at the end of each day if visible soil material is carried onto adjacent paved roads.
28. **Public Works.** After construction is complete, all drainage culverts shall be inspected for accumulated sediment. If sediment accumulation has occurred, these drainage structures shall be cleared of debris and sediment.

Prior to Issuance of Occupancy Permit or Final Inspection:

29. **Compliance with Approved Plan.** The project shall conform to the plans and statements in the Use Permit. All landscape, site and architectural improvements shall be completed per the attached approved drawings received dated **August 2, 2016**, except as modified by conditions of approval.

At All Times (Operation):

30. Exterior Lighting. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.

31. Electrical Meter. Only one electrical meter fixture may be installed per dwelling unit.

John Newton
Design & Development
3066 Telegraph Ave., Ste A
Oakland, CA 94609
(510) 536-7370

**NEW
RESIDENCE**

PROJECT ADDRESS:
1237 Temeh Street
Berkeley, CA 94710
APN: 08-2127-019

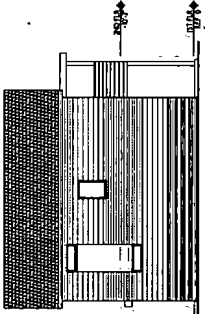
OWNER:
Jose Rivera &
Diana Guindara
1775 Franklin Street
Berkeley, CA 94710
(510) 840-8744

**FLOORPLANS,
ELEVATIONS,
AND SECTION**

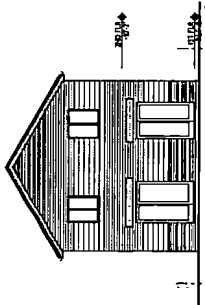
| REVISION | |
|----------|--------------|
| No. | Description |
| 1 | DESIGNERY |
| | Date: 6/9/16 |

| | |
|--------------|--------|
| PROJECT No.: | JAN |
| DRAWN BY: | JAN |
| CHECKED BY: | JAN |
| DATE: | JAN/12 |

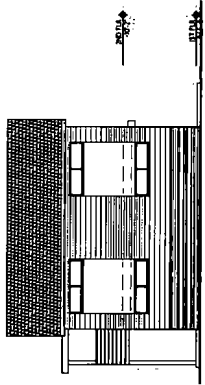
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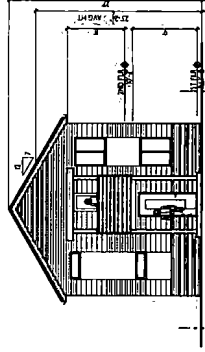
LEFT (NORTH) ELEVATION
1/2" = 1'-0"



REAR (EAST) ELEVATION
1/2" = 1'-0"

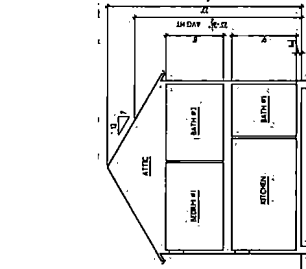


RIGHT (SOUTH) ELEVATION
1/2" = 1'-0"

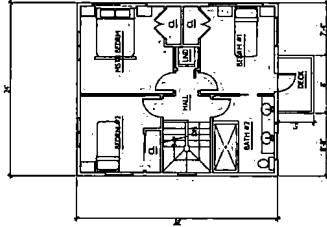


FRONT (WEST) ELEVATION
1/2" = 1'-0"

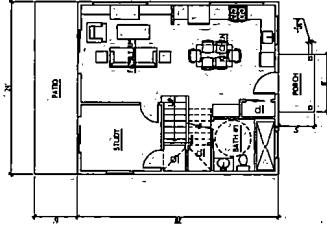
TYPICAL MATERIALS
ROOF: CLASS A ASPHALT COMPOSITION SHINGLE ROOF
SIDING: STUCCO, TYP.
DECK FRAMING: REDWOOD POSTS WITH 1/2" ANGLE STEEL
CABLE KILN TYP.
WINDOWS: DUAL-PANE FIBER-GLASS TYP.
DOORS: DUAL-PANE FIBER-GLASS FRENCH DOORS, SOLID
WOOD/GLASS DOOR AT ENTRY



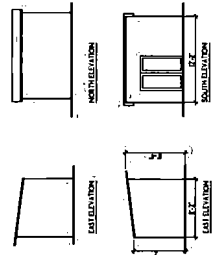
SECTION
1/2" = 1'-0"



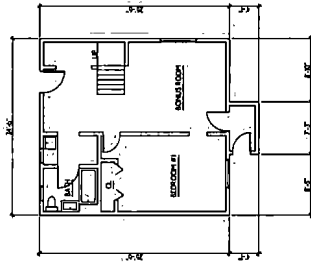
2nd FLOOR PLAN
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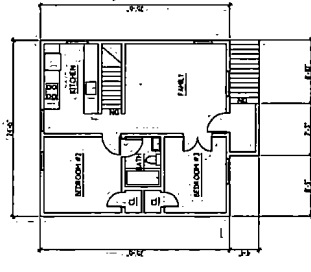
1st FLOOR PLAN
1/2" = 1'-0"



SHED ELEVATION
1/2" = 1'-0"



EXISTING FRONT DWELLING
1st FLOOR PLAN
1/2" = 1'-0"



EXISTING FRONT DWELLING
2nd FLOOR PLAN
1/2" = 1'-0"

John Newton
Design & Development
3006 Telegraph Ave., Ste. A
Oakland, CA 94609
(510) 536-7370

NEW
RESIDENCE

PROJECT ADDRESS:
1737 Tenth Street
Berkeley, CA 94710
APN: 088-2127-019

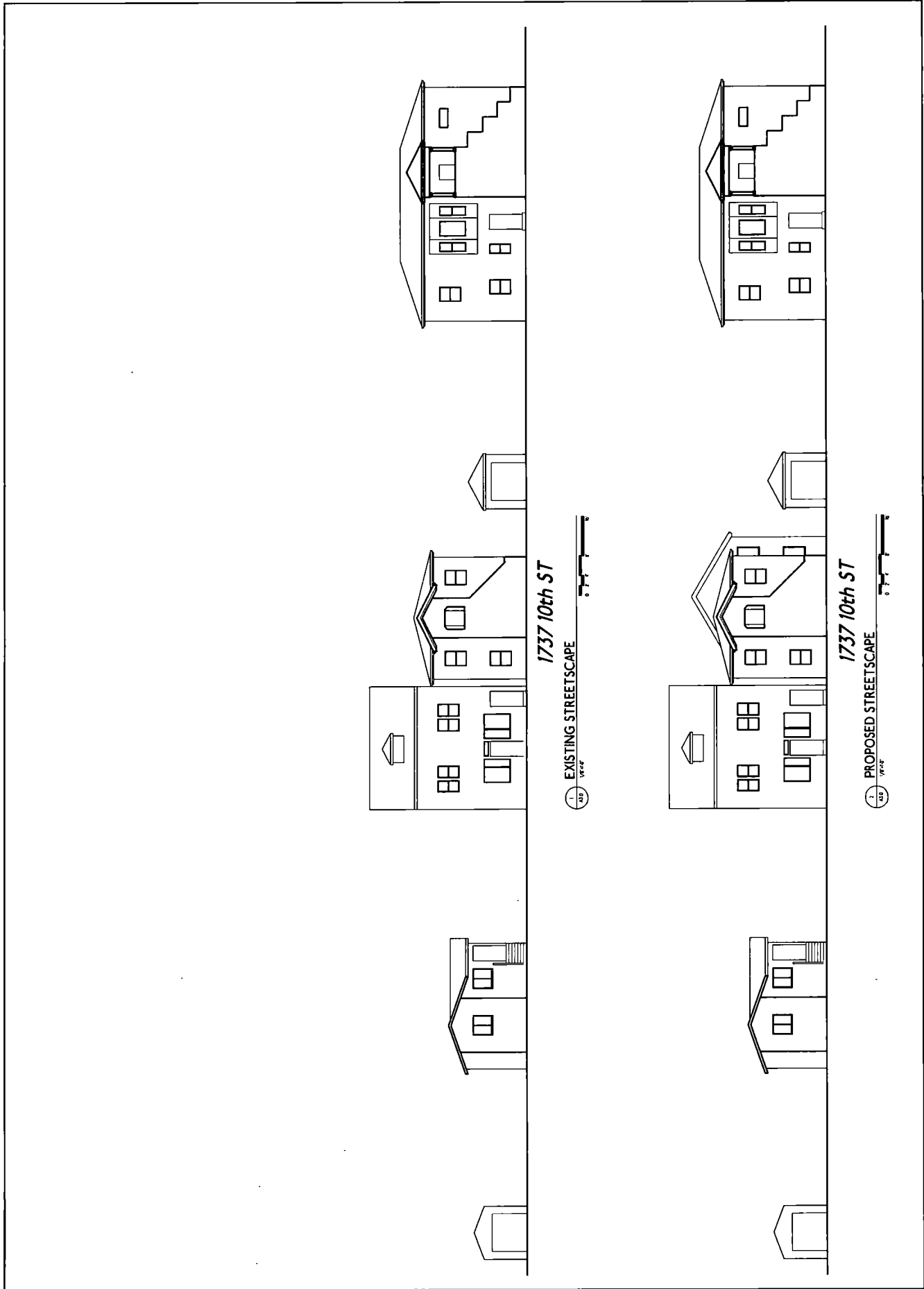
OWNER:
Jane Rivens &
Dana Grinders
1737 Tenth Street
Berkeley, CA 94710
(510) 840-8744

STREETSCAPES

| REVISION | |
|----------|--------------------|
| No. | Description / Date |
| 1 | DESIGN/REV 9/23/16 |

| | |
|---------------|--------|
| PROJECT No.: | JAN |
| LOCATION No.: | JAN |
| CHECKED BY: | JAN |
| DATE: | 3/4/13 |

A3.0



Design & Development
 3960 Telegraph Ave, Ste 4
 Oakland, CA 94609
 (510) 526-7370

NEW RESIDENCE

PROJECT ADDRESS:
 1737 10th Street
 Berkeley, CA 94710
 APN: 005-317-019

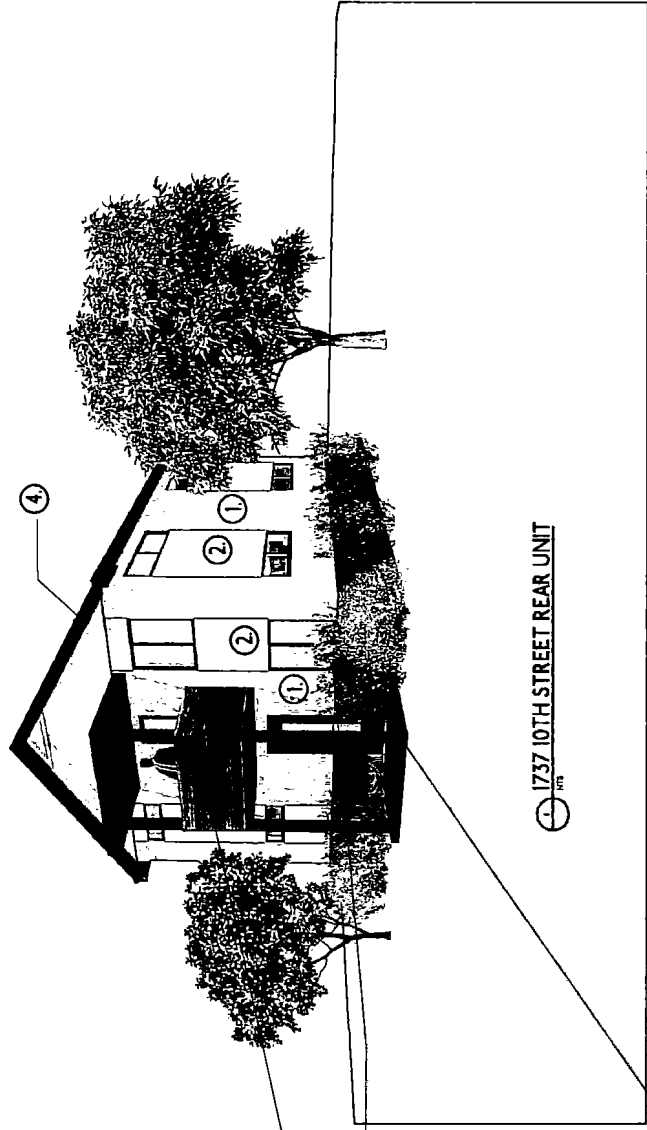
OWNER:
 Joe Rivers &
 Dana Quindus
 1737 10th Street
 Berkeley, CA 94710
 (510) 610-8744

MATERIAL BOARD

| REVISION | |
|----------|-------------|
| No | Description |
| 1 | DESIGN |
| 2 | DATE |
| | 10/06 |

| | |
|-------------|-------|
| PROJECT NO. | JWK |
| DRAWN BY | JWK |
| CHECKED BY | JWK |
| DATE | 10/06 |

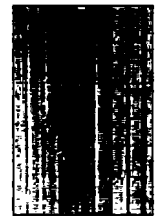
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1737 10TH STREET REAR UNIT

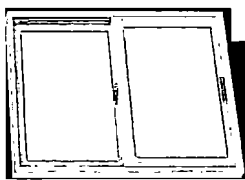
BALCONY

DARK STAINED REDWOOD TO MATCH BRONZE TRIM COLOR WITH HORIZONTAL WOOD GRAIN FINISH



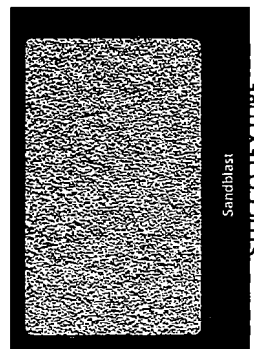
TRIM

TO MATCH HAWNBONNET COLOR

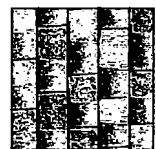


WINDOWS

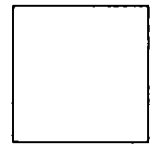
HAWNBONNET ALL-SILVER FINISH EXTERIOR TRIM



Sandblast
STUCCO TEXTURE



**4. ASPHALT COMP SHINGLE
 TIMBERLINE_HD**



3. STONE GRAY



2. PURE CREAM



1. GULL GRAY