



Planning and Development Department  
Land Use Planning Division

# A D M I N I S T R A T I V E U S E P E R M I T

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## 914 Channing Way

### Administrative Use Permit #ZP2014-0038

**Project Description:** To enlarge an existing 1,115 sq. ft. single-family dwelling with an average height of 16'1" by raising the structure 10'9" to create 1,115 sq. ft. of habitable space, and construct a 339 sq. ft. addition to the ground floor. The resulting 2,569 sq. ft. single-family residence would have an average height of 27'. The non-conforming front yard setback of 14'2" where 20' is required would be vertically extended. Construction of a rear deck, off the second story, measuring 16' in height from grade to the top of the guardrail is also proposed, pursuant to:

- Section 23C.04.070.B to vertically extend a non-conforming front yard setback of 14'2" where 20' is required;
- Section 23D.20.030 to allow a major residential addition exceeding 600 sq. ft.; and
- Section 23D.20.070.C to construct a residential addition and deck exceeding 14' in height.

### FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on February 18, 2015.

Attest: Greg Powell  
Greg Powell, Principal Planner

February 18, 2015  
Effective Date

# ATTACHMENT 1

## FINDINGS AND CONDITIONS

JANUARY 27, 2015

### 914 Channing Way

#### Administrative Use Permit #ZP2014-0038

To enlarge an existing 1,115 sq. ft. single-family dwelling with an average height of 16'1" by raising the structure 10'9" to create 1,115 sq. ft. of habitable space, and construct a 339 sq. ft. addition to the ground floor. The resulting 2,569 sq. ft. single-family residence would have an average height of 27'. The non-conforming front yard setback of 14'2" where 20' is required would be vertically extended. Construction of a rear deck, off the second story, measuring 16' in height from grade to the top of the guardrail is also proposed.

#### CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

#### FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
  - As required under Section 23C.04.070.B.1 (Expansions of Non-Conforming Buildings and Structures), the addition will have a 10'9" vertical extension of the existing 14'2" non-conforming front yard setback, however the addition will not further encroach into the required setback and will not exceed the height limit in the R-1A District.

- As is permitted under Section 23D.20.030 (Uses Permitted) and 090 (Findings), the proposed major residential addition exceeding 600 sq. ft. and rear deck, exceeding 14' in average height will not create significant impacts to sunlight, air, or views, and is found to be non-detrimental and permissible for the following reasons:
  1. Sunlight – The existing average height is 16'1" and the proposed average height will be 27'. (Note that the height limit average in the R-1A Zoning District is 28'.) The addition will not result in significant shadow impacts to adjacent or nearby properties for the following reasons:

#### 910 Channing

- 910 Channing is a one-story single-family residence. The existing structure at 914 Channing currently shades the side yard at 910 Channing. Mature vegetation between 910 and 914 Channing also provides shade. New shadows will be present in the summer months for a few hours in the morning at two bedroom windows at the south façade and at a bathroom and kitchen window at the east façade. New shadows will be present in the fall months for a few hours in the morning at a door at the east façade. However the remainder of the day and year natural light will be the same as existing conditions.

#### 922 Channing

- 922 Channing is a one-story single-family residence. The existing structure at 914 Channing currently shades a portion of a bedroom window at the south façade in the summer evenings and a portion of a bedroom at the west façade in the fall evenings. New shadows will be present in fall and winter a few hours before sunset at a bedroom window at the west façade and in the summer new shadows will be present at a bedroom window at the south façade two hours before sunset; however the remainder of the day and year natural light will be the same as existing conditions.

#### 2410 Eighth

- 2410 Eighth Street is a one story single-family residence. The existing structure at 914 Channing currently shades a portion of a bedroom window at the west façade in the summer months two hours before sunset. The proposed addition will increase shadows at the bedroom window and new shadows will occur at a kitchen and bathroom window at the north façade two hours before sunset; however the remainder of the day and year natural light will be the same as existing conditions.

2. Views – The proposed addition would not significantly block the adjacent neighbors' views of any significant feature because there are no significant views as defined under Section 23F.04 (Definitions) in the vicinity of the site. The project area is flat and developed with primarily one and two story residences and mature vegetation. The proposed addition will not exceed the

maximum nor average height limit allowed in the R-1A District, nor exceed the number of stories allowed;

3. Air and Privacy – The proposed addition includes new window openings and a new rear deck, approximately 16' in height from grade. However, the windows and deck would not significantly impact air or privacy impacts given that the distances to neighboring properties range from approximately 17' to approximately 79' which exceed the District's 8' minimum requirement for building separations and would be adequate:
    - At the north (front) elevation the distance to the confronting properties to the north at 917 and 919 Channing are approximately 75' and 79' away and this distance is adequate;
    - At the east (side) elevation, the distance to the nearest residential buildings at the abutting properties to the east at 922 Channing and 2408 Eighth are approximately 17' and 18' respectively, and these distances would be adequate;
    - At the west (side) elevation, the proposed addition is approximately 33' from the abutting residential structure at 910 Channing and this distance would be adequate; and
    - At the south (rear) elevation, the proposed addition is approximately 30' from the abutting residential structure at 2410 Eighth Street and this distance would be adequate.
  - As required under Section 23D.20.070 (Development Standards), the project is permissible because the addition satisfies the development standards for minimum lot area, maximum residential density, maximum main building height, minimum side and rear yard setbacks, and minimum open space.
  - All abutting and confronting neighbors have signed the plan set with no objections.
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## **STANDARD CONDITIONS**

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The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

### **1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

### **2. Applicant Responsible for Compliance with Conditions**

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

### **3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)**

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

### **4. Modification of Permits (Section 23B.56.020)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

### **5. Plans and Representations Become Conditions (Section 23B.56.030)**

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

### **6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)**

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

### **7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)**

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

**8. Exercise and Lapse of Permits (Section 23B.56.100)**

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

**9. Indemnification Agreement**

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

**ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER**

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

**Prior to Submittal of Any Building Permit:**

- 10.** The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

□ Name: \_\_\_\_\_ Phone: \_\_\_\_\_

- 11.** The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths
- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

**Prior to Issuance of Any Building Permit:**

12. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.

**During Construction:**

13. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.

14. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

15. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.

16. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.

17. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.

18. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.

19. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.

20. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.

21. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.

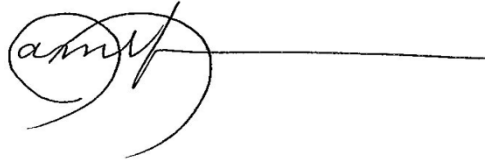
22. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

**Prior to Issuance of Occupancy Permit or Final Inspection:**

23. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
24. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **OCTOBER 8, 2014**.

**At All Times (Operation):**

25. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
26. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
27. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood.



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Prepared by: Pamela Johnson  
For Shannon Allen, AICP, Principal Planner



**INTRODUCTION**

THE EXISTING LOT HAS AN ONE-STORY SINGLE FAMILY HOUSE OF ABOUT 1115 SQUARE FEET WITH THREE BEDROOMS AND ONE BATH. THE PRESENT PROJECT PROPOSES TO REMODEL THE EXISTING HOUSE WITH FOUR BEDROOMS, THREE BATHS AND ONE TOILET OF ABOUT 2569 SQUARE FEET. THE EXISTING HOUSE SHALL BE ELEVATED AS THE SECOND FLOOR TO ACCOMMODATE ONE MASTER SUITE WITH AN OFFICE, TWO BEDROOMS AND A SHARED BATH. THE NEW GROUND LEVEL SHALL HAVE ONE MASTER SUITE, A LIVING ROOM, A DINING ROOM, A KITCHEN, A FAMILY ROOM, A LAUNDRY, A TOILET AND SOME UTILITY/STORAGE SPACES. THE GENERAL EXISTING HOUSE EXTERIOR ENVELOPE, SIDING AND WOOD DETAILS AT THE NEW SECOND FLOOR SHALL BE PRESERVED, EXCEPT THE CHANGE OF WINDOWS AND DOORS. THE SIDING, WINDOW AND DOOR TRIM DETAILS AT THE NEW GROUND FLOOR SHALL MATCH THOSE OF THE EXISTING.

THE EXISTING GARAGE AT REAR YARD SHALL REMAIN AND THE EXISTING SHED AT THE REAR YARD SHALL BE REMOVED. THERE IS NO CHANGE TO THE EXISTING STREET CURB FOR DRIVEWAY.

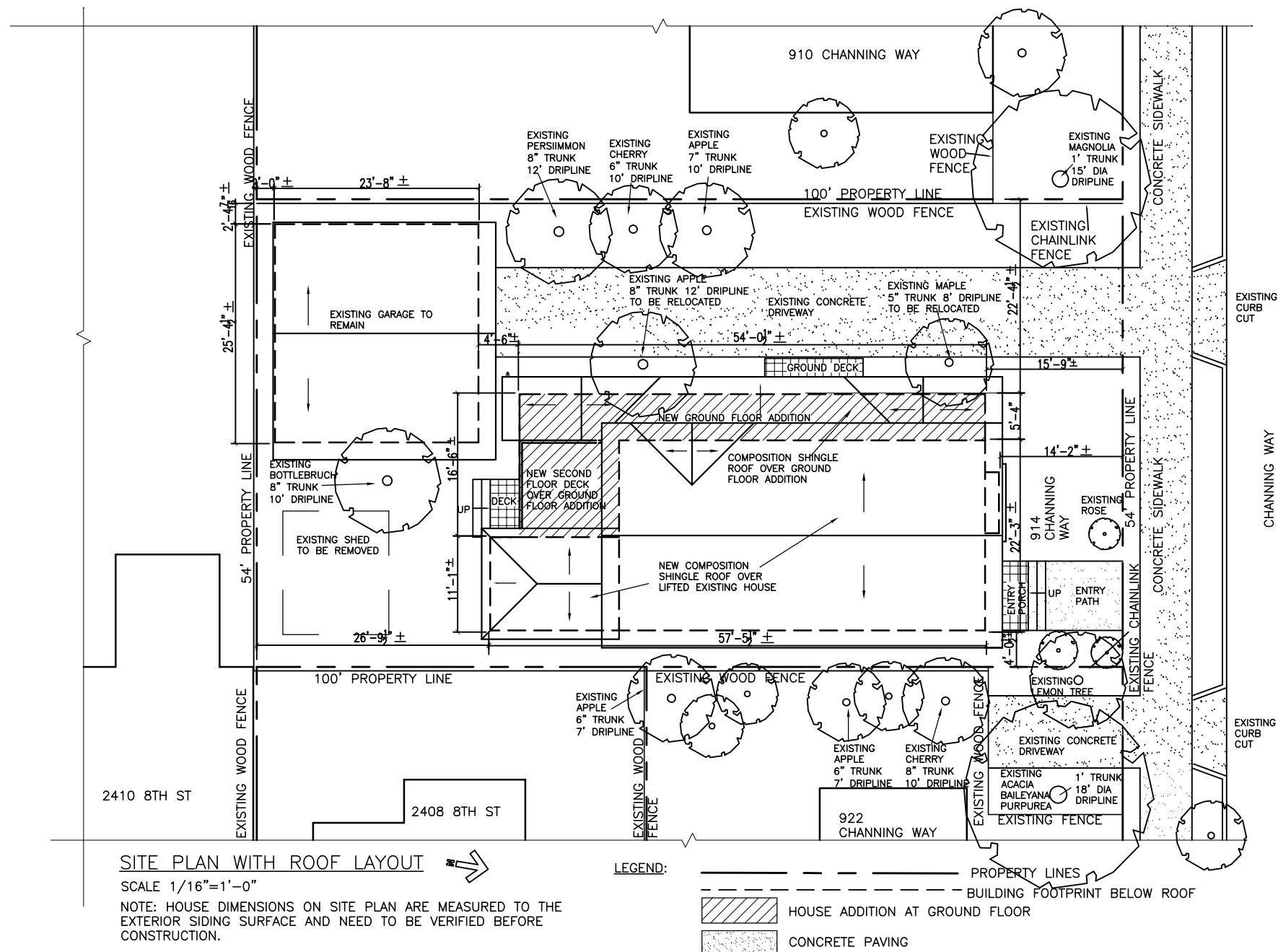
**DRAWING INDEX**

- SHEET 1: INTRODUCTION SITE PLAN, ZONING DATA
- SHEET 2: PROPOSED GROUND FLOOR PLAN
- SHEET 3: PROPOSED SECOND FLOOR PLAN
- SHEET 4: EXISTING FLOOR PLAN
- SHEET 5: HOUSE ELEVATIONS

**PROPOSED ZONING TABULATION DATA**

ZONING DISTRICT: R1A

|                               | EXISTING | PROPOSED | PERMITTED/<br>REQUIRED |
|-------------------------------|----------|----------|------------------------|
| <b>UNITS: PARKING SPACES</b>  |          |          |                        |
| NUMBER OF DWELLING UNITS (#)  | 1        | 1        | 2                      |
| NUMBER OF PARKING SPACES (#)  | 1        | 1        | 1                      |
| <b>YARDS AND HEIGHT</b>       |          |          |                        |
| FRONT YARD SETBACK (FT)       | 14.21    | 14.21    | 20                     |
| SIDE YARD SETBACKS LEFT: (FT) | 4        | 4        | 4                      |
| RIGHT: (FT)                   | 27.75    | 22.42    | 4                      |
| REAR YARD SETBACK (FT)        | 26.83    | 26.83    | 20                     |
| BUILDING HEIGHT (# STORIES)   | 1        | 2        | 3                      |
| AVERAGE (FT)                  | 16.1     | 27       | 28                     |
| MAXIMUM (FT)                  | 20.2     | 31       | 35                     |
| <b>AREA</b>                   |          |          |                        |
| LOT AREA (SQFT)               | 5400     | 5400     |                        |
| GROSS FLOOR AREA (SQFT)       | 1115     | 2569     |                        |
| BUILDING FOOTPRINT (SQFT)     | 1906     | 2135     | 2160                   |
| LOT COVERAGE (%)              | 35.3     | 39.5     | 40                     |
| USEABLE OPEN SPACE (SQFT)     | 748      | 1130     | 400                    |



**SITE PLAN WITH ROOF LAYOUT**

SCALE 1/16"=1'-0"

NOTE: HOUSE DIMENSIONS ON SITE PLAN ARE MEASURED TO THE EXTERIOR SIDING SURFACE AND NEED TO BE VERIFIED BEFORE CONSTRUCTION.

**LEGEND:**

- PROPERTY LINES
- HOUSE ADDITION AT GROUND FLOOR
- CONCRETE PAVING
- BUILDING FOOTPRINT BELOW ROOF

TO THE NEIGHBORS: PLEASE PROVIDE YOUR INFORMATION AND RESPONSES FOR THE PROJECT IN THE BLANK BOXES BELOW.

I have reviewed the plans for the 1454 square feet, 27' average high residential addition at 914 Channing Way.

| NAME (PRINTED) | SIGNATURE | ADDRESS | RENTER OR OWNER | DATE             | HAVE NO OBJECTIONS | HAVE OBJECTIONS (PLEASE STATE BRIEFLY) | HAVE NO COMMENT |
|----------------|-----------|---------|-----------------|------------------|--------------------|--|-----------------|
|                |           |         |                 | January 27, 2015 |                    |  |                 |
|                |           |         |                 |                  |                    |  |                 |
|                |           |         |                 |                  |                    |  |                 |
|                |           |         |                 |                  |                    |  |                 |
|                |           |         |                 |                  |                    |  |                 |
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|                |           |         |                 |                  |                    |  |                 |
|                |           |         |                 |                  |                    |  |                 |
|                |           |         |                 |                  |                    |  |                 |

**PLANS APPROVED by**

**January 27, 2015**

SIGNATURE DATE

\*AUP Findings and Conditions Attached

REVISIONS

PROJECT: HOUSE REMODEL

PROJECT ADDRESS: 914 CHANNING WAY BERKELEY, CALIFORNIA

SHEET TITLE: INTRODUCTION SITE PLAN, ZONING DATA

ARCHITECT: Y. M. CHUNG 2416 DODDGE AVE. PINNACLE, CA 94564 TEL: 510-364-4539

DATE: 8-12, 2014

SCALE: 1/16"=1'-0"

DRAWN: Y.M.CHUNG

JOB: 0314

SHEET: 1 OF 5 SHEETS

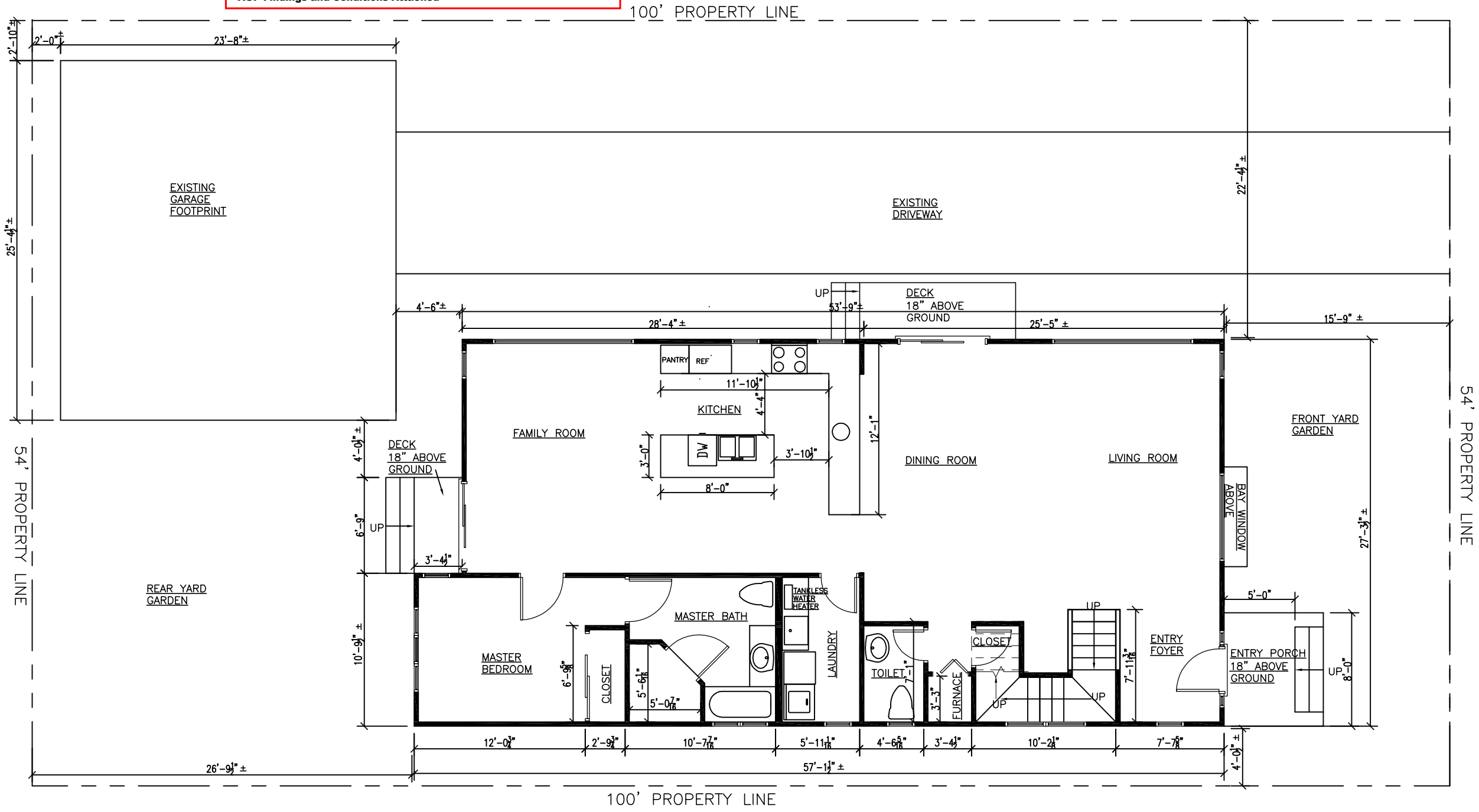
**PLANS APPROVED by**

*amy*

**January 27, 2015**

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

**\*AUP Findings and Conditions Attached**



**GROUND FLOOR PLAN**

SCALE 1/8"=1'-0"



LEGEND  
PROPERTY LINE - - - - -  
NEW WALLS - - - - -

NOTE: HOUSE DIMENSIONS ARE MEASURED TO THE FACE OF STUDS, YARD DIMENSIONS ARE MEASURED TO THE FACE OF EXTERIOR FINISHES AND SHALL BE VERIFIED BEFORE CONSTRUCTION.

REVISIONS

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PROJECT:  
HOUSE  
REMODEL

PROJECT ADDRESS:  
914 CHANNING WAY  
BERKELEY, CALIFORNIA

SHEET TITLE:  
PROPOSED GROUND FLOOR PLAN

ARCHITECT  
Y. M. CHUNG  
2416 DODDGE AVE.  
PINOLE, CA 94564  
TEL: 510-364-4539

DATE  
8-12, 2014

SCALE  
1/8"=1'-0"

DRAWN  
Y.M.CHUNG

JOB  
0314

SHEET  
OF 2

SHEETS  
5

REVISIONS

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PROJECT:  
HOUSE  
REMODEL

PROJECT ADDRESS:  
914 CHANNING WAY  
BERKELEY, CALIFORNIA

SHEET TITLE:  
PROPOSED SECOND FLOOR PLAN

ARCHITECT  
Y. M. CHUNG  
2416 DODDGE AVE.  
PINDLE, CA 94564  
TEL: 510-364-4539

DATE  
8-12, 2014

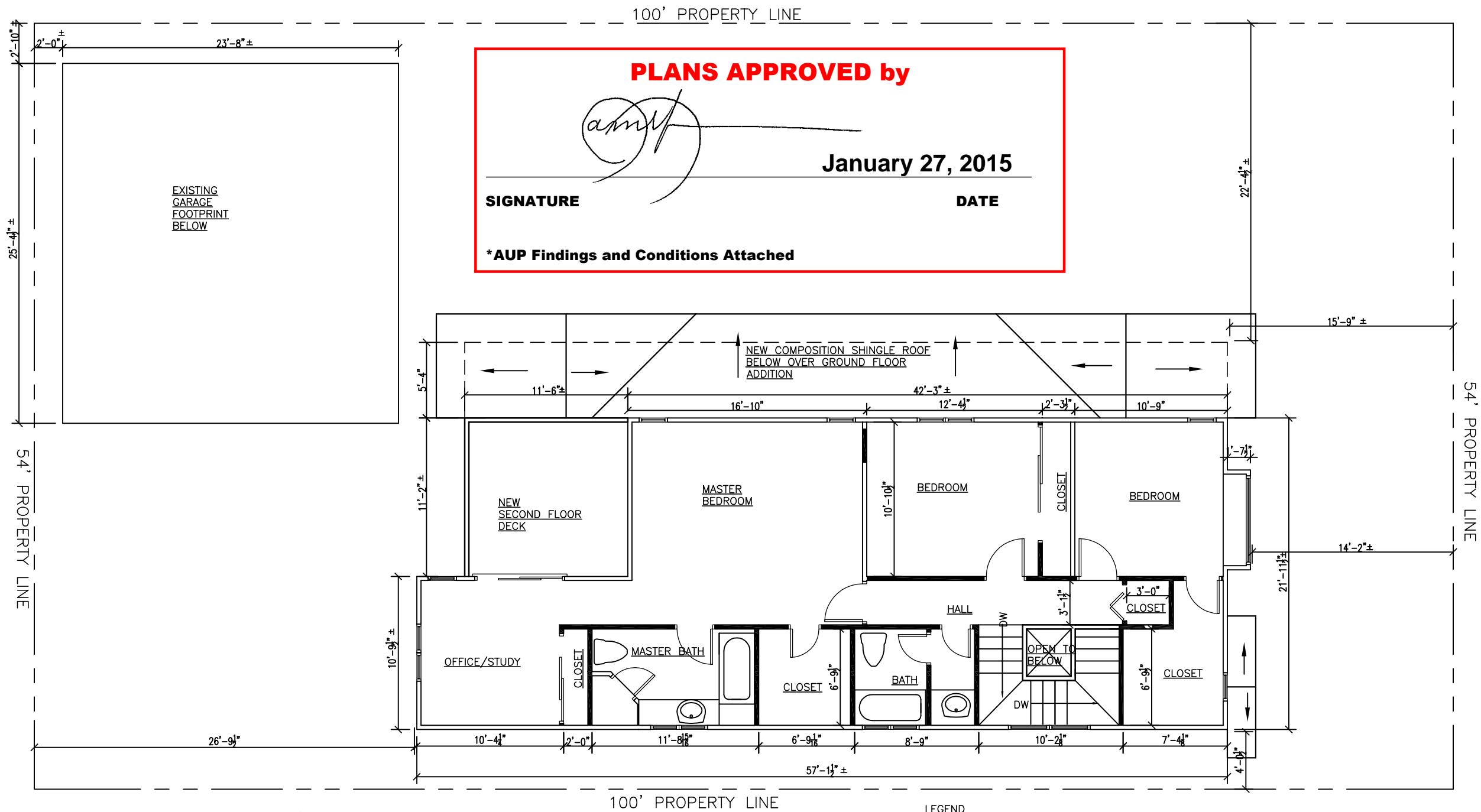
SCALE  
1/8"=1'-0"

DRAWN  
Y.M.CHUNG

JOB  
0314

SHEET  
OF 3

SHEETS  
5



100' PROPERTY LINE

**PLANS APPROVED by**  
*amf*  
**January 27, 2015**  
SIGNATURE DATE  
**\*AUP Findings and Conditions Attached**

NEW COMPOSITION SHINGLE ROOF  
BELOW OVER GROUND FLOOR  
ADDITION

NEW  
SECOND FLOOR  
DECK

MASTER  
BEDROOM

BEDROOM

BEDROOM

OFFICE/STUDY

MASTER BATH

BATH

HALL

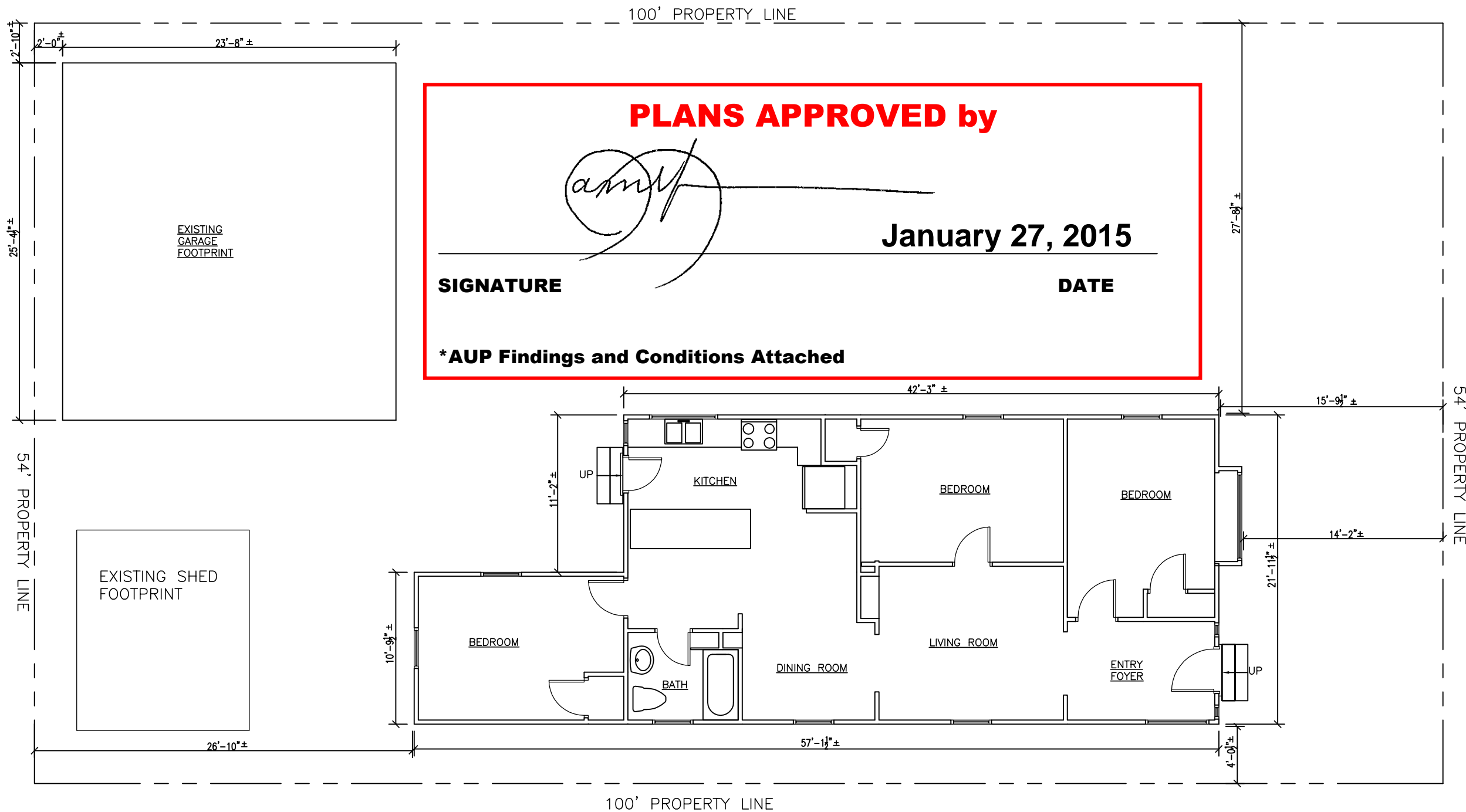
OPEN TO  
BELOW

100' PROPERTY LINE

LEGEND  
PROPERTY LINE  
BUILDING FOOTPRINT BELOW ROOF  
NEW WALLS  
EXISTING WALL TO REMAIN

**SECOND FLOOR PLAN**  
SCALE 1/8"=1'-0"  
NOTE: HOUSE DIMENSIONS ARE MEASURED TO THE FACE OF STUDS, YARD DIMENSIONS ARE MESURED TO THE FACE OF EXTERIOR FINISHES AND SHALL BE VERIFIED BEFORE CONSTRUCTION.





**EXISTING FLOOR PLAN**  
SCALE 1/8"=1'-0"



NOTE: HOUSE DIMENSIONS ARE MEASURED TO THE FACE OF STUDS, YARD DIMENSIONS ARE MESURED TO THE FACE OF EXTERIOR FINISHES AND SHALL BE VERIFIED BEFORE CONSTRUCTION.

|                  |  |
|------------------|--|
| REVISIONS        |  |
|                  |  |
|                  |  |
|                  |  |
|                  |  |
| PROJECT:         | HOUSE REMODEL  |
| PROJECT ADDRESS: | 914 CHANNING WAY<br>BERKELEY, CALIFORNIA                                 |
| SHEET TITLE:     | EXISTING FLOOR PLAN  |
| ARCHITECT:       | Y. M. CHUNG<br>2416 DOIDGE AVE.<br>PINOLE, CA 94564<br>TEL: 510-364-4539 |
| DATE:            | 8-10-2014  |
| SCALE:           | 1/8"=1'-0"   |
| DRAWN:           | Y.M.CHUNG  |
| JOB:             | 0314   |
| SHEET:           | 4  |
| OF SHEETS:       | 5  |

**TYPICAL EXTERIOR FINISHES**

1. ROOF: COMPOSITION SHINGLE ROOFING
2. ROOF ACCESSORY ELEMENTS: ROOF EAVE FACIA AND CORBEL TO MATCH EXISTING
3. WALL: PAINTED WOOD SIDING TO MATCH EXISTING
4. WINDOW: FIBERGLASS DOUBLE GLAZING, LOW-E WINDOW AND DOORS
5. WINDOW TRIM: PAINTED REDWOOD TRIM
6. PAINTED ALUMINUM METAL SCUPPER, GUTTER AND DOWNSPOUT

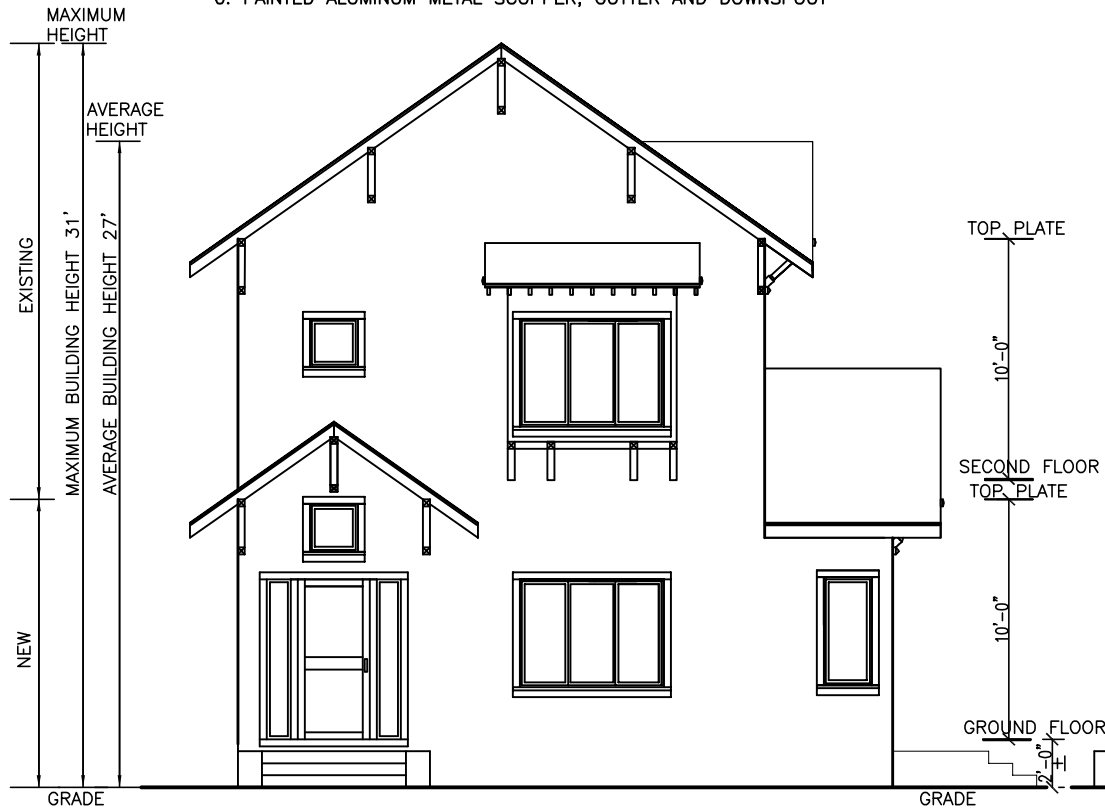
**PLANS APPROVED by**

**January 27, 2015**

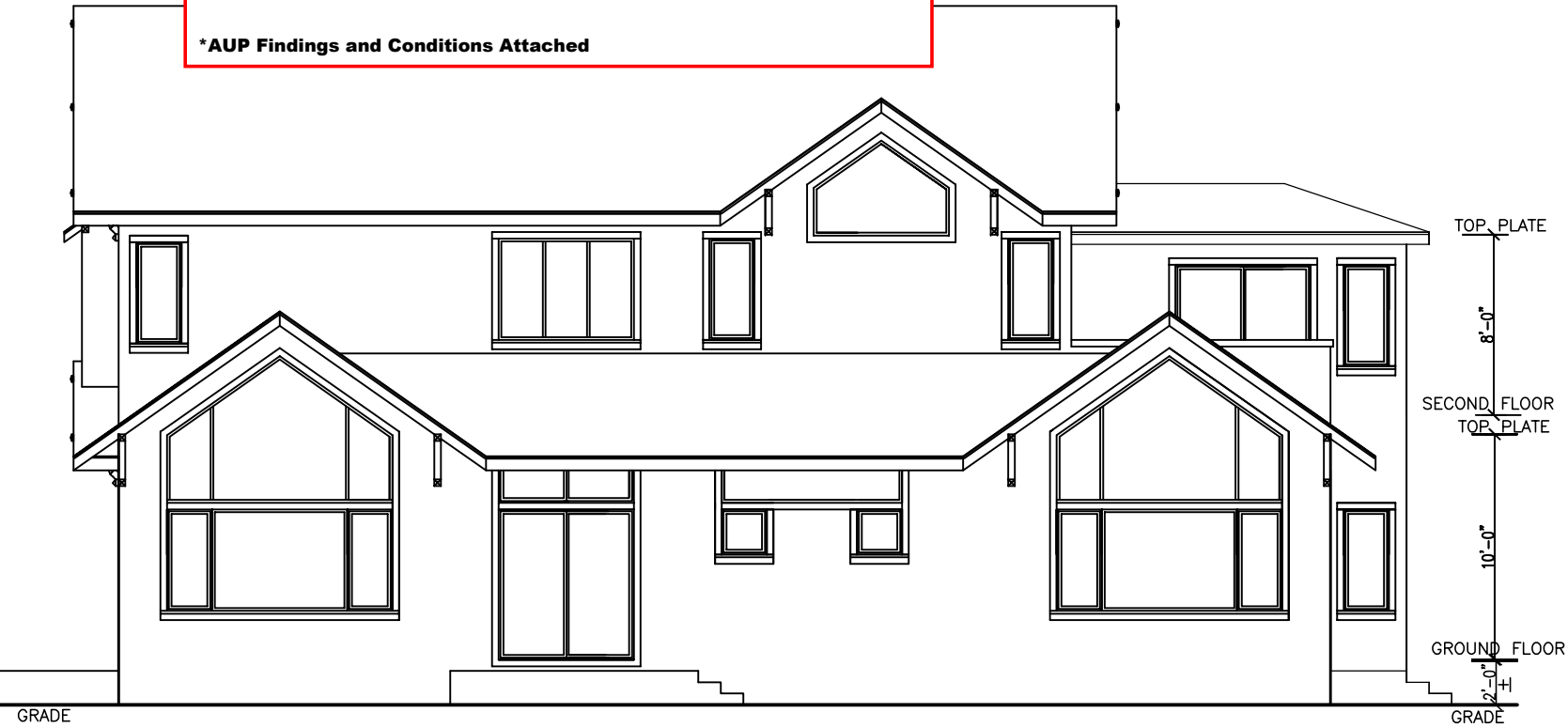
**SIGNATURE**

**DATE**

**\*AUP Findings and Conditions Attached**



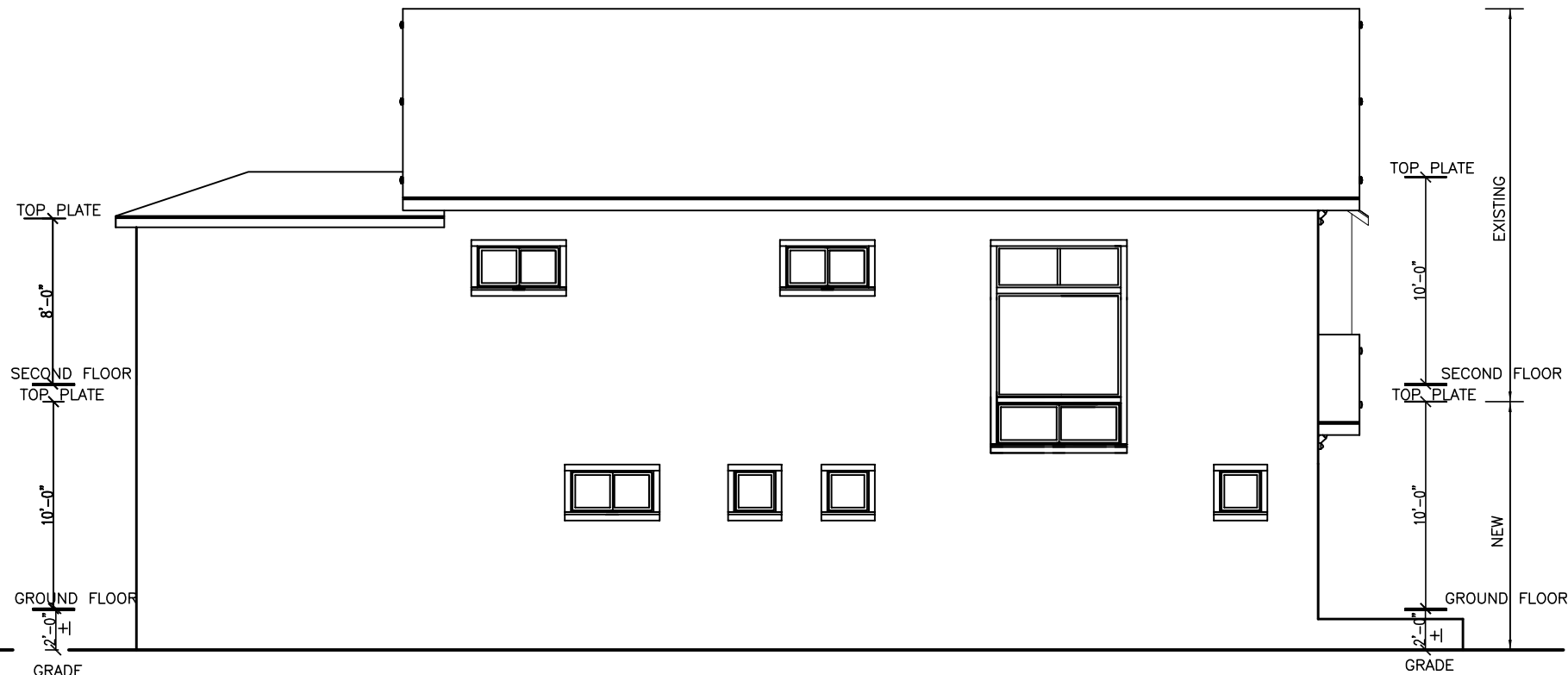
**FRONT (NORTH) ELEVATION**



**RIGHT (WEST) ELEVATION**



**REAR (SOUTH) ELEVATION**



**LEFT (EAST) ELEVATION**

**REVISIONS**

| NO. | DESCRIPTION |
|-----|-------------|
|     |             |
|     |             |
|     |             |

**PROJECT:**  
HOUSE  
REMODEL

**PROJECT ADDRESS:**  
914 CHANNING WAY  
BERKELEY, CALIFORNIA

**SHEET TITLE:**  
ELEVATIONS

**ARCHITECT**  
Y. M. CHUNG  
2416 DODDGE AVE.  
PINDLE, CA 94564  
TEL: 510-364-4539

**DATE**  
8-12-2014

**SCALE**  
1/8"=1'-0"

**DRAWN**  
Y.M.CHUNG

**JOB**  
0314

**SHEET**  
OF 5

**SHEETS**  
5