



Planning and Development Department
Land Use Planning

U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code Title 23

USE PERMIT # UP2014-0023

Property Address: **2721 SHATTUCK AVENUE**

Permittee Name: **SPRINT
c/o Misako Hill**

Use and/or Construction Permitted:

to include one microwave dish, attached to an existing mechanical penthouse on an existing four-story commercial building, for an existing Sprint wireless telecommunication facility.

- Use Permit to modify an existing telecommunication facility adjacent to a Residential Zoning District, under BMC Section 23C.17.100.A.2

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

The Use Permit herein described has been duly granted by the Zoning Adjustments Board and is in effect on October 2, 2014.

ATTACHMENT 1

FINDINGS AND CONDITIONS

SEPTEMBER 11, 2014

2721 Shattuck Avenue

Use Permit #UP2014-0023 to modify Use Permit #04-10000068 to include one microwave dish, concealed behind and existing rooftop antenna screen for an existing Sprint wireless telecommunication facility.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines (“Existing Facilities”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

GENERAL NON-DETRIMENT FINDING

2. Pursuant to Berkeley Municipal Code Section 23B.32.040, the Zoning Adjustments Board finds that the proposed project, under the circumstances of the particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the area or neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City, for the following reasons:
 - A. A report submitted by the applicant and prepared by EBI Consulting concludes that the Sprint wireless telecommunication modification and the other existing wireless telecommunication facilities at the site (Verizon and T-Mobile), will comply with the Federal Communications Commission (FCC) standards for limiting human exposure to radio frequency energy. The measures recommended in the report are incorporated in the conditions of approval for the project.
 - B. A report commissioned by the City and prepared by RCC Consultants concurs with the analysis and conclusions of the EBI report.
 - C. The proposed microwave dish is compatible with the existing building and will not be readily visible. Design Review Staff reviewed the project and granted approval subject to conditions which are incorporated in the conditions of approval for the project.

OTHER REQUIRED FINDINGS

3. Pursuant to Berkeley Municipal Code Section 23C.17.100.B.1, the Zoning Adjustments Board finds that the project *is consistent with the general requirements of this chapter and any specific requirements applicable* because the project meets the provisions of the 2002 General Plan, particularly Policy LU-7 Neighborhood Quality of Life, Action A, Policy UD-16 Context, and Policy UD-24 Area Character.
4. Pursuant to Berkeley Municipal Code Section 23C.17.100.B.2, the Zoning Adjustments Board finds that project “*will comply with all applicable state and Federal standards and requirements*” for the following reasons:
 - A. A report submitted by the applicant and prepared by EBI Consultants concludes that the Sprint modification will comply with the FCC standards for limiting human exposure to radio frequency energy; and
 - B. An independent licensed engineer peer reviewed the submitted RF report and concurs with its analysis and conclusion that the proposed modification will comply with the FCC guidelines for radio frequency emissions.
5. Pursuant to Berkeley Municipal Code Section 23C.17.100.B.2.a, and 23C.17.100.C, the Zoning Adjustments Board finds that the modification “*is not readily visible*” because the microwave dish is mounted onto an existing penthouse, painted to match the penthouse, is 12” in diameter and it is unlikely that an individual will be able to discern the microwave dish on the penthouse, 70’7” in height above ground level, the dish does not exceed 39” in diameter, and the design has received Design Review approval.
6. Pursuant to Berkeley Municipal Code Section 23C.17.100.B.3, the Zoning Adjustments Board finds that modification “*is necessary to prevent a significant gap in coverage or capacity shortfall in the applicant’s service area, and is the least intrusive means of doing so*” because RCC independently reviewed the Sprint proposal and concluded that the modification is necessary to support the existing Sprint facility, particularly in order to accommodate the 4G Long Term Evolution (LTE) service deployed by Sprint for voice and data traffic.
7. Pursuant to Berkeley Municipal Code Section 23C.17.100.B.4, the Zoning Adjustments Board finds that Sprint, the wireless carrier, is in compliance with Sections 23C.17.090.A.1 and 23C.17.090.A.2 by providing written certification that each Sprint facility in the City of Berkeley is operating in accordance with the approved local and federal permits, providing contact information for Sprint, and providing written certification by a licensed professional engineer that new facilities’ radio frequency emissions are in compliance with the approved application and any required conditions.

STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the first sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title ‘Use Permit

Conditions'. The second sheet may also be used if the first sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is approved is permitted unless the Permit is modified by the Zoning Adjustments Board, in conformance with Section 23B.56.020.A.

Changes in the plans for the construction of a building or structure may be modified prior to the completion of construction, in accordance with Section 23B.56.020.D. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project. The Zoning Officer may also approve a maximum two-foot variation to Board approved plans, provided that such variation does not increase a structure's height, reduce the minimum distance to any property line, and/or conflict with any special objective sought by the Board.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as expressly specified herein, the site plan, floor plans, building elevations and any additional information or representations submitted by the applicant during the Staff review and public hearing process leading to the approval of this Permit, whether oral or written, which indicated the proposed structure or manner of operation are deemed conditions of approval.

6. Subject to all City and Other Regulations (Section 23B.56.040)

The approved use and/or construction are subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8 below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has (1) applied for a building permit or (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS OF APPROVAL

Pursuant to BMC Section 23B.32.040.D, the Zoning Adjustments Board attaches the following conditions to this Permit:

Prior to Issuance of Any Building Permit

10. Prior to issuance of a building permit, the applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit this record to the project planner upon request.

- Noise Management Individual _____
Name Phone #

11. The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths
- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

12. Project requires approval of a Final Design Review application by the Design Review Planner.

13. The applicant shall provide signage identifying the name and phone number of a party to contact in event of an emergency. The design, materials, colors and location of signs shall be subject to Design Review approval. The plans submitted for a building permit shall include a sample of the proposed emergency sign(s) as well as the warning signs as required in COA #26 below, as well as the location for posting such signs.

14. The applicant shall either secure a bond or provide financial assurances in a form acceptable to the City Manager for the removal of the facility in the event that its use is abandoned or the approval is otherwise terminated.

15. Prior to issuance of a building permit to erect or install the microwave dish, the applicant shall submit to the Zoning Officer for review and approval a written compliance-monitoring plan. The plan shall include:

- A. Contact information for the individual empowered to manage compliance with this Use Permit. The Zoning Officer shall be notified if this information changes; and
- B. Timing of deliverables (including acoustical study if required, reports on compliance with FCC standards) required by conditions of this Use Permit).

During Construction:

16. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
17. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
18. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
19. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
20. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
21. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
22. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
23. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.

Prior to Final Inspection or Issuance of Occupancy Permit:

24. The project shall conform to the plans and statements in the Use Permit.
25. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated May 16, 2014.

At All Times:

26. The conditions recommended by EBI Consultants in the May 7, 2014 evaluation of the facility for radio frequency fields, and any subsequent engineering recommendations, shall be implemented including:
 - A. There shall be no access within eight (8) feet for the general public and within two (2) for occupational purposes directly in front of the antennas while the site is in operation, unless other measures can be demonstrated to ensure that occupational protection requirements are met; and

- B. Warning signs shall be posted in front of each sector in front of the antennas, such that the signs are readily visible from any angle of approach to persons who might need to work within that distance. The signs shall comply with OET-65 color, symbol, and content recommendations. Contact information should be provided on the signs (e.g. a telephone number) to arrange access to restricted areas.
- 27.** Signage identifying the name and phone number of the individual to contact in the event of an emergency shall be installed at the project site (see Condition #13 above).
- 28.** All landscape, site and architectural improvements shall be completed per the approved plans for Use Permit #04-10000068, plans dated January 15, 2007 and received on January 19, 2007, except for the following changes/clarifications:
- A. Any cable-trays (including for other carriers) on the eastern elevation shall be grouped and run through the parapet, not over it;
 - B. Coax cables shall be routed internally from the equipment room to the east elevation so that it will not be exposed on the southern (Ward Street) elevation; and
 - C. Condensers for air-conditioning equipment shall be located on the roof to resolve issues with louvers and possible noise effects on Ward Street; and
 - D. The wireless telecommunication storage area shall not be on the ground floor so that required off-street parking for the building can be maintained.
- 29.** Subject to review and approval by the Zoning Officer, future changes to or replacement of the wireless equipment shall be permitted through issuance of a Zoning Certificate, rather than a Modification of the Use Permit, so long as the proposed changes are not detrimental, comply with performance standards within this Use Permit (e.g. noise levels, visual appearance, and RF standards), do not increase the size or visibility of any legally established wireless telecommunication facility, and complies with the FCC's MPE limits for electric and magnetic field strength and power density for transmitters within the designated equipment area.
- 30.** The wireless telecommunications facility and related equipment, including lighting, fences, shields, cabinets, and poles, shall be maintained in good repair, free from trash, debris, litter and graffiti and other forms of vandalism, and any damage from any cause shall be repaired as soon as reasonably possible so as to minimize occurrences of dangerous conditions or visual blight. Graffiti shall be removed from any facility or equipment as soon as practicable, and in no instance more than forty-eight (48) hours from the time of notification by the city.
- 31.** The wireless telecommunications facility shall be operated in a manner that will minimize noise impacts to surrounding residents and persons using nearby parks, trails, and similar recreation areas. Except for emergency repairs, testing and maintenance activities that will be audible beyond the property line shall only occur between the hours of 8:00 am and 7:00 pm on Monday through Friday, excluding holidays. All air conditioning units and any other equipment that may emit noise that would be audible from beyond the property line shall be enclosed or equipped with noise attenuation devices. Backup generators shall only be operated during periods of

power outages or for testing. At no time shall equipment noise from any source exceed the standards specified in the Berkeley Community Noise Ordinance (BMC Chapter 13.40).

32. The exterior walls and roof covering of all aboveground equipment shelters and cabinets shall be constructed of materials rated as nonflammable in the Uniform Building Code.
33. Openings in all aboveground equipment shelters and cabinets shall be protected against penetration by fire and windblown embers to the extent feasible.
34. Material used as supports for antennas shall be fire resistant, termite proof, and subject to all applicable requirements of the California Building Code.
35. Telecommunications antenna towers shall be designed to withstand forces expected during earthquakes to the extent feasible. Building-mounted facilities shall be anchored so that an earthquake does not dislodge them or tip them over. All equipment mounting racks and attached equipment shall be anchored so that a quake would not tip them over, throw equipment off its shelves, or otherwise damage equipment.
36. All connections between various components of the wireless telecommunications facility and necessary power and telephone lines shall, to the extent feasible, be protected against damage by fire, flooding, and earthquake. Reasonable measures shall be taken to keep wireless telecommunication facilities in operation in the event of a natural disaster.
37. Routine maintenance and repairs shall be limited to 8:00 a.m. to 7:00 p.m. Monday through Friday, excluding Holidays.
38. No wireless telecommunications facility or combination of facilities shall at any time produce power densities that exceed the FCC's limits for electric and magnetic field strength and power density for transmitters. In order to ensure continuing compliance with all applicable emission standards, all wireless telecommunications facilities shall be reviewed by an approved engineer-in accord with the schedule and procedures set forth in Section 23C.17.090. All reasonable costs of such inspections shall be borne by the owner or operator of the facility. The City may require, at the operator's expense, independent verification of the results of any analysis. If an operator of a telecommunications facility fails to supply the required reports or fails to correct a violation of the Federal Communications Commission standard following notification, the Use Permit is subject to modification or revocation by the Zoning Adjustments Board following a public hearing.
39. Within forty five (45) days of initial operation or modification of a telecommunications facility, the operator of each telecommunications antenna shall submit to the Zoning Officer written certification by an approved engineer that the facility's radio frequency emissions are in compliance with the approved application and any required

conditions. The engineer shall measure the radio frequency radiation of the approved facility and determine if it meets the FCC requirements. A report of these measurements and the engineer's findings with respect to compliance with the FCC's MPE limits shall be submitted to the Zoning Officer. If the report shows that the facility does not comply with applicable FCC requirements, the owner or operator shall cease operation of the facility until the facility complies with, or has been modified to comply with, this standard. Proof of compliance shall be a certification provided by the engineer who prepared the original report. In order to assure the objectivity of the analysis, the City may require, at the applicant's expense, independent verification of the results of the analysis.

40. Hereafter, prior to January 31 of every year, an authorized representative for each wireless carrier providing service in the City of Berkeley shall provide written certification to the City that each facility is being operated in accordance with the approved local and federal permits and shall provide the current contact information.
41. Once every two years, the City may retain, at the operator's expense, an approved engineer to conduct an unannounced spot check of the facility's compliance with applicable FCC radio frequency standards.
42. In the event of a change in the FCC's Maximum Permissible Exposure (MPE) limits for electric and magnetic field strength and power density for transmitters, the operator of the facility shall be required to submit to the Zoning Officer written certification by an approved engineer of compliance with applicable FCC radio frequency standards within 90 days of any change in applicable FCC radio frequency standards or of any modification of the facility requiring a new submission to the FCC to determine compliance with emission standards. If calculated levels exceed 50% of the FCC's MPE limits, the operator of the facility shall hire an approved engineer to measure the actual exposure levels. If calculated levels are not in compliance with the FCC's MPE limit, the operator shall cease operation of the facility until the facility is brought into compliance with the FCC's standards and all other applicable requirements. A report of these calculations, required measurements, if any, and the engineer's findings with respect to compliance with current MPE limits shall be submitted to the Zoning Officer.
43. If the Zoning Officer at any time finds that there is good cause to believe that a telecommunications antenna is not in compliance with applicable FCC radio frequency standards, he/she may require the operator to submit written certification that the facility is in compliance with such FCC standards.
44. Within thirty (30) days of cessation of operations of any wireless telecommunications facility approved pursuant to this chapter, the operator shall notify the Zoning Officer in writing. The permit for said wireless telecommunications facility shall be deemed lapsed and of no further effect six (6) months thereafter unless:
 - A. The Zoning Officer has determined that the same operator resumed operation within six (6) months of the notice; or

B. The City has received an application to transfer the permit to another operator.

45. No later than thirty (30) days after a permit has lapsed under the preceding condition of approval, the operator shall remove all wireless telecommunication facilities from the site. If the operator fails to do, the property owner shall be responsible for removal, and may use any bond or other assurances provided by the operator pursuant to the requirements of Section 23C.17.050 to do so. If such facilities are not removed, the site shall be deemed to be a nuisance pursuant to Section 23B.64 and the City may call the bond to pay for removal.
46. Failure to inform the Zoning Officer of cessation of operations of any existing facility shall constitute a violation of the Zoning Ordinance and be grounds for:
 - A. Prosecution;
 - B. Revocation or modification of the permit;
 - C. Calling of any bond or assurance secured by the operator pursuant to the requirements of Section 23C.17.050; and/or
 - D. Removal of the facilities.
47. Any FCC-licensed telecommunications carrier that is buying, leasing, or considering a transfer of ownership of an already approved facility, shall provide written notification to the Zoning Officer and request transfer of the existing Use Permit. The Zoning Officer may require submission of any supporting materials or documentation necessary to determine that the proposed use is in compliance with the existing Use Permit and all of its conditions including, but not limited to, statements, photographs, plans, drawings, models, and analysis by a State-licensed radio frequency engineer demonstrating compliance with all applicable regulations and standards of the Federal Communications Commission and the California Public Utilities Commission. If the Zoning Officer determines that the proposed operation is not consistent with the existing Use Permit, he/she shall notify the applicant who may revise the application or apply for modification to the Use Permit pursuant to the requirements of Section 23B.56.
48. The applicant shall be responsible for paying all costs (including City staff time) associated with monitoring and/or enforcement of the above conditions. Fees shall be based on the adopted City fee schedule in place at the time the work is performed or action is taken.
49. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
50. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.



SITE NAME: GROCERY ON WARD

SITE NUMBER: SF74XC410-A
MARKET NAME: SF BAY
NETWORK VISION MM LAUNCH

ADDRESS: 2721 SHATTUCK AVE
BERKELEY, CA 94704
ALAMEDA COUNTY

SITE TYPE: EXISTING BUILDING

RECEIVED
AUG 28 2014
LAND USE PLANNING

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD
Carell Johnson
September 11, 2014
SIGNATURE DATE
* Findings and Conditions Attached



PROJECT NO:
DRAWN BY: RF
CHECKED BY: DVA

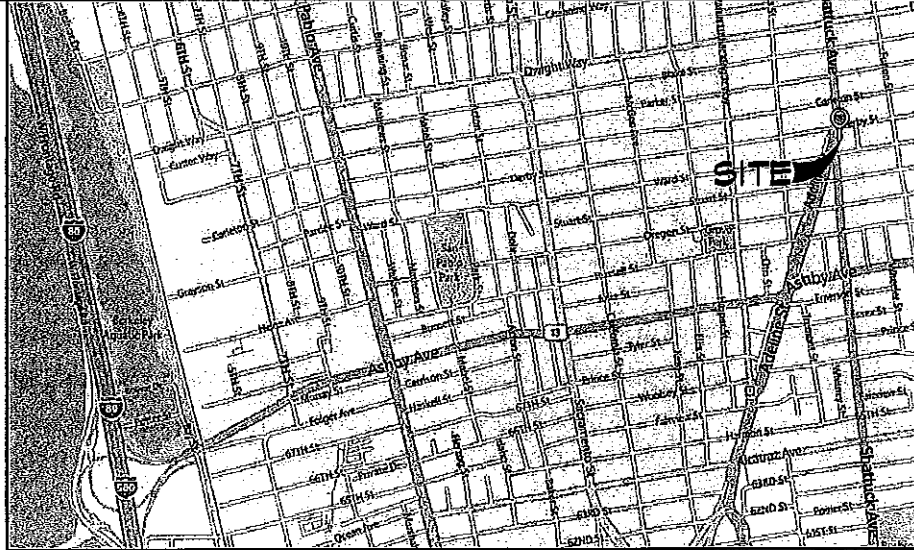
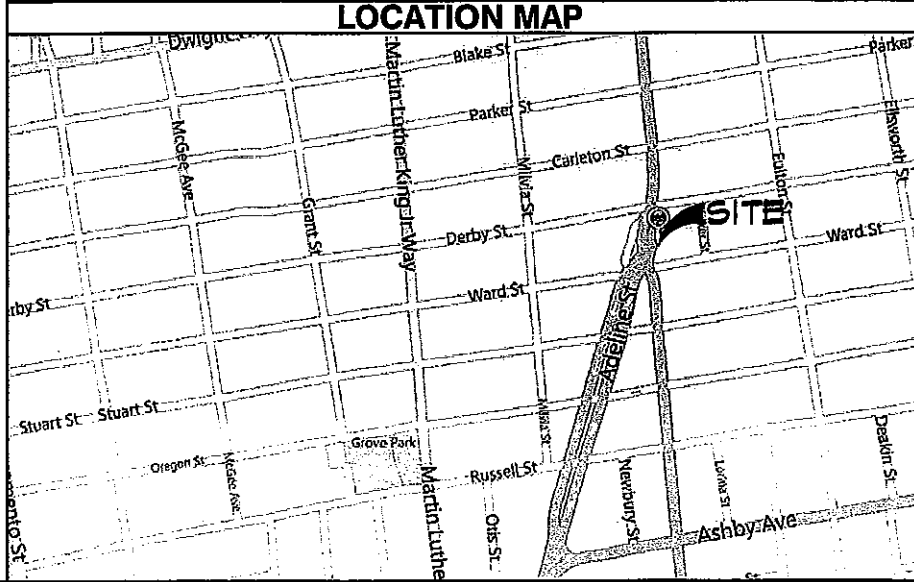
REV	DATE	DESCRIPTION
0	06/24/2011	100% ZD'S FOR SUBMITTAL
A	06/02/2011	90% ZD'S ISSUED FOR REVIEW

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY'RE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

SF74XC410-A
GROCERY ON WARD
2721 SHATTUCK AVE
BERKELEY, CA 94704

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

SITE INFORMATION	AREA MAP	APPLICABLE CODES	DRAWING INDEX
<p>SITE ADDRESS: 2721 SHATTUCK AVE BERKELEY, CA 94704</p> <p>PROPERTY OWNER: UC STORAGE LLC 2116 ALLSTON WAY #1 BERKELEY, CA 94704 CONTACT: EDDIE MACIEL PH: (510) 883-2000</p> <p>APPLICANT REPRESENTATIVE: MISAKO HILL CORTEL, LLC 1075 45TH STREET EMERYVILLE, CA 94608 EMAIL: MISAKO.HILL@CORTEL-LLC.COM PH: (415) 533-2540</p> <p>CONSTRUCTION MANAGER: KEVIN P. FOSTER OVERLAND CONTRACTING 2999 OAK ROAD SUITE 490 WALNUT CREEK, CA 94597 PHONE: (650) 281-4675 EMAIL: FosterKP@overlandcontracting.com</p> <p>EQUIPMENT SUPPLIER: SAMSUNG TELECOMMUNICATIONS AMERICA (STA) 1301 EAST LOOKOUT DRIVE RICHARDSON, TX 75082-4124 (972) 761-7000</p> <p>COUNTY: ALAMEDA</p> <p>APN 54171903700</p> <p>ZONING C-2 SOUTH AREA COMMERCIAL</p> <p>ELEVATION: 154' AMSL ELEV.</p> <p>LATITUDE (NAD83): 37.859644</p> <p>LONGITUDE (NAD83): -122.266667</p> <p>POWER COMPANY: PG&E</p> <p>TELCO COMPANY: TBD</p>	 <p style="text-align: center;">LOCATION MAP</p> 	<p>ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES: 2010 CALIFORNIA BUILDING CODE 2010 CALIFORNIA MECHANICAL CODE 2010 CALIFORNIA PLUMBING CODE 2010 CALIFORNIA ELECTRICAL CODE</p> <p>IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.</p> <p style="text-align: center;">PROJECT DESCRIPTION</p> <p>THE PROJECT SHALL INCLUDE: MODIFICATION AND ADDITION OF EQUIPMENT WITHIN THE EXISTING EQUIPMENT ROOM/LEASE AREA: INSTALL (2) NEW EQUIPMENT CABINETS REPLACEMENT AND ADDITIONAL INSTALLATION OF PROPOSED ANTENNAS BEHIND (E) RF TRANSPARENT SCREEN: INSTALL (6) NEW ANTENNAS INSTALLATION OF ASSOCIATED EQUIPMENT/CABLING ON THE EXISTING SITE: INSTALL (1) NEW GPS ANTENNA ON (E) PENTHOUSE INSTALL (9) NEW RRU'S MOUNTED ON (E) PENTHOUSE INSTALL (9) NEW FILTERS MOUNTED BEHIND ON (E) PENTHOUSE RE-ROUTE/INSTALL EXISTING OR NEW CABLING FROM EXISTING OR NEW EQUIPMENT TO THE ANTENNAS WITHIN (E) CABLE TRAY</p> <p style="text-align: center;">DRIVING DIRECTIONS FROM NEAREST AIRPORT</p> <p>FROM SFO AIRPORT: TAKE US-101 N TOWARD SAN FRANCISCO., KEEP RIGHT TO TAKE I-80 E TOWARD BAY BRIDGE/OAKLAND., MERGE ONTO ASHBY AVE/CA-13 VIA EXIT 10., TURN SLIGHT LEFT ONTO ADELINE ST., ADELINE ST BECOMES SHATTUCK AVE. #2721 SHATTUCK AVE IS ON THE RIGHT.</p>	<p>T-1 TITLE SHEET A-1 SITE PLAN A-2 EQUIPMENT LAYOUT PLANS A-3 ELEVATIONS A-4 ELEVATIONS A-5 ELEVATIONS A-6 ELEVATIONS A-7 ANTENNA LAYOUT & SCHEDULE D-1 EQUIPMENT DETAILS D-2 ANTENNA, RRU & FILTER DETAILS</p> <p style="text-align: center;">ENGINEER OF RECORD</p> <p>ZALZALI & ASSOCIATES INC. 2070 BUSINESS CENTER DR. STE 290 IRVINE, CA 92612 ENGINEER: WISSAM ZALZALI (P.E.# C71655) PHONE: (949) 609-9559 PM: DEAN WALKER PHONE: (714) 230-5714 www.zalzalilandassociates.com</p>

NOTE:
1. PROPERTY LINES SHOWN ARE PRELIMINARY AND DONE WITHOUT THE BENEFIT OF A SITE SURVEY



PROJECT NO:	
DRAWN BY:	RF
CHECKED BY:	DH

REV	DATE	DESCRIPTION
0	08/24/2011	100% ID'S FOR SUBMITTAL
A	08/02/2011	90% ID'S ISSUED FOR REVIEW

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GROCERY ON WARD
2721 SHATTUCK AVE
BERKELEY, CA 94704

SHEET TITLE
SITE PLAN

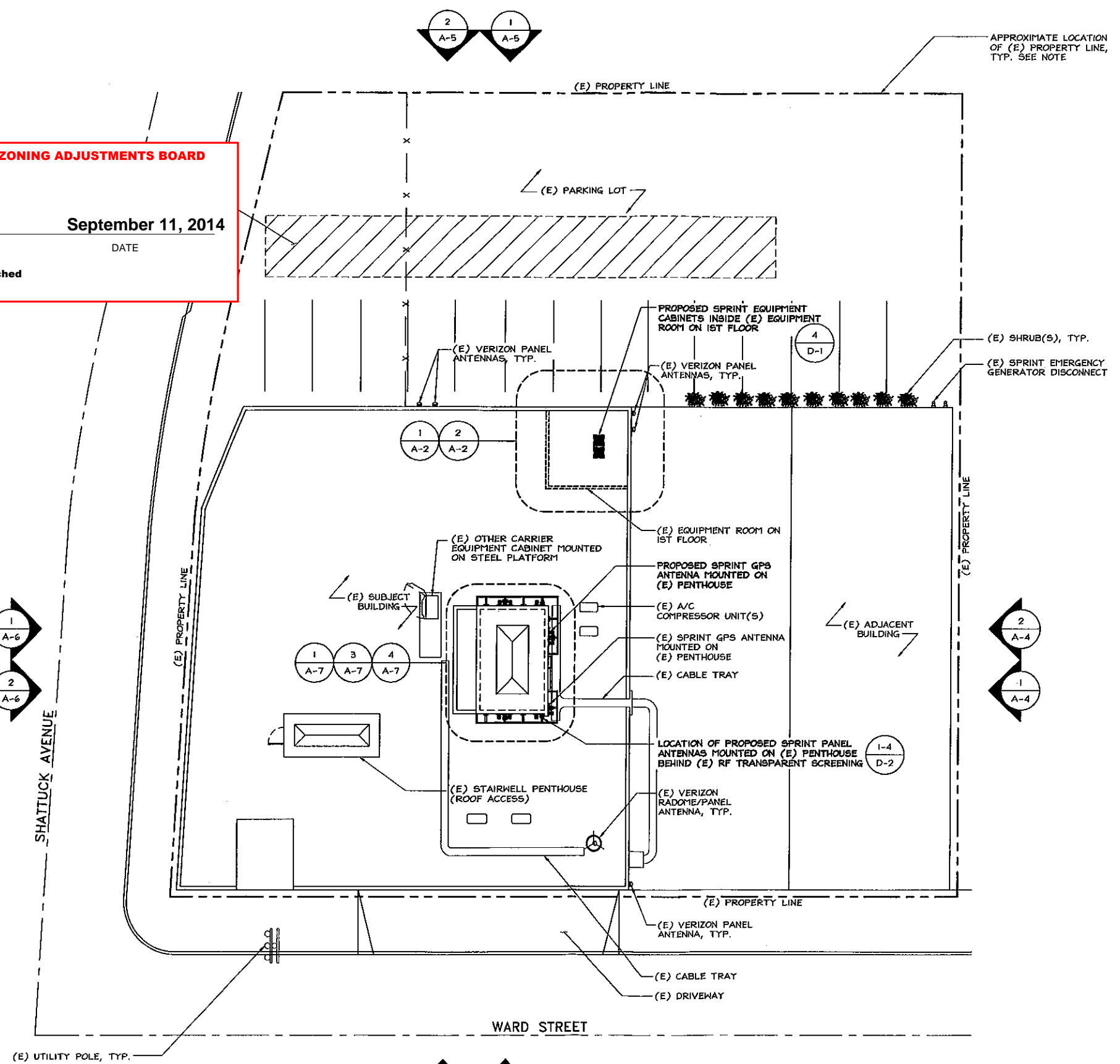
SHEET NUMBER
A-1

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

Carell Johnson
SIGNATURE

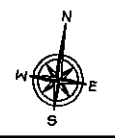
September 11, 2014
DATE

* Findings and Conditions Attached



SITE PLAN

24"x36" SCALE: 1/16" = 1'-0"
11"x17" SCALE: 1/32" = 1'-0"
16' 12' 8' 4' 0' 16'





PROJECT NO:	
DRAWN BY:	RF
CHECKED BY:	DW

REV	DATE	DESCRIPTION
D	08/24/2011	10% ZD'S FOR SUBMITTAL
A	08/02/2011	90% ZD'S ISSUED FOR REVIEW

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2721 SHATTUCK AVE
BERKELEY, CA 94704

SHEET TITLE
EQUIPMENT LAYOUT PLANS

SHEET NUMBER
A-2

KEYNOTES:

- 1 NOT USED
- 2 NOT USED
- 3 EXISTING 100A PPC CABINET
- 4 EXISTING HVAC UNIT
- 5 EXISTING EQUIPMENT ROOM LOCATED ON 1ST FLOOR

- 6 EXISTING 4'-0" WIDE ACCESS DOOR
- 7 EXISTING CEILING CABLE TRAY
- 8 EXISTING HANG GUIDE
- 9 PROPOSED SPRINT MIBS EQUIPMENT CABINET MOUNTED WITHIN (E) EQUIPMENT ROOM/LEASE AREA
- 10 PROPOSED SPRINT BBU EQUIPMENT CABINET MOUNTED WITHIN (E) EQUIPMENT ROOM/LEASE AREA

KEYNOTES:

- 1 EXISTING SPRINT CDMA EQUIPMENT CABINET
- 2 EXISTING SPRINT BATTERY CABINET
- 3 EXISTING 100A PPC CABINET
- 4 EXISTING HVAC UNIT
- 5 EXISTING EQUIPMENT ROOM LOCATED ON 1ST FLOOR

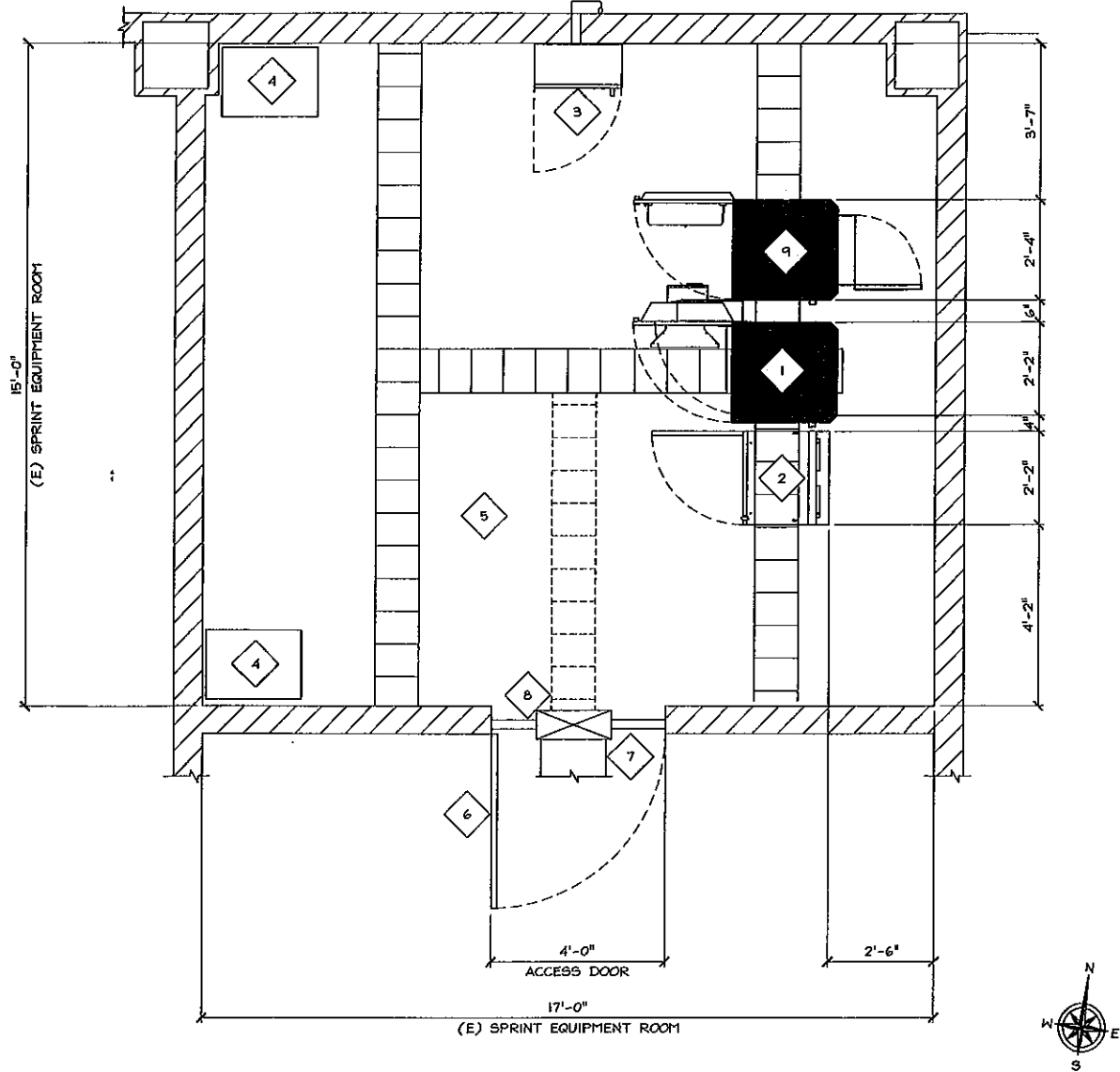
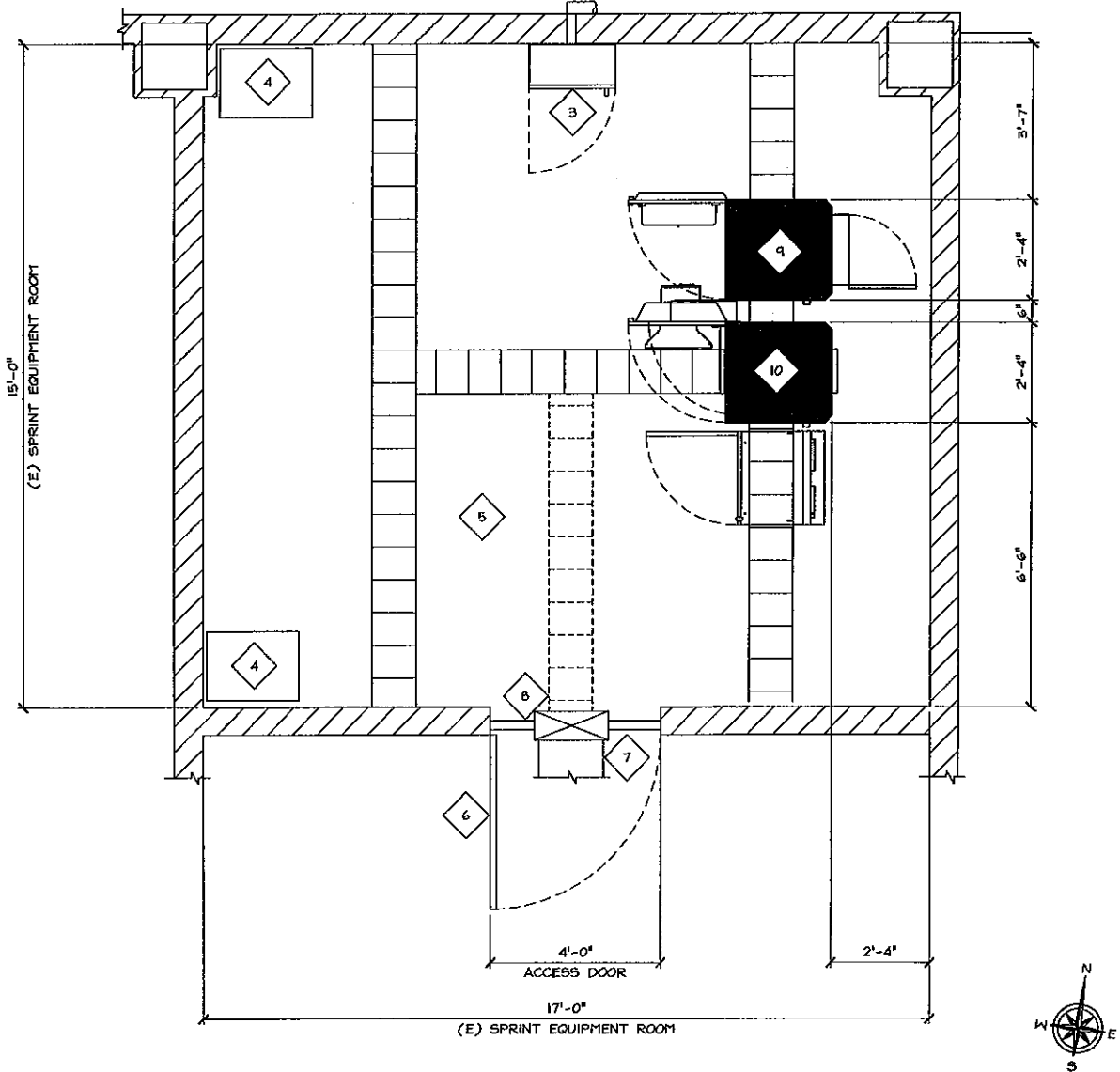
- 6 EXISTING 4'-0" WIDE ACCESS DOOR
- 7 EXISTING CEILING CABLE TRAY
- 8 EXISTING HANG GUIDE
- 9 PROPOSED SPRINT MIBS EQUIPMENT CABINET MOUNTED WITHIN (E) EQUIPMENT ROOM/LEASE AREA

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

Carol Johnson
SIGNATURE

September 11, 2014
DATE

* Findings and Conditions Attached

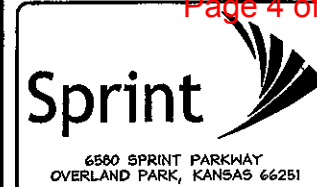


PROPOSED EQUIPMENT LAYOUT PLAN

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

EXISTING / INTERIM EQUIPMENT LAYOUT PLAN

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"



PROJECT NO:
DRAWN BY: RF
CHECKED BY: DM

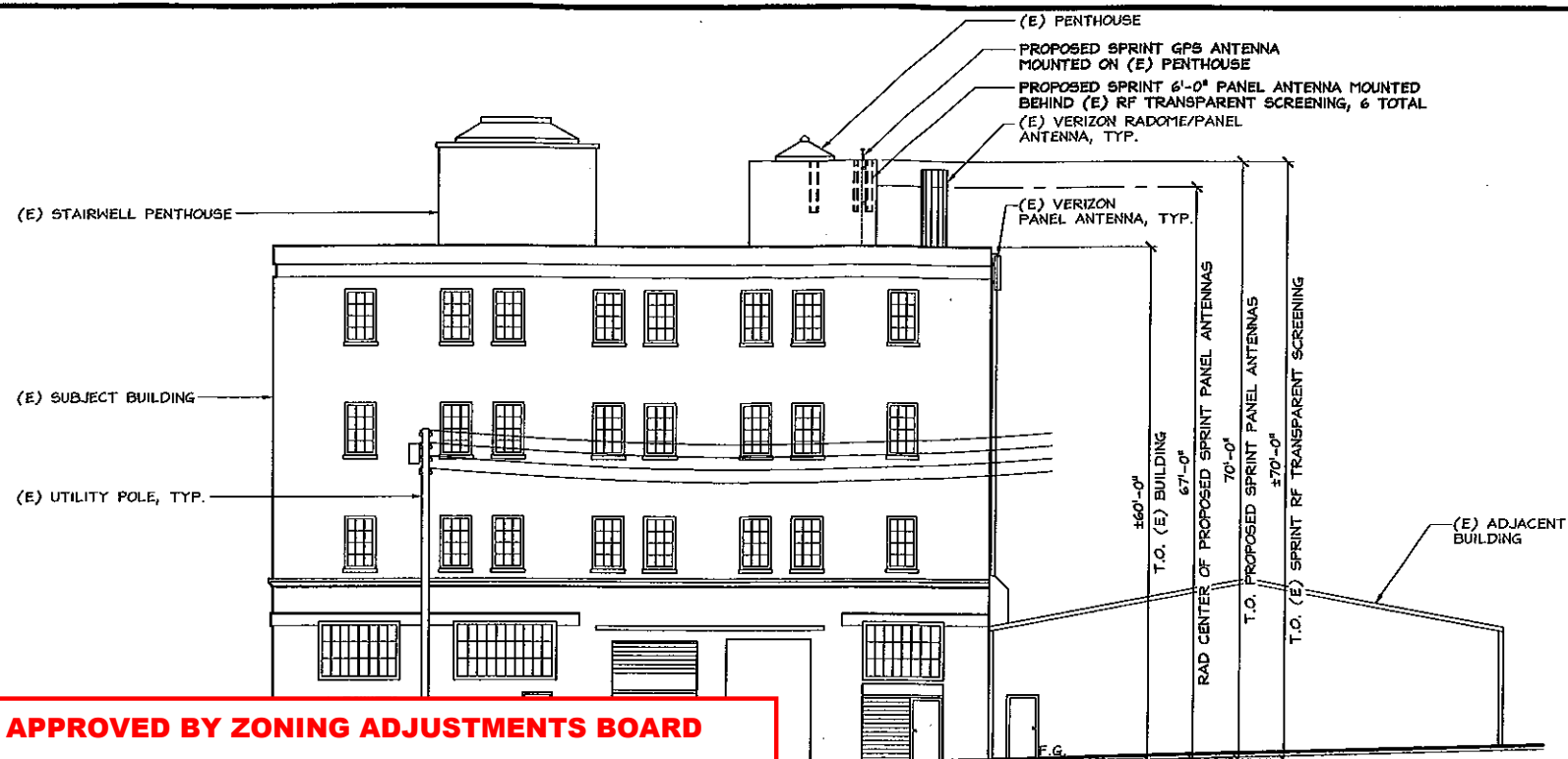
REV	DATE	DESCRIPTION
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A	08/02/2011	90% CD'S ISSUED FOR REVIEW

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SF74XC410-A
GROCERY ON WARD
2721 SHATTUCK AVE
BERKELEY, CA 94704

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-3



PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

Carol Johnson

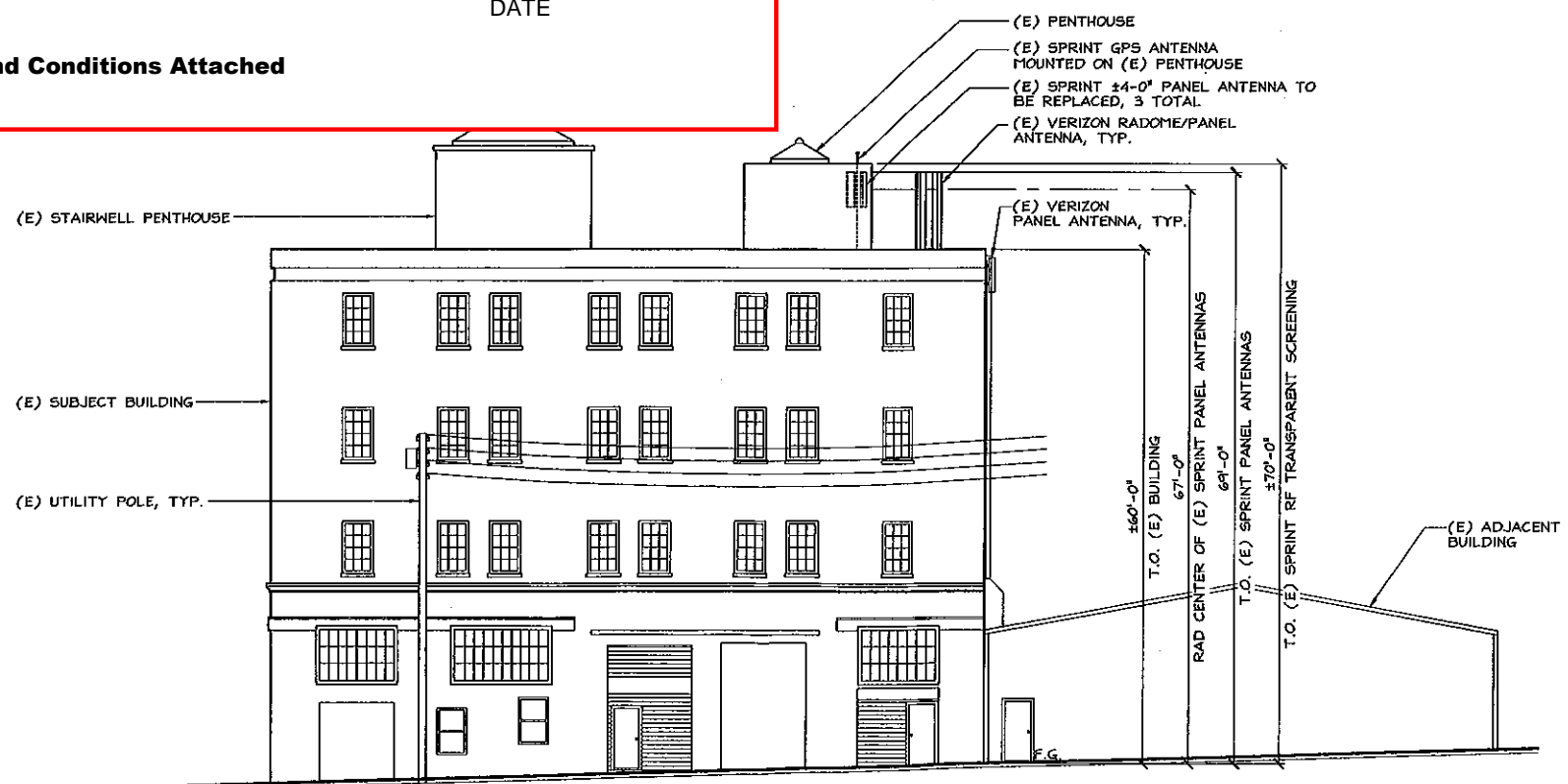
September 11, 2014

SIGNATURE

DATE

* Findings and Conditions Attached

24"x36" SCALE: 3/32" = 1'-0"
11"x17" SCALE: 3/64" = 1'-0" 8' 4' 0' 8' 2



24"x36" SCALE: 3/32" = 1'-0"
11"x17" SCALE: 3/64" = 1'-0" 8' 4' 0' 8' 1

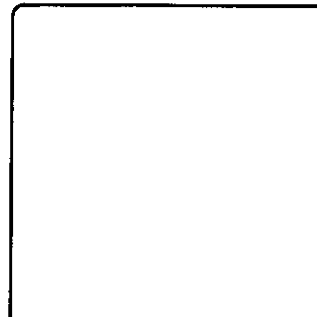
PROPOSED SOUTH ELEVATION

EXISTING SOUTH ELEVATION



PROJECT NO:
DRAWN BY: RF
CHECKED BY: DM

REV	DATE	DESCRIPTION
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A	08/02/2011	90% ZD'S ISSUED FOR REVIEW

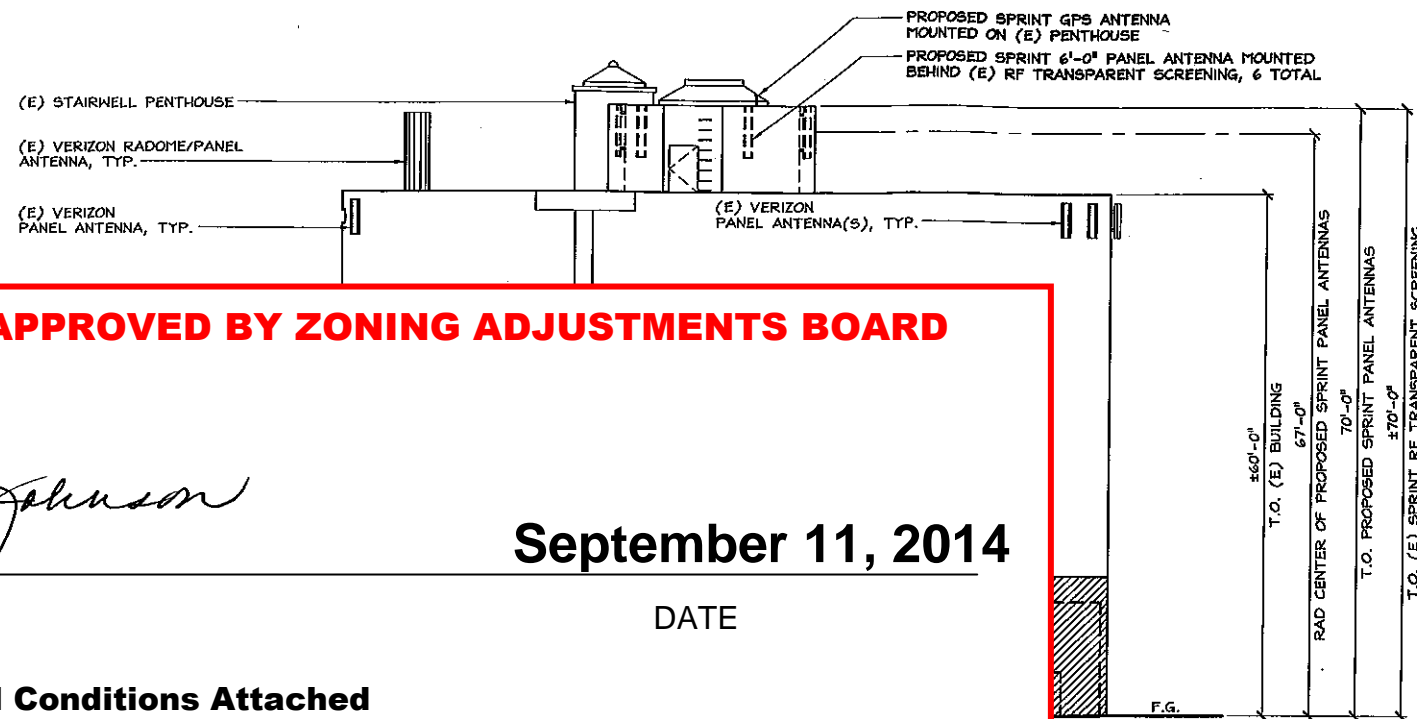


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GROCERY ON WARD
2721 SHATTUCK AVE
BERKELEY, CA 94704

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-4



PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

Carew Johnson

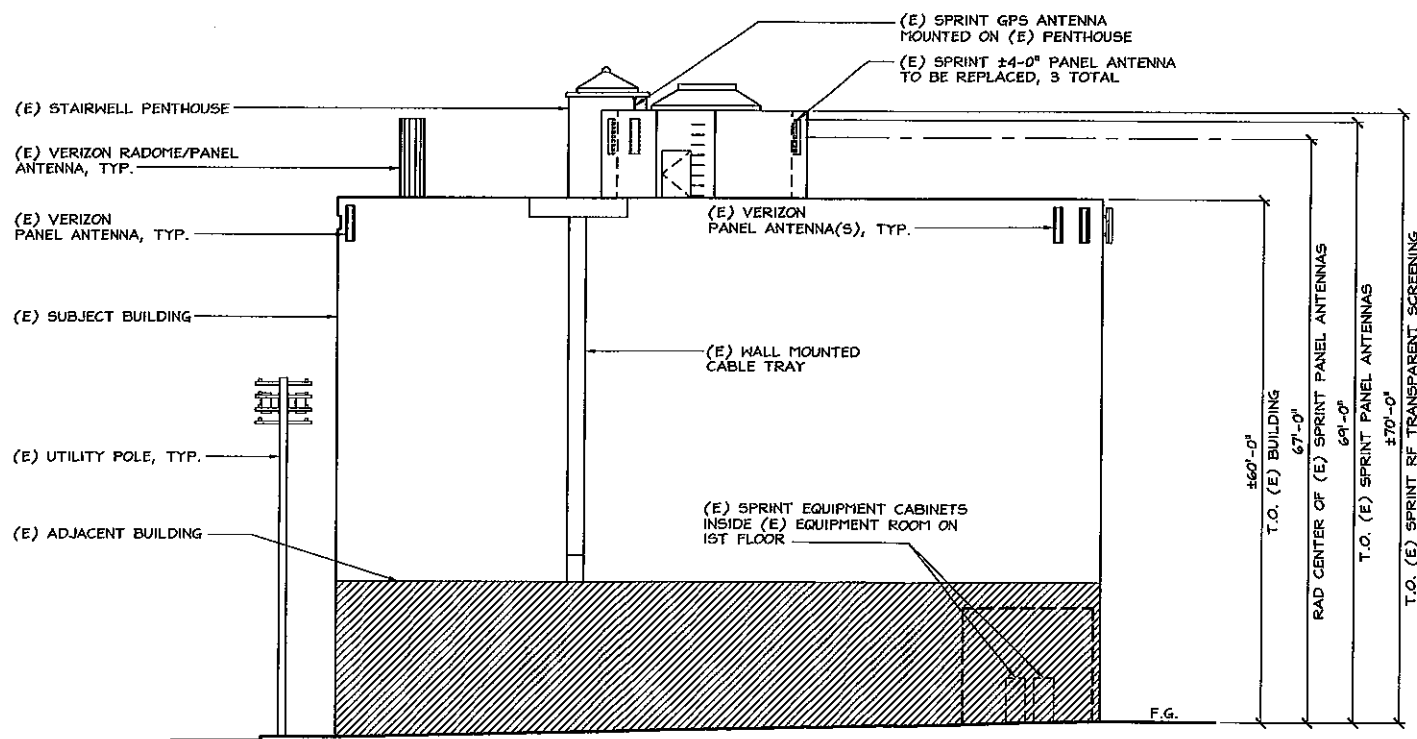
September 11, 2014

SIGNATURE DATE

*** Findings and Conditions Attached**

PROPOSED EAST ELEVATION

24"x36" SCALE: 3/32" = 1'-0"
11"x17" SCALE: 3/64" = 1'-0"
8' 4' 0" 8' 2



EXISTING EAST ELEVATION

24"x36" SCALE: 3/32" = 1'-0"
11"x17" SCALE: 3/64" = 1'-0"
8' 4' 0" 8' 1



PROJECT NO:	
DRAWN BY:	RF
CHECKED BY:	DW

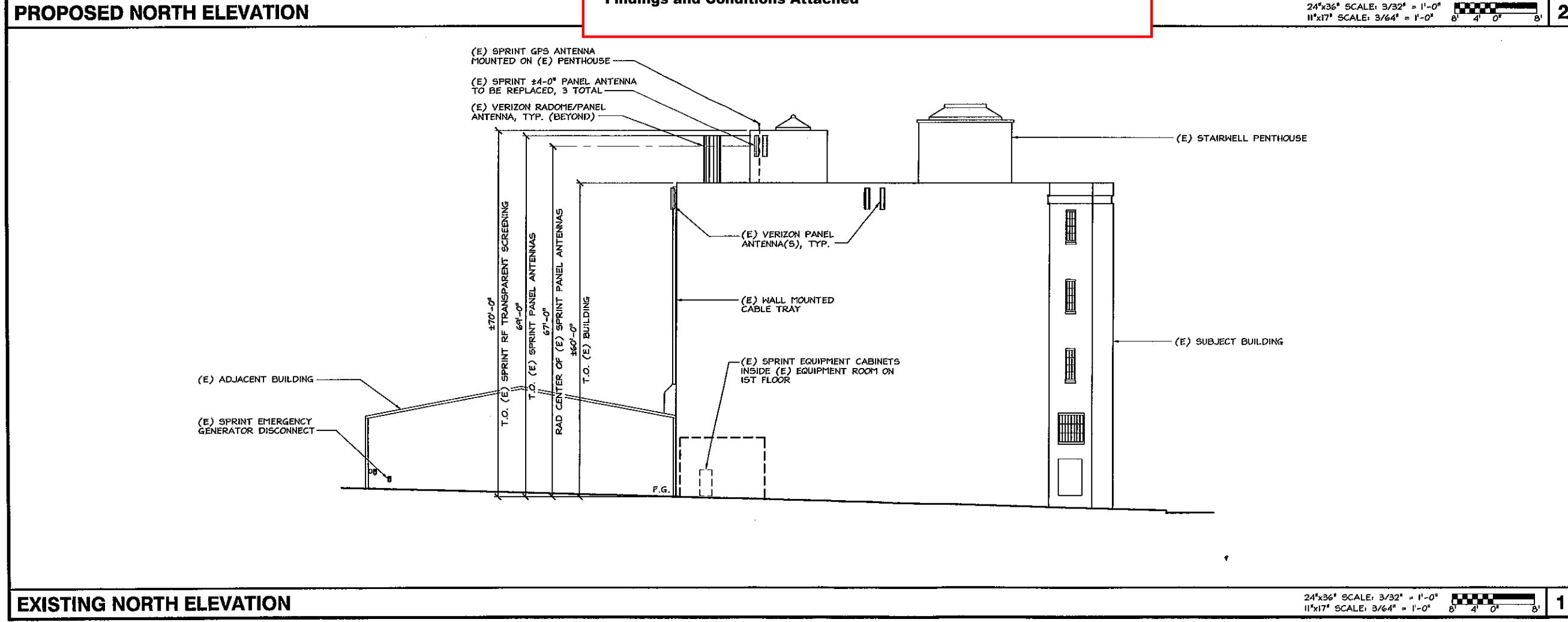
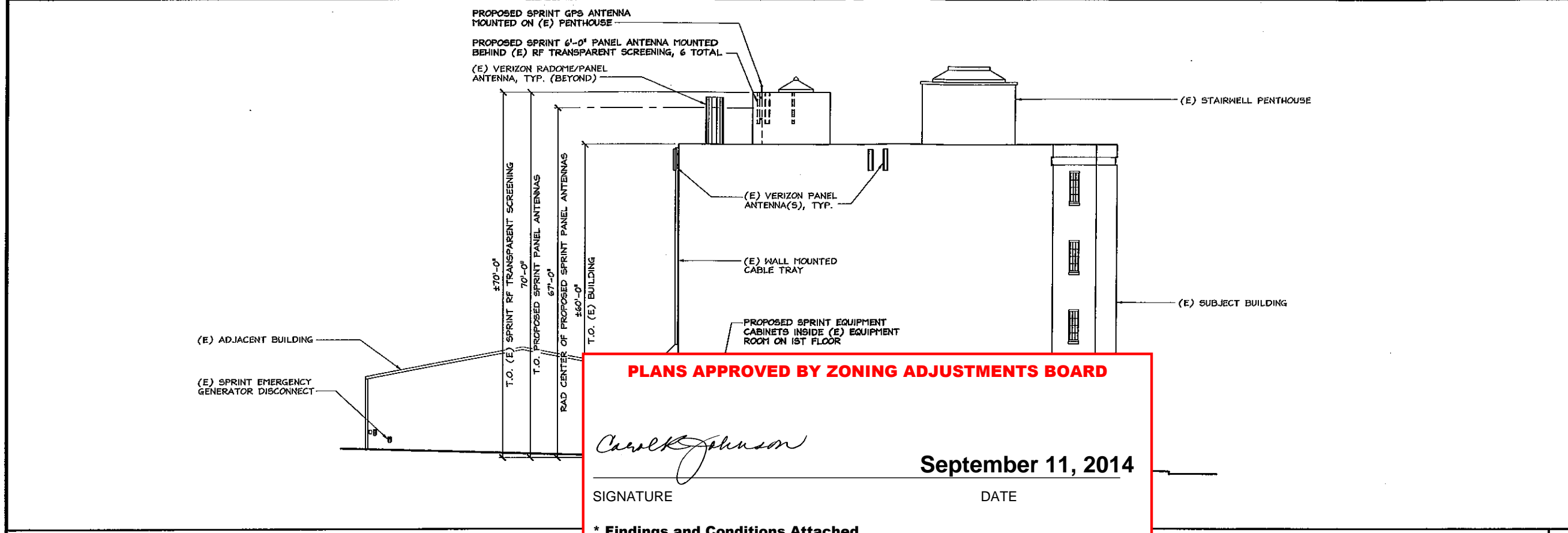
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A	08/02/2011	90% ZD'S ISSUED FOR REVIEW

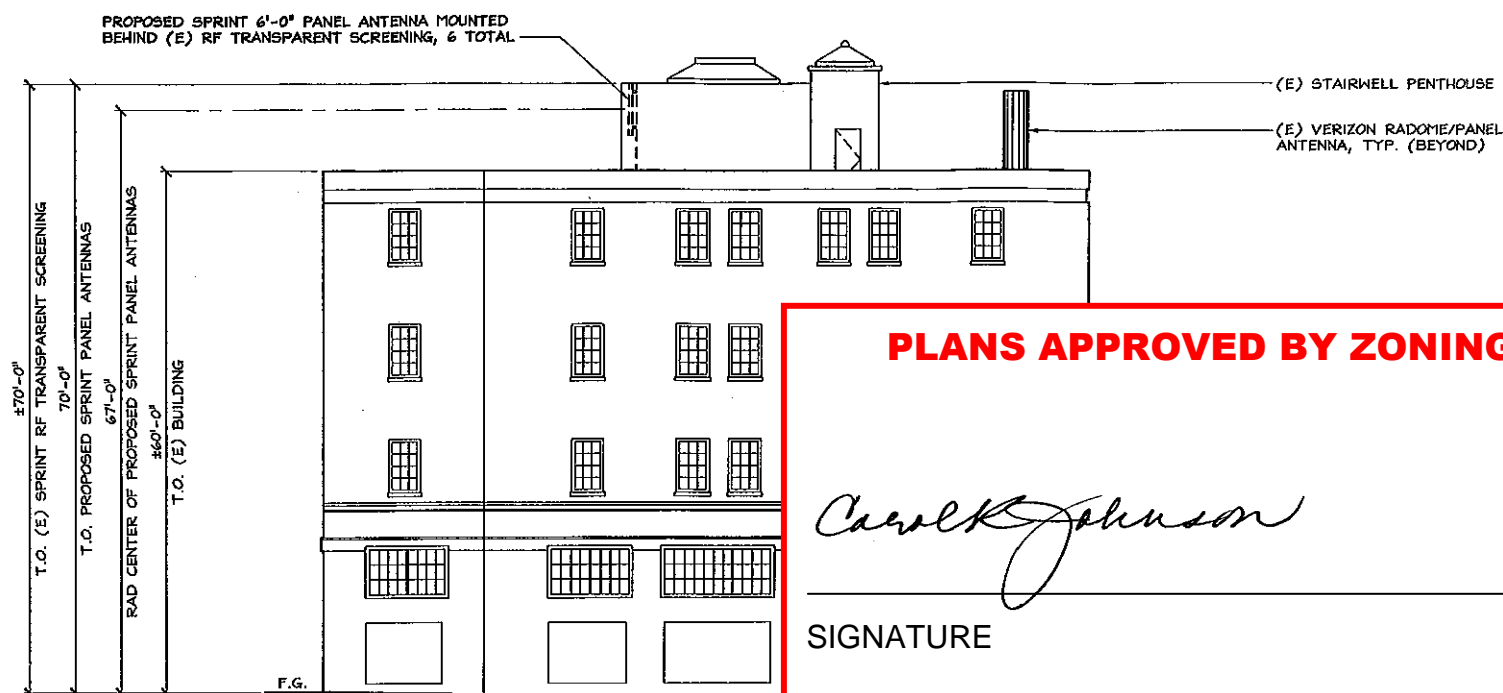
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2721 SHATTUCK AVE
BERKELEY, CA 94704

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-5





PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

Carol Johnson

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DATE

*** Findings and Conditions Attached**



PROJECT NO:	
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REV	DATE	DESCRIPTION
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GROCERY ON WARD
2721 SHATTUCK AVE
BERKELEY, CA 94704

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-6

PROPOSED WEST ELEVATION

24"x36" SCALE: 3/32" = 1'-0"
11"x17" SCALE: 3/64" = 1'-0" 8' 4' 0" 8' 2



EXISTING WEST ELEVATION

24"x36" SCALE: 3/32" = 1'-0"
11"x17" SCALE: 3/64" = 1'-0" 8' 4' 0" 8' 1



PROJECT NO:
DRAWN BY: RF
CHECKED BY: DW

REV	DATE	DESCRIPTION
0	06/24/2011	100% ZD'S FOR SUBMITTAL
A	06/02/2011	90% ZD'S ISSUED FOR REVIEW

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GROCERY ON WARD
2721 SHATTUCK AVE
BERKELEY, CA 94704

SHEET TITLE
ANTENNA LAYOUT
& SCHEDULE

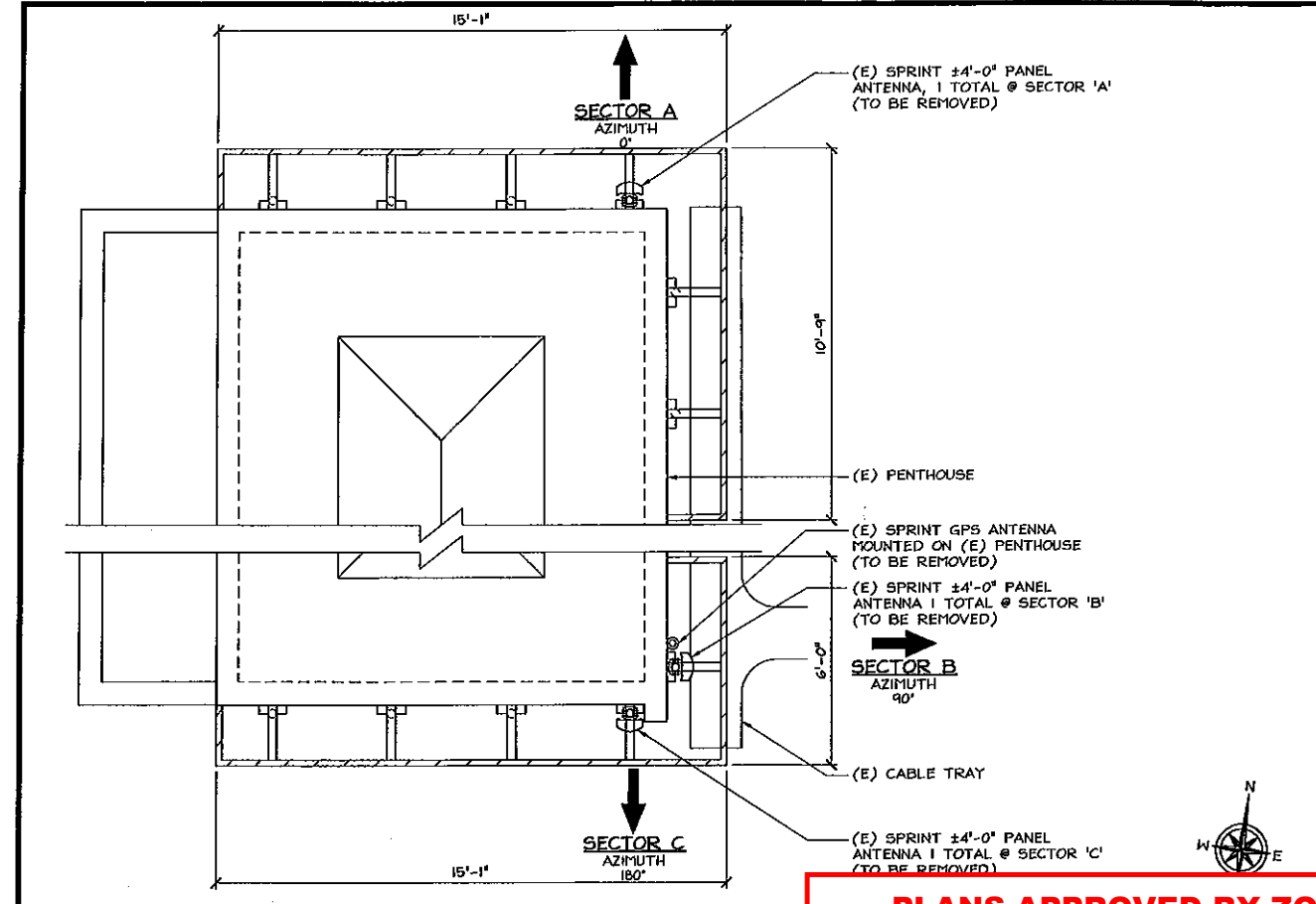
SHEET NUMBER
A-7

ANTENNA MOUNTING NOTES

- APPROXIMATE LENGTH OF (1) ANTENNA CABLE RUN = APPROX. LENGTH OF LATERAL DISTANCE + ANTENNA MOUNTING HEIGHT + 20'
- CONTRACTOR SHALL VERIFY THE DOWN TILT OF EACH ANTENNA WITH A DIGITAL LEVEL.
- CONTRACTOR TO CONFIRM ANTENNA CABLE COLOR CODING PRIOR TO CONSTRUCTION. (SEE SHEET RF-2)
- COLOR BANDING SHALL BE 2" WIDE ON THE MAIN LINE (5 WRAP MIN.) SPACING TO BE 1" BETWEEN COLORS. COLOR BAND ON JUMPERS 1" WIDE WITH 1" SPACE START COLOR BANDS 2" BEYOND WEATHERPROOFING. START SECTOR COLOR NEXT TO END CONNECTOR. SEE SHEET RF-2 FOR HYBRID ANTENNA COLOR CODING.

SECTOR	PROPOSED TECHNOLOGY	ANTENNA MODEL		ANTENNA AZIMUTH		RAD CENTER	LENGTH	TRANSMISSION LINE		
		EXISTING	PROPOSED	EXISTING	PROPOSED			TYPE(S)	CONVEYANCE	
ALPHA	A1	800/1900 MHz	DB931L665VTOE-B	ET-X-T5-90-14-90-17-1R-5P	0°	0°	67'-0"	±156'	FIBER & +48VDC	UG PVC & ABV. GRD. RGS
	A2	1.6 GHz	N/A	H2-X-LU-90-16--1R	-	0°	67'-0"	±156'	FIBER & +48VDC	UG PVC & ABV. GRD. RGS
BETA	B1	800/1900 MHz	DB931L665VTOE-B	ET-X-T5-90-14-90-17-1R-5P	90°	90°	67'-0"	±156'	FIBER & +48VDC	UG PVC & ABV. GRD. RGS
	B2	1.6 GHz	N/A	H2-X-LU-90-16--1R	-	90°	67'-0"	±156'	FIBER & +48VDC	UG PVC & ABV. GRD. RGS
GAMMA	C1	800/1900 MHz	DB931L665VTOE-B	ET-X-T5-72-16-65-19-1R	180°	165°	67'-0"	±156'	FIBER & +48VDC	UG PVC & ABV. GRD. RGS
	C2	1.6 GHz	N/A	H2-X-LU-65-17--1R	-	165°	67'-0"	±156'	FIBER & +48VDC	UG PVC & ABV. GRD. RGS

- NOTES:**
- EXISTING ANTENNAS ARE CDMA UNLESS NOTED OTHERWISE.
 - DIMENSIONS OF EXISTING ANTENNAS SPACING OR PLATFORMS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY PRIOR TO START OF CONSTRUCTION (SEE GENERAL NOTES, SHEETS GN-1 AND GN-2).
 - PROPOSED SPRINT ANTENNAS INCLUDE RESPECTIVE RRU'S WHICH SHALL BE MOUNTED ON THE PIPE BEHIND THE ANTENNA SIMILAR TO THAT SHOWN IN RRU MOUNTING DETAILS ON SHEET D-2
 - FIELD VERIFY EXISTING AZIMUTH BEFORE SLIDING THE ANTENNA. PRIOR APPROVAL FROM SPRINT MUST BE OBTAINED BEFORE MOVING ANY ANTENNAS.



EXISTING ANTENNA LAYOUT

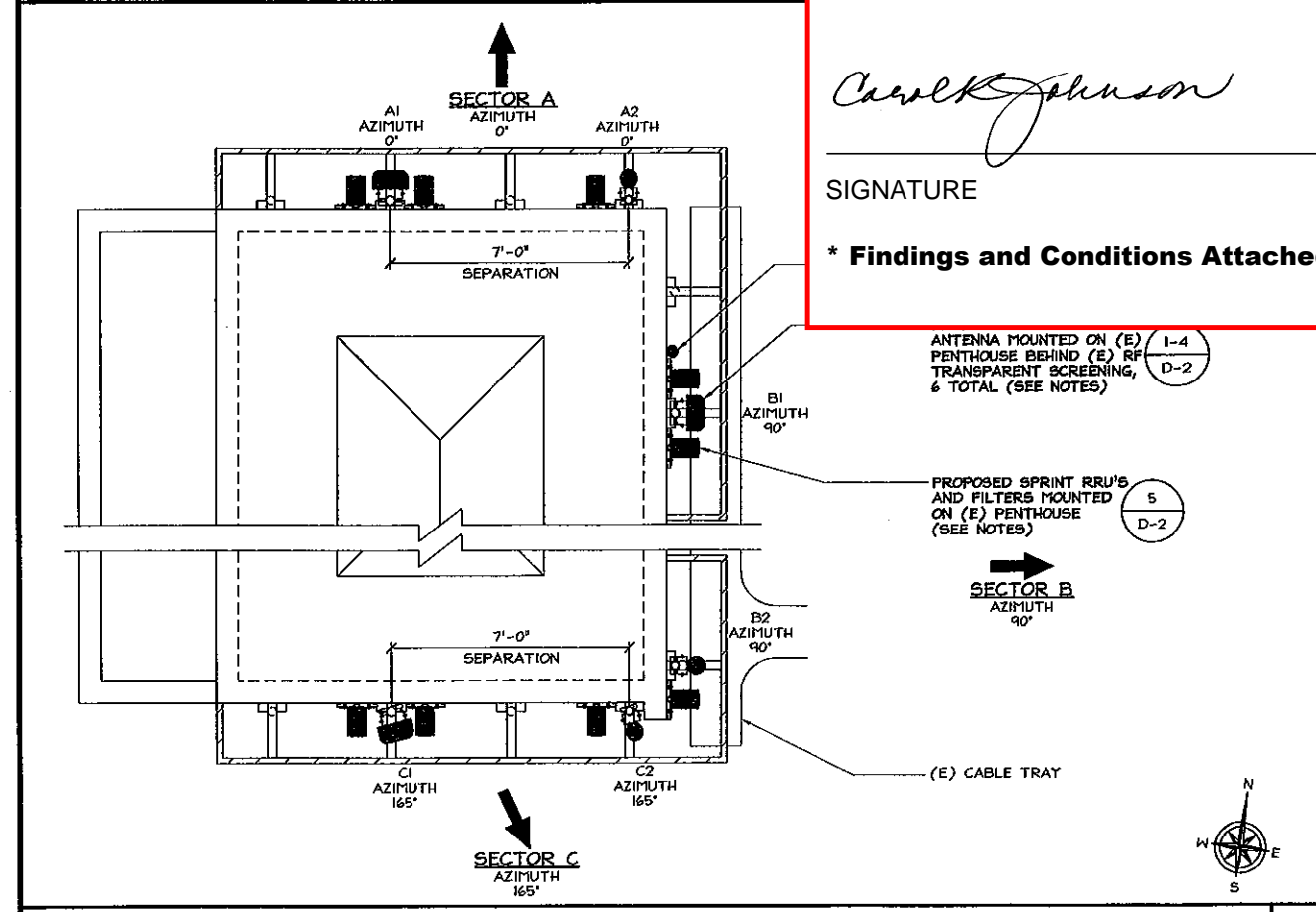
PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

Carol Johnson

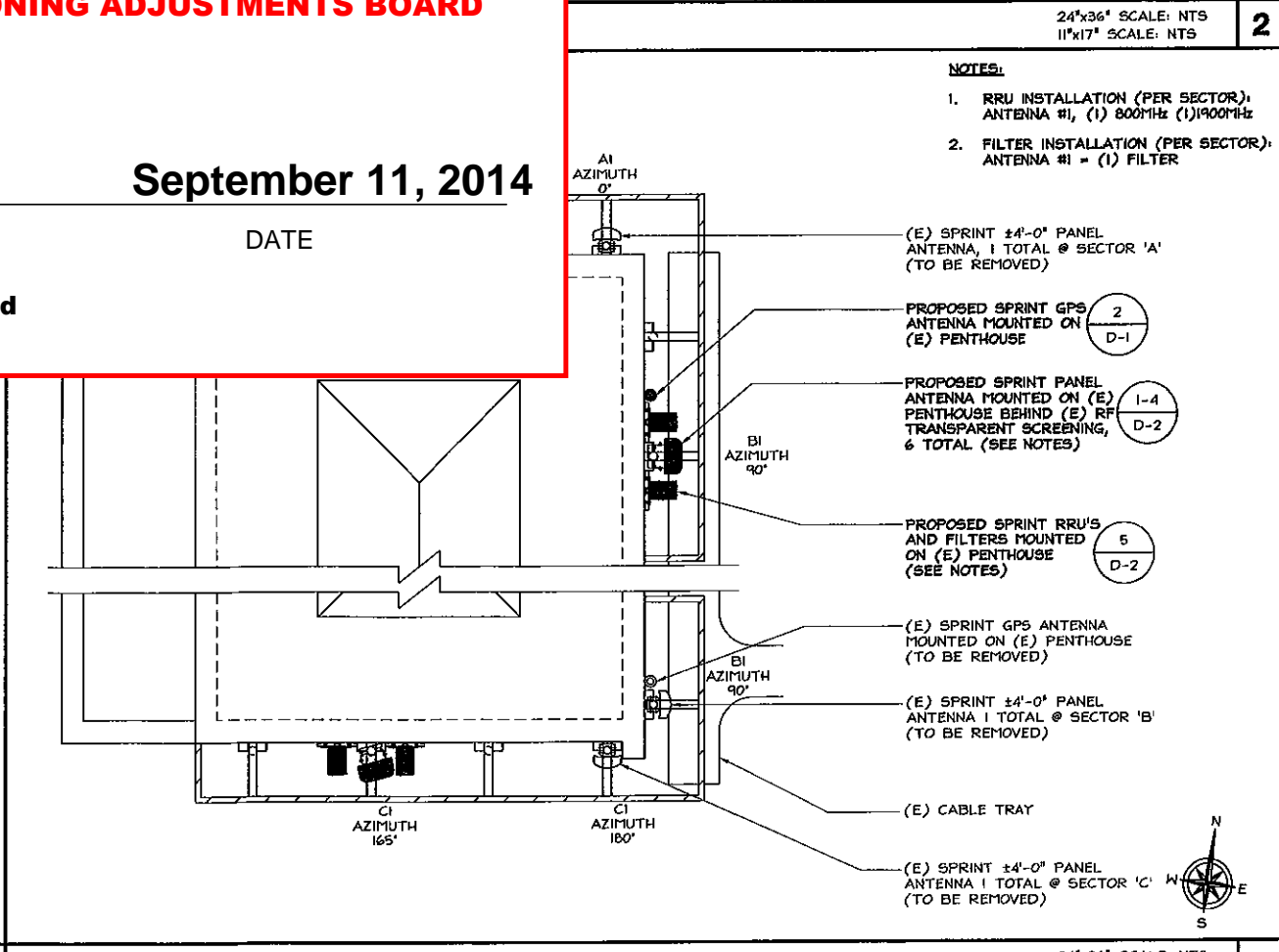
September 11, 2014

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*** Findings and Conditions Attached**

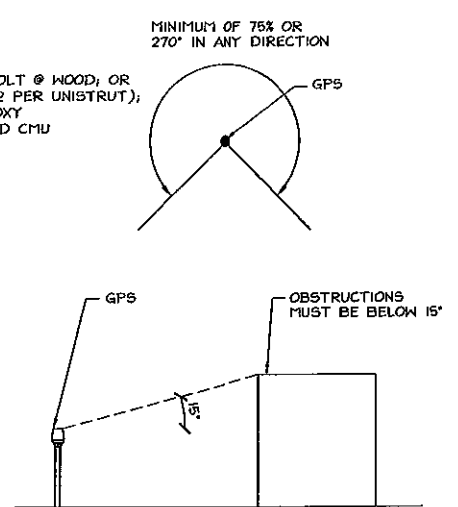
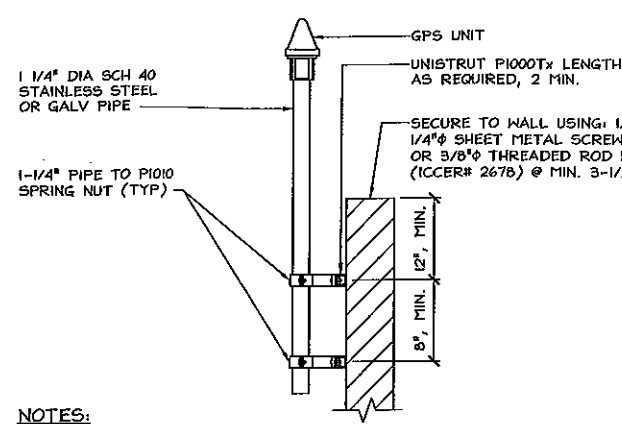
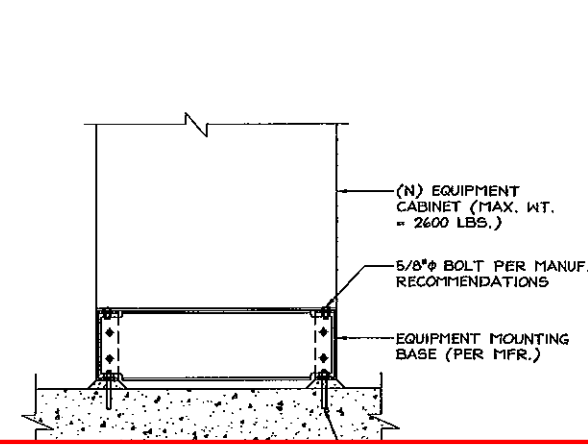
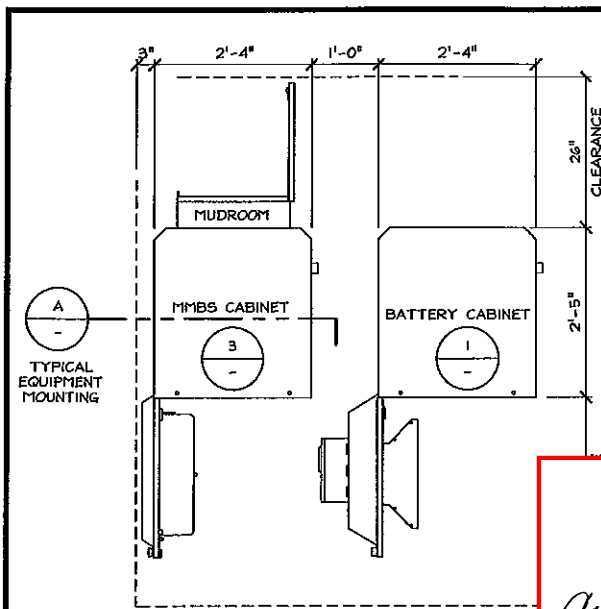


PROPOSED ANTENNA LAYOUT



INTERIM ANTENNA LAYOUT

24"x36" SCALE: 3/8" = 1'-0" 11"x17" SCALE: 3/16" = 1'-0" 24"x36" SCALE: NTS 11"x17" SCALE: NTS



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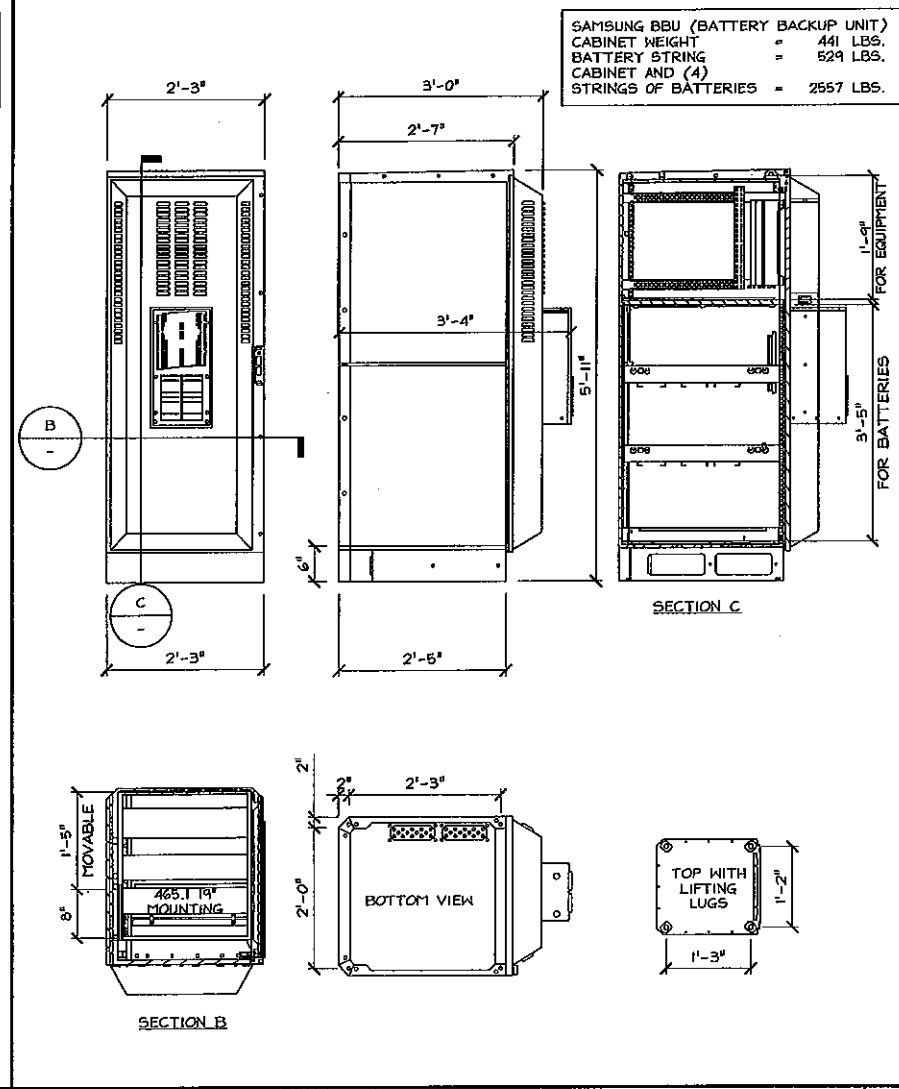
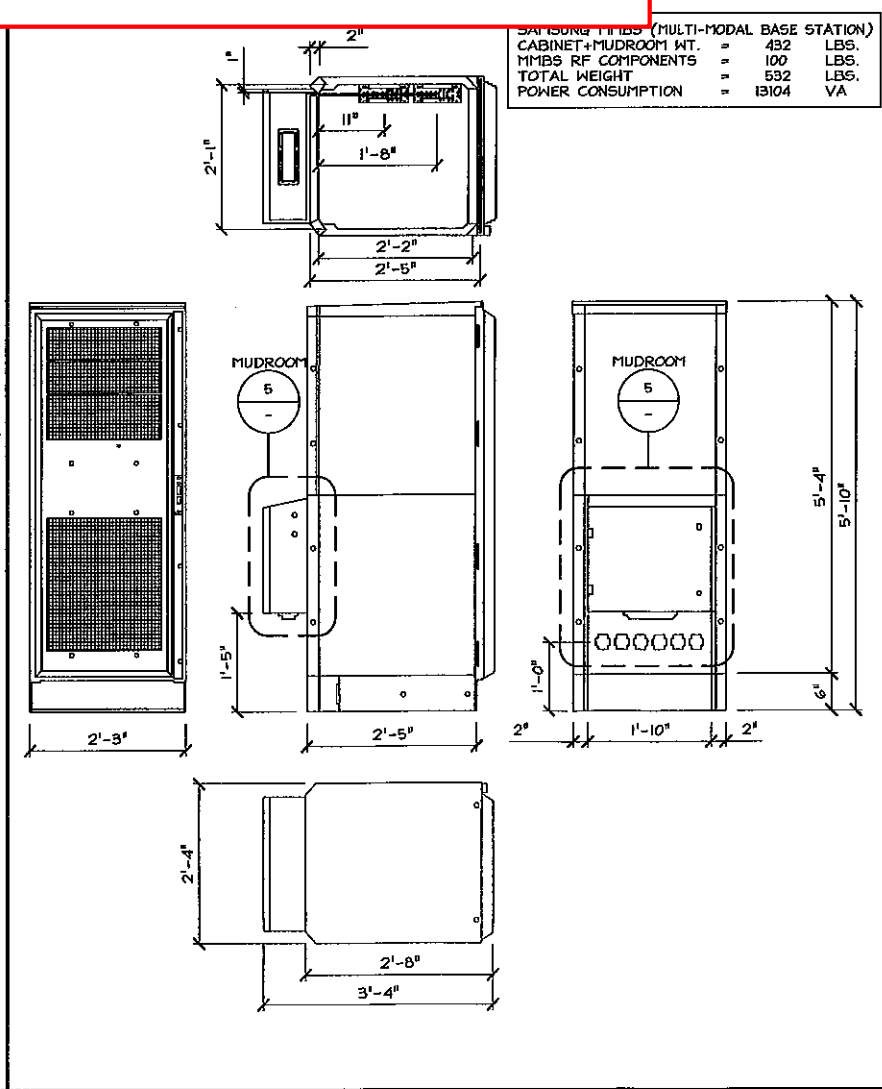
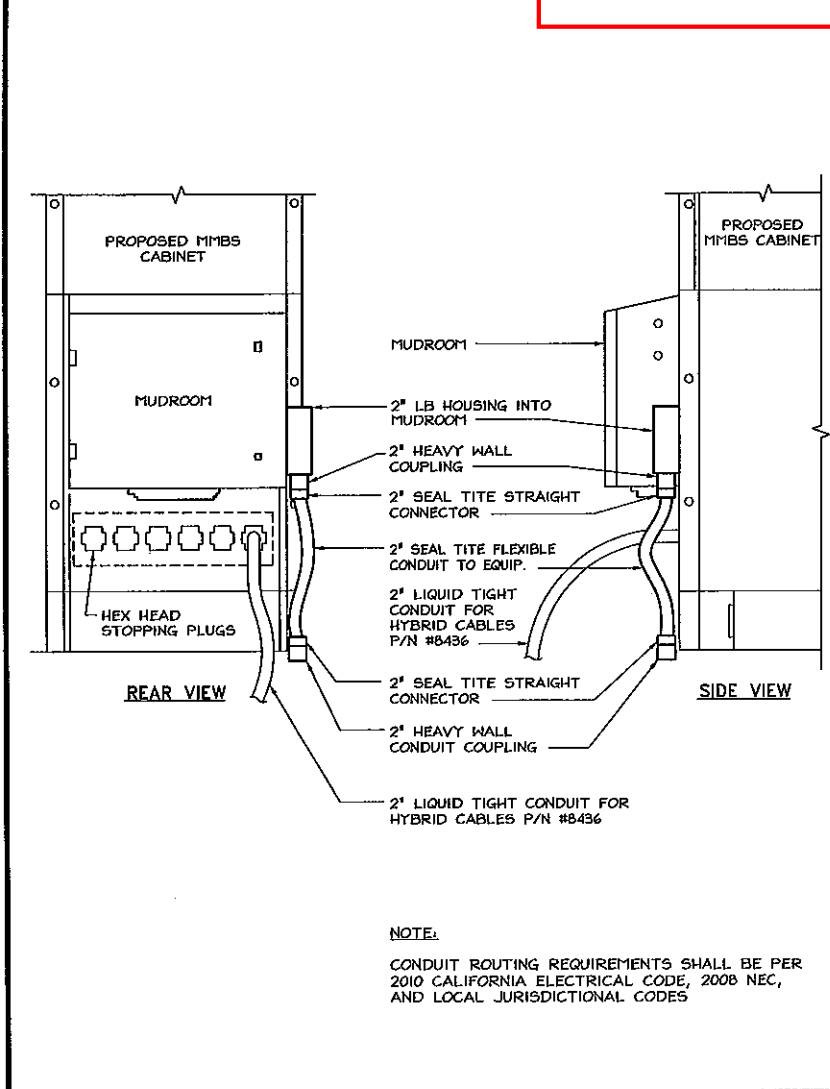
Carol Johnson
SIGNATURE

September 11, 2014
DATE

* Findings and Conditions Attached

NOTES:
ANTENNA MOUNT IS DESIGNED TO FASTEN TO A STANDARD 1-1/4" DIAMETER, 40, GALVANIZED STEEL OR STAINLESS STEEL PIPE. THE PIPE MUST NOT BE CUT AT THE ANTENNA MOUNT END. THE PIPE SHALL BE CUT TO THE REQUIRED MINIMUM OF 16 INCHES) USING A HAND OR ROTARY PIPE CUTTER TO ASSURE A SQUARE AND PERPENDICULAR CUT. A HACK SAW SHALL NOT BE USED. THE CUT SHALL BE DE-BURRED AND SMOOTH IN ORDER TO SEAL AGAINST THE GASKET ATTACHED TO THE ANTENNA MOUNT.
TYPICAL THAT THE GPS ANTENNA IS MOUNTED SUCH THAT IT IS WITHIN 2 DEGREES OF VERTICAL AND THE BASE OF THE ANTENNA IS WITHIN 2 DEGREES OF VERTICAL.
KEEP TEST GPS ANTENNA.
TYPICAL THAT THE GPS ANTENNA IS MOUNTED SUCH THAT MIN. SKY VIEW REQUIREMENTS ARE MET. (SEE SKY VIEW REQUIREMENT, RIGHT)

MMBS TYPICAL FLOOR PLAN



CONDUIT AT MUDROOM

24"x36" SCALE: NTS 5
11"x17" SCALE: NTS

MMBS SPECIFICATIONS

BBU (BATTERY CABINET)

24"x36" SCALE: NTS 1
11"x17" SCALE: NTS



PROJECT NO:
DRAWN BY: RF
CHECKED BY: DW

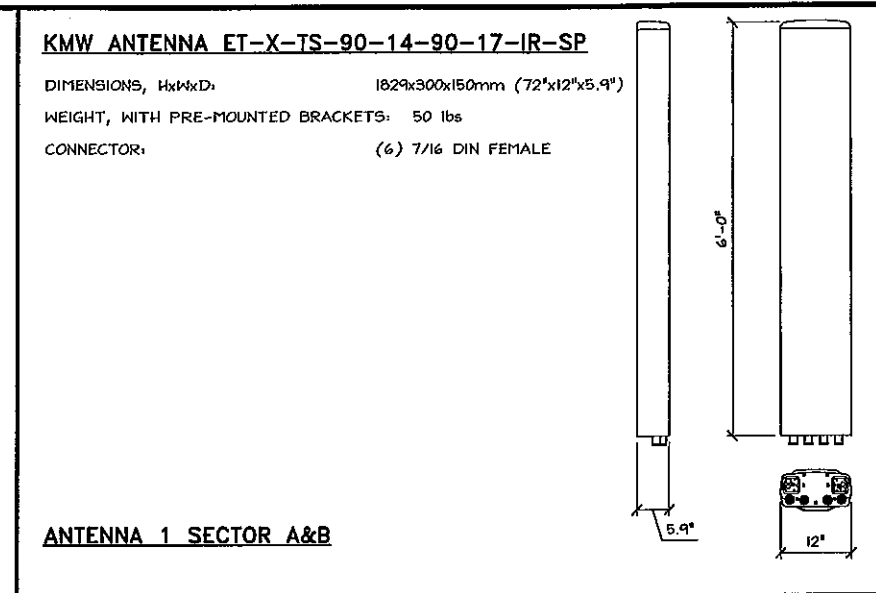
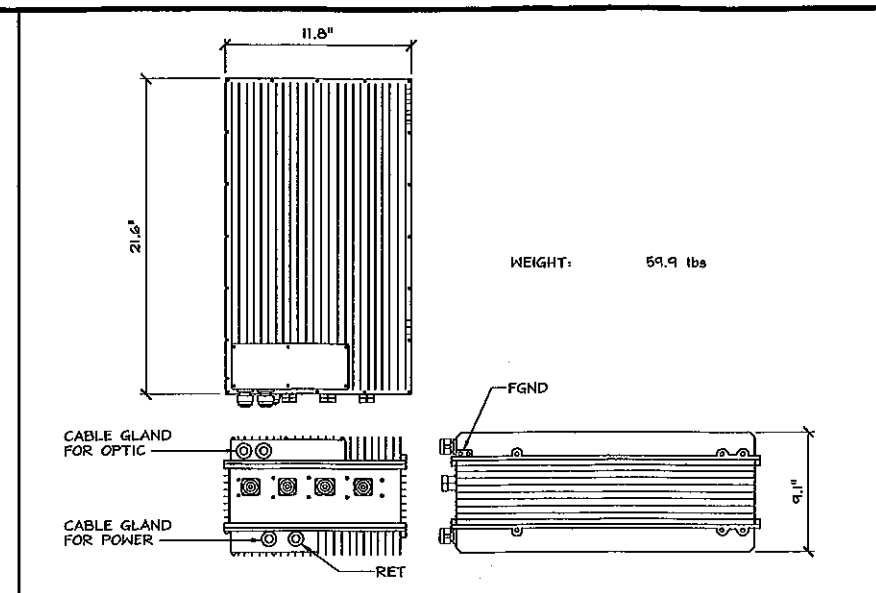
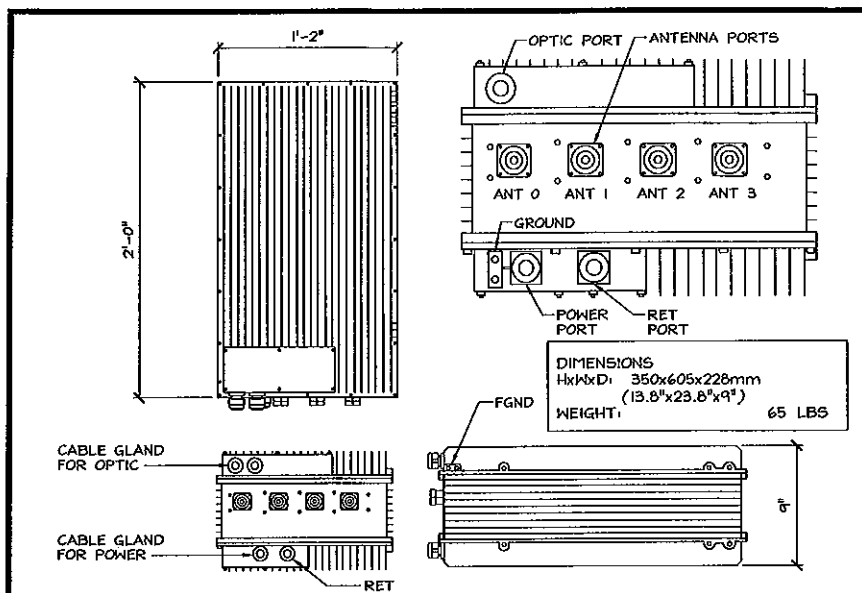
REV	DATE	DESCRIPTION
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A	08/02/2011	90% 2D'S ISSUED FOR REVIEW

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GROCERY ON WARD
2721 SHATTUCK AVE
BERKELEY, CA 94704

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
D-1



Sprint
6580 SPRINT PARKWAY
OVERLAND PARK, KANSAS 66251

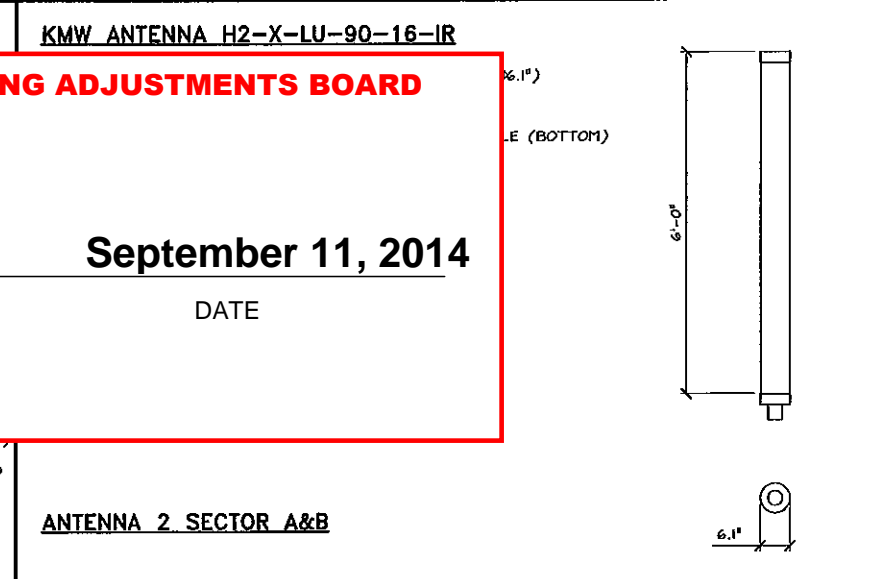
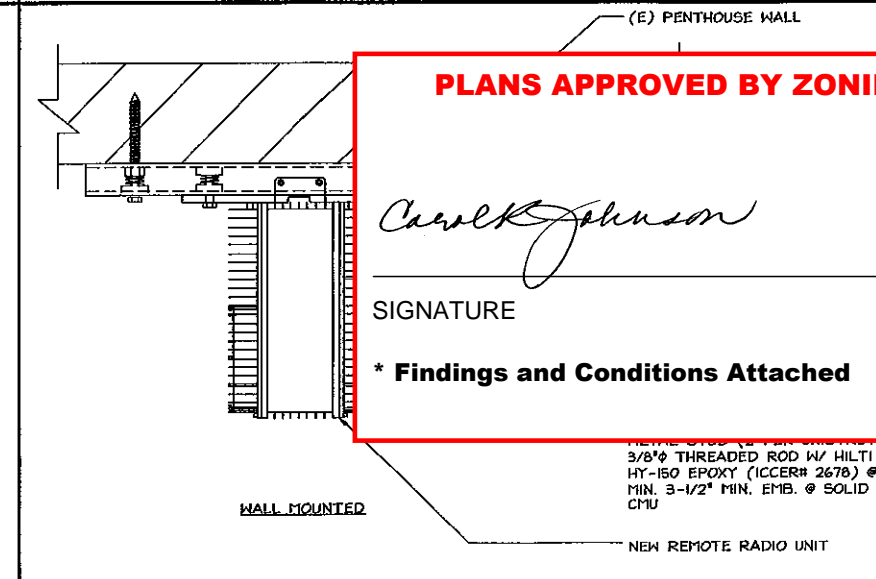
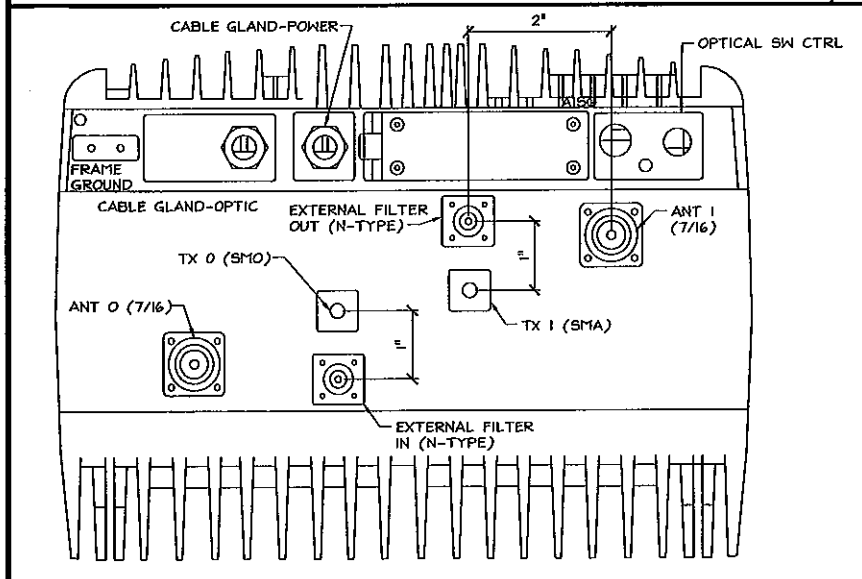
SAMSUNG

BLACK & VEATCH

1900 MHZ RRU SPECIFICATIONS 24"x36" SCALE: NTS 11"x17" SCALE: NTS 9

1.6 GHZ RRU SPECIFICATIONS 24"x36" SCALE: NTS 11"x17" SCALE: NTS 6

ANTENNA SPECIFICATIONS 24"x36" SCALE: NTS 11"x17" SCALE: NTS 3



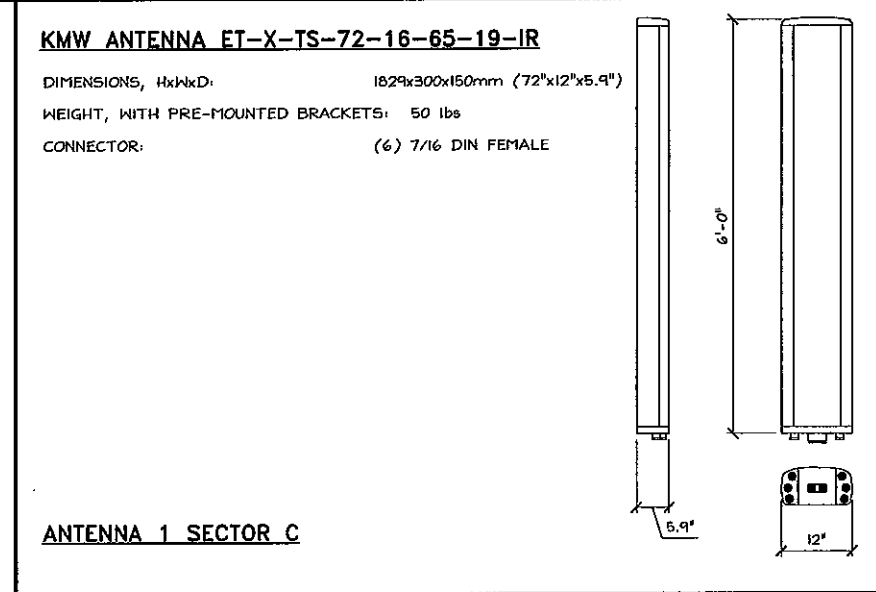
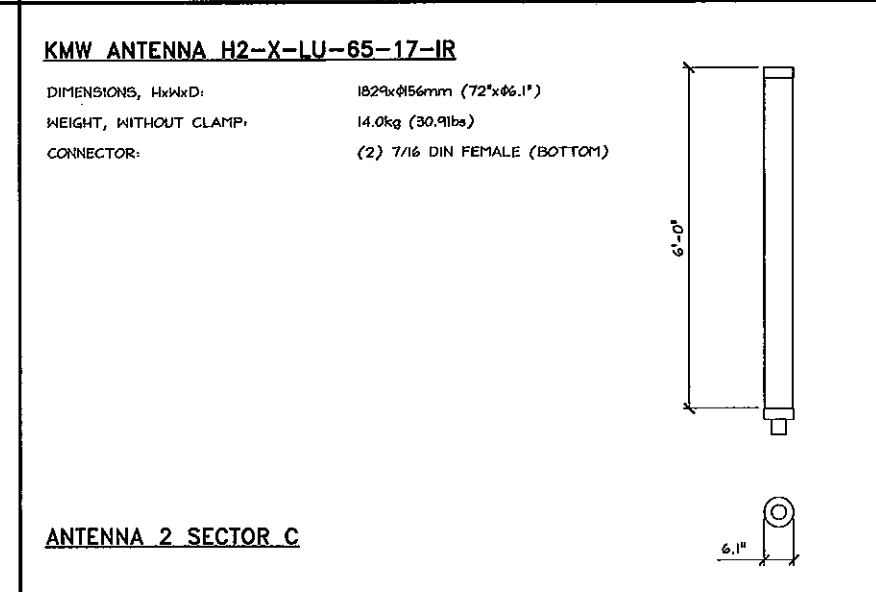
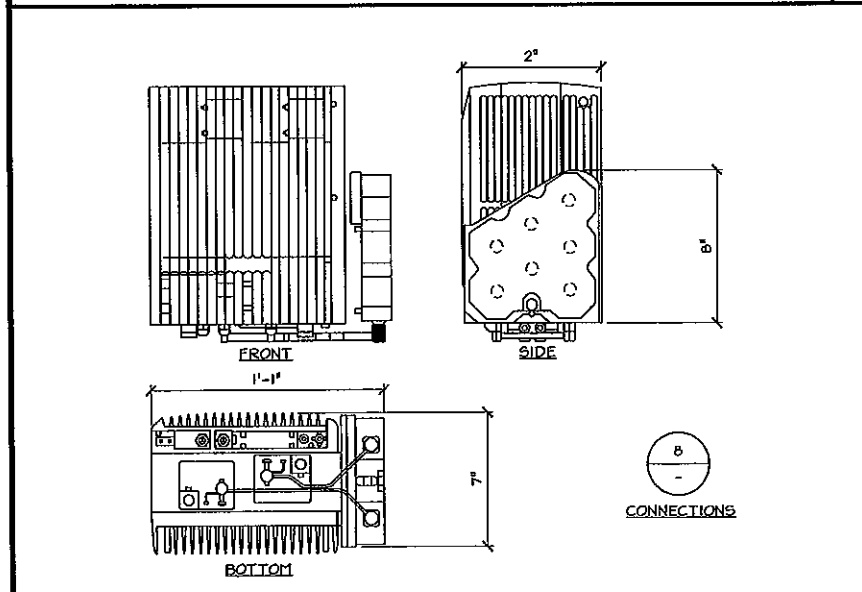
ZALZAL & ASSOCIATES INC.
2070 BUSINESS CENTER DR. SUITE 290
IRVINE, CA 92612

PROJECT NO:		
DRAWN BY:	RF	
CHECKED BY:	DH	
REV	DATE	DESCRIPTION
0	08/24/2011	100% D/S FOR SUBMITTAL
A	08/02/2011	90% D/S ISSUED FOR REVIEW

800 MHZ RRU LAYOUT 24"x36" SCALE: NTS 11"x17" SCALE: NTS 8

RRU WALL MOUNTING DETAIL 24"x36" SCALE: NTS 11"x17" SCALE: NTS 5

ANTENNA SPECIFICATIONS 24"x36" SCALE: NTS 11"x17" SCALE: NTS 2



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GROCERY ON WARD
2721 SHATTUCK AVE
BERKELEY, CA 94704

SHEET TITLE
ANTENNA, RRU & FILTER DETAILS

SHEET NUMBER
D-2

800 MHZ RRU SPECIFICATIONS 24"x36" SCALE: NTS 11"x17" SCALE: NTS 7

ANTENNA SPECIFICATION 24"x36" SCALE: NTS 11"x17" SCALE: NTS 4

ANTENNA SPECIFICATION 24"x36" SCALE: NTS 11"x17" SCALE: NTS 1