



Planning and Development Department  
Land Use Planning Division

# A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE  
Berkeley Municipal Code, Title 23

**AUP #2013-0121/DR #2013-00026**

Property Address: **3121 SACRAMENTO STREET**

Permittee Name: **MARK RHOADES, RHOADES  
PLANNING GROUP**

Use and/or Construction Permitted: to change the use of an existing 1,742 sq. ft. commercial retail space to a quick-service restaurant with incidental catering, operating the restaurant between the hours of 7AM-11PM, except the outdoor seating area which closes at 10PM, and the catering operation until 12AM, seven days a week, serving beer and wine incidental to food service, and to reduce the required off-street parking requirement from six to four parking spaces pursuant to:

- Section 23E.52.030 to allow a quick service restaurant exceeding 1,000 sq. ft.;
- Section 23E.52.030 to allow beer and wine service incidental to food service;
- Section 23E.52.030 to allow light manufacturing (catering) incidental to a permitted use; and
- Section 23E.28.130 to reduce the required off-street parking requirement from six to four parking spaces.

**FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED**

**AUP #2013-0121/DR#2013-0026**  
**3121 SACRAMENTO STREET**

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on December 3, 2013.

Attest: Terry Blount  
Terry Blount, AICP, Principal Planner  
For Debbie Sanderson, Zoning Officer

December 3, 2013  
Effective Date

# ATTACHMENT 1

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## FINDINGS AND CONDITIONS

NOVEMBER 12, 2013

### 3121 Sacramento Street

**Administrative Use Permit #AUP2013-0121**

**Design Review #DRSL2013-0026**

**To change the use of an existing 1,742 sq. ft. commercial retail space to a quick-service restaurant with incidental catering, operating the restaurant between the hours of 7AM-11PM, except the outdoor seating area which closes at 10PM, and the catering operation until 12AM, seven days a week, serving beer and wine incidental to food service, and to reduce the required off-street parking requirement from six to four spaces.**

#### **CEQA FINDINGS**

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

#### **FINDINGS FOR APPROVAL**

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
  - As required per Section 23E.52.090.B (Findings), the establishment of a 1,742 sq. ft. quick-service food service operating between the hours of 7AM to 11PM with the outdoor seating area operating until 10PM, seven days a week, serving beer and wine incidental to food service, with a reduction in the required off-street parking requirement is allowed because the use:

1. Is compatible with the purposes of the C-SA District by a) providing a eating destination for the surrounding residential uses as well as the surrounding commercial uses; b) offering catering services for the community, corporate functions, weddings, and private parties; c) being located south of Ashby Avenue, thereby being a gateway into the City, serving as a transition between the Downtown Area and the surrounding neighborhood; d) providing a restaurant and catering service in South Berkeley; e) maintaining the residential use on the parcel, the restaurant use continues to allow the residential component, thereby encouraging residential development for persons who desire the convenience of location and more open space than is available in the Downtown; f) providing a location for an activity which is compatible with both retail and residential uses; g) being a pedestrian-oriented use; h) maintaining the residential use on the parcel, the restaurant is an appropriate site for the C-SA District; and i) being a locally-owned establishment, serving a diverse City-wide clientele, as well as the surrounding residential and commercial uses;
  2. Has received Staff-level Design Review approval and is compatible in design and character of the C-SA District as well as the adjacent residential neighborhoods; and
  3. Will not result in a domination of one type of commercial use in this area of the District.
- The applicant is currently applying for a Type 41 California Department of Alcoholic Beverage Control (ABC) License to sell beer and wine incidental to food service.
  - Alcohol service is conditioned to limit detriment and to promote compatibility between the restaurant and nearby commercial and residential uses.
  - Although not required under Section 23E.52.080.D (Bicycle Parking), the 1,742 sq. ft. quick-service restaurant utilizes an existing commercial space, additional floor area is not proposed, and the use proposes nine bicycle spaces.
  - As permitted under Section 23E.52.030, the patio seating located outside of the main building, does not abut a Residential District and is conditioned to end at 10PM.
  - Although not required per Section 23E.16.040.B.e, the Berkeley Police Department has reported in a memo to Staff dated November 8, 2013, that the proposed establishment would not be expected to add crime in the area.

**Section 23E.28.130 (Parking Requirements for Change of Use) and Section 23E.28.140 (Findings)**

- The subject site has one existing off-street parking space. The conversion from retail use which requires four off-street parking spaces (1 space per 1000 sq. ft.) to quick service restaurant which requires six off-street parking spaces (1 per 300 sq. ft.) will not substantially reduce the availability of on-street parking in the vicinity of

the proposed use and allows the continued use of the existing parking supply and meeting the required parking requirement is not practical and therefore the waiver is permissible because:

- 1) The quick-service restaurant is a neighborhood serving café (Section 23E.28.140.B.1.d); and
- 2) The parking requirement modification meets the purposes of the Districted by encouraging use of bicycle transportation which supports an alternative transportation and the encouragement of such an alternative transportation strategy is expected to reduce the parking demand generated by the quick-service use. (Section 23E.28.140.B.2.a and Section 23E.140.B.2.b)

## **STANDARD CONDITIONS**

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The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

### **1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

### **2. Applicant Responsible for Compliance with Conditions**

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

### **3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)**

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

### **4. Modification of Permits (Section 23B.56.020)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

### **5. Plans and Representations Become Conditions (Section 23B.56.030)**

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

### **6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)**

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

**7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)**

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

**8. Exercise and Lapse of Permits (Section 23B.56.100)**

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

**9. Indemnification Agreement**

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

**ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER**

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

**Prior to Issuance of Any Building Permit:**

- 10. Prior to issuance of a building permit, the applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit this record to the project planner upon request.

Noise Management Individual \_\_\_\_\_  
Name Phone #

11. The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths
- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

12. Design Review Staff shall review permit drawings before building permit sign-off. Final plans shall address the following conditions:

**A. COLORS** Prior to Design Review sign-off of the Building Permit set of drawings, the applicant shall submit color and materials information for review and approval by Design Review Staff. All materials will be matte unless otherwise noted.

**B. CLEAR GLASS** All glass is assumed to be clear glass. Any proposed glass that is not clear glass, or includes signage, shall be indicated on all drawings, and shall be reviewed for approval by Design Review Staff.

**C. DETAILS** Prior to Design Review sign-off of the Building Permit set of drawings, the applicant shall submit window, door, awning, mechanical screen, planter, and wood slat details for review and approval by the Design Review Staff.

**AWNING** Submit alternate awning design with lower profile and allow more space between the awning and wood slats to Design Review Staff for review and approval.

**D. ROOF EQUIPMENT** Any above ground or roof equipment, such as transformer(s), utilities, fire apparatus, air conditioning units, compressors, etc. shall be shown to scale on the architectural drawings of the building permit set of drawings in both plan and elevation, in order to determine if additional screening and design review may be required.

**SIGNAGE** Prior to Design Review sign-off of the building permit set of drawings, the applicant shall submit complete signage details, including colors,



materials, letter heights, dimensions, placement on building, and installation details. All materials will be matte unless otherwise noted.

All non-temporary signage and awnings not previously approved and not listed in this application are prohibited.

**BLADE SIGN** shall be vertically oriented.

**WALL SIGN** Submit alternate design with less background to Design Review Staff for review and approval. Wall sign shall be consistent with ordinance for required thickness from wall.

- E. LIGHTING** Prior to Design Review sign-off of the building permit set of drawings, the applicant shall submit lighting details showing all existing and proposed site and building lighting. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
- F. LANDSCAPE PLANS** Prior to Design Review sign-off of the Building Permit set of drawings, the applicant shall submit a Landscape plan including the number, location, and species of all proposed plantings, and which existing plantings shall be removed. Provide irrigation for landscaped areas or provide drought tolerant plant palette.
- G. LANDSCAPE IRRIGATION** The applicant shall provide irrigation for all landscaped areas. This shall be called out on Landscape building permit drawings.

**During Construction:**

- 13.** Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season (between October 15 and April 15), the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department. The applicant shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.
- 14.** Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
- 15.** If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

16. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
17. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
18. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
19. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
20. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
21. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.

**Prior to Issuance of Occupancy Permit or Final Inspection:**

22. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
23. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated September 19, 2013 and October 29, 2013.

**At All Times (Operation):**

24. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
25. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
26. Signage and any other exterior modifications, including but not limited to landscaping and lighting, shall be subject to Design Review and/or Landmarks Preservation Commission approval.

**ALCOHOLIC BEVERAGE SERVICE CONDITIONS (on-site)**

27. Alcoholic beverage service shall be “incidental” to the primary food service use, as defined in Zoning Ordinance 23F.04.010. An incidental use shall not exceed twenty-five percent (25%) of the floor area of the primary use, and if it consists of the commercial sales of a different line of products or services than the primary use, such incidental use may not generate gross receipts in excess of thirty-three percent (33%) of the gross receipts generated by the primary use. In addition, the California Department of Alcohol Beverage Control (ABC) allows this alcohol use only as part of a “bona fide eating place” making “actual and substantial sales of meals,” and stringently enforces this requirement.
28. The establishment shall comply with all applicable regulations of the California Department of Alcoholic Beverage Control.
29. The applicant shall comply with ABC regulations for License Type 41, which requires that the food establishment operate as a bona fide eating place, make actual and substantial sales of meals during normal meal hours, and that the establishment operate at least five days a week. In addition, the applicant shall request that the ABC place the following conditions on the ABC permit for this site, and this Use Permit shall only be operative for as long as these conditions are placed on the associated ABC license:
  - The sale of alcoholic beverages for consumption off the premises is strictly prohibited;
  - There shall be no bar or lounge area upon the licensed premises maintained for the sole purpose of sales, service or consumption of alcoholic beverages directly to patrons for consumption;
  - During operating hours, 100% of the service area shall be designed and used for and must possess the necessary utensils, and condiment dispensers with which to serve meals to the public;
  - There shall be no exterior advertising or sign of any kind or type, including advertising directed to the exterior from within, promoting or indicating the availability of alcoholic beverages. Interior displays of alcoholic beverages or signs which are clearly visible to the exterior shall constitute a violation of this condition.
30. A Berkeley Police Department Crime Prevention Through Environmental Design (CPTED) survey shall be completed prior to commencing alcohol service.
31. All employees selling and/or serving alcohol, or directly supervising such sales and/or service, shall complete the Licensee Education on Alcohol and Drugs (LEAD) program, or another equivalent program offered or certified by the California Department of Alcoholic Beverage Control within 6 months of employment at the establishment. Employees who have completed the course within the last five (5) years shall be exempt from this requirement.
32. Employees shall not serve alcohol to patrons who appear to be inebriated or otherwise unable to behave in an orderly manner upon consuming alcohol.

33. Any operator of the licensed establishment shall not have had a prior licensed establishment that was the subject of verified complaints or violations regarding alcohol, public safety or nuisance statutes or regulations to be confirmed by the Zoning Officer prior to issuance or transfer of a business license at this location.
34. The service of alcohol shall be limited to beer and wine and limited to the hours of 7:00 a.m. – 11:00 p.m., except that the outdoor seating area will close at 10:0 p.m., seven days a week. Patrons may only purchase food or finish drinks already purchased within the hours noted above. The Zoning Officer, the Zoning Adjustments Board, or designee shall approve any change in the hours of restaurant operations, of alcohol service, or both. Hours of operation are subject to review and amendment by the Zoning Officer as necessary to avoid detriment to the neighborhood or to achieve conformance with revised City standards or policies.
35. Fortified alcohol products (e.g., malt liquor), shall not be sold on the premises.
36. Consumption of alcohol shall not be permitted in the outdoor seating area.
37. Neither alcohol-dispensing facilities nor sign(s) advertising alcoholic beverages shall be visible from the public right-of-way.
38. All alcohol served to patrons must be served in durable restaurant tableware – i.e. either cups or glasses. No alcohol may be distributed in its original bottle or can, or in any other potentially disposable container.
39. There shall be no service or consumption of alcohol on the public right-of-way.
40. No alcohol may be transported off-site from the establishment to any other establishment or to the public right-of-way.
41. The owner or operator of the establishment shall take reasonable measures to prevent disturbances by patrons in the immediate vicinity. Such measures shall include signs reminding patrons of nearby residences and requests not to congregate or loiter near such residences nor operate vehicles in a noisy manner on residential streets. The operator shall give surveillance to public areas near the establishment, keep such areas free of trash and litter, provide lighting, and otherwise attempt to prevent conduct that might disturb the peace and quiet of residences in the vicinity. Furthermore, the operator shall assume reasonable responsibility for ensuring that patrons do not block the entrance or interfere with pedestrian activity on the adjacent public sidewalk.
42. The applicant shall establish cash handling procedures to reduce the likelihood of robberies and theft.
43. This Use Permit, including these and all other required conditions, shall be posted in conspicuous location, available for viewing by any interested party.

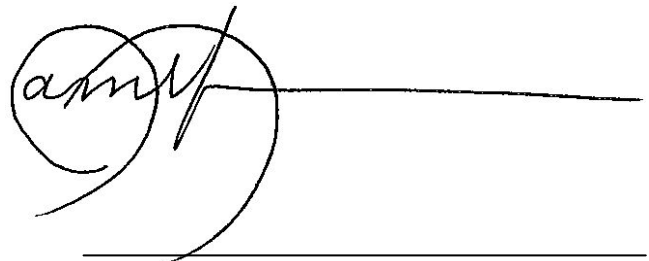
### **FOOD SERVICE CONDITIONS**

(These requirements are in addition to any other requirements under the City's Building, Health or Fire Codes or by agencies such as the Alcoholic Beverage Control Department of the State of California. The applicant is responsible for contacting these and other departments and agencies to identify and secure all applicable permits and licenses).

44. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
45. Changes in the nature of the operation including, but not limited to, the addition of seating, changes in hours, and the addition of live entertainment, shall require modification of this permit subject to approval by the Zoning Officer or the Zoning Adjustments Board.
46. The approved floor plan, including the number of seats, shall be followed and the operation shall be conducted as presented to the Board. The maximum occupancy shall be as specified in the application unless otherwise required by applicable regulations.
47. Changes to the building's facade, including doors or windows, site plans, landscaping, signage, and awnings are subject to Design Review and approval prior to issuance of a building permit.
48. The hours of operation of the restaurant portion of the business shall be limited to: 7AM to 11PM, except the outdoor seating will end at 10PM daily. The catering portion of the business may operate until Midnight. Hours of operation refer to arrival of the first patron and departure of the last patron. Any change in the hours of operation shall be approved by the Zoning Officer, the Zoning Adjustments Board, or designee. Hours of operation are subject to review and amendment by the Zoning Officer as necessary to avoid detriment to the neighborhood or to achieve conformance with revised City standards or policies.
49. Cooking odors, noise, exterior lighting and operation of any parking area shall be controlled so as to prevent verified complaints from the surrounding neighborhood. This shall include noise created by employees working on the premises before or after patrons arrive.
50. Smoke and odor control equipment approved by the City Environmental Health Division and providing adequate protection to residential uses above and to the east of the restaurant shall be installed prior to issuance of an Occupancy Permit.
51. Garbage and trash containers that are suitably enclosed and screened from view shall be provided subject to approval of the Zoning Officer, the Health Department and,

where applicable, the Design Review Planner. Any establishment selling beverages in cans or bottles that are subject to the State of California Container Deposit Law shall provide separate bins or cans for the placement of such cans or bottles to ensure recycling of such containers.

52. Containers used for the dispensing of prepared food shall identify the establishment. Polystyrene foam food packing is prohibited by Section 11.60.030 of the Berkeley Municipal Code.
53. Any establishment selling beverages in cans or bottles that are subject to the State of California Container Deposit Law shall recycle such containers.
54. The operator of the restaurant shall place a waste receptacle near the entry way and shall insure that garbage on the sidewalk in front of the establishment and within 50 feet thereof will be picked up periodically during each day, so that the sidewalk remains clean.
55. The owner or operator of the establishment shall take reasonable measures to prevent disturbances by patrons in the immediate vicinity. Such measures shall include signs reminding patrons of nearby residences and requests not to congregate or loiter near such residences nor operate vehicles in a noisy manner on residential streets. The operator shall give surveillance to public areas near the establishment, keep such areas free of trash and litter, provide lighting, and otherwise attempt to prevent conduct that might disturb the peace and quiet of residences in the vicinity.
56. The operator shall assume reasonable responsibility for ensuring that patrons do not block the entrance or interfere with pedestrian activity on the adjacent public sidewalk.
57. The applicant shall reimburse employees the maximum non-taxable cost of commuting to and from work on public transportation (e.g., monthly passes) if they so commute, and a notice informing employees of the availability of such subsidy shall be permanently displayed in the employee area.

A handwritten signature in black ink, appearing to read 'amj', is written over a horizontal line. The signature is enclosed within a circular scribble.

Pamela Johnson Assistant Planner for  
Debra Sanderson, Zoning Officer

**PROJECT CONTACT**  
 ROADSES PLANNING GROUP  
 1611 TELERGRAPH AVENUE, SUITE 200  
 OAKLAND, CA 94612  
 TEL: 510/545-4341  
 CONTACT: MIA PERKINS

**ARCHITECT**  
 THE KASTROP GROUP, INC.  
 2345 SPRING STREET  
 REDWOOD CITY, CA 94063  
 TEL: 650/299-0303  
 FAX: 650/299-1140  
 CONTACT: D. MICHAEL KASTROP, AIA  
 LIC. C-15193 EXP. 3/2015

**PROJECT TEAM**

ZONING DESIGNATION: C-5A  
 ASSESSOR'S PARCEL NUMBER: 052-1542-01500  
 SEISMIC ZONE: 4  
 BUILDING TYPE: V-B NON-SPRINKLERED  
 LOT AREA: 52719#  
 EXISTING BUILDING AREA: 1742# PROPOSED RESTAURANT  
 PROPOSED BUILDING AREA: 913# (E) SINGLE FAMILY RESIDENCE  
 EXISTING BUILDING HEIGHT: NO CHANGE  
 PROPOSED BUILDING HEIGHT: 13'-0" NO CHANGE  
 EXISTING PARKING: NONE  
 PROPOSED PARKING: NO CHANGE  
 PROPOSED USE: CAFE & CATERING  
 OCCUPANCY: B  
 OCCUPANT LOAD: 49

**PROJECT INFORMATION**

A00 PROJECT INFORMATION, PROJECT TEAM, VICINITY MAP,  
 PHOTO SIMULATION, SCOPE OF WORK  
 A10 SITE PLAN, GENERAL NOTES  
 A20 EXISTING FLOOR PLAN, KEY NOTES & LEGEND  
 A21 PROPOSED FLOOR PLAN, KEY NOTES & LEGEND  
 A22 PROPOSED ROOF PLAN, KEY NOTES & LEGEND  
 A30 PROPOSED EXTERIOR ELEVATIONS, KEY NOTES & LEGEND  
 A31 PROPOSED EXTERIOR ELEVATIONS, KEY NOTES & LEGEND  
 A32 CROSS SECTION  
 A40 EXISTING BUILDING (LOOKING NORTHEAST)  
 A41 PHOTO SIMULATION OF PROPOSED PROJECT

**SHEET INDEX**

D

PHOTO SIMULATION OF PROPOSED PROJECT

A

**SCOPE OF WORK**

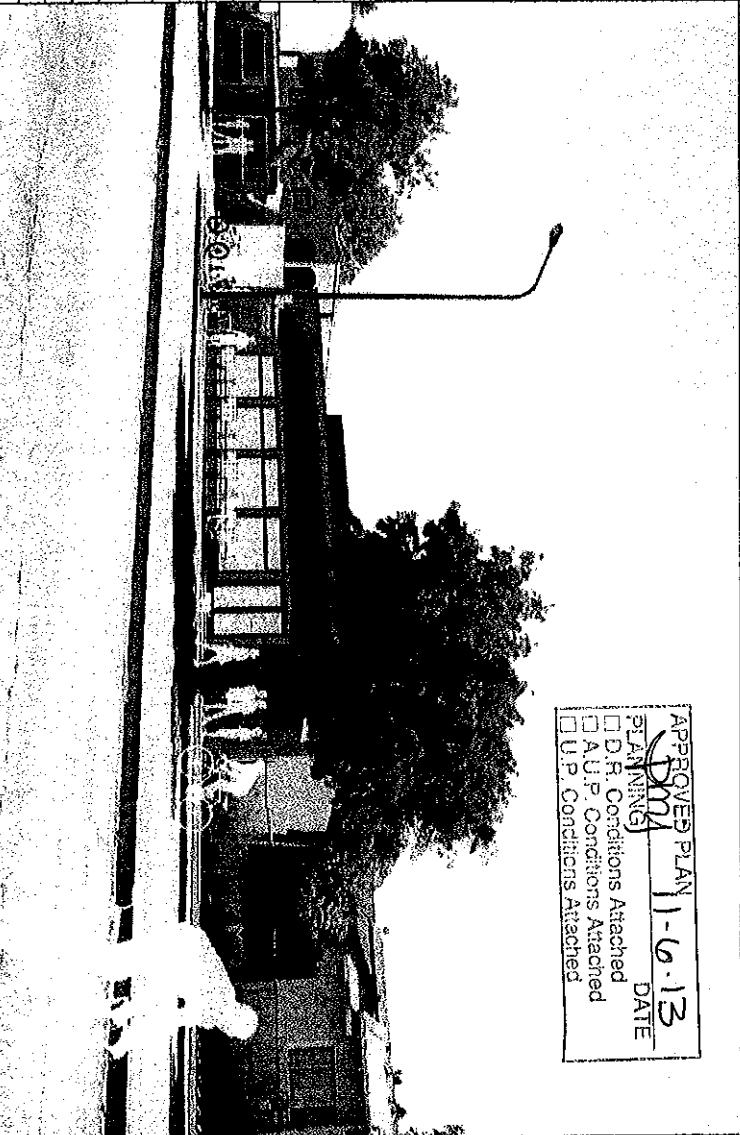
THIS IS A COMMERCIAL PROJECT. THE PROPERTY HAS A ONE-STORY SINGLE FAMILY RESIDENCE FACING WOOLSEY STREET & A COMMERCIAL BUILDING FACING SACRAMENTO STREET. THE PROJECT CONSISTS OF A TENANT IMPROVEMENT OF THE EXISTING 'OUT OF BUSINESS' BICYCLE SHOP INTO A CAFE & CATERING BUSINESS. THE BUILDING HAS BEEN VACANT FOR MORE THAN ONE YEAR. INDOOR & OUTDOOR SEATING IS PROVIDED FOR THE CAFE. THE EXTERIOR FACADE WILL BE REMODELED TO ENHANCE ITS CURB APPEAL. BIKE PARKING WILL BE PROVIDED AGAINST THE BUILDING & ADJACENT TO THE STREET.

**VICINITY MAP**

100'-11'-0"

LAND USE PLANNING  
 RECEIVED  
 SEP 19 2013

APPROVED PLAN  
 DATE 1-6-13  
 PLANNING DIVISION  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached

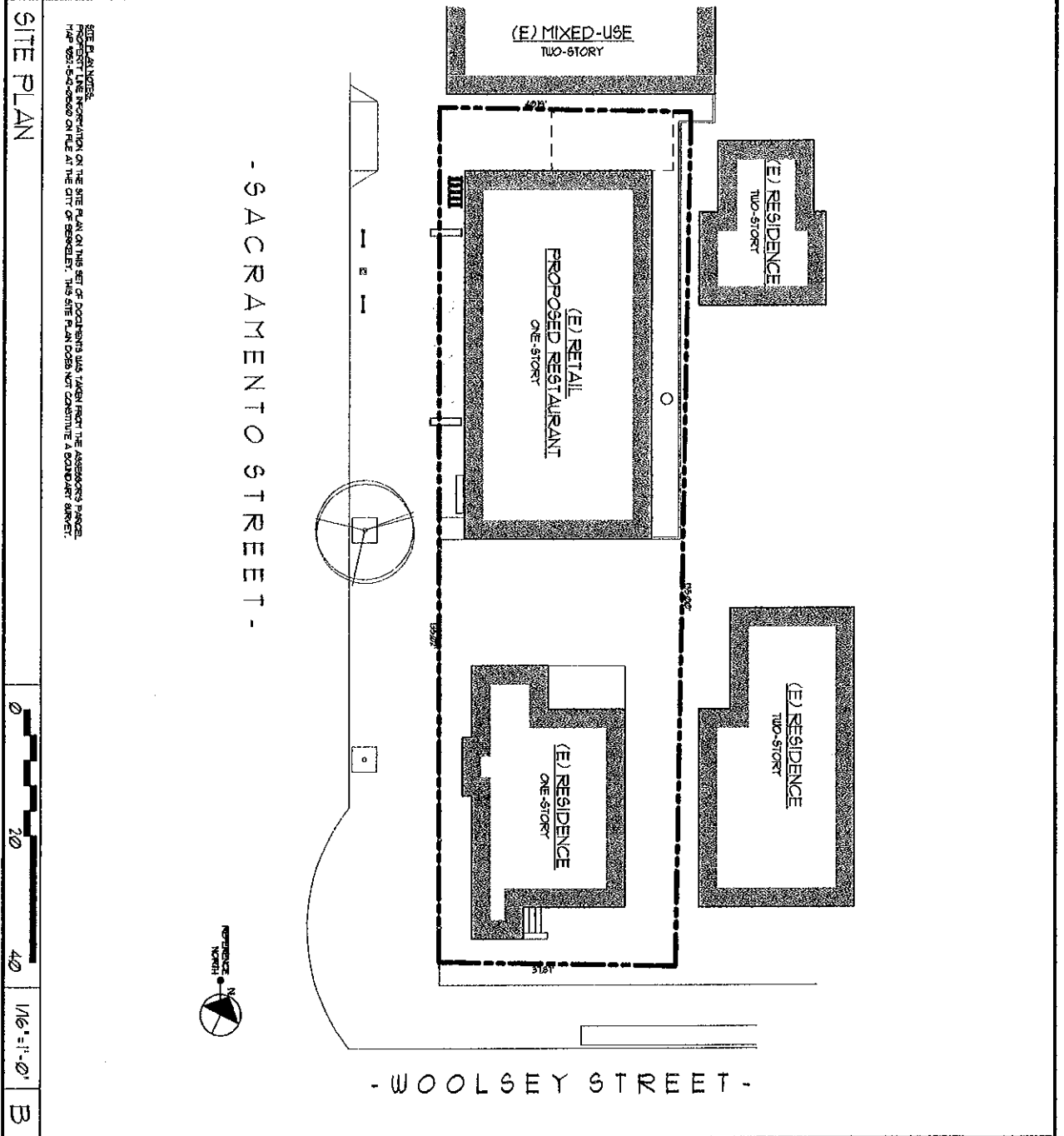


PROPOSED CAFE & CATERING RESTAURANT  
**CREEKWOOD CAFE**  
 3121 SACRAMENTO STREET  
 BERKELEY, CA 94703

**THE KASTROP GROUP, INC. ARCHITECTS**  
 2345 SPRING STREET  
 REDWOOD CITY, CA 94063  
 T: 650.299.0303  
 F: 650.299.1140  
 www.kastropgroup.com

DATE: 10/11/13  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: AS NOTED

**A0.0**



**SITE PLAN**

**SITE PLAN NOTES:**  
 INFORMATION ON THE SITE PLAN ON THIS SET OF DOCUMENTS WAS TAKEN FROM THE ASSessor'S PARCEL MAP (APN: 0-0-0000) ON FILE AT THE CITY OF BERKELEY. THIS SITE PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY.

**GENERAL NOTES**

1. ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM TO THE FOLLOWING CODES:

- 2010 CALIFORNIA BUILDING CODE
- 2010 CALIFORNIA FIRE CODE
- 2010 CALIFORNIA ELECTRICAL CODE
- 2010 CALIFORNIA MECHANICAL CODE
- 2010 CALIFORNIA PLUMBING CODE
- 2010 CALIFORNIA ENERGY CODE
- 2010 CALIFORNIA EXISTING BUILDING CODE
- 2010 CALIFORNIA BUILDING STANDARDS CODE
- 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE
- TITLE 19 CALIFORNIA ADMINISTRATIVE CODE
- TITLE 24 CALIFORNIA ADMINISTRATIVE CODE

**APPROVED PLAN** 11-6-13  
 DATE  
 PLANNING *DMJ*  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 O.P. Conditions Attached

PROPOSED CAFE & CATERING RESTAURANT

**GREEKWOOD CAFE**

3121 SACRAMENTO STREET  
 BERKELEY, CA 94703

**THE KASTROP GROUP, INC. ARCHITECTS**  
 2345 SPRING STREET  
 REDWOOD CITY, CA 94063  
 T: 650.293.0303  
 F: 650.293.1140  
 www.kastropgroup.com

**A1.0**

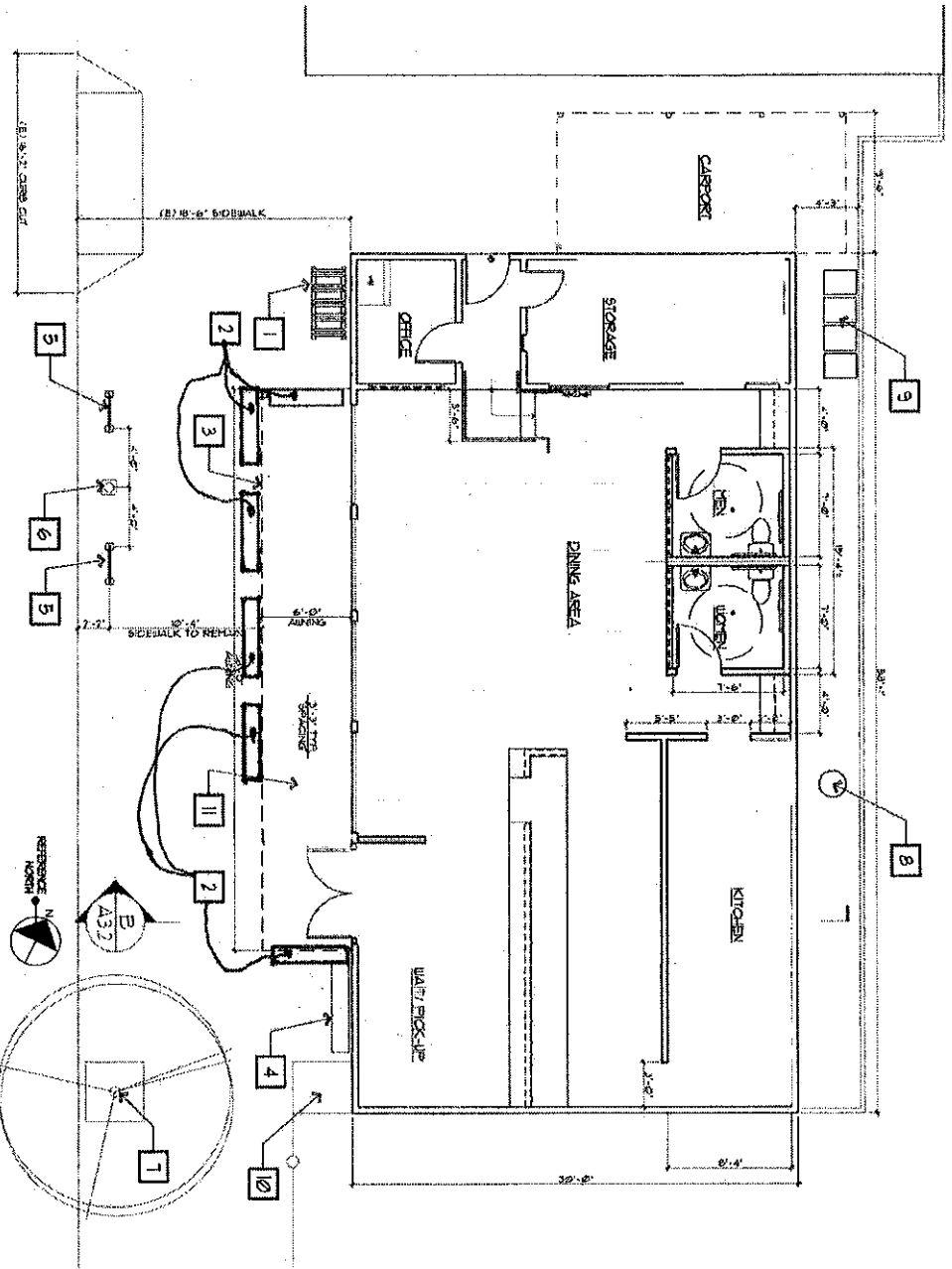




RECEIVED

OCT 29 2013

LAND USE PLANNING



PROPOSED FLOOR PLAN



KEY NOTES & LEGEND

- KEY NOTES:**
- 1 FRONT LOADING BICYCLE RACK
  - 2 WOOD PLANTER BOXES, 14" WIDE BY 60" LONG
  - 3 EDGE OF ALIING
  - 4 WOODEN BENCH, REMOVABLE, 14" WIDE BY 72" LONG
  - 5 BIKE RACKS, PER BERKELEY SPECIFICATIONS
  - 6 (E) LIGHT POLE
  - 1 (E) TREE, 8' +
  - 2 (E) TREE, 20' +
  - 9 LOCATION OF TRASH, RECYCLING & COMPOSTING BINS, 32 GALLONS EACH
  - 10 (E) PLANTER
  - 11 36" SQUARE TABLES

APPROVED PLAN  
 11.6.13  
 DATE  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached

**LEGEND:**

2 KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET

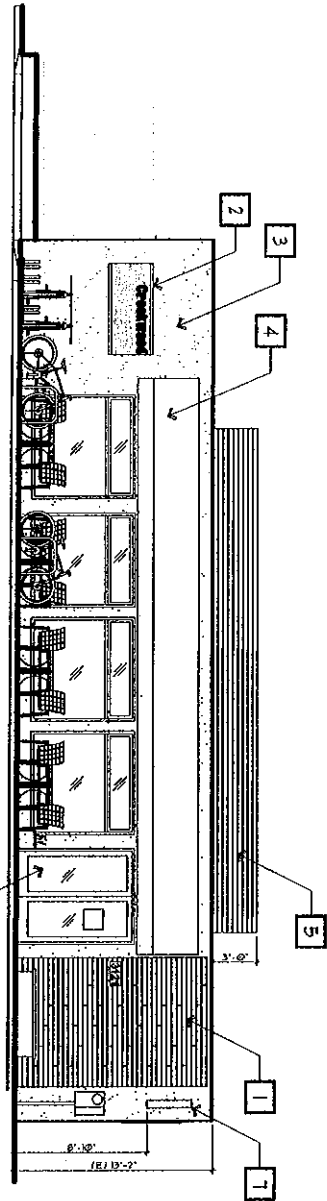
NEW WALLS

(E) WALLS TO REMAIN

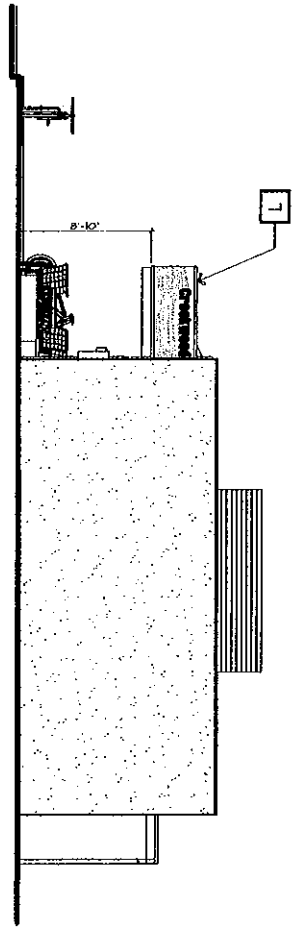
<p>PROPOSED CAFE &amp; CATERING RESTAURANT</p> <p>3121 SACRAMENTO STREET          BERKELEY, CA 94703</p>		<p>THE KASTROP GROUP, INC.          ARCHITECTS</p> <p>2345 SPRING STREET          REDWOOD CITY, CA 94063          T: 650.299.0303          F: 650.299.1140</p> <p>www.kastropgroup.com</p>	
<p>DATE: 11/6/13          DRAWN BY: [Signature]          CHECKED BY: [Signature]          SCALE: AS NOTED</p>		<p>DATE: 11/6/13          DRAWN BY: [Signature]          CHECKED BY: [Signature]          SCALE: AS NOTED</p>	

A2.1





SACRAMENTO STREET ELEVATION



SOUTH STREET ELEVATION

EXTERIOR ELEVATIONS



1/8"=1'-0"

B

KEY NOTES & LEGEND

A

KEY NOTES:

- 1 APPLIED CHARRED WOOD SLATS
- 2 3'-0" x 6'-0" SIGN
- 3 (E) CEMENT PLASTER - PAINTED
- 4 CANVAS AWNING
- 5 MECHANICAL SCREEN WOOD SLATS SIMILAR TO CHARRED WOOD MAIN ENTRY.
- 6 CLEAR TEMPERED GLASS ON WINDOWS & MAIN ENTRY DOOR

APPROVED PLAN  
 PLANING DATE 11-6-13  
 PM  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 M.I.P. Conditions Attached

LEGEND:  
 [ 2 ] KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET

DATE	BY	REVISION

JOB NO. 13414  
 DRAWN BY: BV  
 CHECKED BY: BV  
 SCALE: AS NOTED

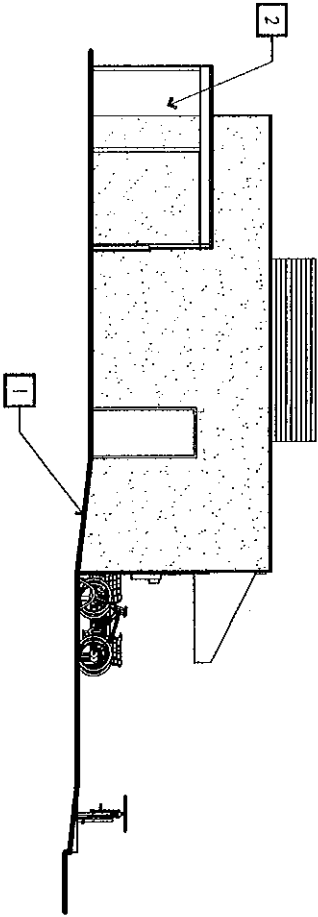
THE KASTROP GROUP, INC.  
 ARCHITECTS  
 2345 SPRING STREET  
 REDWOOD CITY, CA 94063  
 T: 650.289.0303  
 F: 650.289.1140  
 www.kastropgroup.com

PROPOSED CAFE & CATERING RESTAURANT  
**GREEKWOOD CAFE**  
 3121 SACRAMENTO STREET  
 BERKELEY, CA 94703

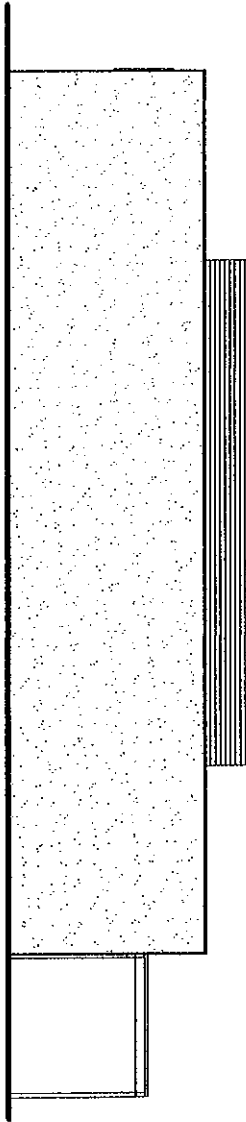
**A3.0**

EXTERIOR ELEVATIONS

NORTH ELEVATION



EAST ELEVATION



KEY NOTES:  
 1 (E) DRIVEWAY RAMP TO CARPORT  
 2 (E) CARPORT

APPROVED PLAN  
 PLANING  
 11-6-13  
 DATE  
 D.S. Conditions Attached  
 A.U.P. Conditions Attached  
 O.U.P. Conditions Attached

LEGEND:  
 2 KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET

B KEY NOTES & LEGEND A

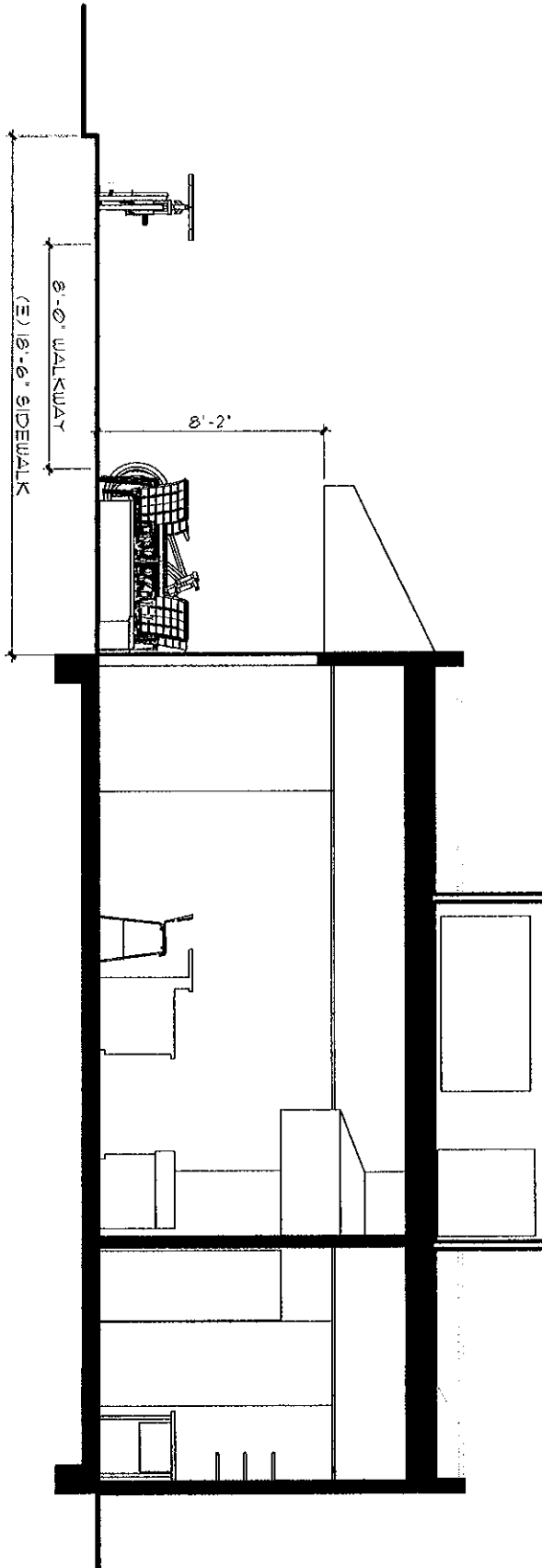
A3.1

DATE	11-6-13
BY	BV
CHECKED	DK
SCALE	AS NOTED

PROPOSED CAFE & CATERING RESTAURANT  
**CREEKWOOD CAFE**  
 3121 SACRAMENTO STREET  
 BERKELEY, CA 94703

**THE KASTROP GROUP, INC.**  
 ARCHITECTS  
 2345 SPRING STREET  
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CROSS SECTION

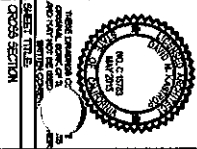


APPROVED PLAN 11-6-13  
 DATE  
 PMM  
 PLANNING  
 E.D.P. Conditions Attached  
 A.D.P. Conditions Attached  
 O.P. Conditions Attached

0 5 10 1/4" = 1'-0" B

DATE	10/23/13	10/23/13
REVISION	1	2
BY	BR	BR
CHECKED	BR	BR
SCALE	AS NOTED	
PROJECT NO.	13414_3121	
PROJECT NAME	CREEKWOOD CAFE	
PROJECT ADDRESS	3121 SACRAMENTO STREET	
CITY	BERKELEY, CA	
STATE	CA	
COUNTRY	USA	
ARCHITECT	THE KASTROP GROUP, INC.	
ARCHITECT ADDRESS	2345 SPRING STREET	
CITY	REDWOOD CITY, CA	
STATE	CA	
COUNTRY	USA	
PHONE	650.299.0303	
FAX	650.299.1140	
WWW	WWW.KASTROPGROUP.COM	

A3.2



PROPOSED CAFE & CATERING RESTAURANT  
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