



Planning and Development Department
Land Use Planning Division

A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code, Title 23

AUP #2013-0105/DR#2013-0013

Property Address: **830 FOLGER AVENUE**

Permittee Name: **ROGER WILSON**

Use and/or Construction Permitted: to construct a new single story, 9,671 sq. ft. manufacturing building attached to the existing manufacturing building, allowing joint use of off-street parking spaces pursuant to:

- Section 23E.80.080 to allow a driveway over 20' in length;
- Section 23E.28.060.A to allow joint use of off-street parking spaces; and
- Section 23E.80.030 to allow a manufacturing use exceeding 20,000 sq. ft. (9,671 sq. ft. proposed, 13,750 sq. ft. existing).

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on November 11, 2013.

Attest: Terry Blount
Terry Blount, AICP, Principal Planner
For Debbie Sanderson, Zoning Officer

November 11, 2013
Effective Date

ATTACHMENT 1

FINDINGS AND CONDITIONS

OCTOBER 21, 2013

830 Folger Avenue

Administrative Use Permit #2013-0097

Design Review #2013-0013

To construct a new single story, 9,671 sq. ft. manufacturing building attached to the existing manufacturing building, allowing joint use of off-street parking spaces.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15332 of the CEQA Guidelines (“In-Fill Development Projects”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - There will be no change in use of the existing manufacturing building or modifications which require additional discretionary permits.
 - As allowed under Section 23E.80.030 (Uses Permitted), Section 23E.80.060 (Use Limitations), Section 23E.80.070 (Development Standards) and Section 23E.80.090 (Findings), the proposed 9,671 sq. ft. manufacturing, shipping, and receiving building will provide the expansion of the existing 13,750 sq. ft. corrugated container manufacturing and research and development business and the proposed building and use:

- 1) Is not expected to increase any impact regulated under environmental performance standards;
 - 2) Is not located within 150' of a residential use in an R-District or in the MU-R District;
 - 3) Has a Floor Area Ratio .89 and does not exceed 45'
 - 4) Is not expected to increase dust, glare, noise, odor, vibration, hazardous materials, or any other potential off-site environmental impacts;
 - 5) Is consistent with the purposes of the District and continues to implement the West Berkeley Plan's designation of a Light Manufacturing District, encourages development of a mixed use-light industrial area for a range of compatible uses; continues the development of an area where light manufacturing can operate free from the economic, physical and social constraints caused by incompatible uses, continues the creation and continuation of well paid jobs which do not require advanced degrees, continues the availability of a manufacturing use, especially of larger spaces needed by medium sized and larger light manufacturers, continues the support of development of a business which contributes to the maintenance and improvement of the environment, and maintains and improves the quality of the West Berkeley environment, allowing the lawful and reasonable operation of a light industrial use;
 - 6) Is compatible with the surrounding manufacturing uses and buildings;
 - 7) Is consistent with the adopted West Berkeley Plan;
 - 8) Is unlikely, under reasonable foreseeable circumstances, to either induce a substantial change of use in buildings in the District from manufacturing, wholesale trade or warehouse uses;
 - 9) Is designed to be supportive of light industrial character of the district (see Staff-level Design Review below).
- The subject site is not located on the lists of hazardous waste sites compiled pursuant to Government Code Section 65962.5 by the California Secretary for Environmental Protection.
 - The City retained the services of Cotton, Shires and Associates, Inc., Consulting Engineers and Geologists, to conduct a peer review of the submitted AUP, the submitted geotechnical investigation and liquefaction evaluations report, architectural plans, mitigating seismic hazards guidelines, and technical maps. In a letter submitted to the City dated September 4, 2013, Cotton, Shires, and Associates concluded that adequate subsurface investigation has been completed and that appropriate geotechnical conclusions are consistent with prevailing standards of professional practice. The report also concluded that the submitted geotechnical documentation meets State criteria for project approval regarding liquefaction hazards. Cotton, Shires and Associates recommended a formal geotechnical construction plan review letter be prepared prior to issuance of any building permits. These recommendations have been included in the Conditions of Approval.
 - As required under Section 23E.80.080 (Off-Street Parking and Loading Requirements), the project requires nine off-street parking spaces (1 per 1,500 sq. ft.) and are provided in accordance with Section 23E.28.060.A (Joint Use of Off-

Street Parking Spaces). The off-street parking spaces for the proposed use is located within 800' of the use to be served, the times demanded for these parking spaces is not expected to conflict substantially between the use offering the spaces and the use to be service, and the off-street parking spaces are not otherwise committed to satisfying the parking requirements for another use at similar times.

- As required under Section 23E.80.080.C and Section 23E.80.080 and 23E.32, seven bicycle parking spaces and one loading space have been provided.
- As allowed under Section 23E.28.080 (Screening and Location of Parking Spaces and Driveways), the northern (Folger Avenue) and southern (67th Street) driveways may exceed 20' in length as it is an appropriate length for this manufacturing site
- This proposal is found permissible because the height, materials used, the height, design, and landscaping is consistent with the existing manufacturing structure and is not expected to create significant massing or visual impacts. The project has received Staff-Level Design Review and the execution of this project will be subject to Design Review Conditions #14A through #14H of this permit.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. **Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. **Applicant Responsible for Compliance with Conditions**

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. **Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)**

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. **Modification of Permits (Section 23B.56.020)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

5. **Plans and Representations Become Conditions (Section 23B.56.030)**

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. **Subject to All Applicable Laws and Regulations (Section 23B.56.040)**

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

- 10.** The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: _____ Phone: _____

- 11.** The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths
- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

Prior to Issuance of Any Building Permit:

12. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
13. The recommendations of the City's third party geotechnical review agency, Cotton, Shires, and Associates in the September 4, 2013 report to the City, and subsequent recommendations by Cotton, Shires, and Associates or by Friar Associates, the applicant's engineer, shall be implemented, including:
 - A. The Project Geotechnical Consultant shall evaluate final foundation design plans and supporting calculations to verify that recommended geotechnical design criteria have been utilized; and
 - B. A formal geotechnical construction plan review letter shall be prepared by Friar Associates (or the applicant's engineer) and submitted to the City prior to issuance of any building permit.
14. Design Review Staff shall review permit drawings before building permit sign-off. Final plans shall address the following conditions:
 - A. **COLORS** for building materials submitted with application. All materials will be matte unless otherwise noted.
 - B. **CLEAR GLASS** All glass is assumed to be clear glass. Any proposed glass that is not clear glass, or includes signage, shall be indicated on all drawings, and shall be reviewed for approval by Design Review Staff.
 - C. **DETAILS** Prior to Design Review sign-off of the Building Permit set of drawings, the applicant shall submit window, door, roof, trim and trellis details for review and approval by the Design Review Staff.
 - D. **ROOF EQUIPMENT** Any above ground or roof equipment, such as transformer(s), utilities, fire apparatus, air conditioning units, compressors, etc. shall be shown to scale on the architectural drawings of the building

permit set of drawings in both plan and elevation, in order to determine if additional screening and design review may be required.

- E. **SIGNAGE** Applicant shall submit a separate application for design review of the signage. It is not included in this permit.
- F. **LIGHTING** Prior to Design Review sign-off of the building permit set of drawings, the applicant shall submit lighting details showing all existing and proposed site and building lighting. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
- G. **LANDSCAPE PLANS** Prior to Design Review sign-off of the Building Permit set of drawings, the applicant shall submit a Landscape plan including the number, location, and species of all proposed plantings, and which existing plantings shall be removed. Provide irrigation for landscaped areas or provide drought tolerant plant palette.

Proposed trellises shall be landscaped with vines. Final landscape design and colors shall be approved by Design Review Staff.

- H. **CURB CUTS** All curbs and curb cuts shall be constructed per the standards and specifications of the Public Works Department. Curb cuts no longer utilized shall be restored per the Public Works Department specifications.

During Construction:

- 15. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
- 16. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
- 17. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
- 18. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
- 19. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.

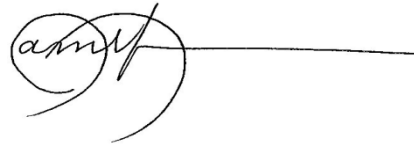
20. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
21. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
22. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
23. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
24. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

Prior to Issuance of Occupancy Permit or Final Inspection:

25. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
26. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **OCTOBER 1, 2013**.

At All Times (Operation):

27. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
28. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
29. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood. This shall include noise created by employees working on the premises before or after patrons arrive.

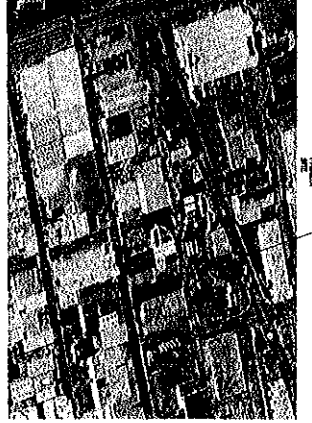
A handwritten signature in black ink, appearing to read 'amj', is written over a horizontal line. The signature is stylized and cursive.

Pamela Johnson, Assistant Planner for
Debra Sanderson, Zoning Officer

APPROVED PLAN
DM
 PLANNED
 D.P. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

DATE
10.16.13

0' 2' 4'
 1" = 20'-0"



VICINITY MAP

PROJECTIONS

ALL CONSTRUCTION SHALL COMPLY WITH ALL CURRENT APPLICABLE CODES AND ORDINANCES AND SHALL BE SUBJECT TO THE JURISDICTION OF THE CITY OF BERKELEY.

PROJECTIONS SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF BERKELEY.

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DEVELOPER

4/11/2013 4/11/2013

NUMBER OF PERMITS = 1

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SCOPE OF WORK

CONSTRUCTION OF A NEW MANUFACTURING BUILDING AS SHOWN ON THE DRAWINGS AND PERMITS.

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CONSTRUCTION OF A NEW MANUFACTURING BUILDING AS SHOWN ON THE DRAWINGS AND PERMITS.

LIST OF FINISHES

1. FLOOR FINISH: POLISHED CONCRETE

2. WALL FINISH: POLISHED CONCRETE

3. CEILING FINISH: POLISHED CONCRETE

4. EXTERIOR FINISH: POLISHED CONCRETE

5. INTERIOR FINISH: POLISHED CONCRETE

6. EXTERIOR FINISH: POLISHED CONCRETE

7. INTERIOR FINISH: POLISHED CONCRETE

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12. EXTERIOR FINISH: POLISHED CONCRETE

13. INTERIOR FINISH: POLISHED CONCRETE

14. EXTERIOR FINISH: POLISHED CONCRETE

15. INTERIOR FINISH: POLISHED CONCRETE

16. EXTERIOR FINISH: POLISHED CONCRETE

17. INTERIOR FINISH: POLISHED CONCRETE

18. EXTERIOR FINISH: POLISHED CONCRETE

19. INTERIOR FINISH: POLISHED CONCRETE

20. EXTERIOR FINISH: POLISHED CONCRETE

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BERKELEY ORDINANCES AND CODES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN THE SITE IN ACCORDANCE WITH THE CITY OF BERKELEY ORDINANCES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS AND WASTE.

7. THE CONTRACTOR SHALL MAINTAIN THE SITE IN ACCORDANCE WITH THE CITY OF BERKELEY ORDINANCES.

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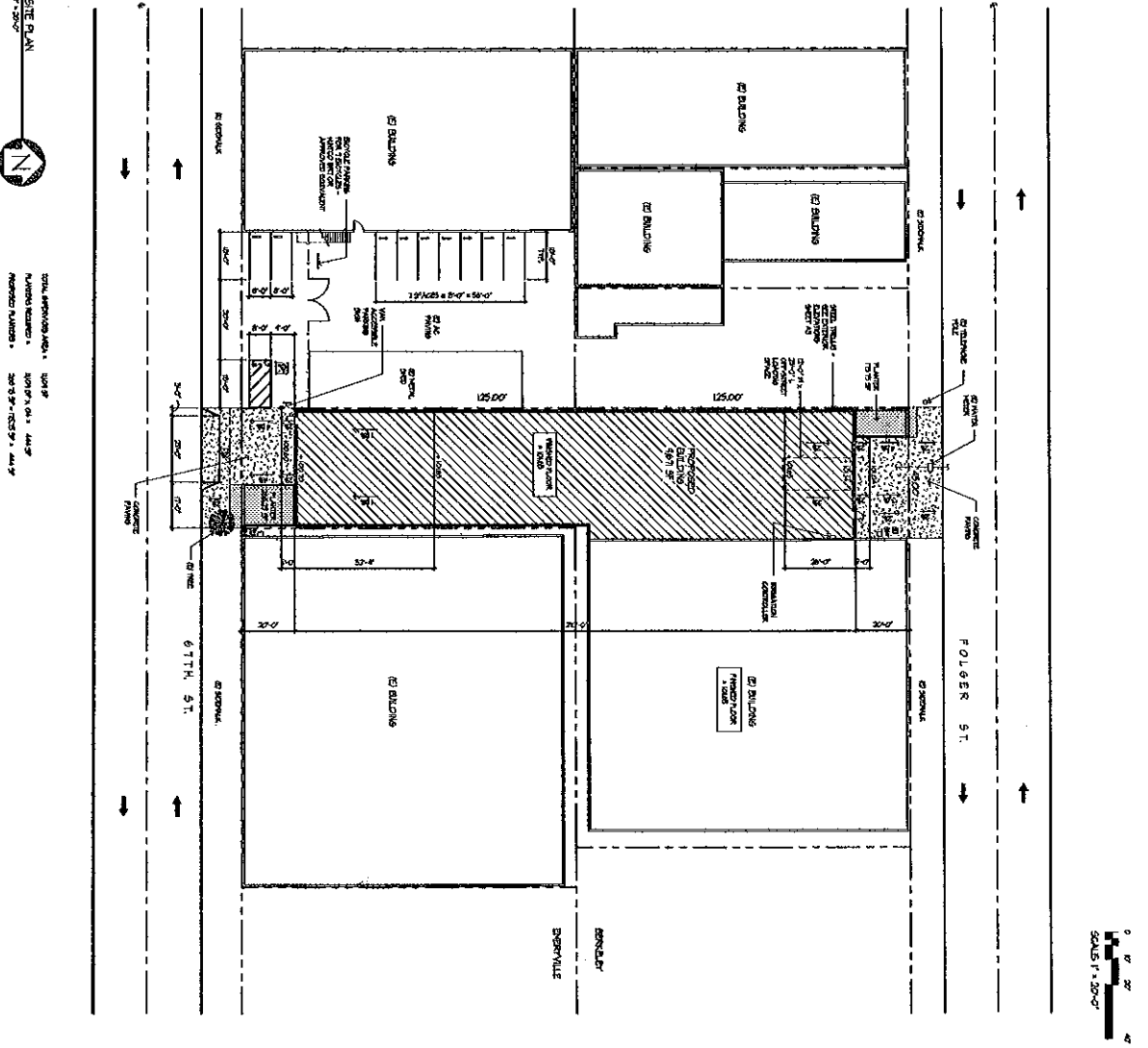
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS AND WASTE.

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20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL DEBRIS AND WASTE.



SITE PLAN



TOTAL APPROXIMATE AREA: 10,000 SF
 PLANNED PERMITS: 10,000 SF
 APPROVED PERMITS: 10,000 SF

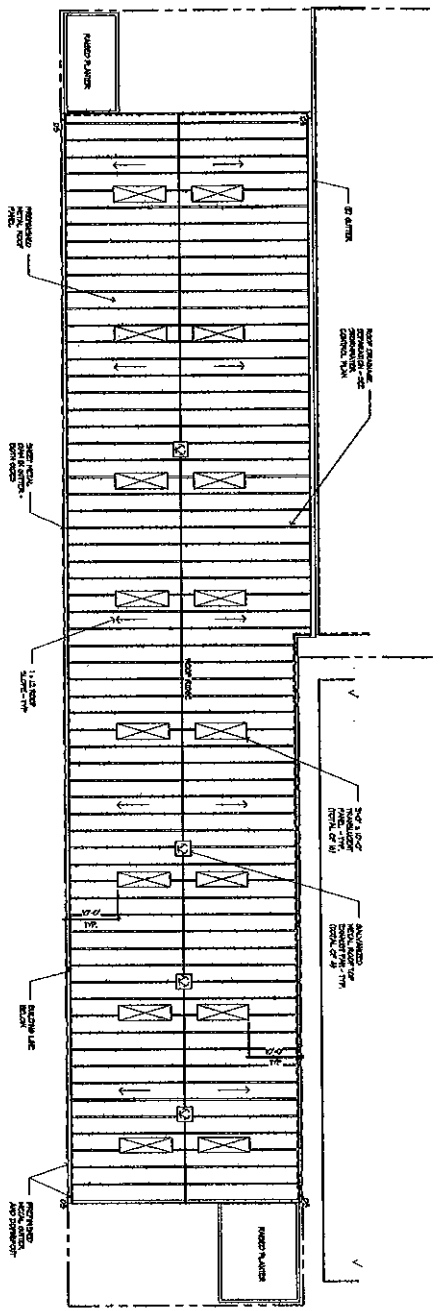
ROGER J. WILSON Architect
 830 Folger Ave. Berkeley, CA 94702
 510.863.1111
 www.rjwilson.com

GEO. M. MARTIN CO.
 830 Folger Ave. Berkeley, CA

Manufacturing Building

DATE: A1

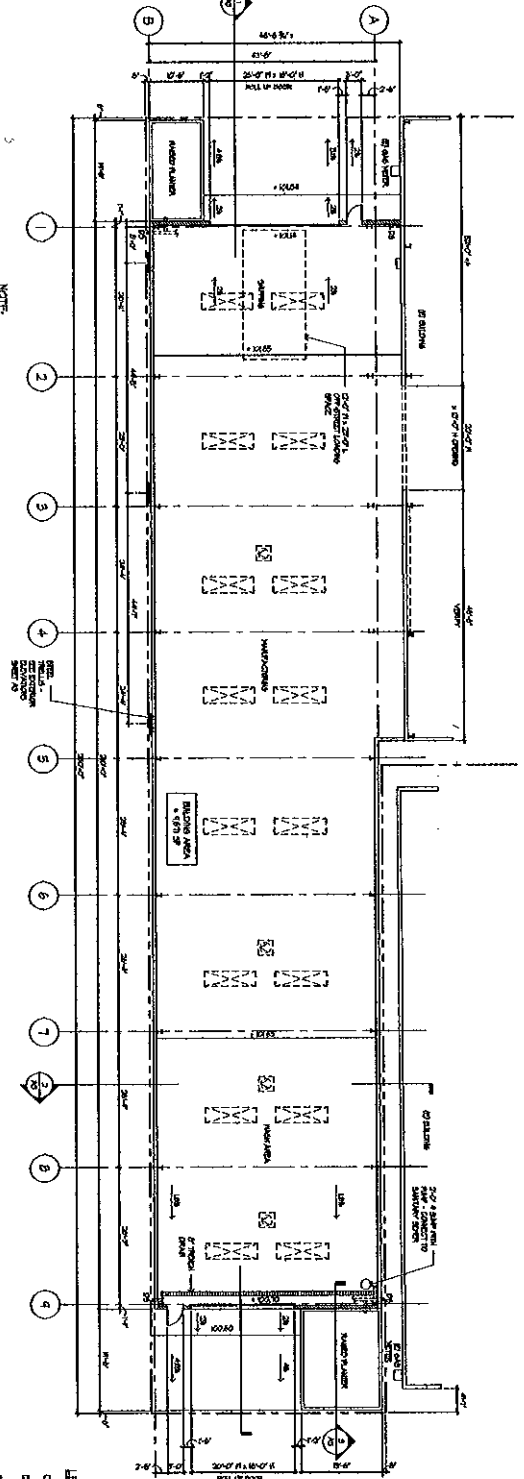
APPROVED PLAN
 10.16.13
 DATE
 PLANNING
 DD.R. Conditions Attached
 PA.U.P. Conditions Attached
 DUP. Conditions Attached



0 10' 20'
 SCALE 1/8" = 1'-0"

FLOOR PLAN
 10.16.13

NOTE:
 ALL WALLS AND PARTITIONS TO BE CONCRETE ON GRADE UNLESS OTHERWISE NOTED.
 ALL WALLS TO BE 12" THICK UNLESS OTHERWISE NOTED.
 ALL PARTITIONS TO BE 1/2" GYP BOARD UNLESS OTHERWISE NOTED.
 ALL FLOORS TO BE 4" CONCRETE ON 2" GYP BOARD UNLESS OTHERWISE NOTED.
 ALL CEILING TO BE 1/2" GYP BOARD UNLESS OTHERWISE NOTED.



LEGEND
 DASHED LINE: EXISTING CONSTRUCTION
 SOLID LINE: NEW CONSTRUCTION
 HATCH: REINFORCED CONCRETE
 HATCH: INSULATION
 HATCH: GYP BOARD

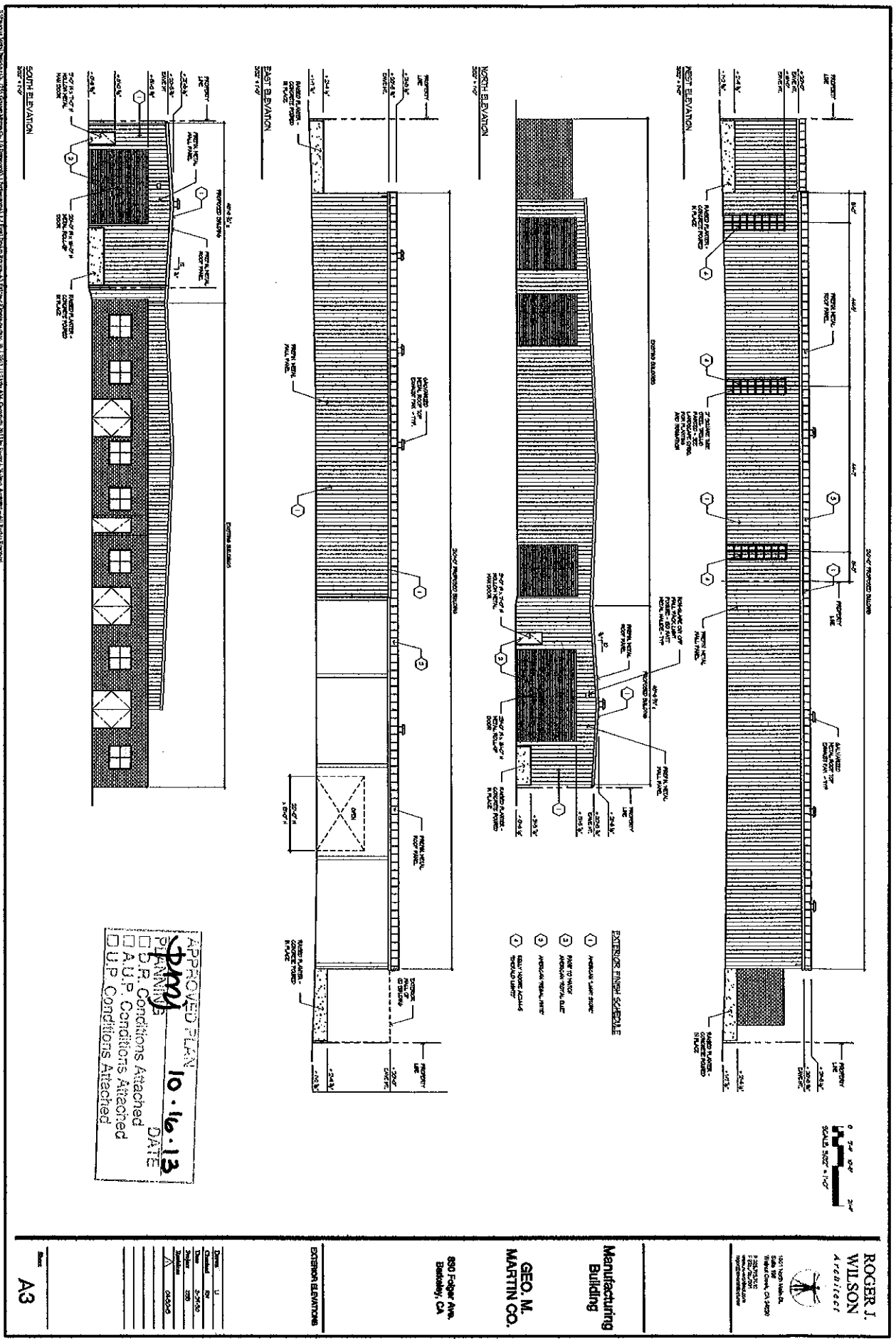
NO.	REVISION	DATE
1	ISSUED FOR PERMITS	10.16.13
2	REVISED PER COMMENTS	10.16.13
3	REVISED PER COMMENTS	10.16.13
4	REVISED PER COMMENTS	10.16.13
5	REVISED PER COMMENTS	10.16.13
6	REVISED PER COMMENTS	10.16.13
7	REVISED PER COMMENTS	10.16.13
8	REVISED PER COMMENTS	10.16.13
9	REVISED PER COMMENTS	10.16.13

ROGER J. WILSON
 ARCHITECT
 1001 BAY VIEW DR.
 SAN FRANCISCO, CALIFORNIA 94134
 TEL: 415.774.1111
 FAX: 415.774.1112
 WWW: WWW.RJWILSON.COM

Manufacturing Building
 GEO. M. MARTIN CO.
 830 Fifer Ave.
 Berkeley, CA

ROOF PLAN
 A2

3/20/2013 10:16:13 AM C:\Users\jwilson\Documents\Projects\Manufacturing Building\10.16.13\10.16.13_Roof Plan.dwg (Copyright 2013 by Roger J. Wilson/Architect)



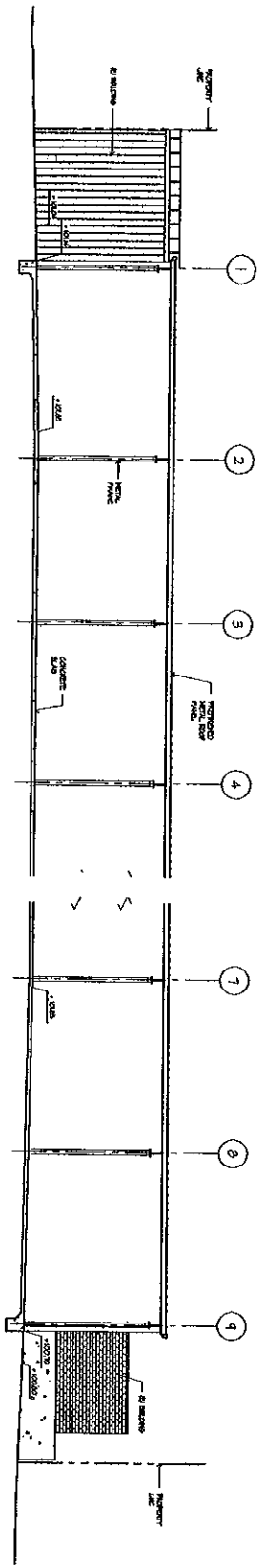
APPROVED PLAN
 DATE 10-16-13
 BY *DMJ*
 PLANNING
 D.P. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

ROGER J. WILSON
 Architect
 1011 North Main St.
 Suite 100
 Hayward, CA 94541
 (510) 885-1100
 www.rjwilson.com

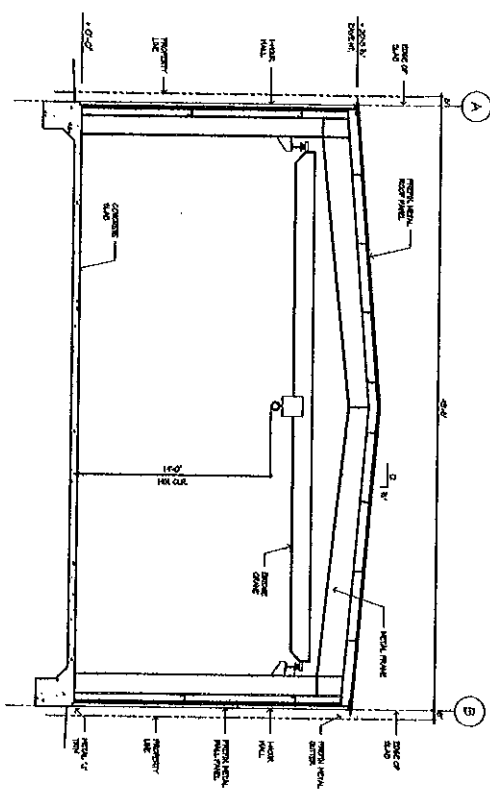
GEO. M. MARTIN CO.
 Manufacturing Building
 830 Foster Ave.
 Berkeley, CA

DATE	BY	DESCRIPTION
10/16/13	DMJ	APPROVED PLAN

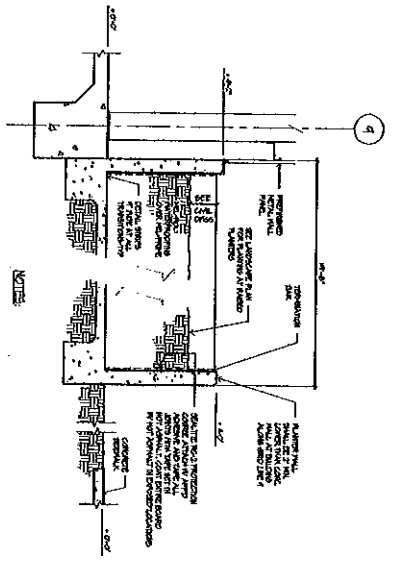
A3



1 BUILDING SECTION



2 BUILDING SECTION



3 COUPLED PLANTER SECTION

APPROVED PLAN
 PLANNING
 bmm
 DATE 10.16.13

D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

NOTES
 1. FOR PLANTER FINISHING
 SEE PLAN SHEET
 2. SEE PLAN SHEET
 3. SEE PLAN SHEET

2013/01/13 10:00 AM
 1200 Grand Avenue, Suite 200, San Francisco, CA 94102
 415.774.2000
 www.wilsonwilson.com

ROGER J. WILSON
 Architect
 1000 Main Street
 San Francisco, CA 94102
 415.774.2000
 www.wilsonwilson.com

Manufacturing Building

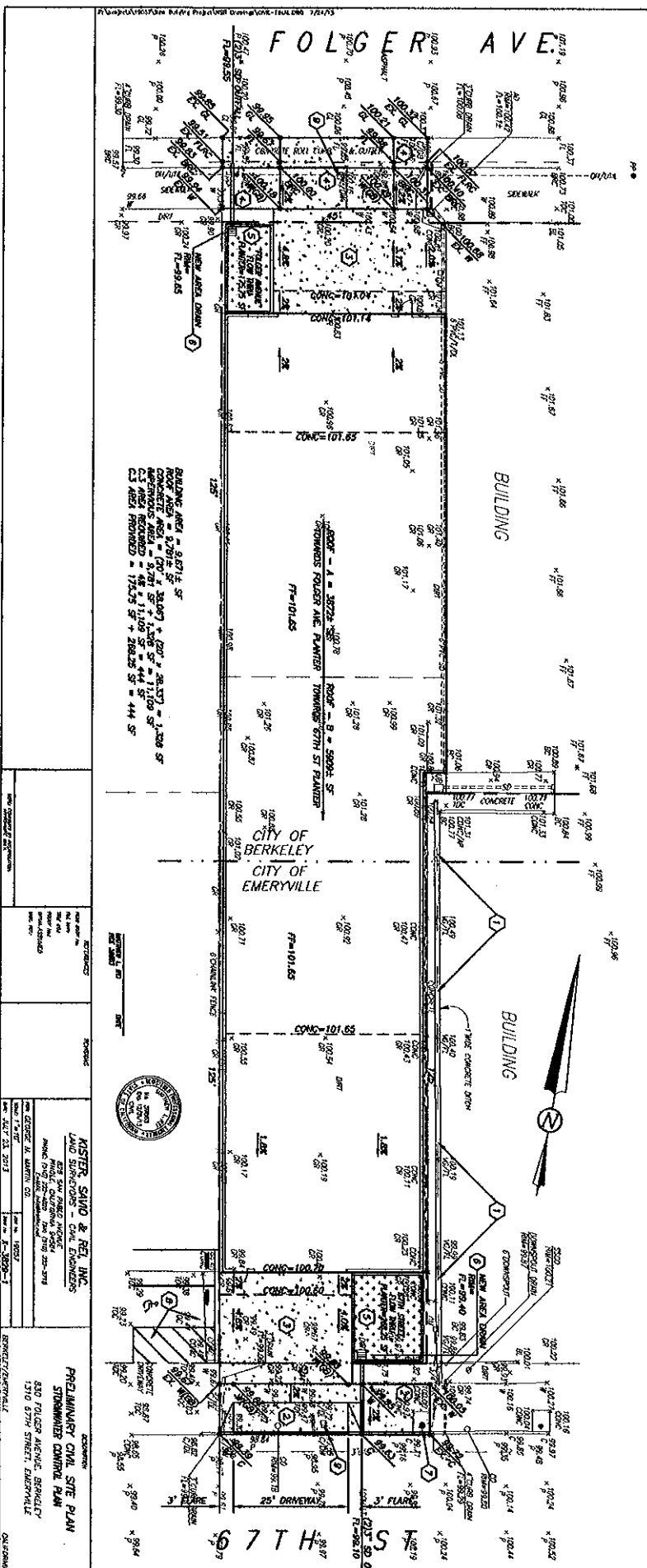
GEO. M. MARTIN CO.

830 Folger Ave.
 Berkeley, CA

BUILDING SECTIONS

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1	U
2	U
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A4



- WORK LISTED**
- 1 EXISTING CONCRETE DRIVEWAY SHALL TO REMAIN.
 - 2 REMOVE & REPAIR EXISTING CONCRETE DRIVEWAY IMPROVEMENTS. INSTALL NEW CONCRETE CURB, SLOPER, SIDEWALK & DRIVEWAY PER CITY OF BERKELEY STANDARD PLANS.
 - 3 INSTALL CONCRETE DRIVEWAY. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 4 REMOVE & REPAIR EXISTING CONCRETE DRIVEWAY IMPROVEMENTS. INSTALL NEW ROLLED CONCRETE CURB, SLOPER, SIDEWALK & DRIVEWAY PER CITY OF BERKELEY STANDARD PLANS.
 - 5 REMOVE CONCRETE FLOW-THROUGH PLANKS. SEE LANDSCAPE ARCHITECT PLANS FOR DETAILS.
 - 6 NEW 1/2" CONCRETE 601212 AREA DRAIN (12" x 12") WITH STANDARD, NON-RADIANT FRAME & GORGE, OR EQUIVALENT.
 - 7 EXISTING TREES TO REMAIN.
 - 8 ALL CURBWORK WITH FINISHING WITH SLOPES. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 9 REPLACE EXISTING WATER METERS COVER WITH A THORPE RATED COVER.

- LEGEND**
- ERC - BACK OF ROLLED CURB
 - C - TOP OF CURB ELEVATION
 - EX - EXISTING
 - FT - FINISH FLOOR ELEVATION
 - FL - FINISH FLOOR ELEVATION
 - FR - FINISH FLOOR ELEVATION
 - GS - GRADE BREAK
 - GL - GUTTER LP ELEVATION
 - HP - HIGH POINT
 - P - PAVEMENT ELEVATION
 - W - SIDEWALK ELEVATION
 - JTD - 3" SCHEDULE 40 PIG STEEL DRAIN
 - GRADE BREAK
 - PLANKING OF DRIVEWAY SWALE

APPROVED PLAN
 PLAN DATE 10-16-13
 D.P. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

- GENERAL NOTES**
1. DIMENSIONS AND ELEVATIONS SHOWN FOR EXISTING CURB & G.D. ARE SHOWN AND NOT REVISIONS.
 2. REFER TO ALL CITY AND COUNTY DEPARTMENT APPROVED PLANS, SPECIFIC PLANS, LOCAL ORDINANCES AND ORDINANCES AND ALL CITY AND COUNTY DEPARTMENT APPROVED PLANS, SPECIFIC PLANS, LOCAL ORDINANCES AND ORDINANCES.
 3. ALL EXISTING EXISTING DRIVEWAY IMPROVEMENTS ARE SHOWN ON THE PLAN AS NOT TO BE REMOVED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY THE EXISTING DRIVEWAY IMPROVEMENTS AND THE EXISTING DRIVEWAY IMPROVEMENTS ARE SHOWN ON THE PLAN AS NOT TO BE REMOVED UNLESS OTHERWISE NOTED.
 4. DIMENSIONS AND ELEVATIONS OF ALL EXISTING DRIVEWAY IMPROVEMENTS ARE SHOWN ON THE PLAN AS NOT TO BE REMOVED UNLESS OTHERWISE NOTED.
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 11. DIMENSIONS AND ELEVATIONS OF ALL EXISTING DRIVEWAY IMPROVEMENTS ARE SHOWN ON THE PLAN AS NOT TO BE REMOVED UNLESS OTHERWISE NOTED.
 12. DIMENSIONS AND ELEVATIONS OF ALL EXISTING DRIVEWAY IMPROVEMENTS ARE SHOWN ON THE PLAN AS NOT TO BE REMOVED UNLESS OTHERWISE NOTED.

RISTER SAND & SONS, INC.
 LAND SURVEYORS - CIVIL ENGINEERS
 430 RIVER STREET, EMERYVILLE, CA 94607
 PHONE: (925) 778-2211 FAX: (925) 778-2212
 WWW: WWW.RISTER.COM

PRELIMINARY CIVIL SITE PLAN
 STURMWERBER CONTROL PLAN
 430 RIVER STREET, EMERYVILLE, CA 94607
 1310 67TH STREET, EMERYVILLE, CA 94607

