



Planning and Development Department  
Land Use Planning Division

# A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE  
Berkeley Municipal Code, Title 23

**AUP #2014-0012 / DRSL #2014-0004**

Property Address: **2082 SAN PABLO AVENUE**

Permittee Name: **SUNDEEP GREWAL**

Use and/or Construction Permitted: to remodel and expand the rear portion of a single-story commercial building currently used as a grocery store by: (1) demolishing approximately 1,600 sq. ft. of floor area at the rear of the 7,900-sq. ft. building and constructing a new two-story addition in its place, creating approximately 9,700 sq. ft. of total commercial floor area; and (2) re-organizing the surface parking lot at the rear of the property to include one additional parking space for a total of 11 spaces pursuant to:

- Section 23E.28.130.B to reduce the numeric parking requirement for a commercial building expansion; and
- Section 23E.64.050.B.1 to construct new gross floor area for a retail use in the Commercial West Berkeley zoning district.

## FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on August 12, 2014.

Attest: Carol Johnson  
Carol Johnson, Land Use Planning Mgr.

August 12, 2014  
Effective Date

# ATTACHMENT 1

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## FINDINGS AND CONDITIONS

JULY 21, 2014

### 2082 San Pablo Avenue

**Administrative Use Permit #AUP2014-0012**  
**Staff-level Design Review #DRSL2014-0004**

**This permit conditionally authorizes a proposal to remodel and expand the rear portion of a single-story commercial building currently used as a grocery store by: (1) demolishing approximately 1,600 sq. ft. of floor area at the rear of the 7,900-sq. ft. building and constructing a new two-story addition in its place, creating approximately 9,700 sq. ft. of total commercial floor area; and (2) re-organizing the surface parking lot at the rear of the property to include one additional parking space for a total of 11 spaces.**

#### **CEQA FINDINGS**

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1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

#### **FINDINGS FOR APPROVAL**

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2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:

- The proposed building addition will be setback 46 ft. and 6 in. from the rear (west) property line shared with a residential development at 1035 Addison Street. At this distance, the proposed building expansion and increase in building height - from 19 ft. - 5 in. in the existing condition to 21 ft. - 9 in. in the proposed condition - are not expected to have a significant massing impact for this abutting residential property.
- An existing CMU wall along the rear (west) property line will remain to ensure adequate screening and a consistent level of privacy for the abutting neighbors.

- The existing ancillary food preparation and cooking facilities will be improved and vented so as to direct smoke and odors away from the residents abutting on the west thereby ensuring that potential impacts from this activity will be minimized. Refer to Condition of Approval #38.
  - This proposal meets the District's regulatory standards for Uses Permitted (Section 23E.64.020), minimum rear and street side yard setback as well as maximum Floor Area Ratio and building heights (Section 23E.64.070)
3. The proposal to provide only one new parking space for the proposed addition of 1,792 sq. ft. new floor area which would otherwise require four additional parking spaces, is found to be permissible because:
- As required under Section 23E.28.140 (C District Building Expansions) Paragraph B.1.a, the subject retail building is situated less than one-third of a mile from the AC Transit Line 72R bus rapid stop located at the intersection of University and San Pablo Avenues.
  - As required under Paragraph B.2.a, this parking requirement modification for the proposed retail expansion meets the C-W District Node Purpose to "*encourage intensified development around transit transfer points*" stated in Section 23E.64.040 (Special Provisions: Designed Nodes) Paragraph B.1. In this case, the project site is within one block of the transfer point for the AC Transit Lines 72R and 51B.
4. As required under 23E.64.040 (Designated Nodes) 090.C (Findings applicable to Nodes) the proposed retail expansion and façade improvements will result in a stronger and slightly intensified retail segment within this designated C-W Node as well as an enhanced pedestrian experience at the street level.
5. As required under 23E.64.020 (Purposes) and 090 Paragraph B.1 (Findings), this proposal is consistent with the many of the Purposes of the C-W district. Specifically this project will:
- Support the retention of a well-established, medium-sized grocery retailer. In doing so, it will also add to the variety of sizes of tenant spaces in this District.
  - Intensify commercial activity in a Designated C-W Node.
  - Expand and further utilize an existing commercial site.
  - Further concentrate activity in the vicinity of the University/San Pablo transit transfer point.
6. As required under 23E.64.090 Paragraph B.2, this proposal is found to be compatible with the surrounding uses because (1) the existing use has proved to be compatible in this environment and it will continue unchanged, and (2) the proposed building expansion will not interfere with, or preclude the regular operation of, the surrounding uses.
7. As required under 23E.64.090 Paragraph B.3 this proposal is consistent with the adopted West Berkeley Plan, specifically this retail use is a District Permitted Use as described in the Plan (pg. 43), and it is located in a targeted area for retail commercial concentration along the San Pablo Avenue corridor.

8. As required under 23E.64.090 Paragraph B.4 this proposal ensures the continuation of an existing retail use that is located at the ground level.
  9. As required under 23E.64.090 Paragraph B.5 this proposal represents an investment in the subject property as well as an expansion its facilities, thereby ensuring that this property will not continue to be underutilized.
  10. There are no performance standards for off-site impacts associated with this project that would be required under 23E.64.090 Paragraph B.6
  11. As required under 23E.64.090 Paragraph B.7 this project is not expected to exceed the amount or intensity of use that can be served by available parking in the area because this expansion is not designed to increase the floor area devoted to retail sales or customer service. Similarly, there is no indication that this expansion would result in increased traffic volumes beyond what is serviceable under current circumstances.
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## STANDARD CONDITIONS

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The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

### 1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

### 2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

### 3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

### 4. Design Review

Design Review approval for this project is contingent upon Administrative Use Permit approval. This proposal is approved as shown on the drawings dated "received May 2, 2014" subject to the conditions herein. No changes can be made to these approved plans without Design Review approval.

### 5. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

### 6. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

### 7. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

**8. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)**

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

**9. Exercise and Lapse of Permits (Section 23B.56.100)**

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

**10. Indemnification Agreement**

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

**ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER**

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

**Prior to Submittal of Any Building Permit:**

- 11. The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

12. The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:
- Alterations, closures, or blockages to sidewalks or pedestrian paths
  - Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
  - Storage of building materials, dumpsters, debris anywhere in the public ROW
  - Provision of exclusive contractor parking on-street
  - Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

13. All building permit drawings and subsequent construction shall substantially conform to the final design review plans as outlined in Condition #4. Any modifications must be reviewed by the Zoning Officer or his designee to determine whether the modification requires approval.

**Prior to Issuance of Any Building Permit:**

14. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
15. **COLORS** Prior to Design Review sign-off of the Building Permit set of drawings, the applicant shall submit color and materials information for review and approval by Design Review Staff or note where they match existing. All materials will be matte unless otherwise noted.
16. **CLEAR GLASS** All glass is assumed to be clear glass. Any proposed glass that is not clear glass, or includes signage, shall be indicated on all drawings, and shall be reviewed for approval by Design Review Staff.
17. **DETAILS** Prior to Design Review sign-off of the Building Permit set of drawings, the applicant shall submit window, door, roof, trim, railing, and awning details for review and approval by the Design Review Staff. Drawings must include a high-quality coping detail at the building's roof line, preferably consisting of metal. The windows on the west elevations must include details that provide depth and interest.
18. **ROOF EQUIPMENT** Any above ground or roof equipment, such as transformer(s), utilities, fire apparatus, air conditioning units, compressors, etc. shall be shown to scale on the architectural drawings of the building permit set of drawings in both plan and elevation, in order to determine if additional screening and design review may be required.

19. **SIGNAGE** Prior to Design Review sign-off of the building permit set of drawings, the plans shall include complete signage details, including colors, materials, letter heights, dimensions, placement on building, and installation details. All signage shall be consistent with the City's Sign Ordinance (BMC Chapter 20) and sign guidelines. All materials will be matte unless otherwise noted.
20. **LIGHTING** Prior to Design Review sign-off of the building permit set of drawings, the applicant shall submit lighting details showing all existing and proposed site and building lighting. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
21. **LANDSCAPE PLANS** Prior to Design Review sign-off of the Building Permit set of drawings, the applicant shall submit a Landscape plan including the number, location, and species of all proposed plantings, and which existing plantings shall be removed. The rear portion of the building and parking area shall be enhanced with vegetation including: (1) not less than two vertical landscape elements on the west elevation such as grade-level vine pockets and climbing cables; and (2) a planting strip the width of the trash enclosure shall be added to the parking area along the north property line.
22. **LANDSCAPE IRRIGATION** The applicant shall provide irrigation for all landscaped areas. This shall be called out on Landscape building permit drawings.
23. **CURB CUTS** All curbs and curb cuts shall be constructed per the standards and specifications of the Public Works Department. Curb cuts no longer utilized shall be restored per the Public Works Department specifications.

**During Construction:**

24. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
25. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
26. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
27. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
28. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.



29. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
30. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
31. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
32. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
33. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

**Prior to Issuance of Occupancy Permit or Final Inspection:**

34. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
35. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated May 2, 2014.

**At All Times (Operation):**

36. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
37. Cooking odors, noise, exterior lighting and operation of any parking area shall be controlled so as to prevent verified complaints from the surrounding neighborhood. This shall include noise created by employees working on the premises before or after patrons arrive.
38. Smoke and odor control equipment approved by the City Environmental Health Division and providing adequate protection to residential uses to the west of the site shall be installed prior to issuance of an Occupancy Permit.
39. Garbage and trash containers that are suitably enclosed and screened from view shall be provided subject to approval of the Zoning Officer, the Health Department and, where applicable, the Design Review Planner. Any establishment selling beverages in cans or bottles that are subject to the State of California Container Deposit Law shall provide separate bins or cans for the placement of such cans or bottles to ensure recycling of such containers.

40. Any establishment selling beverages in cans or bottles that are subject to the State of California Container Deposit Law shall recycle such containers.
41. Landscape irrigation shall be provided and maintained for all landscaped areas as called out on the Landscape Plan for this project and the building permit drawings.
42. Changes to the building's facade, including doors or windows, site plans, landscaping, signage, and awnings are subject to Design Review approval.



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Prepared by: Fatema Crane, Associate Planner  
For Eric Angstadt, Planning Director

**SCOPE OF WORK**

New building addition, add over, dry addition at rear of existing building for new offices, storage, mezzanine and roof deck.  
 Parking lot upgrade and addition 1 parking space to the existing asphalt. Repair and repave lot surface to meet minimum efficiency. Create new landscaping strip and fencing along property edge.  
 San Pablo Ave. Street Frontage: Existing entrance, walkway, signage and signage to remain.  
 Address Street Frontage: Existing entrance, mural, awnings and signage to remain.

**GENERAL NOTES**

- The general notes are complementary of the general conditions and specifications. Should conflicts occur, it should be brought to the attention of the architect.
- Any discrepancies between field conditions and these drawings should be brought to the attention of the architect immediately.
- Contractor shall conform to all city, county, state and federal construction and safety laws, codes and ordinances, if applicable and/or specifications are at variance therewith, contractor shall notify the architect immediately.
- The contractor shall furnish and install all materials and labor required to complete the work. Evaluation of all bids or items shall be in full compliance. The contractor's responsibility is to verify the owner and the architect of these conditions prior to the submission of bids. The contractor shall be responsible for all items to be installed. These items shall be installed in accordance with the manufacturer's standard of construction and the contractor shall meet or exceed normal construction techniques and standards for a building of this type.
- The contractor shall subcontract and purchase and maintain certificates of insurance with respect to: workmen's compensation, public liability, property damage for the risks as required by the contract documents. The contractor shall be responsible for maintaining and keeping up to date a schedule of the work.
- Manufactured materials, equipment, etc., shall be installed per manufacturer's recommendations and the contractor shall verify the quality.
- All work shall be performed in accordance with the best practices of the various trades involved. All work shall be checked and installed prior to the start of work on the next day.
- Immediately upon being awarded the contract, the contractor shall prepare and submit to the owner and architect a construction schedule, and the schedule shall conform to the completion schedule set forth in the contract documents.
- Contractor shall submit all shop drawings required for various trades or specialties requested in the contract documents to the architect for approval.
- Contractor shall submit samples of various materials together with finishes as specified and approved for use in the work. Samples shall be submitted for approval. When approved, the contractor shall be responsible for all materials and finishes. Contractor shall maintain color references and maintain to the architect for approval.
- Upon completion of the work, the contractor shall apply the owner and architect, when all complete and satisfactory, to the architect and all subcontractors will be deemed for final payment under terms of the owner/contractor agreement.
- The project shall be left completely clean and clear to the satisfaction of the architect and owner.
- All work and material shall be new and unused and of the highest quality in every respect.
- All work and material shall be guaranteed against defects in design and workmanship for at least one year from final payment, unless noted otherwise.
- Questions regarding these plans and specifications should be directed to the architect.
- All dimensions are to the finish face unless otherwise noted. Verify architect if discrepancies found.
- Contractor must comply with all OSHA requirements.
- All electrical work shall comply with the city and state electrical codes.
- All plumbing work shall comply with the city and state plumbing codes.
- Dimensions noted "max" or "min" are minimum required dimensions and shall be maintained.
- "Typical" means identical for all similar conditions unless otherwise noted.
- "Similar" means comparable characteristics for the elevation or materials noted. Verify dimensions and elevation on plan.
- The general contractor shall be responsible for the distribution of drawings to all areas under his jurisdiction.
- The general contractor shall not proceed with any accident compensation beyond the architect's approval. The contractor shall be responsible for all items to be installed. These items shall be installed in accordance with the manufacturer's standard of construction and the contractor shall meet or exceed normal construction techniques and standards for a building of this type.
- Schedules, revisions, or changes shall have prior written approval by the architect.
- No work shall be done in construction or quality or deficient in any requirements of the drawings or specifications. The contractor shall be responsible for all items to be installed. These items shall be installed in accordance with the manufacturer's standard of construction and the contractor shall meet or exceed normal construction techniques and standards for a building of this type.
- Questions shall be referred by work conforming with the intent of the contract. No payment, either partial or final, shall be considered as an acceptance of defective work or improper methods.

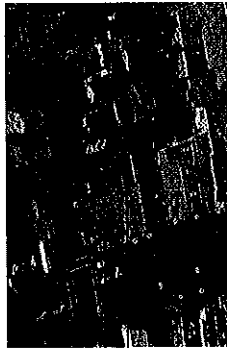
**MI TIERRA FOODS**

2082 San Pablo Ave Berkeley, CA 94702

**APPLICABLE CODES**

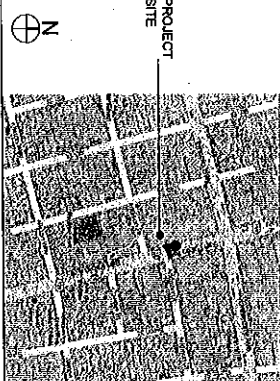
California Building Code: 2013 Edition  
 California Mechanical Code: 2013 Edition  
 California Plumbing Code: 2013 Edition  
 California Electrical Code: 2013 Edition  
 California Fire Code: 2013 Edition  
 724 Energy Regulations: 2013 Edition  
 This project shall conform to all codes and any local and state laws and regulations adopted by the city of Berkeley, CA.

**SITE PHOTOS**



Area View  
 Existing Market  
 Area of new addition

**VICINITY MAP**



PROJECT SITE

**CONTACT INFO**

Owner: Mando  
 2082 San Pablo Ave  
 Berkeley, CA 94702  
 TEL: 510-574-8824

Project Address: Mando  
 Berkeley CA 94702  
 APN: 058 197801300

Architect: G+S Architects  
 2203 5th St.  
 Berkeley, CA 94710  
 TEL: 510-542-7446

**PROJECT DATA**

| Zone/Regulation                  | Project Data                     | Existing                          | Proposed/Additional               |
|----------------------------------|----------------------------------|-----------------------------------|-----------------------------------|
| Zone/Regulation: C-MV            | Project Data: 2082 San Pablo Ave | Existing: 7,889 sq ft             | Proposed/Additional: 12,811 sq ft |
| Project Data: 2082 San Pablo Ave | Existing: 7,889 sq ft            | Proposed/Additional: 12,811 sq ft |                                   |
| Project Data: 2082 San Pablo Ave | Existing: 7,889 sq ft            | Proposed/Additional: 12,811 sq ft |                                   |

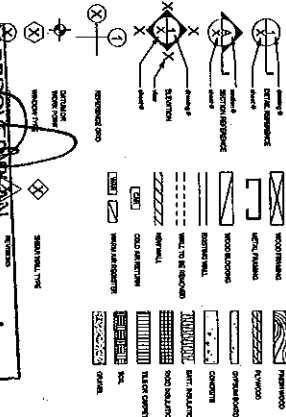
**SHEET INDEX**

- A0.0 Scope Of Work, Vicinity Map, Project Data
- A0.1 Sheet Index, Abbreviations, Symbols, General Notes
- A0.2 Existing Site Plan, Proposed Site Plan
- A1.1 Existing Floor Plans and Exterior Elevations
- A2.1 Proposed Floor Plans
- A2.2 Proposed Elevations
- A2.3 Proposed Elevations
- A3.1 Shadow Studies

**ABBREVIATIONS**

| Symbol | Description |
|--------|-------------|
| 1      | As Shown    |
| 2      | As Shown    |
| 3      | As Shown    |
| 4      | As Shown    |
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| 100    | As Shown    |

**SYMBOLS & LEGEND**



**G+S ARCHITECTS**  
 2223 FIFTH ST.  
 BERKELEY, CA 94710  
 P: 510.548.7448  
 F: 510.548.7441  
 info@gsaia.com

**MI TIERRA FOODS**  
 2082 San Pablo Ave  
 Berkeley, CA 94702  
 APN: 058 197801300

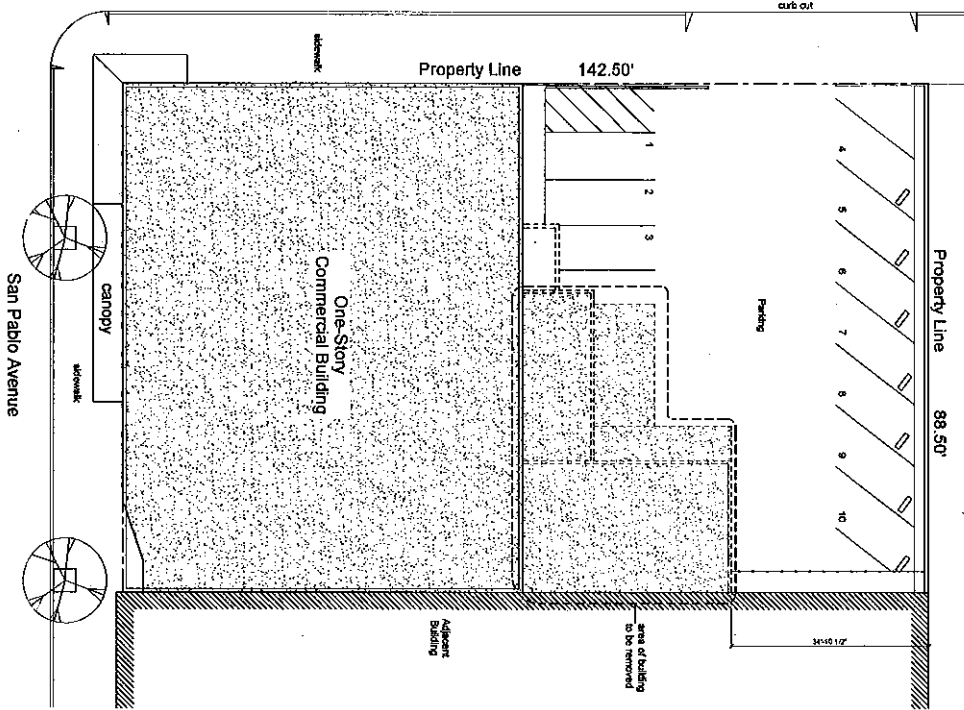
Owner: Mando  
 Project: 2082 San Pablo Ave  
 Architect: G+S Architects  
 Date: 7/1/14  
 Approved: [Signature]  
 Plans: MDR Conditions Attached P4  
 A.U.P. Conditions Attached P5  
 U.P. Conditions Attached

Scale: AS noted  
 Project No: 13-10-288  
 Title: N/A

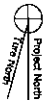
SSG, EMS  
 AS noted  
 Planning: 10-1-2013  
 AUP Submittal: 1-30-2014

Sheet: A0.0

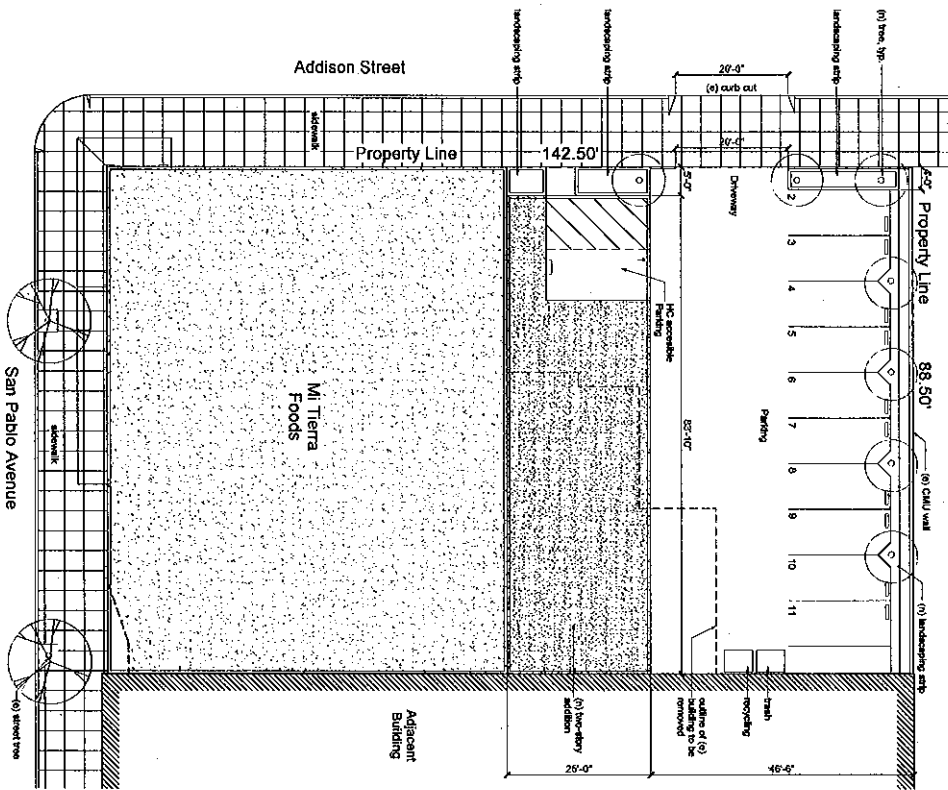
Addison Street



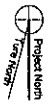
2 Existing Site Plan



Addison Street



1 Proposed Site Plan



**APPROVED PLAN**  
 DATE 7/1/14  
 PL. AREA 1/5  
 D.R. Conditions Attached P4  
 A.U.P. Conditions Attached 2/5  
 U.P. Conditions Attached

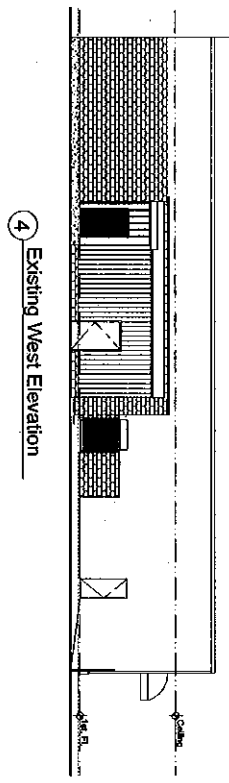
**MI TIERRA FOODS**  
 2082 San Pablo Ave  
 Berkeley, CA 94702  
 APN: 056 197801300



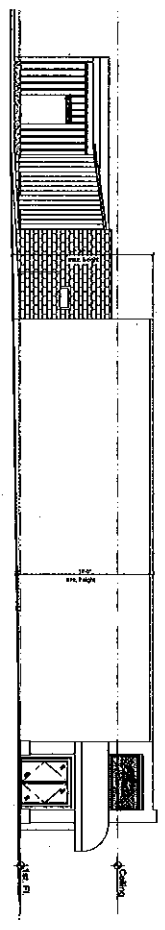
**STUDIO G+S ARCHITECTS**  
 2223 FIFTH ST.  
 BERKELEY, CA 94702  
 PH: 510.548.7448  
 FAX: 510.548.7441  
 info@studiogplus.com

Sheet: **A0.1**

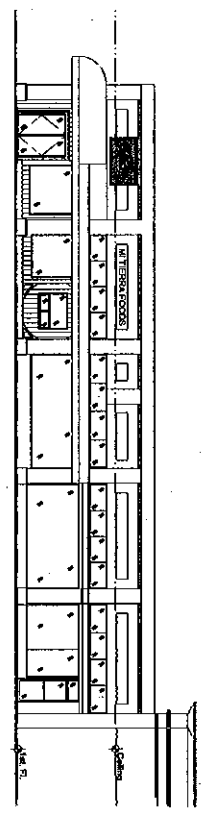
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|---------------|-----------------|
| Scale:        | 1" = 10'-0"     |
| Checked By:   | SSG, EWS        |
| Drawn By:     | NLA             |
| Project No.:  | 13-10-288       |
| Date:         | 1-3-10-288      |
| Project Name: | MI TIERRA FOODS |
| Author:       | SSG, EWS        |
| Checker:      | NLA             |
| Project No.:  | 13-10-288       |
| Date:         | 1-3-10-288      |
| Project Name: | MI TIERRA FOODS |
| Author:       | SSG, EWS        |
| Checker:      | NLA             |



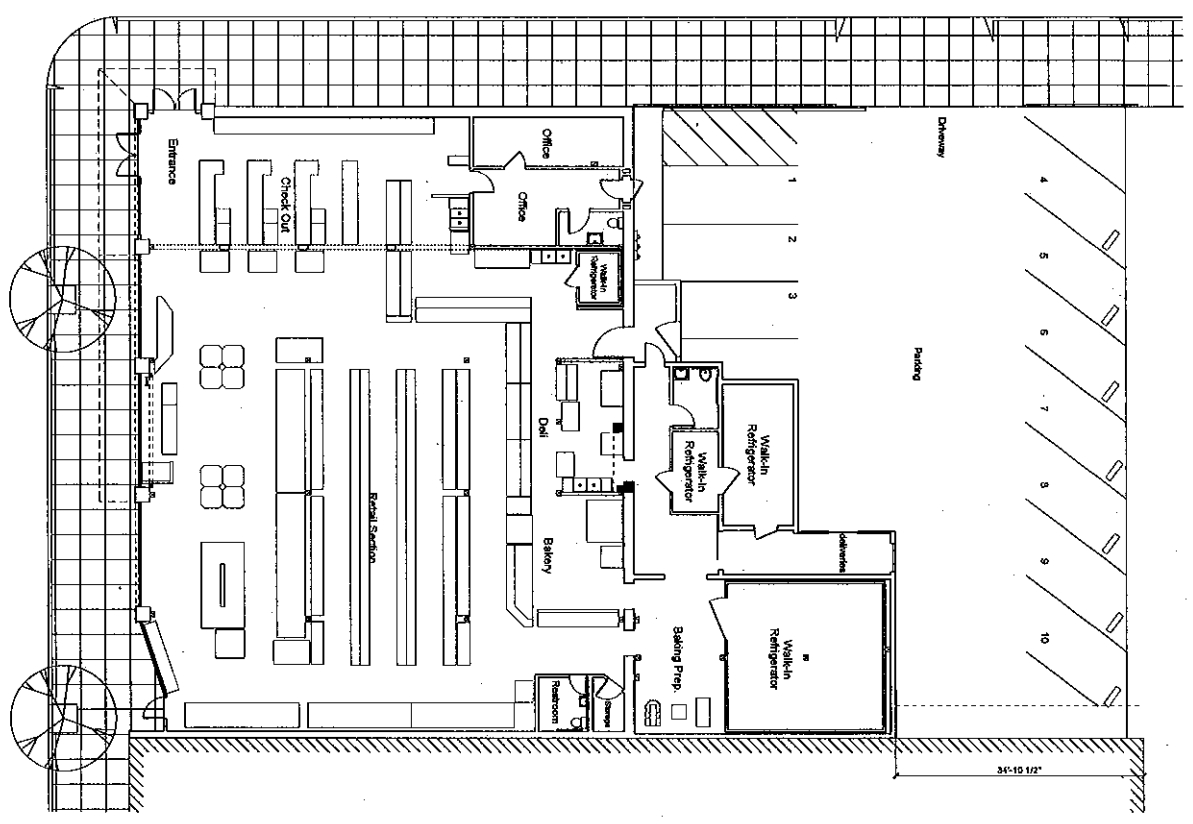
4 Existing West Elevation



3 Existing South Elevation



2 Existing East Elevation



1 Existing Floor Plan

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**MI TIERRA FOODS**  
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Sheet Contents:  
Existing Floor Plan and  
Elevation Drawings

Project Name:  
13-10-288

Drawn By:  
NLA

Checked By:  
SSG, EWS

Scale:  
1/8" = 1'-0"

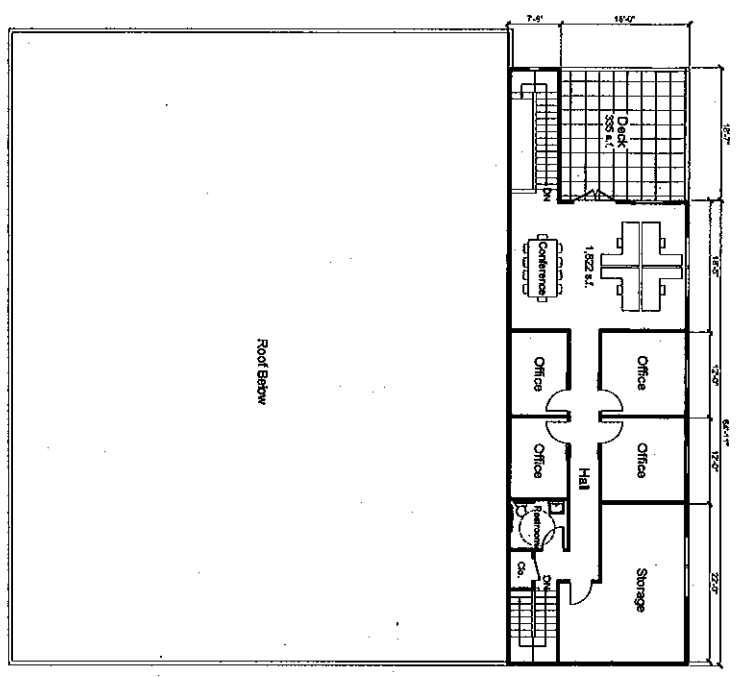
Revisions:  
Parking Per-APN: 10-1-2013  
APN Summary: 1-9-2014

Sheet  
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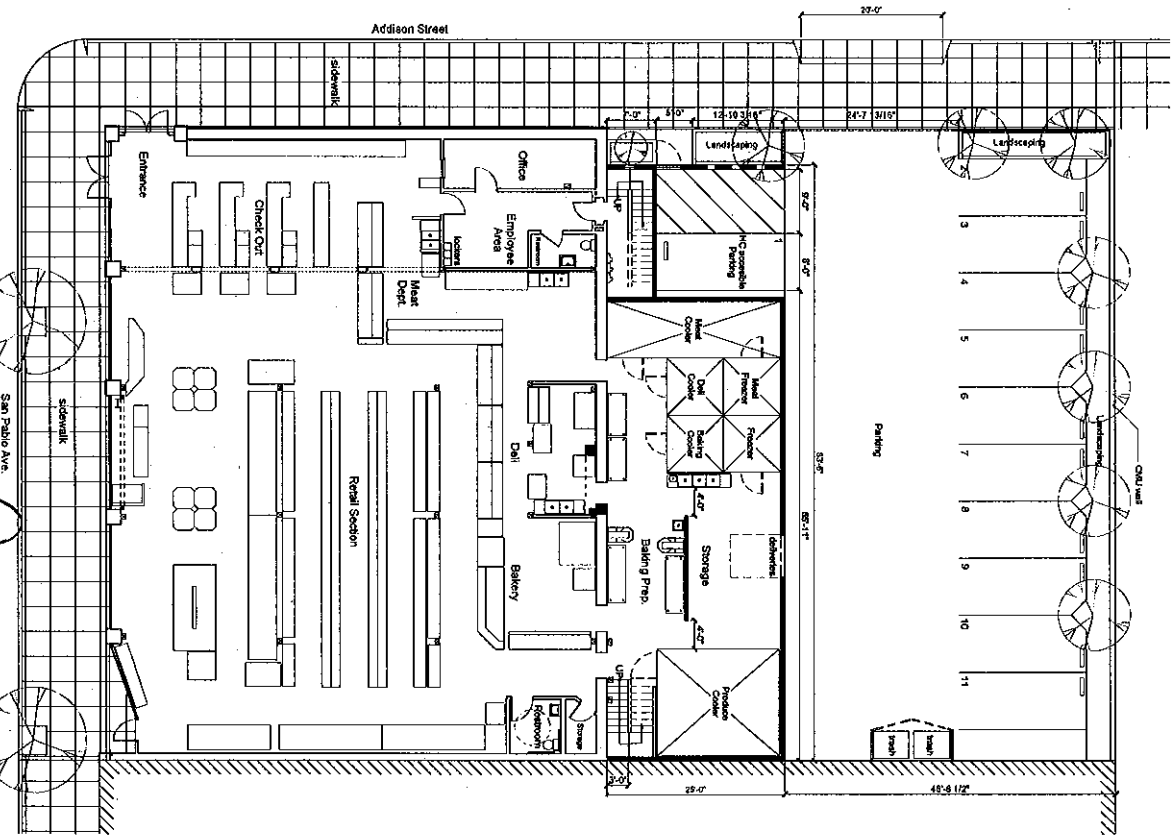
|              |          |                                 |            |
|--------------|----------|---------------------------------|------------|
| Office       | 309 S.F. | Storage                         | 309 S.F.   |
| Stairs       | 132 S.F. | Office/Conference Room/Corridor | 1,251 S.F. |
| Second Floor |          | Stairs                          | 77 S.F.    |

3 Area Calculations

|                        |            |              |            |
|------------------------|------------|--------------|------------|
| Office/Conference Room | 1,589 S.F. | Stairs       | 57 S.F.    |
| Stairs                 | 150 S.F.   | Office       | 110 S.F.   |
| First Floor            |            | Storage/Prep | 1,589 S.F. |
| Total                  |            | Roof Below   | 5,529 S.F. |



2 Proposed Second Floor Plan



1 Proposed First Floor Plan  
 APPROVED PLAN  
 PLANNING  
 S.D.P. Conditions Attached  
 S.A.U.P. Conditions Attached  
 U.P. Conditions Attached  
 DATE 7/1/14  
 3/5

**MI TIERRA FOODS**

2082 San Pablo Ave  
 Berkeley, CA 94702  
 APN: 056 197801300

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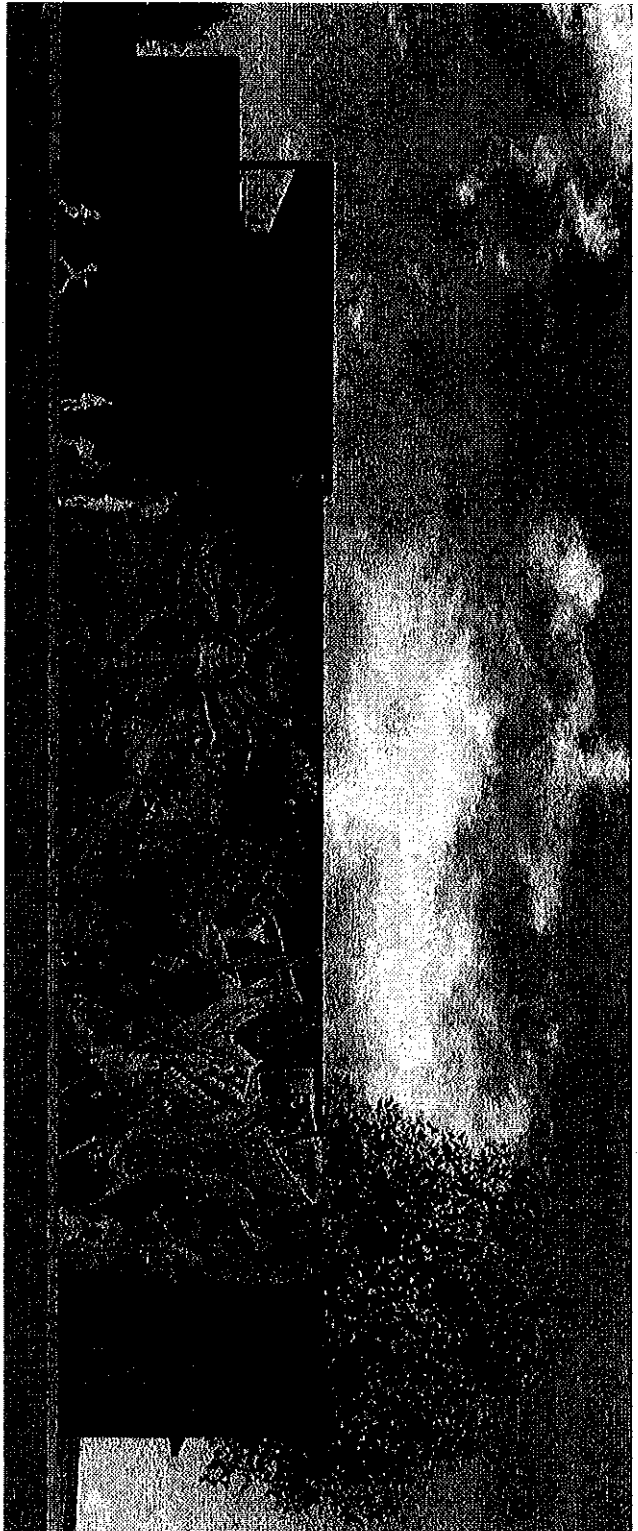
Project No: 13-10288

Drawn By: N/A

Checked By: SSG, EWS

Scale: 1/8" = 1'-0"

Revision: 13-10288



2 Addison St. Elevation



1 Proposed South Elevation  
Addison St.

APPROVED PLAN DATE 7/14  
 PLANNING  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached

MI TIERRA FOODS

2082 San Pablo Ave  
Berkeley, CA 94702  
APN: 056 197801300

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Sheet: **A2.2**

Scale: 1/4" = 1'-0"

Checked By: SSG, EWS

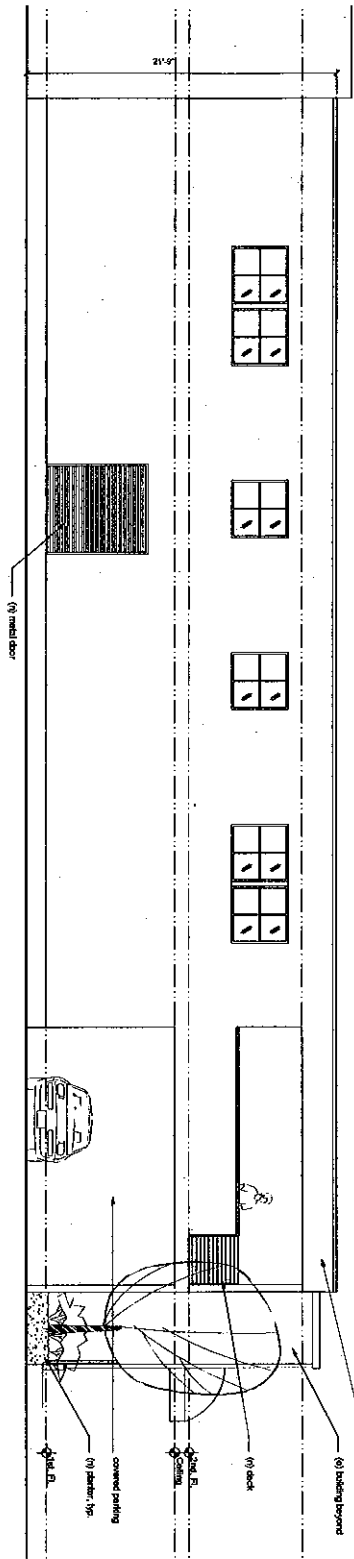
Drawn By: NLA

Project No: 13-10-288

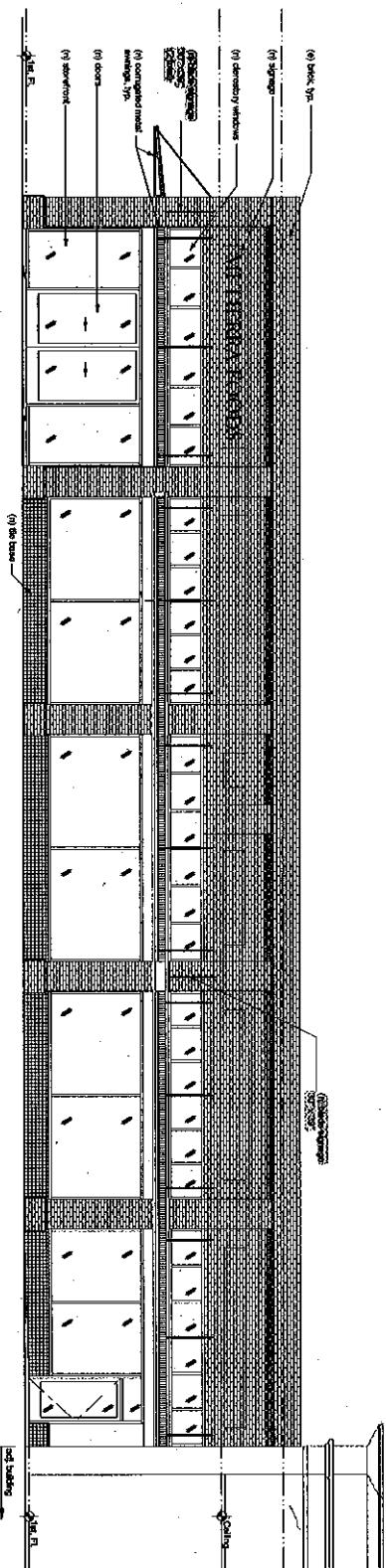
Project Name: MI TIERRA FOODS

Site: 2082 San Pablo Ave, Berkeley, CA

Permitting Package: 10-01-2013  
 AUP: 2nd Submission: 06-05-2014



2 Proposed West Elevation



1 Proposed East Elevation  
San Pablo Ave.

APPROVED PLAN  
DATE 7/1/14  
PLANNING  
 D.R. Conditions Attached Pg 6  
 A.U.P. Conditions Attached S/S  
 U.P. Conditions Attached

**G+S**  
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BERKELEY, CA 94710  
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info@studioarchitects.com



**MI TIERRA FOODS**  
2082 San Pablo Ave  
Berkeley, CA 94702  
APN: 056 197801300

Street Contact:  
Proposed Showers

Drawn By: NLA  
Checked By: SSG, EWS  
Scale: 1/4" = 1'-0"

Revisions:  
Planning Review: 10/21/2013  
AUP and Showers: 12/20/13  
AUP and Showers: 12/20/13