



Planning and Development Department
Land Use Planning Division

A D M I N I S T R A T I V E U S E P E R M I T

1320 Campus Drive

Administrative Use Permit #ZP2015-0167

Project Description: To replace the existing flat asphalt roof with an average height of 16'11" with a new sloped standing seam, non-reflective metal roof, with an average height of 17'11 ³/₄", pursuant to:

- Section 23D.16.070.C to construct a residential addition which exceeds 14' in height.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on March 10, 2016.

Attest: Carol Johnson
Carol Johnson, Land Use Planning Manger

March 10, 2016
Effective Date

ATTACHMENT 1

FINDINGS AND CONDITIONS

FEBRUARY 18, 2016

1320 Campus Drive

Administrative Use Permit #ZP2015-0167

To replace the existing flat asphalt roof with an average height of 16'11" with a new sloped standing seam, non-reflective metal roof, with an average height of 17'11 ¾".

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.

FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - The new roof height has minimal impacts on bulk and massing as the proposed replacement of the exiting flat asphalt roof with a new sloped standing seam non-reflective roof constitutes an increase in 1' ¾" in average height and is relatively small. The existing roof is located beyond the property setbacks and is proposed to be replaced with a modified gable roof. The project would not modify the existing structure's setbacks or massing. Therefore, there will be no impacts to the light, air, and views of the neighboring properties.
 - Per Section 23E.96.090.B, the new roof form and increased overall height will not harm the character of the area and its immediate environs and will give reasonable protection to views while allowing a modification on a property with steep topography.
 - The project will not impact neighborhood views because the subject property slopes down away from Campus Drive and the confronting properties are uphill.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorney’s fees that may result.

ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

- 10. Project Liaison. The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage complaints generated from the project. The individual’s name, telephone number, and responsibility for the project shall be posted at the project site for the duration of the project in a location easily visible to the public. The individual shall record all complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis.

Project Liaison _____
Name Phone #

- 11. The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:
 - Alterations, closures, or blockages to sidewalks or pedestrian paths
 - Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
 - Storage of building materials, dumpsters, debris anywhere in the public ROW
 - Provision of exclusive contractor parking on-street
 - Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying

dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

During Construction:

12. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
13. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
14. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
15. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
16. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
17. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
18. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
19. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
20. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
21. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

Prior to Issuance of Occupancy Permit or Final Inspection:

22. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
23. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated August 3, 2015.

At All Times (Operation):

24. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.



Prepared by: Layal Nawfal, Associate Planner
For Greg Powell, Principal Planner

PROJECT INFO:
 APN: 060-247900700
 ZONING: R-1H
 LOT AREA: 5275 SF
 EXISTING FOOTPRINT: 1,410 SQ FT
 EXISTING FLOOR AREA: 1,762 SQ FT
 AREA OF WORK: 435 SQ FT (TOTAL) REEROOF
 & 819 SQ FT NEW ROOF
 FIRE ZONE: 2
 FLOOD ZONE: NONE
 CLIMATE ZONE: 3
 CONSTRUCTION TYPE: Type V
 OWNER: Yusuf Casim & Jackie McHobb
 1320 Campus Drive
 Berkeley, CA 94708
 415-254-0703

SCOPE OF WORK:
 Area 1: Storage 248 SF; re-roof-in-place new flat seam metal roof over waterproofing underlayment. See Specifications.
 Area 2: Lower Roof 187 SQFT; re-roof over existing roofing (1-layer) with torch on roofing. See Specifications.
 Area 3: Primary House 819 SQFT; Remove and Replace existing flat asphalt roof with a new shingled roof. Final finish to be a standing seam metal roof. See specifications.

TABLE OF CONTENTS:
 ARCHITECTURAL
 A-1 Site Plan, Roof Plan & General Notes
 A-2 Details, Elevations, Building Section
 ABBREVIATIONS:

(N) = new
 UCN = unless otherwise noted
 +/- = plus or minus
 D.S. = downspout
 T.S.D. = to be determined
 min = minimum
 W/O = window
 MTL = metal
 SE = Structural Engineer
 GC = General Contractor
 (E) = existing
 O.C. = on center
 V.V. = verify
 SF = square foot
 V.L.S. = verify in field
 max = maximum
 W/ = with
 typ = typical
 E/W = East/West
 N/S = North/South

Yusuf Casim & Jackie McHobb
 1320 Campus DR
 Berkeley, CA 94708
 415-254-0696

Statement and Neighborhood Signatures from Those Living in Abutting and Confronting Lots

I have reviewed the plans to replace the flat asphalt roof at 1320 Campus DR with a fire-resistant metal roof. I understand that the new roof will have a 2.5/12 pitch (2 feet, 1 1/4 inch) pitch, for water drainage.

Name	Signature	Address	Renter or Owner	Date	Have no objections	Have objections (state briefly)	Have no comment
REYNOLDS, DUSTIN	<i>[Signature]</i>	1310 Campus	owner	7/21/15	X		
N. HUNTER	<i>[Signature]</i>	1320 Campus	owner	7/21/15	X		
N. HUNTER	<i>[Signature]</i>	1313 Campus	Renter	7/21/15	X	WE HAVE BEEN ASSURED THAT WE WILL NOT BE IMPACTED BY THIS PROJECT.	
N. HUNTER	<i>[Signature]</i>	1405 Glendale	Renter	7/21/15	X		
ABRAHAMSON, JEFF	<i>[Signature]</i>	1322 Queens	Danah	7/21/15	X		
D. LARKIN	<i>[Signature]</i>	1326 Queens	Renter	7/21/15	X		

Abutting and Confronting Lots

Queens St		
1313 Campus DR	1322 Queens	1326 Queens
Confronting Lot	empty hillside along Campus DR	empty hillside along Campus DR
Campus Drive		
1310 Campus DR #	1320 Campus DR	1330 Campus DR
Abutting Lot	Subject Lot	Abutting Lot
0 No homes on this lot	0 No homes on this lot	1405 Glendale Confronting lot

ADDITIONAL NOTES:
 * HOME OWNER, NANCY CASIM, MADE 5 ATTEMPTS TO SHOW PROBLEMS TO NEIGHBOR AT 1310 CAMPUS DRIVE, BUT NEIGHBOR DID NOT ANSWER OR OPEN DOOR.

PLANS APPROVED by

February 18, 2016

SIGNATURE

DATE

*AUP Findings and Conditions Attached

PLANNING & DEVELOPMENT
 Land Use Planning, 1128 18th Street, Berkeley, CA 94708
 Tel: 415.861.2499 Fax: 415.861.2700 Email: pdevelopment@berkeleyca.gov

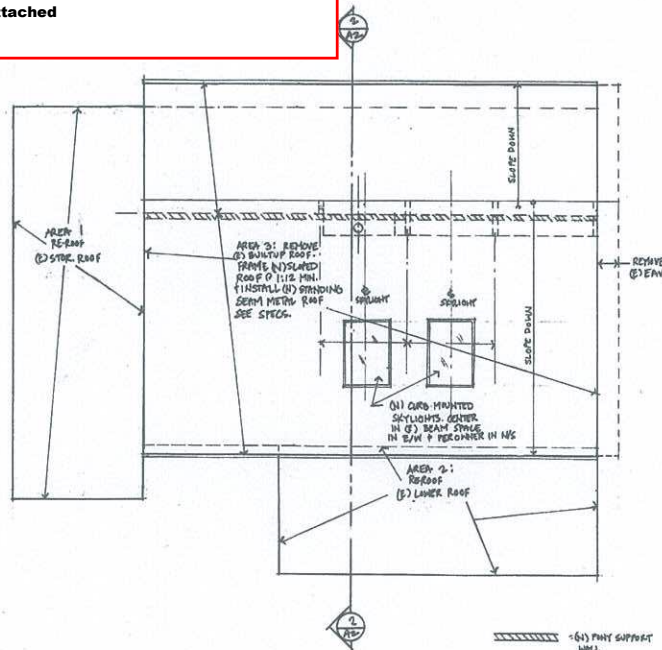
TABULATION FORM

Project Address: 1320 Campus Drive Date: 7/3/15
 Applicant's Name: Nancy Kitter-Dills
 Zoning District: R-1H (Hillsdale Overlay District)

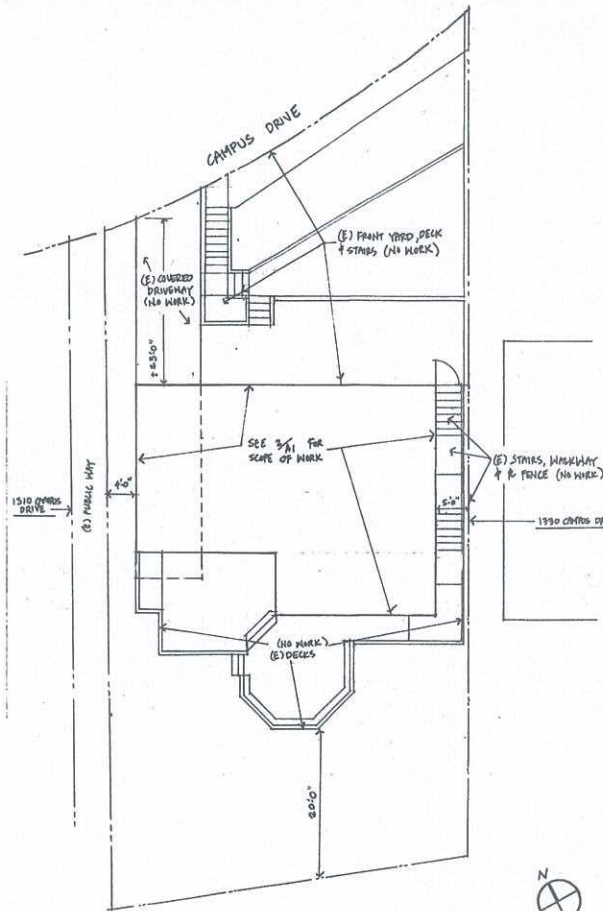
Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	Existing	Proposed	Permitted/Required
Units, Parking Spaces & Bedrooms			
Number of Dwelling Units (U)	1	1	
Number of Parking Spaces (P)	3	3	
Number of Bedrooms (B)	4	4	
<i>(R-1, R-1A, R-2, R-2A, and R-3 only)</i>			
Yards and Height			
Front Yard Setback (Feet)	2.0	2.0	
Side Yard Setback (Facing property)			
Left (Feet)	4	4	
Right (Feet)	4	4	
Rear Yard Setback (Feet)	20	20	
Building Height* (# Stories)	(2)	(2)	
Average* (Feet)	16'-11"	17'-11 3/4"	✓
Maximum* (Feet)	25'-9 1/2"	24'-10 3/4"	✓
Areas			
Lot Area (Square-Foot)	5275	5275	
Gross Floor Area* (Square-Foot)	1762	1762	
Total Area Covered by All Floors (Square-Foot)	1410	1410	
Building Footprint* (Square-Foot)	1410	1410	
Lot Coverage* (%) (Footprint/Lot Area)	26.7	26.7	
Useable Open Space* (Square-Foot)	3260	3260	
Floor Area Ratio* Non-Residential only (Except ES-R)			

*See Definitions - Zoning Ordinance Title 23F. Revised: 05/15
 g:\forms & instructions\land use planning\forms\tabulation_form_05-15.doc
 Land Use Planning, 1128 18th Street, Berkeley, CA 94708
 Tel: 415.861.2499 Fax: 415.861.2700 Email: pdevelopment@berkeleyca.gov



ROOF PLAN
 1/4" = 1'-0" 2



SITE PLAN
 1/4" = 1'-0" 1

REVISIONS BY

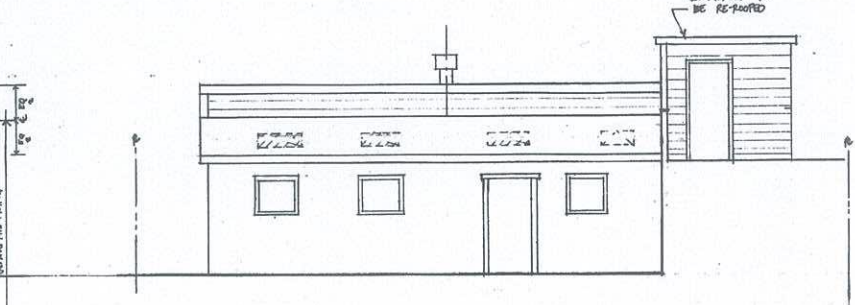
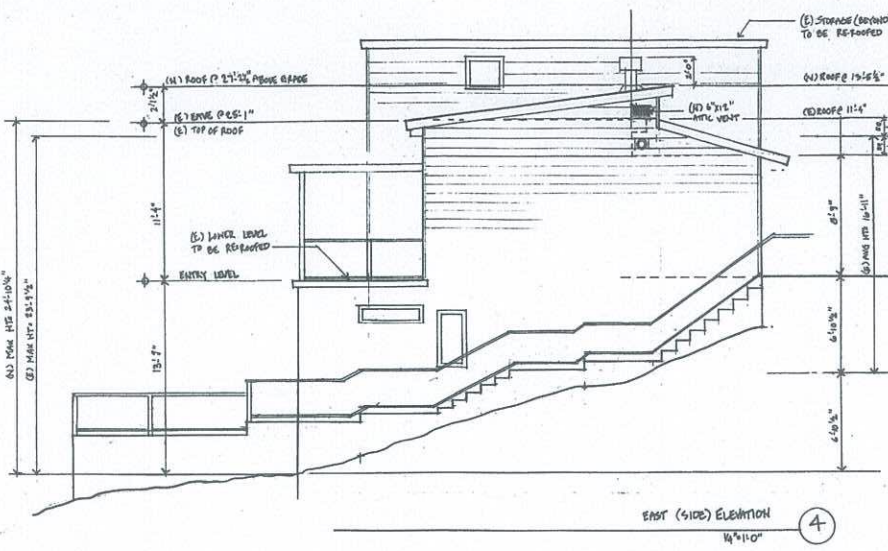
PREPARED BY:
 Nancy Kitter-Dills
 2135 Curtis St.
 Berkeley, CA 94702
 415-866-0638

OWNER:
 Yusuf Casim & Jackie McHobb
 1320 Campus Drive
 Berkeley, CA 94708
 415-254-5703

SITE PLAN
 ROOF PLAN
 GENERAL NOTES

Date: 7/21/15
 Status: HATED
 Drawn: NFD
 Job:
 Sheet: A1
 Of: 8 sheets

REVISIONS	BY



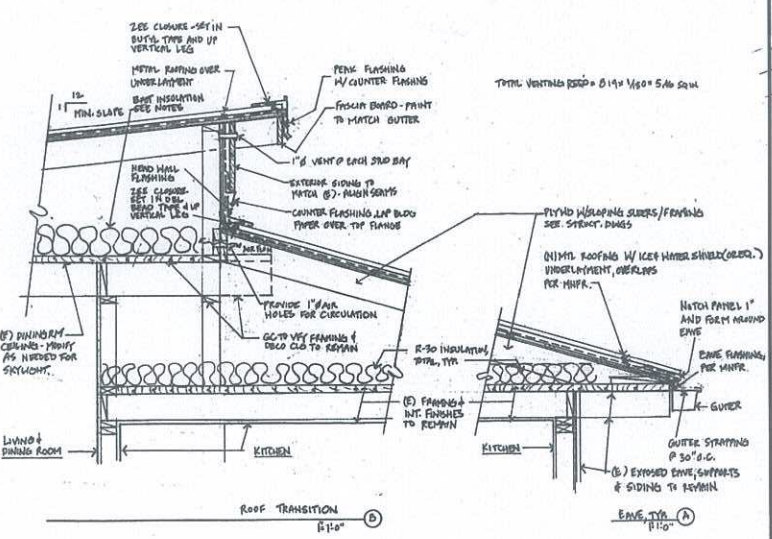
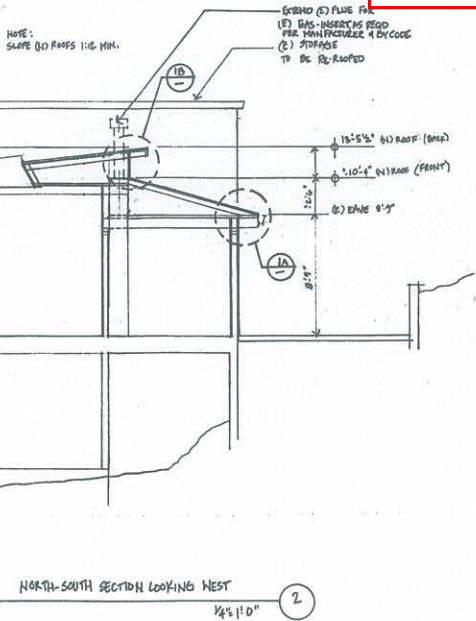
PLANS APPROVED by

[Signature]

February 18, 2016

SIGNATURE DATE

***AUP Findings and Conditions Attached**



NORTH-SOUTH SECTION LOOKING WEST
1/4" = 1' 0" 2

ROOF TRANSITION
1/16" = 1' 0" 3
DETAILS
SCALE NOTED 1

PREPARED BY:
Nancy Koller-Dells
2136 Curtis St.
Berkeley, CA 94702
510-862-0638

OWNER:
Yves Condon & Lucille McComb
1300 Campus Drive
Berkeley, CA 94708
415-254-5700

DETAILS
ELEVATIONS
BUILDING SECTION

Date: 7/27/15
Scale: NOTED
Drawn: NLD
Job:
Sheet:
Of: A2
Notes: