



Planning and Development Department
Land Use Planning Division

A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code, Title 23

AUP #2014-0056

Property Address: **54 TUNNEL ROAD**

Permittee Name: **DAVID HOBSTETTER**

Use and/or Construction Permitted: This permit will conditionally authorize: (1) the demolition of a previous 2-story addition of approx. 485 sq. ft. at the rear of a single-family residence abutting a street with a rear setback of 3 ft. – 9 in.; and (2) the construction of a new 2-story addition of approx. 770 sq. ft. in its place with a new rear setback of 2 ft. – 2 in. The new addition will match the main building's average height of 23 ft. - 6 in. pursuant to:

- Section 23D.20.070.C to construct a residential addition greater than 14 ft. in average height;
- Section 23E.96.070B.3 to reduce a required yard setback in the Hillside Overlay District.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on October 2, 2014.

Attest: Carol Johnson
Carol Johnson, Land Use Planning Mgr.

October 2, 2014
Effective Date

ATTACHMENT 1

FINDINGS AND CONDITIONS

SEPTEMBER 11, 2014

54 Tunnel Road

Administrative Use Permit #AUP2014-0056

To demolish a previous 2-story addition of approx. 485 sq. ft. at the rear of a single-family residence abutting a street with a rear setback of 3 ft. – 9 in., and to construct a new 2-story addition of approx. 770 sq. ft. in its place with a new rear setback of 2 ft. – 2 in. The new addition will match the main building's average height of 23 ft. - 6 in.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities").

FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - A. The size and scale of the addition are modest and consistent with the subject building's architectural style. For these reasons the addition is expected to improve the quality of the neighborhood and the built environment in the immediate vicinity.
 - B. The proposed rear yard reduction is reasonable given the conditions on this block of Oak Ridge Road where many buildings and structures are setback only a few feet from the public right-of-way. The proposal is found to be compatible with the existing pattern of development in this Hillside Overlay District neighborhood.
3. As required under Section 23D.16.090 (*Findings*) Paragraph B, the proposed addition is found to be permissible and non-detrimental with respect to potential impacts on *sunlight*, *air* and *views* for these reasons:
 - A. *Sunlight* – The proposed addition will affect little change in the existing shadow fan of the subject building. It will extend from the southern portion of the building where its shadows will reach the right-of-way on Oak Ridge but will not affect any of the abutting residences at 20, 35 and 45 Oak Ridge.

- B. *Air* – The addition will occur at the rear of the subject building and the impact of its massing will be realized in the area adjacent to Oak Ridge. The building expansion will not reduce the existing building-to-building separations in the immediate area.
 - C. *Views* – There are not protected views or view corridors as defined under Section 23F.04 to consider with this project.
4. As permitted in the Hillside Overlay District under Sections 23E.96.020 (*Purposes*) Paragraph D, 23E.96.070 (*Development Standards*) Paragraph B.3, and 23E.96.090.B (*Findings*), the proposed reduction of the rear yard setback is consistent with the Purpose of this District to grant flexible in the development standards where irregular lot patterns or unusual street conditions are a consideration. In this case the irregular configuration of the subject lot has resulted in a development footprint that makes expansion at other areas of the building less viable. The previously described conditions on Oak Ridge lend well to the proposed expansion where impacts will be minimal and, therefore, are found to be reasonable and non-detrimental.
-

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

- 10. The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

□ Name: _____ Phone: _____

- 11. The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:
 - Alterations, closures, or blockages to sidewalks or pedestrian paths
 - Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
 - Storage of building materials, dumpsters, debris anywhere in the public ROW
 - Provision of exclusive contractor parking on-street
 - Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

Prior to Issuance of Any Building Permit:

12. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.

During Construction:

13. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
14. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
15. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
16. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
17. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
18. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
19. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
20. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
21. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.

22. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.
23. The height and location of the proposed structure, property lines and spot elevations shall be verified by a licensed surveyor or engineer on site after foundation forms are placed, but before pouring concrete or placing construction material in its permanent position. This verification shall be to the satisfaction of the Zoning Officer.

Prior to Issuance of Occupancy Permit or Final Inspection:

24. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
25. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated June 30, 2014.

At All Times (Operation):

26. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
27. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
28. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood.



Prepared by: Fatema Crane, Associate Planner
For Carol Johnson, Land Use Planning Manager

SOLORZANO & MARCANTONIO RESIDENCE

54 TUNNEL ROAD, BERKELEY, CA 94705

GENERAL NOTES

RENOVATION AND REMODEL OF AN EXISTING SINGLE FAMILY RESIDENCE DESIGNED IN A DUTCH COLONIAL STYLE CIRCA 1910.

A LATER 485 SF ADDITION FACING OAK RIDE DRIVE, IS TO BE DEMOLISHED AND REPLACED WITH A 770 SF ADDITION. THE NET DIFFERENCE IS + 285 SF. ROOF ON ADDITION CHANGED TO PEAK ROOF, WITH TOP RAISED 5' - 6" TO ALIGN WITH ROOF OF MAIN HOUSE. WORK INCLUDES REMODEL OF EXISTING KITCHEN AND BATHS AS WELL AS INTERIOR FINISHES THROUGHOUT.

ADDITION WILL CREATE A NEW MASTER SUITE, MASTER BATH, AND FAMILY ROOM. THE FOUNDATION AND RETAINING WALL FOR ADDITION FACING OAK RIDGE DRIVE WILL BE REPLACED. GARAGE TO REMAIN IN EXISTING LOCATION WITH THE ADDITION OF A NEW STAIR ACCESS FROM GARAGE TO YARD. EXTERIOR STAIR ACCESS ON OAK RIDGE DRIVE AND MAIN STAIRS ON TUNNEL ROAD TO BE REPLACED. FACADE, ROOF, AND TRIM OF MAIN HOUSE TO BE REPLACED WITH NEW FINISHES IN LIKENESS TO ORIGINAL HOUSE. REPLACE WINDOWS WITH DUAL PANE GLASS. UPDATING HEATING SYSTEM TO FORCED AIR, NEW ELECTRICAL AND LIGHTING THROUGHOUT.

SHEET INDEX

| ARCHITECTURAL DRAWINGS | PROJECT INFORMATION |
|------------------------|------------------------------|
| ■ A0.00 | BOUNDARY AND TOPOGRAPHIC MAP |
| ■ N/A | PROPOSED SITE PLAN |
| ■ A1.01 | EXISTING & DEMO FLOOR PLANS |
| ■ A1.02 - A1.03 | PROPOSED FLOOR PLANS |
| ■ A1.04 - A1.05 | EXISTING EXTERIOR ELEVATIONS |
| ■ A2.00 - A2.03 | PROPOSED EXTERIOR ELEVATIONS |
| ■ A2.04 - A2.07 | EXISTING SECTIONS |
| ■ A3.00 - A3.01 | PROPOSED SECTIONS |
| ■ A3.02 - A3.03 | |

PROJECT DIRECTORY

| | | |
|--|--|---|
| OWNER: CAROLINA SOLORZANO & DAVID MARCANTONIO 54 TUNNEL ROAD BERKELEY, CA 94705 | CONTACT: CAROLINA SOLORZANO EMAIL: TIGER@SOLORZANO.COM | CONTRACTOR: HAWK HEIRING BAND HECTOR MATHES 650.255.0748 |
| ARCHITECT: HOBSTETTER ARCHITECTURE STUDIO 241 CONNOR STREET SAN FRANCISCO, CA 94107 | CONTACT: DAVID HOBSTETTER TELEPHONE: 415.397.9584 EMAIL: DAVID@HOBSTETTERARCH.COM | STRUCTURAL ENGINEER: HOUASANTANO ENGINEERING, INC. 241 CONNOR STREET SAN FRANCISCO, CA 94122 415.682.2798 |
| | CONTACT: MICHAEL HOA | |

SYMBOL LEGEND

ROOM NAME

WALL TYPE

DOOR TYPE

WINDOW TYPE

RCP ELEVATION

FINISH FLOOR ELEVATION

ELEVATION DATUM

SECTION

DETAIL

ELEVATION

INTERIOR ELEVATION

COLUMN GRIDLINE

APPENDIX

PROJECT DATA

PLANNING DEPARTMENT NOTES

PROJECT NAME

PROJECT TYPE

PROJECT ADDRESS

BUILDING DEPARTMENT NOTES

APPLICABLE BUILDING CODES:

TYPE OF CONSTRUCTION:

SPRINKLER PROTECTION:

ASSESSOR'S BLOCK/LOT:

ZONING DISTRICT:

NO. OCCUPIED FLOORS:

LAND AREA:

PERMIT FLOOR:

GRADE:

RECORD FLOOR:

TOTAL COVERED:

2012 California Building Code (CBC)

2013 California Electrical Code (CEC)

2013 California Fire Code (FC)

2013 California Mechanical Code (CMC)

2013 California Plumbing Code (CPC)

2013 California Gas Code (CGC)

2013 California Energy Code (CEC)

2013 California Fire Safety Code (CFC)

2013 California Building Code (CBC)

2013 California Building Code (CBC)

2013 California Building Code (CBC)

2013 California Building Code (CBC)

2013 California Building Code (CBC)

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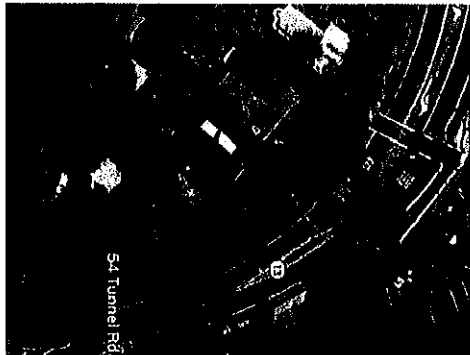
2013 California Building Code (CBC)

2013 California Building Code (CBC)

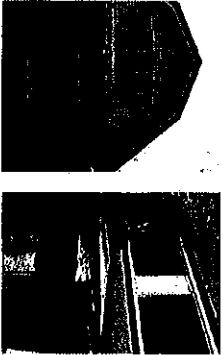
2013 California Building Code (CBC)

APPROVED PLAN
DATE 08/28/14
PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 O.P. Conditions Attached

VICINITY MAP / SITE PLAN



REFERENCE PHOTOS



HOBSTETTER
ARCHITECTURE
STUDIO
241 CONNOR STREET
SAN FRANCISCO, CA 94107
WEB: HOBSTETTERARCH.COM



DAVID HOBSTETTER
LICENSE: 09666

SOLORZANO
& MARCANTONIO
RESIDENCE
54 TUNNEL
ROAD

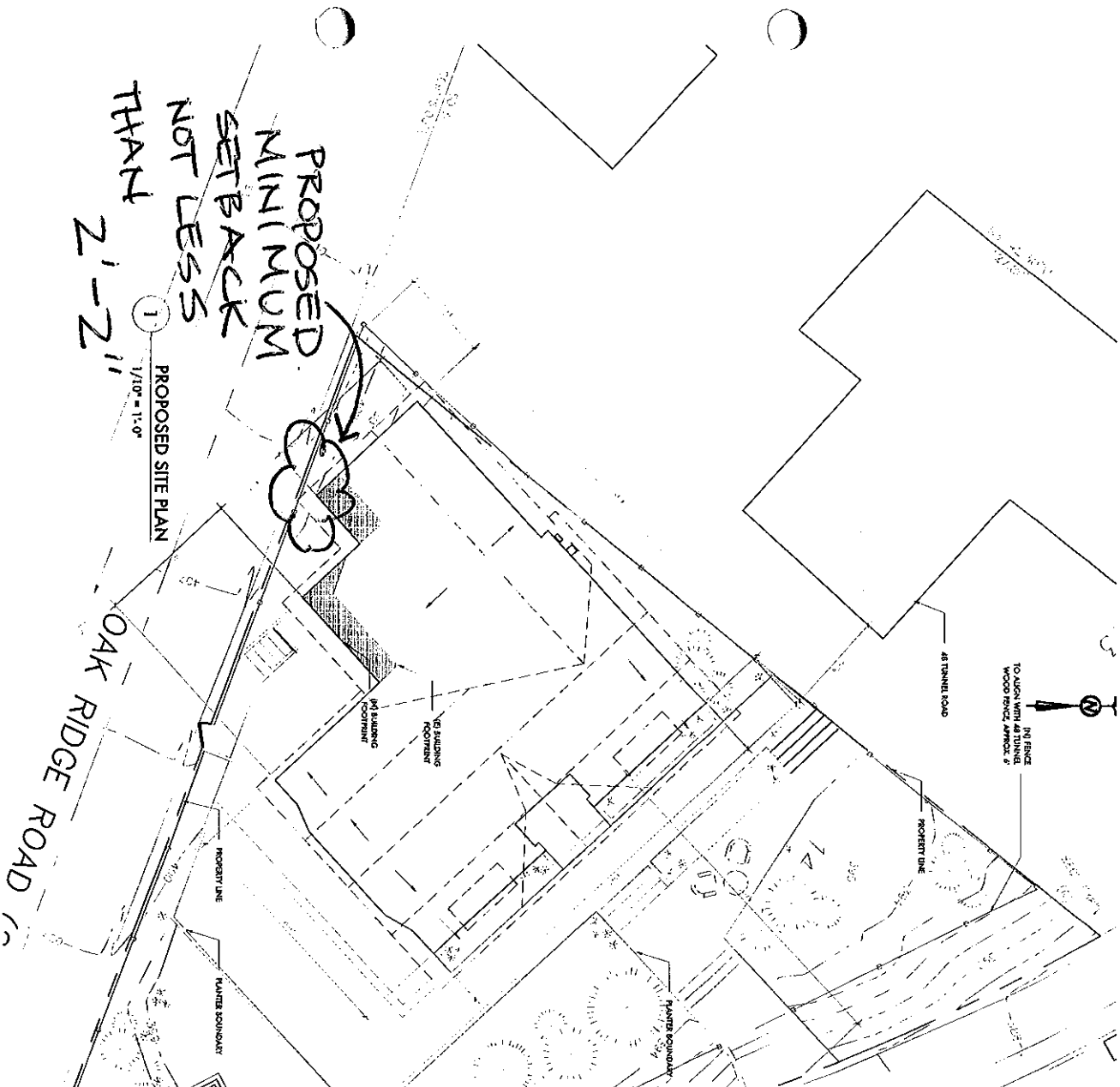
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A0.00

LAND USE PLANNING

RECEIVED

JUN 30 2014

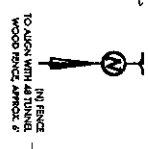


PROPOSED
MINIMUM
SETBACK
NOT LESS
THAN
2'-2"

PROPOSED SITE PLAN
1/10" = 1'-0"

OAK RIDGE ROAD

TUNNEL ROAD (50')



APPROVED PLAN 08/23/14

DATE

PLANNING

D.R. Conditions Attached

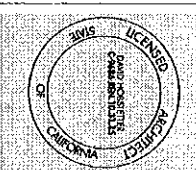
A.U.P. Conditions Attached 2/10

U.P. Conditions Attached

| | | | | | | | | | | | | | | | | | | | | |
|-------|-------|-------|-------|-------|-------|-------|-------|-------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--------|--|
| NO. 1 | NO. 2 | NO. 3 | NO. 4 | NO. 5 | NO. 6 | NO. 7 | NO. 8 | NO. 9 | NO. 10 | NO. 11 | NO. 12 | NO. 13 | NO. 14 | NO. 15 | NO. 16 | NO. 17 | NO. 18 | NO. 19 | NO. 20 | |
| | | | | | | | | | | | | | | | | | | | | |

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AAA LEED AP
LICENSE: C944

**SOLORZANO
MARCANTONIO
RESIDENCE**

54 TUNNEL
ROAD

PROPOSED SITE PLAN
SCALE: 1/10" = 1'-0"

A1.01

APPROVED PLAN **08/28/14** DATE
 PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

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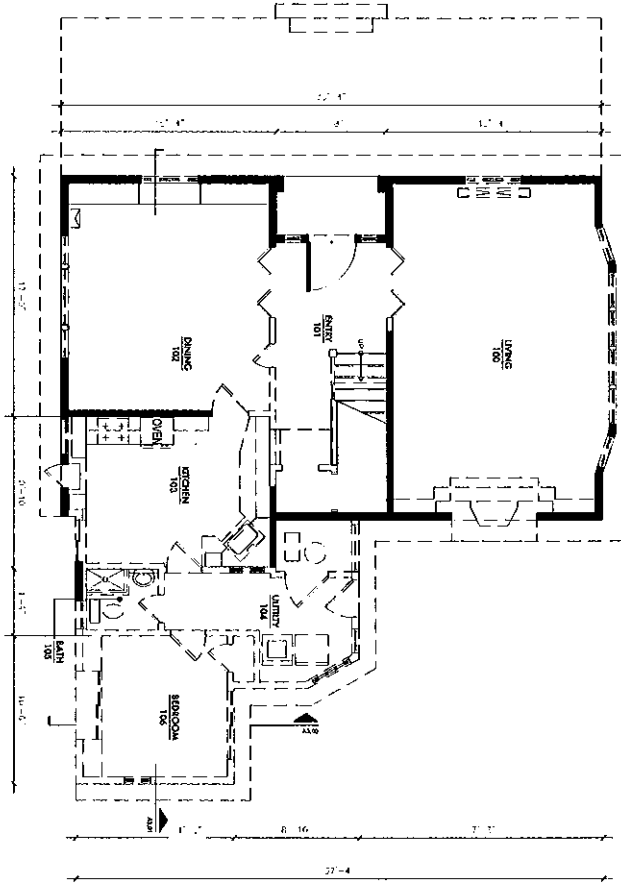
DAVID HOBSTETTER
 AIA, LEED AP
 LICENSE NO. C-3686

**SOLOZANO
 MARCANTONIO
 RESIDENCE**
 54 TUNNEL
 ROAD

SUBMITAL DATE: 5/12/14
 AUP SUBMITAL DATE: 5/12/14

EXISTING/DEMO
 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

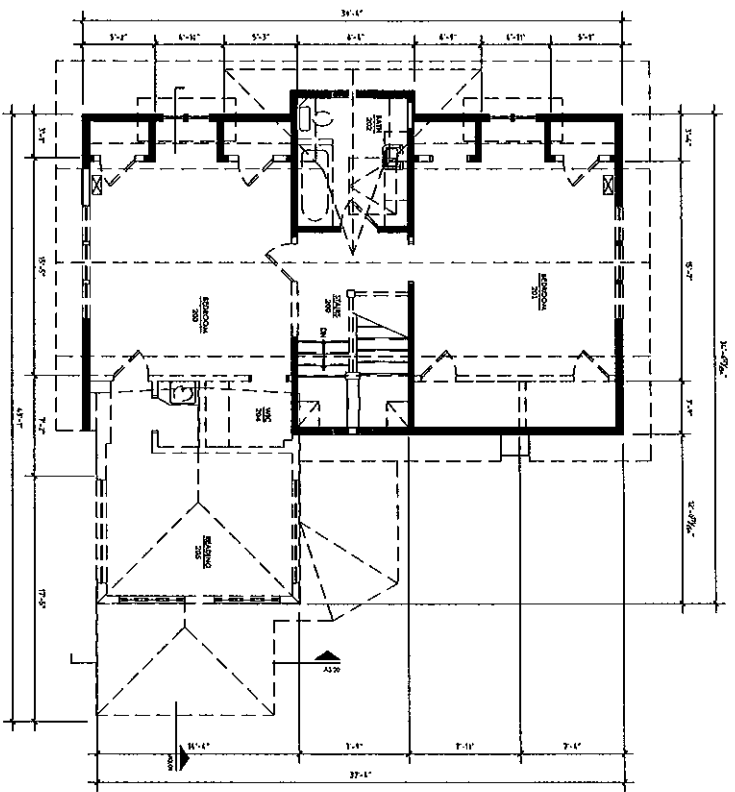
A1.02



1 EXISTING/DEMO FIRST FLOOR PLAN
 1/8" = 1'-0"

WALL LEGEND:
 ——— EXISTING WALLS TO REMAIN
 - - - - EXISTING WALLS TO BE REMOVED
 - - - - BUILDING TYPE 1, 1A
 - - - - OCCUPANCY TYPE 2

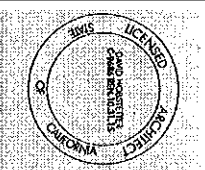
APPROVED PLAN
 PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached
 DATE 08/29/14
 4/10



1 EXISTING/DEMO SECOND FLOOR PLAN
 1/8" = 1'-0"

WALL LEGEND:
 ——— EXISTING WALLS TO REMAIN
 - - - - EXISTING WALLS TO BE REMOVED
 ——— BUILDING TYPE 3, 4
 ——— OCCUPANCY TYPE TYPE 5

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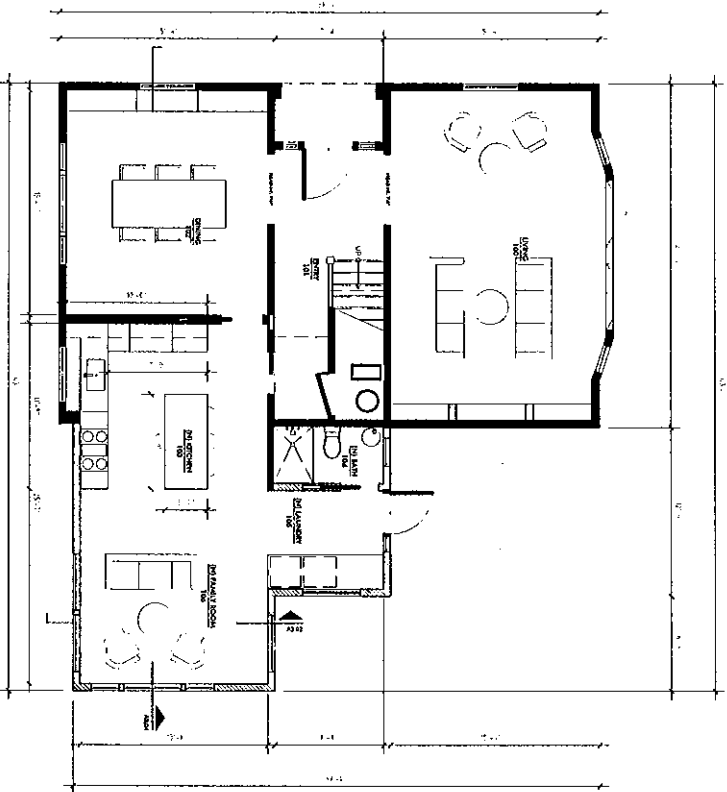
DAVID HOBSTETTER
 AIA, LEED AP
 LICENSE: 60886

SOLOZANO
 MARCANTONIO
 RESIDENCE
 54 TUNNEL
 ROAD

SUBMITTAL DATE
 AIA SUBMITTAL 5/12/14

EXISTING/DEMO
 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 A1.03

APPROVED PLAN
 DATE: 08/29/14
 PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached 5/10
 U.P. Conditions Attached



1 PROPOSED FIRST FLOOR PLAN
 1/8" = 1'-0"

WALL LEGEND:
 ——— EXISTING WALLS TO REMAIN
 - - - - - PROPOSED WALLS
 BUILDING TYPE 5.1.1
 OCCUPANCY TYPE 1.1.3

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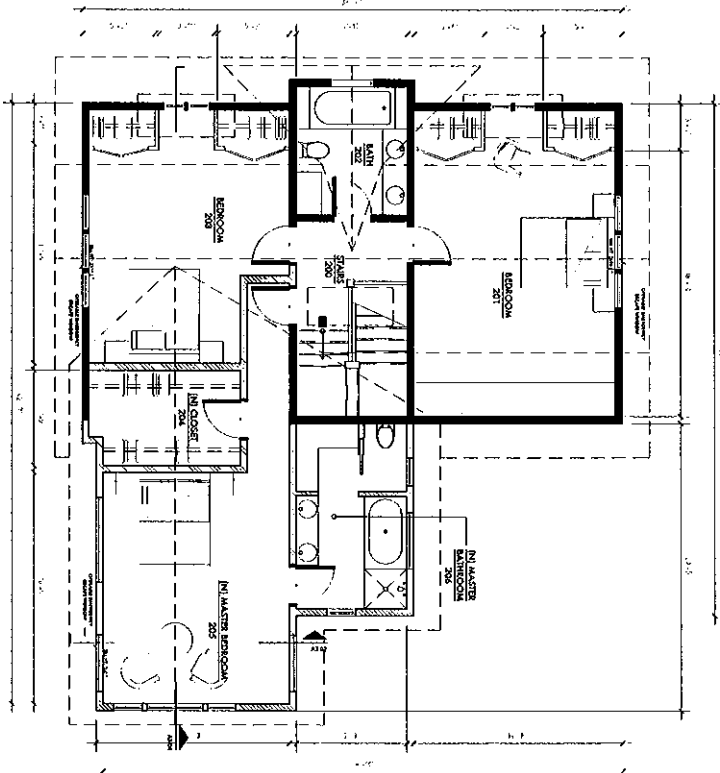


DAVID HOBSTETTER
 AIA, LEED AP
 LICENSE 51237

SOLORZANO
 MARCANTONIO
 RESIDENCE
 54 TUNNEL
 ROAD

SUBMITAL DATE
 A1.04 5/12/14

PROPOSED
 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 A1.04

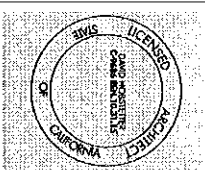


1 PROPOSED SECOND FLOOR PLAN
1/8" = 1'-0"

WALL LEGEND:
 ——— EXISTING WALLS TO REMAIN
 ——— PROPOSED WALLS
 ——— REMAINING TYPE 3
 ——— OCCUPANCY TYPE 3

APPROVED PLAN 08/28/14
 DATE
 PLANNING
 D.R. Conditions Attached
 S.A.U.P. Conditions Attached 6/10
 U.P. Conditions Attached

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 LICENSE 10000

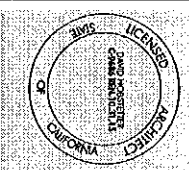
SOLOZANO
 MARCANTONIO
 RESIDENCE
 54 TUNNEL
 ROAD

DATE 5/2/14
 AIA 5/2/14
 AIA 5/2/14

PROPOSED
 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 A1.05

APPROVED PLAN **08/29/10**
 PLANNING *[Signature]* DATE
 D.R. Conditions Attached
 A.U.P. Conditions Attached **7/10**
 U.P. Conditions Attached

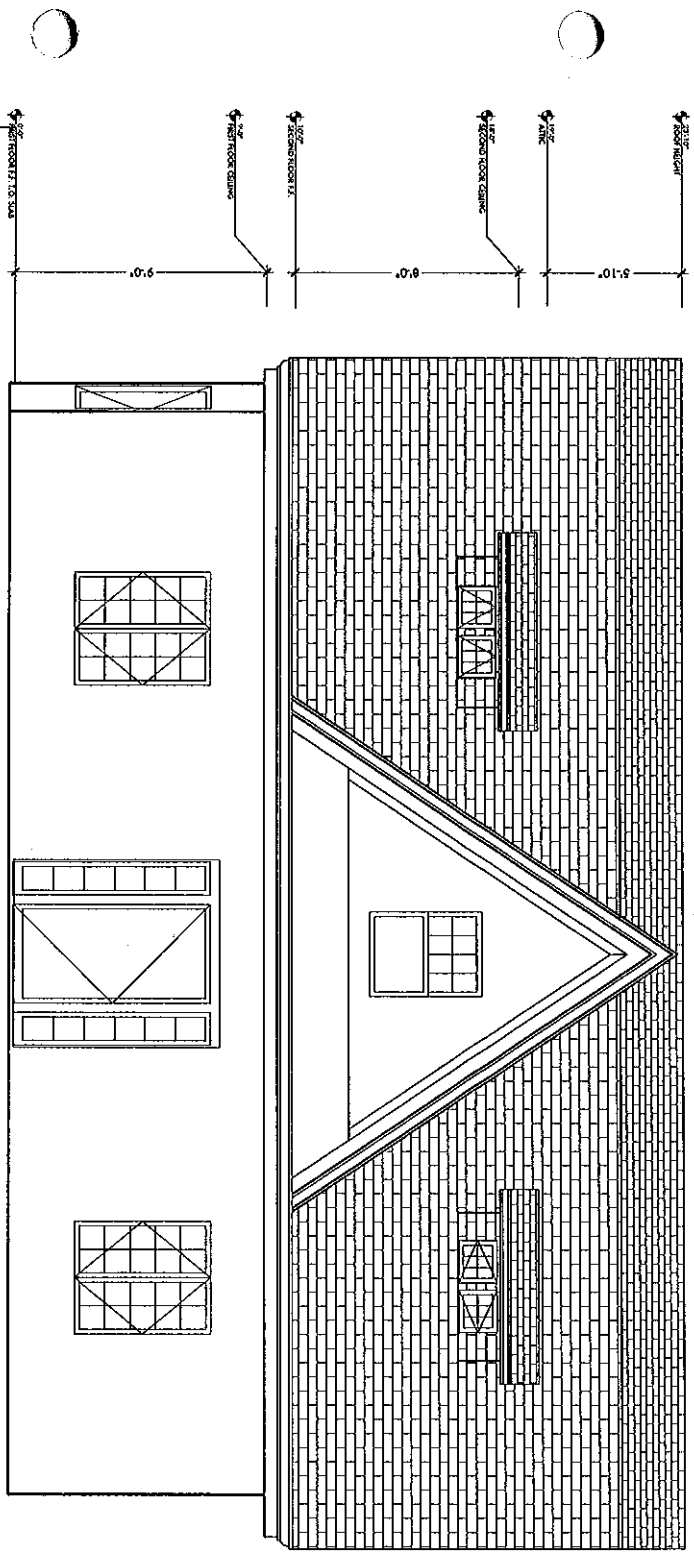
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DAVID HOBSTETTER
 LICENSE: 62666
**SOLORZANO
 MARCANTONIO
 RESIDENCE**
**54 TUNNEL
 ROAD**

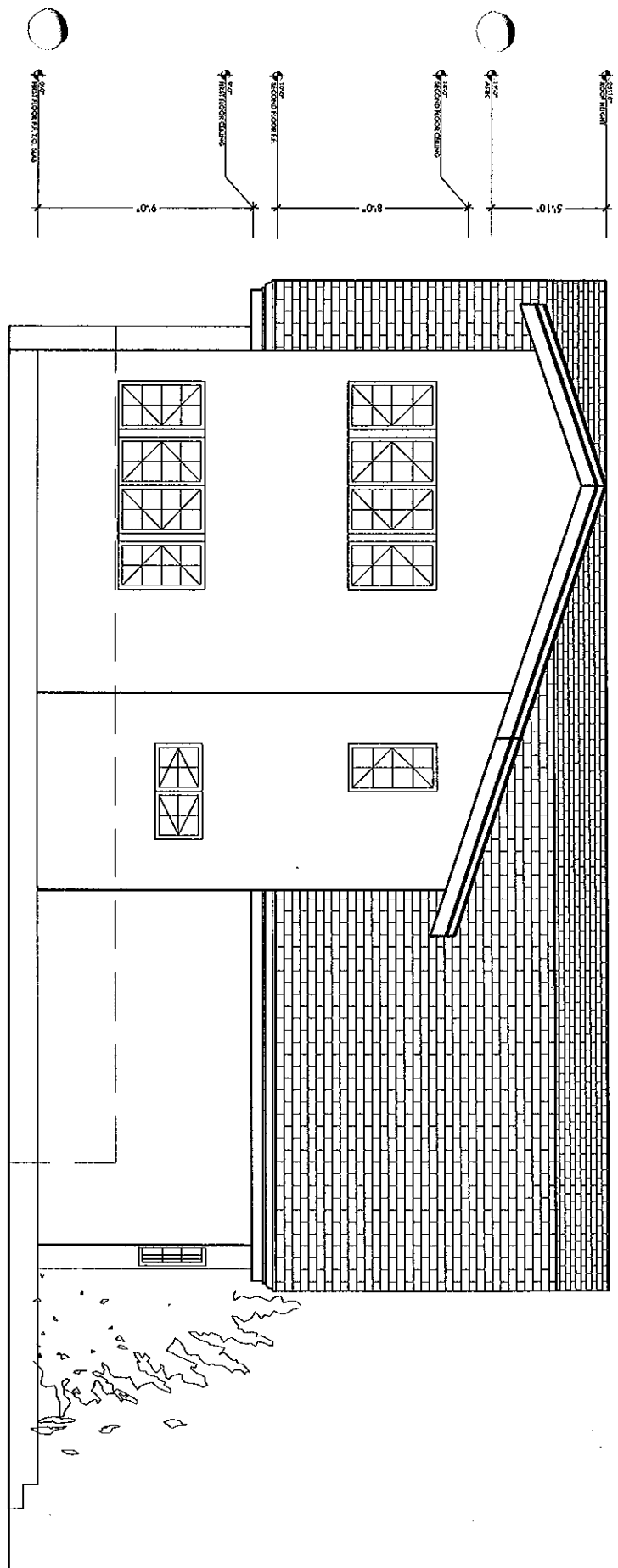
SHEET NO. **01** DATE
 APP. SUBMITTAL **5/12/10**
 PROPOSED
 MODIFICATION
 SCALE: 1/4" = 1'-0"

A2.04



1 PROPOSED NORTH ELEVATION
 1/4" = 1'-0"

APPROVED PLAN **08/28/14**
 DATE
 PLANNING
 D.F.R. Conditions Attached
 A.U.P. Conditions Attached **8/10**
 U.P. Conditions Attached



1 PROPOSED SOUTH ELEVATION
 1/4" = 1'-0"

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DAVID HOLSTETTER
 AIA, LEED AP
 LICENSE: 14528

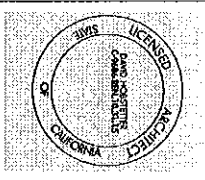
SOLORZANO
 MARCANTONIO
 RESIDENCE
 54 TUNNEL
 ROAD

SUBMITAL DATE
 AUP SUBMITAL 5/13/14
 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

A2.05

APPROVED PLAN 08/28/11
 PLANNING DATE
 D.R. Conditions Attached
 A.U.P. Conditions Attached 9/10
 U.P. Conditions Attached

HOBBETTER
 ARCHITECTURE
 STUDIO
 241 CONNECTICUT STREET
 SAN FRANCISCO, CA 94107
 WEB: HOBBETTERARCH.COM



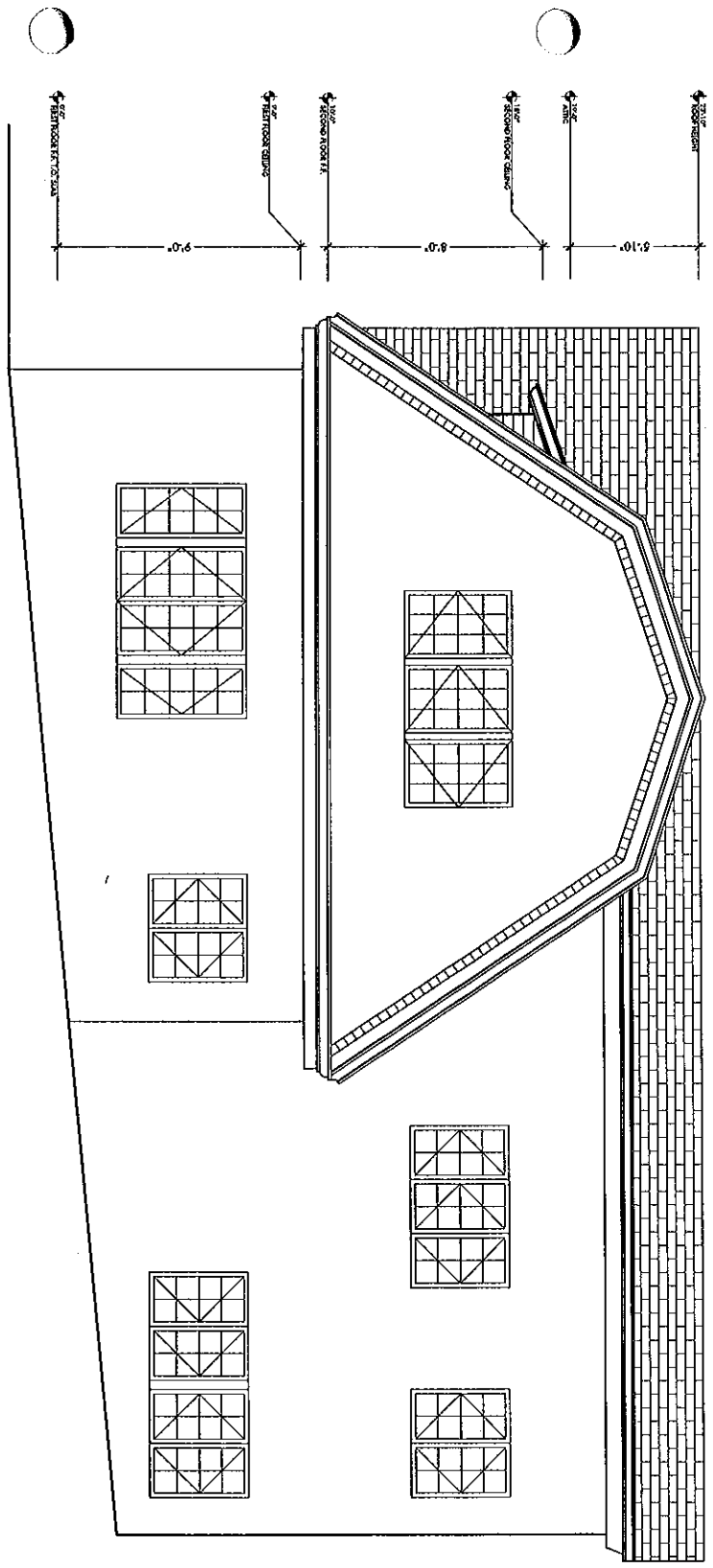
DAVID HOBLETTER
 A.A. LEED AP
 LICENSE 51274

SOLOZANO
 MARCANTONIO
 RESIDENCE
 54 TUNNEL
 ROAD

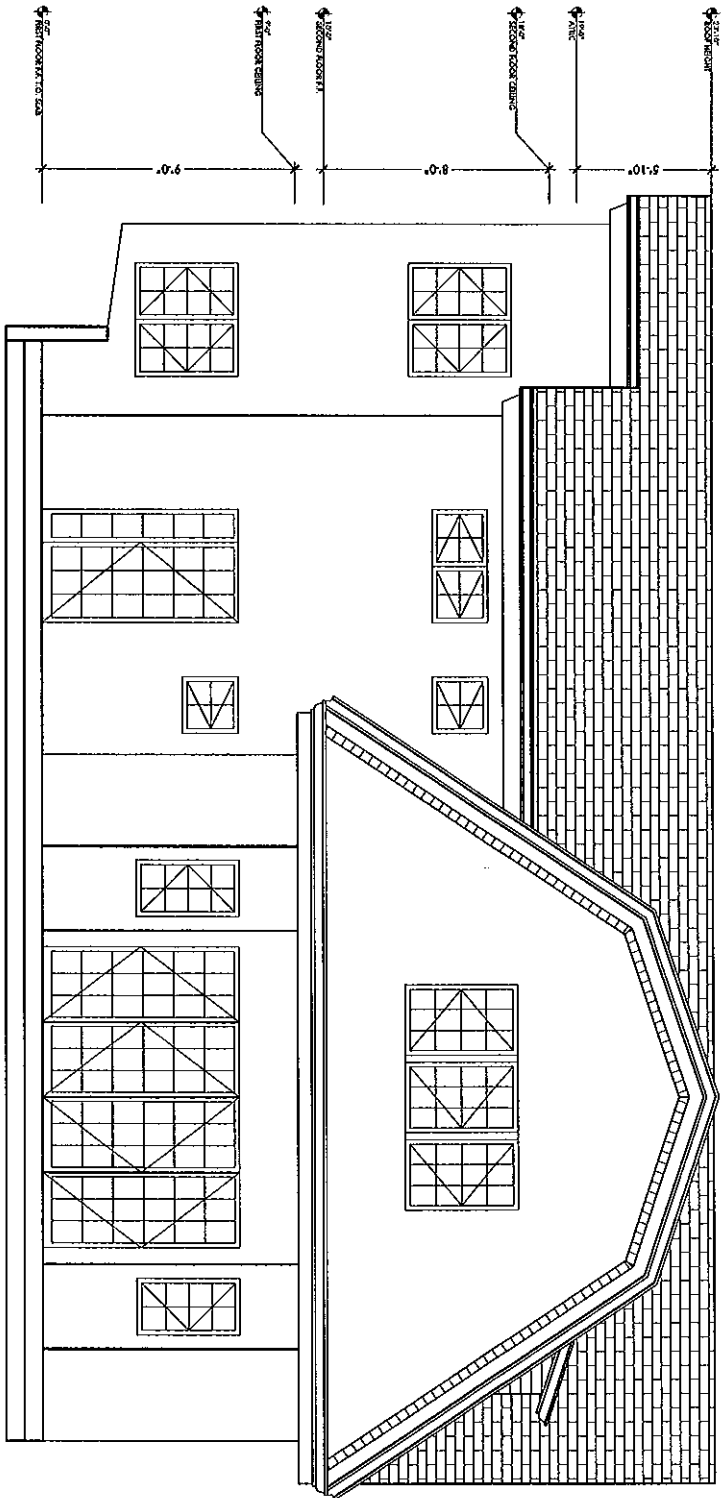
SUBMITTAL DATE
 ALL SUBMITTALS 5/12/11

NOTED
 FOR REVISION
 SCALE 1/4" = 1'-0"

A2.06



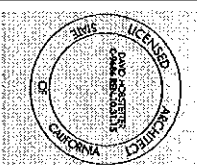
1 PROPOSED WEST ELEVATION
 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"

APPROVED PLAN 08/28/14
DATE
 PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached 10/10
 U.P. Conditions Attached

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DAVID HOBSTETTER
AIA, LEED AP
LICENSE: C-6846

SOLOZANO
MARCANTONIO
RESIDENCE
54 TUNNEL
ROAD

SHEET NO. DATE
 AWP SUBMITTAL 5/12/14

PROPOSED
EAST ELEVATION
SCALE: 1/4" = 1'-0"

A2.07