



Planning and Development Department  
Land Use Planning Division

# A D M I N I S T R A T I V E U S E P E R M I T

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## 2126-2128 DWIGHT WAY

### Administrative Use Permit #ZP2015-0250

**Project Description:** To expand an existing 1,493-square-foot full service restaurant with incidental service of beer and wine plus a commercial kitchen into the adjacent 968-square-foot vacant tenant space, pursuant to:

- Section 23E.16.040.A to expand incidental service of beer and wine at a restaurant.

### FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on January 26, 2016.

Attest: Carol Johnson  
Carol Johnson, Land Use Planning Manger

January 26, 2016  
Effective Date

# ATTACHMENT 1

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## FINDINGS AND CONDITIONS

JANUARY 5, 2016

### 2126-2128 Dwight Way

#### Administrative Use Permit #ZP2015-0250

**To expand an existing 1,493-square-foot full service restaurant with incidental service of beer and wine plus a commercial kitchen into the adjacent 968-square-foot vacant tenant space.**

#### PERMITS REQUIRED

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- Administrative Use Permit to expand incidental service of beer and wine at a restaurant, per BMC 23E.16.040.A

#### CEQA FINDINGS

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1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15303 of the CEQA Guidelines (“new construction or conversion of small structures”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.

#### FINDINGS FOR APPROVAL

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2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
  - The project will enhance the well-being of users of the District and the economic vitality of the District, by occupying a vacant commercial space and expanding a successful, locally owned business that has been in operation for over 25 years.
  - The project involves minor alterations to the entry way with no other exterior changes to the existing building. The project, will, therefore, help preserve the existing physical character of the commercial district and the landmarked building.
  - The permit is subject to the standard conditions for food and alcohol service, which will ensure that restaurant continues to be a good neighbor by limiting potential detriment to the surrounding neighborhood.

- The property has sufficient off-street parking (11 spaces) to accommodate the required parking for the 11 boarding rooms (1:5 beds or 2 spaces) and 2,461 total square feet of restaurant (1:300 sq. ft. or 8 spaces).
3. Pursuant to Berkeley Municipal Code Section 23E.56.090.B.1, the Zoning Adjustments Board finds that the project is compatible with the purposes of the C-SA District, in that the project will support the expansion and, therefore, vitality of a locally owned and operated business that is a both a community and regional serving Japanese restaurant which reflects a part of the culture of the surrounding area. The restaurant and associated commercial kitchen use are of a moderate commercial intensity which serves as an appropriate transition between the Downtown area and the neighborhood-serving area south of Ashby.
  4. Pursuant to Berkeley Municipal Code Section 23E.52.090.B.2, as previously stated, the project will encourage and maintain the present street frontage of the District as there is no new construction and there will be minimal changes to the landmark building's façade. The project will, therefore, be compatible in design and character with the District and the adjacent residential neighborhoods.
  5. Pursuant to Berkeley Municipal Code Section 23E.56.090.B.3, the project will not result in the domination of one type of commercial use in any one area of the District in that the restaurant and commercial kitchen are locally owned establishments that will be filling in a current vacancy and will not displace any existing essential business. Although this small commercial district has quite a few vacancies, current surrounding commercial uses include a plumbing supply store, auto repair, a café, and a exercise studio. As the restaurant and commercial kitchen are already in existence, the project should not affect other existing, locally-owned businesses in the District. Therefore, there will continue to be an appropriate mix of goods and services in the District.
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## **STANDARD CONDITIONS**

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The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

**1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

**2. Applicant Responsible for Compliance with Conditions**

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

**3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)**

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

**4. Modification of Permits (Section 23B.56.020)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

**5. Plans and Representations Become Conditions (Section 23B.56.030)**

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

**6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)**

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

**7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)**

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

**8. Exercise and Lapse of Permits (Section 23B.56.100)**

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

**9. Indemnification Agreement**

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorney’s fees that may result.

**ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER**

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

**Prior to Submittal of Any Building Permit:**

- 10. The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual’s name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

**Prior to Issuance of Any Building Permit:**

- 11. The applicant shall file an “Address Assignment Request Application” with the Permit Service Center (2120 Milvia Street) for any address change or new address associated with this Use Permit. The new address(es) shall be assigned prior to issuance of a building permit.

**During Construction:**

- 12. Transportation Construction Plan. The applicant and all persons associated with the project are hereby notified that a Transportation Construction Plan (TCP) is required for all phases of construction, particularly for the following activities:
  - Alterations, closures, or blockages to sidewalks or pedestrian paths

- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere In the public ROW
- Provision of exclusive contractor parking on-street relevant
- Significant truck activity.

The applicant shall secure the City Traffic Engineer's approval of a TCP. Please contact the Office of Transportation at 981-7010, or 1947 Center Street, 3rd floor, and ask to speak to a traffic engineer. In addition to other requirements of the Traffic Engineer, this plan shall include the locations of material and equipment storage, trailers, worker parking, a schedule of site operations that may block traffic, and provisions for traffic control. The TCP shall be consistent with any other requirements of the construction phase.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood. A current copy of this Plan shall be available at all times at the construction site for review by City Staff.

13. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
14. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
15. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
16. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
17. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
18. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
19. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
20. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.

21. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.

**Prior to Issuance of Occupancy Permit or Final Inspection:**

22. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
23. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated, "Received December 04, 2015."

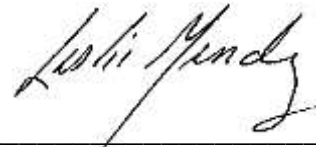
**At All Times (Operation/Alcoholic Beverage Service):**

24. Alcoholic beverage service shall be "incidental" to the primary food service use, as defined in Zoning Ordinance 23F.04.010. An incidental use shall not exceed twenty-five percent (25%) of the floor area of the primary use, and if it consists of the commercial sales of a different line of products or services than the primary use, such incidental use may not generate gross receipts in excess of thirty-three percent (33%) of the gross receipts generated by the primary use. In addition, the California Department of Alcohol Beverage Control (ABC) allows this alcohol use only as part of a "bona fide eating place" making "actual and substantial sales of meals," and stringently enforces this requirement.
25. The establishment shall comply with all applicable regulations of the California Department of Alcoholic Beverage Control.
26. The applicant shall comply with ABC regulations for License Type 41, which requires that the food establishment operate as a bona fide eating place, make actual and substantial sales of meals during normal meal hours, and that the establishment operate at least five days a week. In addition, the applicant shall request that the ABC place the following conditions on the ABC permit for this site, and this Use Permit shall only be operative for as long as these conditions are placed on the associated ABC license:
  - The sale of alcoholic beverages for consumption off the premises is strictly prohibited;
  - There shall be no bar or lounge area upon the licensed premises maintained for the sole purpose of sales, service or consumption of alcoholic beverages directly to patrons for consumption;
  - During operating hours, 100% of the service area shall be designed and used for and must possess the necessary utensils, and condiment dispensers with which to serve meals to the public;
  - There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.

27. A Berkeley Police Department Crime Prevention Through Environmental Design (CPTED) survey shall be completed prior to commencing alcohol service.
28. All employees selling and/or serving alcohol, or directly supervising such sales and/or service, shall complete the Licensee Education on Alcohol and Drugs (LEAD) program, or another equivalent program offered or certified by the California Department of Alcoholic Beverage Control within 6 months of employment at the establishment. Employees who have completed the course within the last five (5) years shall be exempt from this requirement.
29. Employees shall not serve alcohol to patrons who appear to be inebriated or otherwise unable to behave in an orderly manner upon consuming alcohol.
30. Any operator of the licensed establishment shall not have had a prior licensed establishment that was the subject of verified complaints or violations regarding alcohol, public safety or nuisance statutes or regulations to be confirmed by the Zoning Officer prior to issuance or transfer of a business license at this location.
31. The service of alcohol shall be limited to restaurant service hours; patrons may only purchase food or finish drinks already purchased within the approved service hours. The Zoning Adjustments Board shall approve any change in the hours of restaurant operations and/or alcohol service (except decreased hours in compliance with applicable ABC regulations). Hours of operation are subject to review and amendment by the Zoning Adjustments Board as necessary to avoid detriment to the neighborhood or to achieve conformance with revised City standards or policies.
32. Fortified alcohol products (e.g., malt liquor), shall not be sold on the premises.
33. Neither alcohol-dispensing facilities nor sign(s) advertising alcoholic beverages shall be visible from the public right-of-way.
34. All alcohol served to patrons must be served in durable restaurant tableware – i.e. either cups or glasses. No alcohol may be distributed in its original bottle or can, or in any other potentially disposable container.
35. There shall be no service or consumption of alcohol on the public right-of-way.
36. No alcohol may be transported off-site from the establishment to any other establishment or to the public right-of-way.
37. The owner or operator of the establishment shall take reasonable measures to prevent disturbances by patrons in the immediate vicinity. Such measures shall include signs reminding patrons of nearby residences and requests not to congregate or loiter near such residences nor operate vehicles in a noisy manner on residential streets. The operator shall give surveillance to public areas near the establishment, keep such areas free of trash and litter, provide lighting, and otherwise attempt to prevent conduct that might disturb the peace and quiet of residences in the vicinity. Furthermore, the operator shall assume reasonable responsibility for ensuring that patrons do not block the entrance or interfere with pedestrian activity on the adjacent public sidewalk.



38. The applicant shall establish cash handling procedures to reduce the likelihood of robberies and theft.
39. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
40. At no time shall the operator rent the restaurant space to a third-party promoter.
41. This Use Permit, including these and all other required conditions, shall be posted in conspicuous location, available for viewing by any interested party.
42. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.



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Prepared by: Leslie Mendez  
For City of Berkeley, Zoning Officer

**PLANS APPROVED by**

*Jeffery Mendy*

**January 5, 2016**

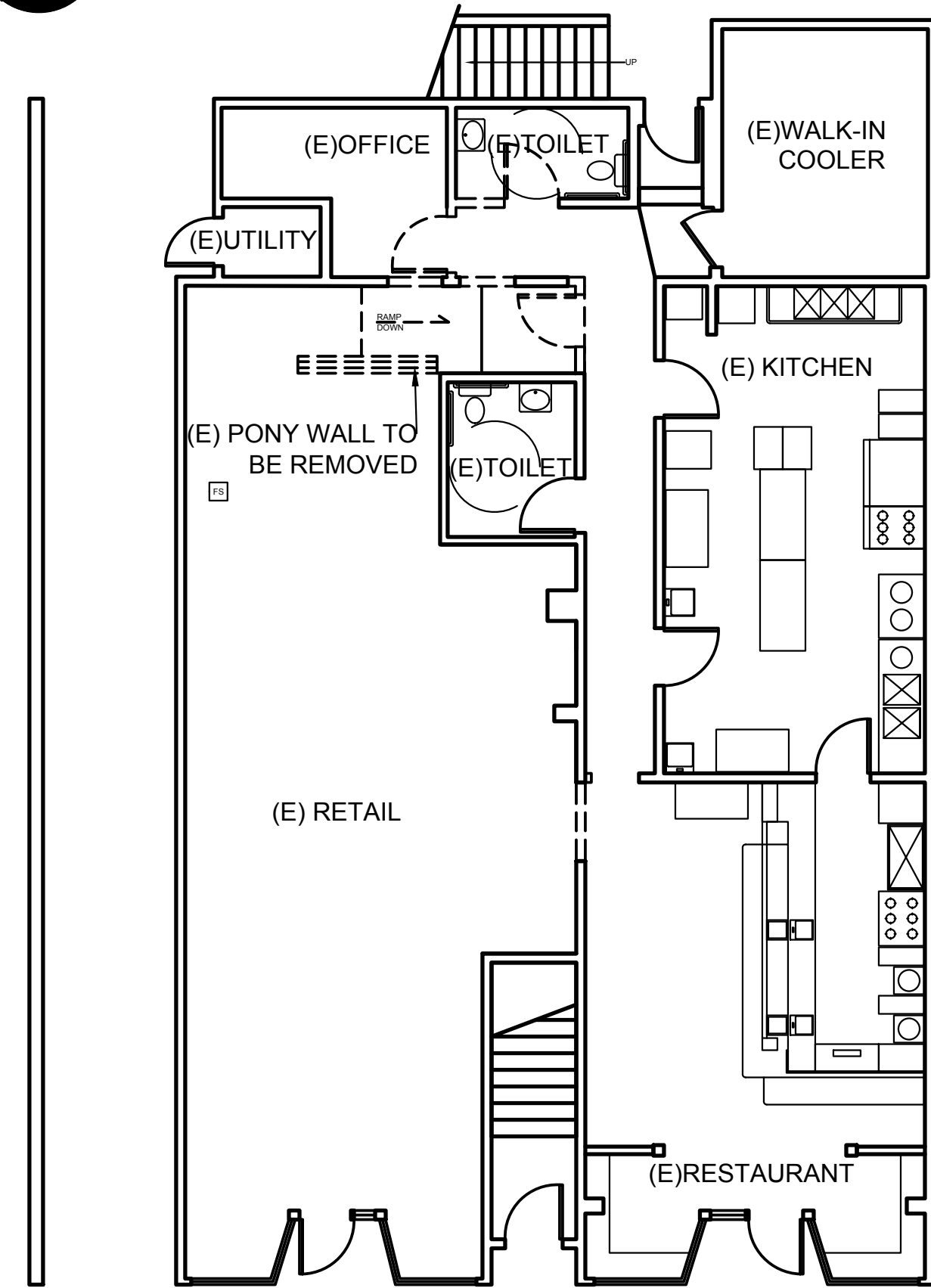
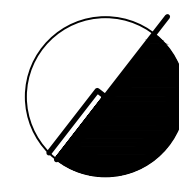
SIGNATURE

DATE

**\*AUP Findings and Conditions Attached**

**AREA MAP**

N.T.S.



**① (E) GROUND FLOOR & DEMOLITION PLAN**

SCALE 1/8"=1'-0"

**LEGEND**

- ==== (E) WALL/CONDITION TO BE REMOVED
- ===== (E) WALL TO REMAIN

**PROJECT DATA** PROJECT SPONSOR CONTACT MUSASHI RESTAURANT (510) 843-2017  
**ASSESSOR'S NUMBER** APN# 055182301400  
**ADDRESS** 2126 DWIGHT WAY BERKELEY, CA 94704  
**EXISTING USE** RESTUARANT/CATERING COMMERCIAL KITCHEN & RETAIL SPACE

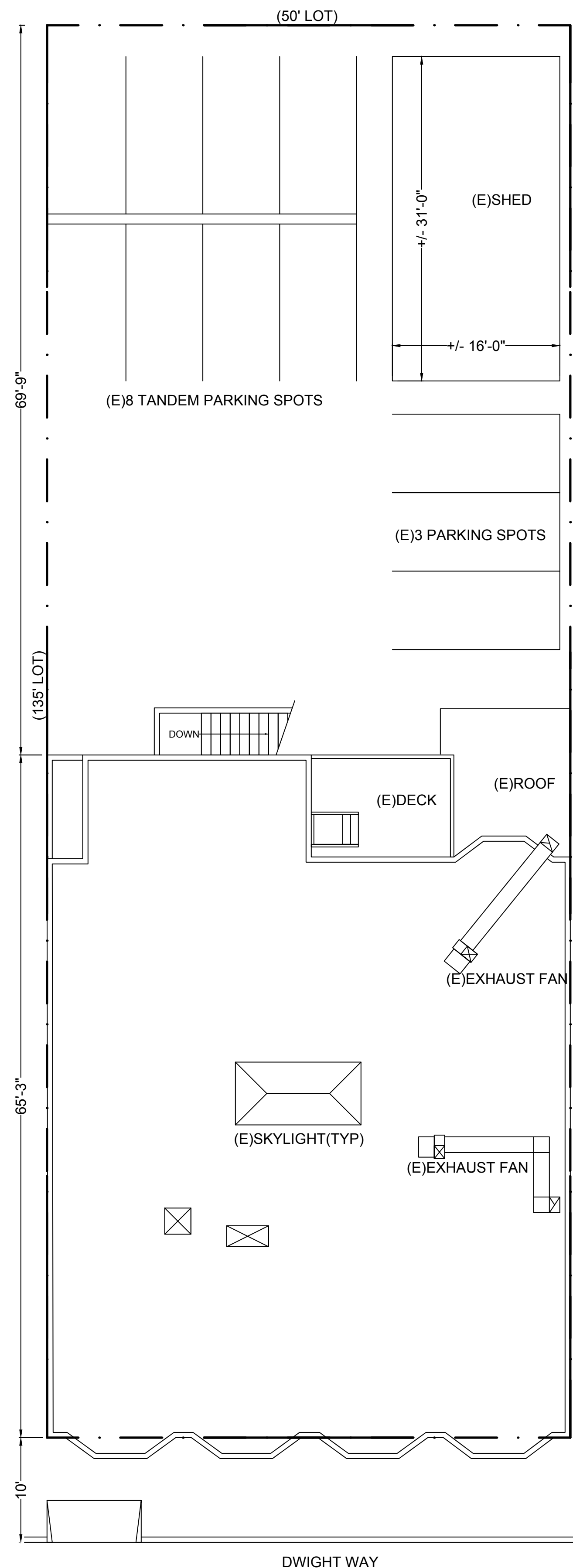
**PROPOSED PROJECT** **INTERIOR RENOVATION TO:**  
 • (E) RETAIL SPACE - EXPAND (E) DINING ROOM INTO (E) RETAIL SPACE. ADD (N) SUSHI BAR, (N) SAKE/BEER BAR AND DINING SPACE.  
 • ADD (N) CATERING PREPARATION ROOM AT REAR OF (E) RETAIL SPACE  
 • UPGRADE (E) 2ND RESTROOM TO ADA COMPLIANT

**ZONING** C-SA  
**LOT SIZE** 50'x135' = 6750 SF  
**NUMBER OF STORY** 2  
**PROPOSED INTERIOR REMODEL** 1034 SF  
**1ST FLOOR RESTAURANT** 1493 SF  
**1ST FLOOR STORE FRONT** 968 SF  
**2ND FLOOR 11 ROOM BOARD HOUSE** 3063 SF  
**TOTAL BUILDING AREA** 5524 SF

**TYPE OF CONSTRUCTION** 5B-NON SPRINKLERED  
**(E) USE OCCUPANCY** R2/M/B  
**PROPOSED USE** R2/B

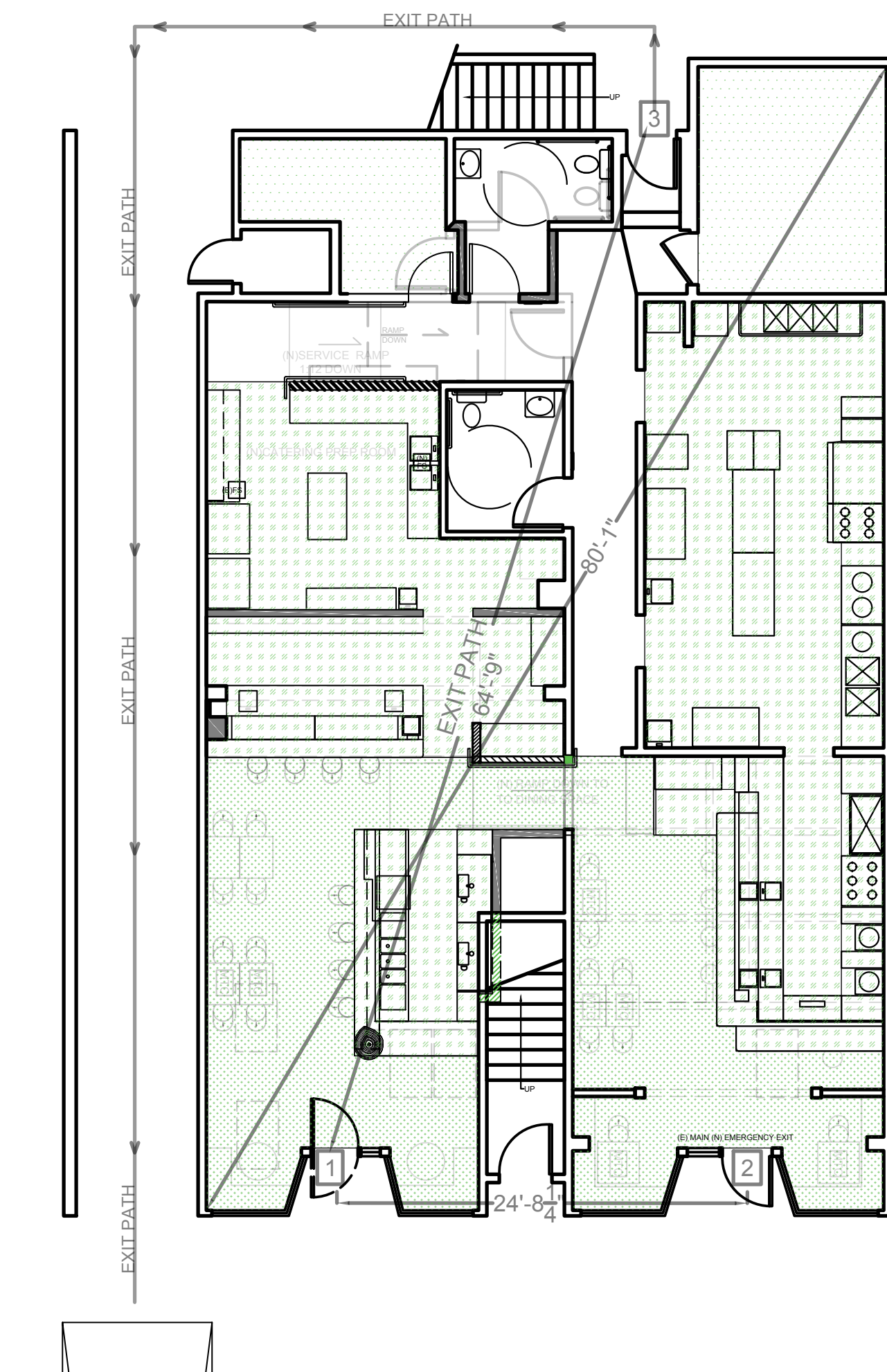
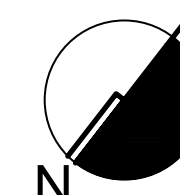
**APPLICABLE CODE** 2013 CALIF. BLDG. CODE  
 2013 CALIF. MECH CODE  
 2013 CALIF. PLMBG CODE  
 2013 CALIF. ELECTR. CODE  
 2013 CALIF. FIRE CODE  
 ALAMEDA COUNTY HEALTH CODE

USDA STANDARD (CATERING KITCHEN ONLY)  
 TITLE 24 ENERGY REGULATIONS  
 TITLE 24 DISABLED REGULATIONS AND  
 BERKELEY MUNICIPAL CODE



**② SITE & ROOF PLAN**

SCALE 1/8"=1'-0"



**EXISTING RESTAURANT**  
 FRONT RESTAURANT : 481 SQFT  
 SUSHI BAR/KITCHEN : 144 SQFT  
 DINING: 337 SQFT  
 OCCUPANT LOAD: 24

**REAR CATERING BUSINESS : 470 SQFT**  
 STORAGE: 89 SQFT  
 CATERING KITCHEN: 381 SQFT  
 OCCUPANT LOAD: 2

**PROPOSED TENANT REMODEL TOTALS :**  
**RESTAURANT:**  
 SUSHI BARS/KITCHEN: 370 SQFT  
 BAR/HOSTESS: 106 SQFT  
 OCCUPANT LOAD: 3

DINING AREA: 629 SQFT  
 OCCUPANT LOAD: 42

CATERING BUSINESS: 686 SQFT  
 OCCUPANT LOAD: 4

**NEW MAXIMUM CAPACITY: 49**

**USAGE LEGEND**

- 247 SQFT STORAGE AREAS (EMPLOYEE'S ONLY)
- 1080 SQFT SERVICE AREA (EMPLOYEE'S ONLY)
- 629 SQFT DINING AREA (PUBLIC AREA)

**③ (N) OCCUPANT LOAD & EXIT DIAGRAM**

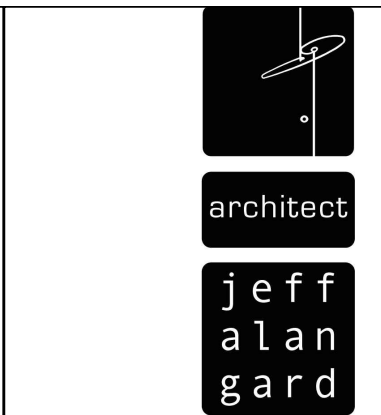
SCALE 1/8"=1'-0"

**GENERAL NOTES**

1. ALL WORK SHALL BE IN CONFORMANCE WITH 2013 CBC, CRC UMC & UPC, LOCAL AMENDMENTS AND ALL APPLICABLE BUILDING CODES. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, AND LABOR REQUIRED FOR THE PERFORMANCE OF THE WORK HEREIN UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FINISH FACE OR FACE OF CONCRETE UNLESS OTHERWISE NOTED (UON). ALL DIMENSIONS DESIGNATED "CLR MIN" ARE FINISH DIMENSIONS UON.
3. DO NOT SCALE THE DRAWINGS. ALWAYS REFER TO WRITTEN DIMENSION OR ASK THE ARCHITECT FOR CLARIFICATION.
4. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS UNLESS OTHERWISE NOTED ON THE STRUCTURAL PLANS.
5. ALL WALLS BETWEEN THE GARAGE AND LIVING SPACES TO BE 1 HR RATED CONSTRUCTION.
6. THE CONTRACTOR IS TO VERIFY ALL SERVICES; ELECTRICAL, GAS, WATER AND MAIN SERVICE ENTRANCES, FOR ACCESSIBILITY CODE COMPLIANCE AND CONFIRM PRESSURE, CAPACITY AND AMPERAGE MEET THE REQUIREMENTS OF THE PROPOSED WORK PRIOR TO SUBMITTING A BID FOR THE WORK.
7. THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS ON SITE AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS.
8. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA WORK RESULTING FROM A LACK OF COORDINATION BETWEEN THE TRADES.
9. ALL MATERIAL AND EQUIPMENT AND OTHER PRODUCTS SHALL BE INSTALLED PER THE MANUFACTURER'S MOST RECENT PRINTED INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR TO NOTIFY THE ARCHITECT IN WRITING OF DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTRUCTIONS.
10. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SEPARATE PERMITS FOR ELECTRICAL, MECHANICAL, PLUMBING, GRADING OR OTHER PERMITS AS MAY BE REQUIRED BY LOCAL AUTHORITIES. ISSUANCE OF A BUILDING PERMIT BASED ON THESE DRAWINGS DOES NOT CONSTITUTE A GRANTING OF THESE SEPARATE PERMITS.
11. THE EXECUTION OF THE PLANS AND SUBSEQUENT DRAWINGS SHALL COMPLY WITH THE TITLE 24 ENERGY EFFICIENCY REQUIREMENTS AND "MANDATORY MEASURES".
12. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION FOR ALL STRUCTURAL AND ARCHITECTURAL STEEL WORK INCLUDING RAILING AND GRAB BARS.
13. DO NOT REMOVE ANY TEMPORARY FENESTRATION LABELS OR THE MANUFACTURER'S LABELS ON ALL GLAZING UNTIL AFTER THE BUILDING DEPARTMENT INSPECTIONS HAVE VERIFIED THE U-VALUE AND SAFETY GLASS REQUIREMENTS.
14. NO PVC OR ABS PLUMBING MAY BE USED FOR THIS PROJECT. USE CAST IRON AND COPPER ONLY. NOTIFY ARCHITECT IF (E)PVC OR ABS IS ENCOUNTERED.
15. CONTRACTOR TO PROVIDE SHOP DRAWING FOR THE OWNER & ARCHITECTS TO REVIEW FOR ALL CUSTOM MANUFACTURED WINDOWS, DOORS, METAL & IRON WORK, AND SHEET BUILT IN GOODS PRIOR TO FABRICATION.
16. ALL NEWLY INSTALLED WOOD SIDING AND TRIM THAT IS TO BE PAINTED MUST BE BACK PRIMED PRIOR TO INSTALLATION.
17. PROVIDE FIRE BLOCKING IN ALL CEILING FRAMING, FLOOR FRAMING AND FURRED DOWN CEILINGS AND OVER CONCEALED DRAFT @ 10'-0" O.C. MAXIMUM.
18. CONTRACTOR TO COMPLY WITH THE CIVIL ENGINEERING DRAWINGS AND SPECIFICATIONS AND EROSION CONTROL MEASURES. THE CIVIL ENGINEER OF RECORD SHALL BE CONSULTED TO INSPECT THE SITE TO CONFIRM THAT THE EROSION CONTROL MEASURES INSTALLED BY THE CONTRACTOR CONFORM WITH THE DRAWINGS.
19. THE MANUFACTURER'S INSTRUCTIONS FOR ALL NEW APPLIANCES AND EQUIPMENT SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF BUILDING INSPECTION CRC §R106.1.2
20. THE INSTALLERS ARE REQUIRED TO PROVIDE CF-6R FORMS FOR ALL NEW INSTALLATIONS AS REGULATED BY THE ENERGY STANDARDS.

**SHEET INDEX**

- A-1** SITE & ROOF PLAN, (E) GROUND FLOOR & DEMOLITION PLAN
- A-2** FLOOR PLANS & FINISH SCHEDULE
- A-3** FURNITURE & FIXTURE PLAN & ELECTRICAL PLANS
- A-4** ACCESSIBLE TOILET PLAN NEW & EXISTING
- A-5** BAR ELEVATION & DETAILS
- A-6** SUSHI BAR ELEVATION & DETAILS
- A-7** FRONT & DINING AREA ELEVATIONS
- A-8** EXTERIOR ELEVATIONS
- T24.1** TITLE 24 ENERGY CALCULATIONS
- T24.2** TITLE 24 ENERGY CALCULATIONS
- MP-0.1** PLUMBING NOTES AND SPECIFICATIONS
- MP-1.1** DEMO AND HVAC PLAN
- MP-2.1** SEWER AND VENT PLAN
- MP-3.1** TITLE 24 MECHANICAL DOCUMENTATION
- S1.0** STRUCTURAL NOTES
- S1.1A** TYPICAL WOOD DETAILS
- S1.1B** TYPICAL WOOD DETAILS
- S1.2A** TYPICAL CONCRETE DETAILS
- S2** FOUNDATION AND FRAMING PLANS
- S3** STRUCTURAL DETAILS



1317 GRANT AVE  
 SAN FRANCISCO, CALIFORNIA 94133  
 ARCHITECT CA LIC. 39959  
 T 415.465.6254  
 jg@jeffalanguard.com  
 www.jeffalanguard.com



**REVISIONS**

**MUSASHI RESTAURANT**  
 2126 DWIGHT WAY  
 BERKELEY, CA 94704

**KJ CHOWANEC**

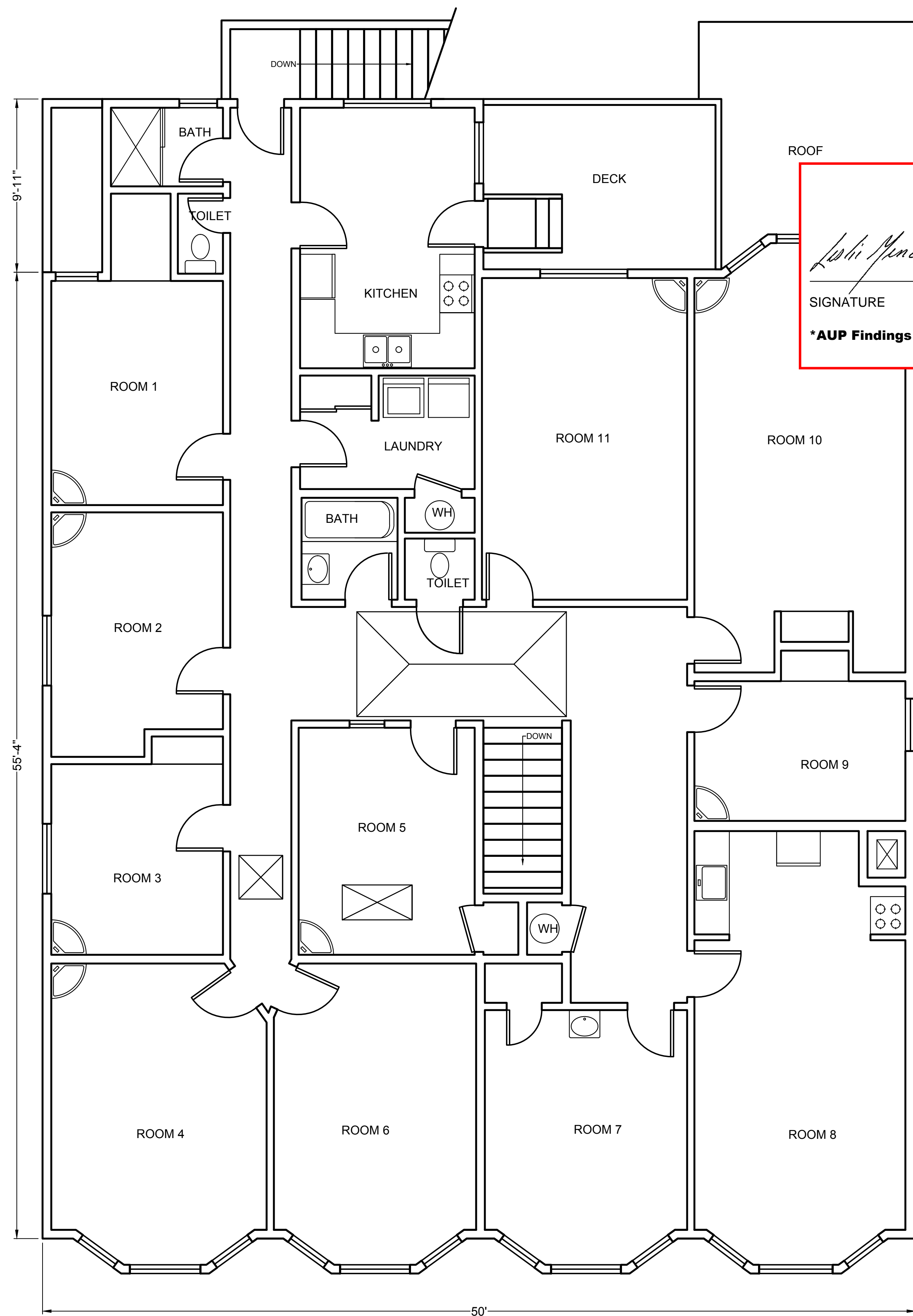
07/20/15

AS NOTED

SHEET

SITE & ROOF PLAN  
 (E) GROUND FLOOR  
 & DEMOLITION PLAN

**A-1**



**PLANS APPROVED by**

*Lolii Mendy*

**January 5, 2016**

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

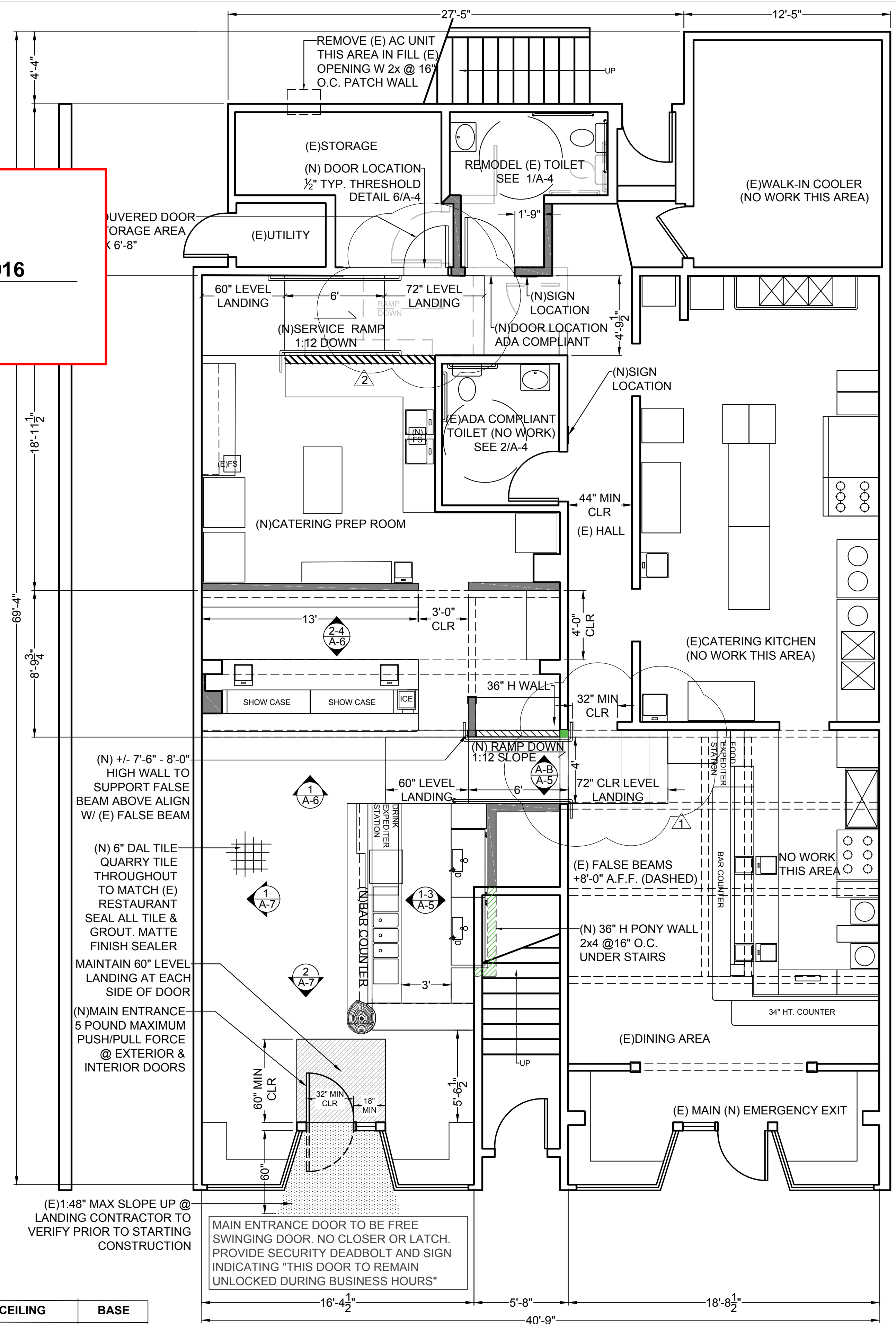
**\*AUP Findings and Conditions Attached**

① (E) SECOND FLOOR (NO WORK)  
SCALE 1/4"=1'-0"

FINISH SCHEDULE	FLOOR	WALL	CEILING	BASE
DINING ROOM	QUARRY TILE	GYP. PAINT FINISH	GYP. PAINT FINISH	COVE TILE
CATERING PREP ROOM	QUARRY TILE	GYP. PAINT FINISH	GYP. PAINT FINISH	COVE TILE
(N)TOILET	QUARRY TILE	GYP. PAINT FINISH & QUARRY TILE/ NON ASORB UP TO 5" MIN	GYP. PAINT FINISH	COVE TILE

NOTE:

- ALL TILE FLOOR TO HAVE MINIMUM 3/8" RADIUS, 4" HT. COVE
- CATERING PREP ROOM PAINT TO BE SEMI-GLOSS AND LIGHT IN COLOR IN FOOD PREPARATION AREAS FOR EASY CLEANING
- ALL WALLS, FLOORS AND CEILINGS MUST BE SMOOTH, EASILY CLEANABLE AND NONABSORBENT



② (N)GROUND FLOOR PLAN  
SCALE 1/4"=1'-0"

**LEGEND**

— (E) WALL

▨ (N) PONY WALL COORDINATE HEIGHT

- - - (E)WALL/CONDITION TO BE REMOVED

— (N) WALL - 2X 4 MIN @ 16" O.C. W/ 5/8" TYPE "X" EACH SIDE. SEE STRUCTURAL DRAWINGS. SUBSTITUTE CEMENT BACKER BOARD 1/2" FOR TYPE "X" @ ALL TILE AREAS



REVISIONS

▲ RESPONSE TO 11/18/15 PLAN CHECK COMMENTS A1 & A2

▲ RESPONSE TO 11/18/15 PLAN CHECK COMMENT A1

**MUSASHI RESTAURANT**  
2126 DWIGHT WAY  
BERKELEY, CA 94704

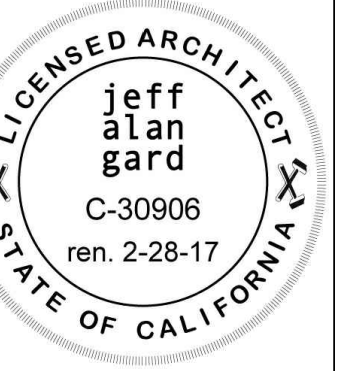
DRAWN: KJ CHOWANEC  
DATE: 07/20/15  
SCALE: AS NOTED

FLOOR PLANS & FINISH SCHEDULE

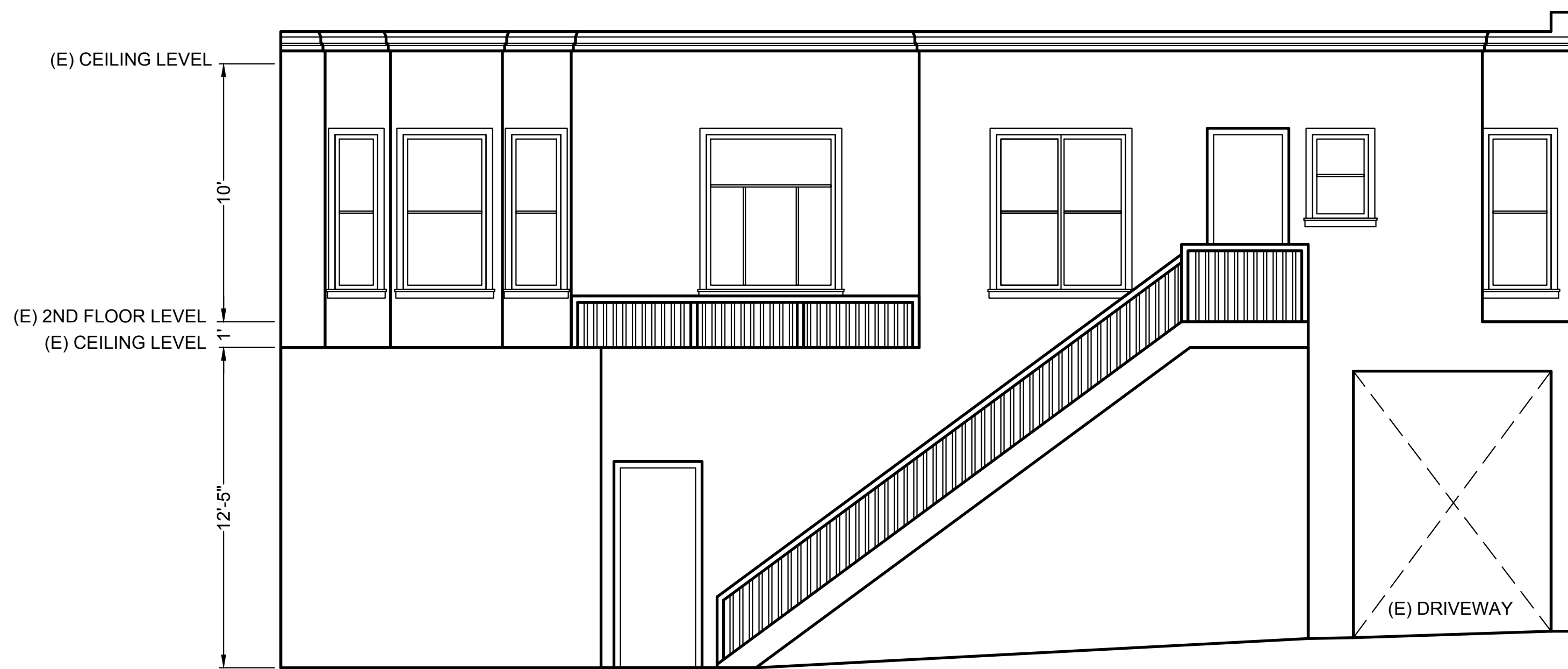


architect  
jeff  
alan  
gard

1317 GRANT AVE  
SAN FRANCISCO, CALIFORNIA 94133  
ARCHITECT CA LIC. 30959  
T 415.465.6254  
jag@jeffalangard.com  
www.jeffalangard.com



REVISIONS



(E) CEILING LEVEL  
10'  
(E) 2ND FLOOR LEVEL  
(E) CEILING LEVEL 1'  
12'-5"



(E) CEILING LEVEL  
2'  
10'  
(E) 2ND FLOOR LEVEL  
(E) CEILING LEVEL 1'  
12'-5"  
RELOCATE (E) SIGN TO (N) LOCATION

AREA OF REMODEL

EXISTING RESTAURANT SPACE

**1** REAR EXTERIOR ELEVATION  
SCALE 1/4"=1'-0"

**2** FRONT EXTERIOR ELEVATION  
SCALE 1/4"=1'-0"

**PLANS APPROVED by**

*Justi Mendy* \_\_\_\_\_ **January 5, 2016**

SIGNATURE DATE

**\*AUP Findings and Conditions Attached**

LOCATION  
**MUSASHI RESTAURANT**  
2126 DWIGHT WAY  
BERKELEY, CA 94704

DRAWN  
KJ CHOWANEC

DATE  
07/20/15

SCALE  
AS NOTED

SHEET  
EXTERIOR  
ELEVATION

A-8