



Planning and Development Department  
Land Use Planning Division

# A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE  
Berkeley Municipal Code, Title 23

**AUP #2013-0107**

Property Address: **1817 CAPISTRANO AVENUE**

Permittee Name: **MAURICE LEVITCH**

Use and/or Construction Permitted: to enlarge an existing 2,590 sq. ft. single family dwelling by constructing an approximately 230 sq. ft. second story addition for a bathroom and closet addition, resulting in a new 2,820 sq. ft. residence, increasing the average height from 27' to 27'2" average height pursuant to:

- Section 23D.16.070.C to construct a residential addition exceeding 14' in average height;
- Section 23E.96.070.B to construct a residential addition exceeding 20' in maximum height; and
- Section 23C.04.070.B to vertically extend a non-conforming side yard setback of 0' where 4' is required.

## FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on November 5, 2013.

Attest: Terry Blount  
Terry Blount, AICP, Principal Planner  
For Debbie Sanderson, Zoning Officer

November 5, 2013  
Effective Date

# ATTACHMENT 1

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## FINDINGS AND CONDITIONS

OCTOBER 15, 2013

### 1817 Capistrano Avenue

#### Administrative Use Permit #2013-0107

**To enlarge an existing 2,590 sq. ft. single family dwelling by constructing a 230 sq. ft. second story addition for a bathroom and closet addition, resulting in a new 2,820 sq. ft. residence, increasing the average height from 27' to 27'2".**

#### CEQA FINDINGS

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1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

#### FINDINGS FOR APPROVAL

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2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
  - As required under Section 23D.16.030 (Uses Permitted) and 23D.16.090 (Findings), the proposed addition may exceed 14' in average height because the addition and the building's height is found to be non-detrimental. The height of the proposed addition does not create significant impacts to sunlight, air, or views for the following reasons:
    1. Sunlight – The existing average height is 27' and the proposed average height is 27'2". The incremental 2" increase in average height is not expected to cast shadows towards abutting properties and if new shadows occur they are expected to fall on the subject property;

2. Air – Because the proposal satisfies the District standards for minimum rear and east side yard setbacks and the distances to neighboring properties exceeds the District requirement for building separation, the addition is expected to provide adequate spatial separations between developments on abutting properties, thereby allowing for adequate air circulation;
  3. Views – The proposed addition would not significantly block the adjacent neighbors' views of any significant features. The proposed addition will not extend to the full height limit in the R-1H District and the addition will not exceed the maximum number of stories allowed; and
  4. Privacy – The proposed addition does not include new windows which would have a view into abutting properties and the addition is adequately separated from adjacent dwellings.
- As required under Section 23E.96.020.D (Purposes), the modification in the maximum 20' height requirement is justified because the subject lot includes an open creek which precludes construction elsewhere on the lot.
  - As required under Section 23C.04.070.B.1 (Expansions of Non-conforming Buildings and Structures), the vertical extension of the non-conforming side (east) and front (south) facades which have existing and proposed 0' side yard setback where 4' is required and 17' front yard setback where 20' is required, do not further encroach into the setback.
  - As required by Section 23D.16.070 (Development Standards), this project is permissible because the subject property satisfies the development standards for lot coverage, maximum residential density, maximum building height, and minimum rear and east side setback requirements.
  - As required under Section 17.080.050-Setbacks for New Construction Required Adjacent to Open Creeks, the proposed addition is located within the area of twenty-five feet from the centerline of an open creek and has been conditioned to require a Creek Permit and is therefore permissible.
  - All abutting and confronting neighbors have signed the plan set with no objections.

## **STANDARD CONDITIONS**

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The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

### **1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

### **2. Applicant Responsible for Compliance with Conditions**

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

### **3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)**

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

### **4. Modification of Permits (Section 23B.56.020)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

### **5. Plans and Representations Become Conditions (Section 23B.56.030)**

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

### **6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)**

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

**7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)**

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

**8. Exercise and Lapse of Permits (Section 23B.56.100)**

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

**9. Indemnification Agreement**

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

**ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER**

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

**Prior to Submittal of Any Building Permit:**

- 10.** The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

- 11.** The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths

- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

**Prior to Issuance of Any Building Permit:**

12. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
13. The applicant shall obtain a Creek Permit from the Public Works Department prior to issuance of any building permit.

**During Construction:**

14. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
15. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
16. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
17. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
18. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
19. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
20. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
21. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.

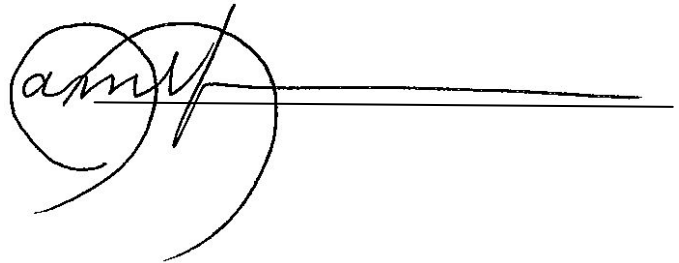
22. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
23. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

**Prior to Issuance of Occupancy Permit or Final Inspection:**

24. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
25. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **AUGUST 16, 2013**.

**At All Times (Operation):**

26. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
27. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
28. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood.

A handwritten signature in black ink, appearing to read 'amj', is written over a horizontal line. The signature is enclosed within a circular scribble.

Pamela Johnson, Assistant Planner for  
Debra Sanderson, Zoning Officer

**SHEET INDEX**

- A0 VICINITY MAP, SCOPE OF WORK, PROJECT DATA
- A1 SITE PLAN
- A2 EXISTING FLOOR PLANS
- A3 EXISTING EXTERIOR ELEVATIONS
- A4 EXISTING EXTERIOR ELEVATIONS
- A5 PROPOSED SECOND FLOOR PLAN
- A6 PROPOSED EXTERIOR ELEVATIONS
- A7 PROPOSED EXTERIOR ELEVATIONS
- A8 SHADOW STUDY - DEC 21
- A9 SHADOW STUDY - JUNE 21

**CHO RESIDENCE**

AUP SET

**SCOPE OF WORK**

- 232 SF BATHROOM AND CLOSET ADDITION OVER GARAGE
- GARAGE REPAIR/RECONSTRUCTION IMPROVED PLAN

DATE **10-9-13**

- D.R. Conditions Attached
- A.U.P. Conditions Attached

**PROJECT TEAM**

ARCHITECT MAURICE LEVITCH AIA  
CONSULTING ARCHITECT ED LEVITCH AIA

**BUILDING INFORMATION**

APN: 062 288901800  
CONSTRUCTION TYPE: V-B  
FIRE ZONE: 2  
CREEK BUFFER: YES  
HISTORIC:

**APPROVALS**

**RECEIVED**  
**SEP 23 2013**

**CHO RESIDENCE**

Project Address:  
1817 CAPISTRANO AVENUE  
BERKELEY CA 94707

OWNER:  
THERESA CHO

Address:  
1817 CAPISTRANO AVENUE  
BERKELEY CA 94707  
TEL: 510.555.0213 - H  
510.283.8190 - C  
email: thersa@scgglobal.net

1029 REDUZ AVE, BERKELEY, CA 94710  
Tel: (510) 845-6941 Fax: (510) 845-6950  
www.leitch.com

**TABULATION FORM**

Project Address: 1817 Capistrano Date: 08/11/13

Applicant's Name: Leitch Associates

Zoning District: R-1H

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

Units	Existing	Proposed	Permitted/Required
Number of Dwelling Units	1	1	1
Number of Parking Spaces	1	1	1
Yards and Height			
Front Setback	17 ft.	17 ft.	20 ft.
Side Yard Setback (if not property)	0 ft.	0 ft.	4 ft.
Back Yard Setback	4 ft.	4 ft.	4 ft.
Building Height*	32 ft.	32 ft.	20 ft.
Average*	27 ft.	27 ft. 2" (addition)	28 ft.
Maximum*	5,000 SF	5,000 SF	5,000 SF
Lot Area	2,590 SF	2,800 SF	
Gross Floor Area*	1,610 SF	1,610 SF	
Total Area Covered by All Floors	33%	32%	40%
Building Footprint*	3370 SF	3370 SF	400 SF
Total of All Structures (Footprint/Lot Area)			
Useable Open Space*			
Floor Area Ratio* (Projects only Non-Residential ES-R)			

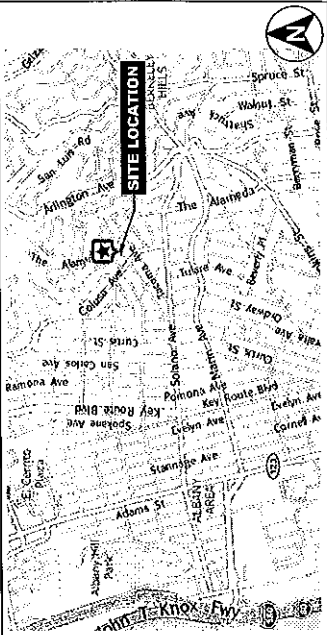
\*See Definitions - Zoning Ordinance Title 23F.  
Revised: 09/02  
Information used planning@leitch.com, form.doc

Land Use Planning, 2100 Milvia Street, Berkeley, CA 94704  
Tel: 510.841.7400 Fax: 510.841.7401 Email: planning@leitch.com

**ABBREVIATIONS**

EX	EXISTING	FIN	FINISH	P.S.	PLUMBING STACK
FL	FLOOR	FL	FLOORSCENT	P.T.	PRESSURE TREATED
AF	ABOVE FINISHED FLOOR	FT.	FOOT OR FEET	PTD	PAINTED
ADJ	ADJACENT	ADJUSTABLE	F.T.G.	FOOTING	CAR
ALUM	ALUMINUM			REF.	REFERENCE
APPROX	APPROXIMATE	GL	GLASS	REF	REFRIGERATOR
ASPH	ASPHALT	GR	GRADE	REIN	REINFORCED
B	BOND	GP	GRADE BOARD	R.O.	ROUGH OPENING
BDO	BOND	HT	HORIZONTAL	RWD	REDWOOD
BLOCK	BLOCKING	HT	HORIZONTAL	SCHED.	SCHEDULE
BTM	BEAM	INSUL	INSULATION	SH	SHELF
BTWN	BETWEEN	INT.	INTERIOR	SMD	SEE MECHANICAL DRAWINGS
CAB	CABINET	INT.	INTERIOR	SPEC	SPECIFICATION
CEM	CEMENT	MAX	MAXIMUM	SAD	SEE STRUCTURAL DRAWINGS
GT	CERAMIC TILE	M.C.	MEDICINE CABINET	SS	SEE DRAWINGS
CLF	CENTER LINE	MISC.	MISCELLANEOUS	STD	STANDARD
CLS	GLASS	MIR	MIRROR	STL	STEEL
COL	COLUmn	MISC.	MISCELLANEOUS	STO	STORAGE
CONC	CONCRETE	MTL	METAL	SYM	SYMMETRICAL
DF	DOUGLAS FIR	NEW	NEW	TEL	TELEPHONE
DIA	DIAmETER	NAT.	NATURAL	T&G	TONGUE & GROOVE
DW	DISHWASHER	NEC.	NECESSARY	TOP	TOP
DR	DOUBLE	NO. #	NUMBER	TOP	TOP
DR	DOUBLE	NOT TO SCALE	NOT TO SCALE	UNLESS OTHERWISE NOTED	
EA	EACH	O.C.	ON CENTER	WAR	WARM AIR REGISTER
ELEV	ELEVATION	OPNS	OPENING	WH	WATER HEATER
ELEC	ELECTRICAL	PL or	PROPERTY LINE or PLATE	WP	WATERPROOF
EXT	EXTERIOR	PWD	PLYWOOD	WT	WITH
FRDN	FOUNDATION				

**VICINITY MAP**



**LAND USE PLANNING**

**APPLICABLE CODES**

- 2010 California Residential Code - Incorporates by adoption and reprints the 2009 International Residential Code.
- 2010 California Energy Code.
- 2010 California Electrical Code (Incorporates by adoption and reprints the 2008 National Electrical Code with California amendments).
- 2010 California Plumbing Code (Incorporates by adoption and reprints the 2009 Uniform Plumbing Code with California amendments).
- 2010 California Mechanical Code (Incorporates by adoption and reprints the 2009 Uniform Mechanical Code with California amendments).
- 2010 California Fire Code (Incorporates by adoption and reprints the 2009 International Fire Code with California amendments).

**Sheet Contents:**

- TABULATIONS
- VICINITY MAP
- SCOPE OF WORK
- PROJECT DATA

**AUP SET**

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Project No: 13-12

Date: SEPTEMBER 18, 2013

Drawn by: SCGNILA

Checked By: MSL

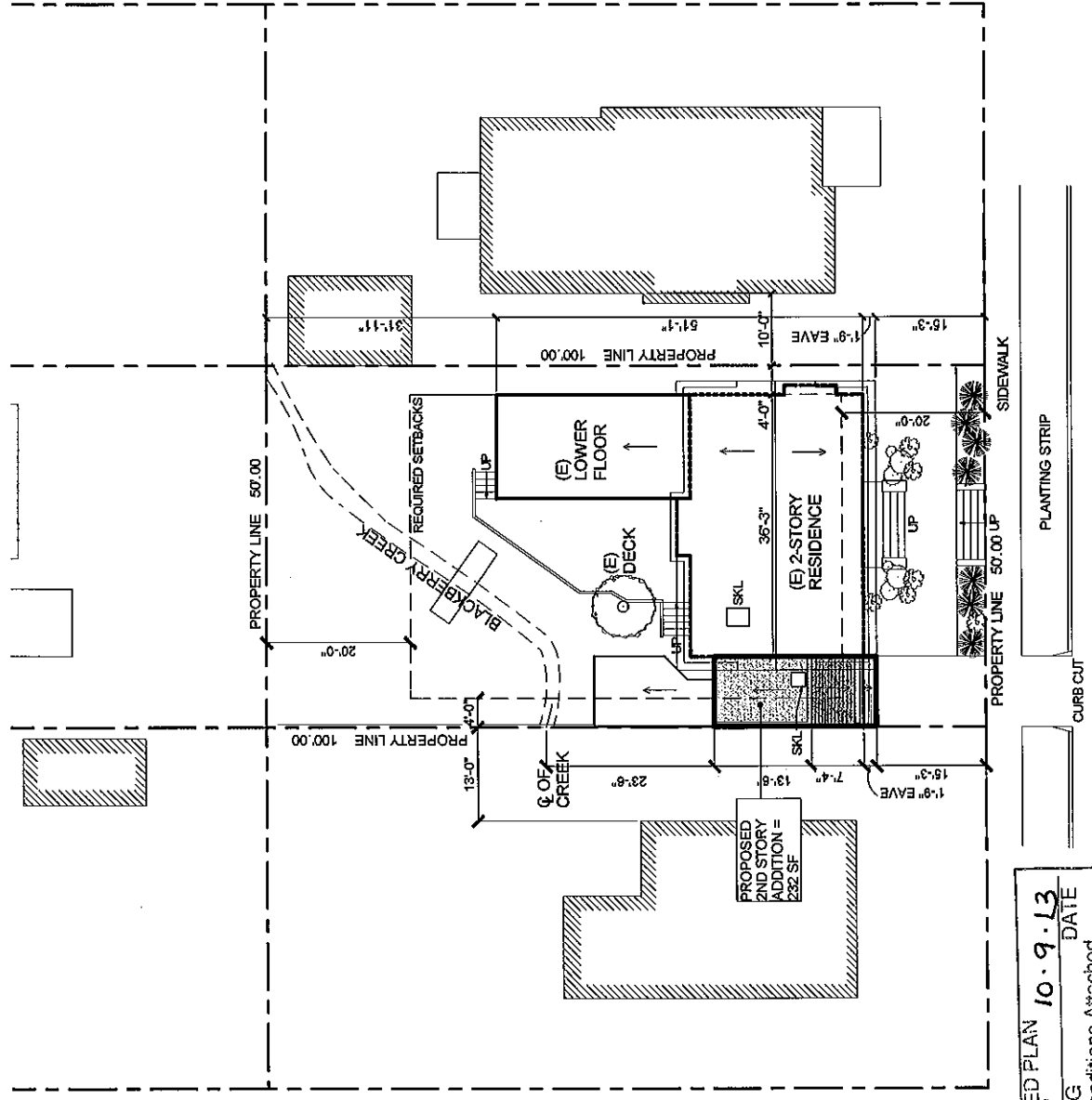
Revisions:

Sheet A0

**TABULATIONS**



<b>CHO RESIDENCE</b>	
Project Address: 1817 CAPISTRANO AVENUE BERKELEY CA 94707	1029 BEDDZ AVE, BERKELEY, CA 94710 Tel: (510) 845-6941 Fax: (510) 845-6950 www.lwfish.com
Owner: THERESA CHO	
Address: 1817 CAPISTRANO AVENUE BERKELEY CA 94707 TEL: 510.858.0213 - H 510.283.9190 - C email: theresa.cho@sbcglobal.net	
Sheet Contents: SITE PLAN	
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Date: SEPTEMBER 18, 2013	
Drawn by: SCGN/LA	
Checked By: MSL	
Revisions:	
Sheet A1	



Scale: 1/16" = 1'-0"

**PROPOSED SITE PLAN**

APPROVED PLAN **10-9-13** DATE

PLANNING **SCGN/LA**

D.R. Conditions Attached

A.U.P. Conditions Attached

U.P. Conditions Attached

**CHO RESIDENCE**  
 Project Address:  
 1817 CAPISTRANO AVENUE  
 BERKELEY CA 94707  
 Owner:  
 THERESA CHO  
 Address:  
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Sheet Contents:  
 EXISTING FLOOR  
 PLANS

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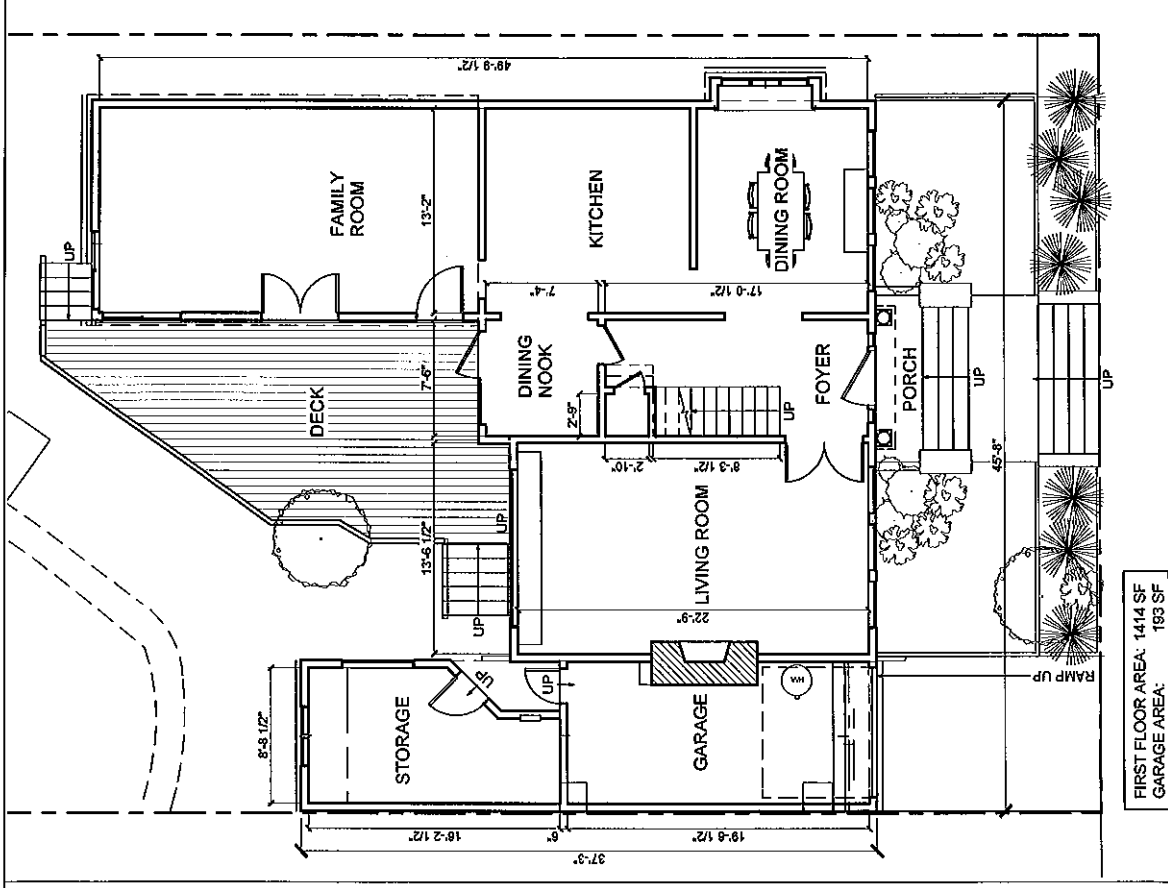
Date:  
 SEPTEMBER 18, 2013

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 SOGNILA

Checked By:  
 MSL

Revisions:

Sheet  
 A2

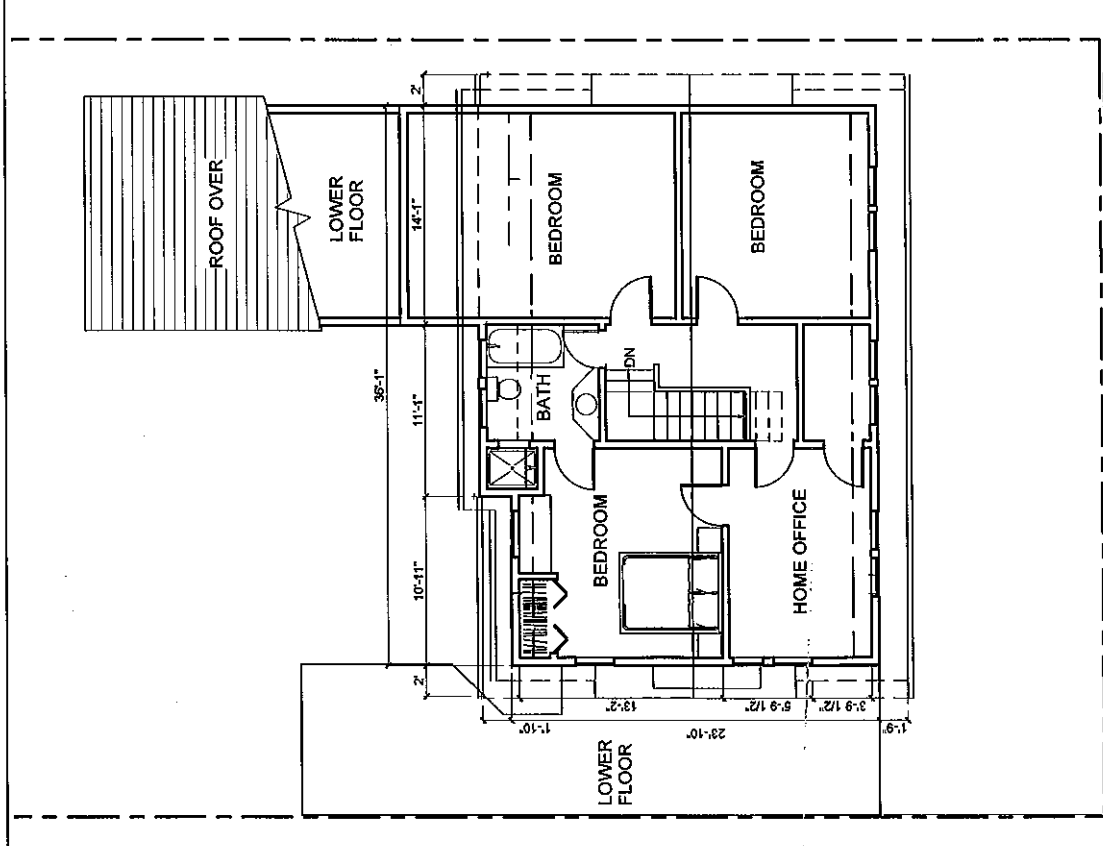


FIRST FLOOR AREA: 1414 SF  
 GARAGE AREA: 193 SF



**FIRST FLOOR**

Scale: 1/8" = 1'-0"



APPROVED PLAN  
 DATE 10.9.13  
 PLANNING  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached

SECOND FLOOR AREA: 978 SF

**SECOND FLOOR**

**EXISTING FLOOR PLANS**

**CHO RESIDENCE**  
 Project Address:  
 1817 CAPISTRANO AVENUE  
 BERKELEY CA 94707

Owner:  
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Sheet Contents:  
 EXISTING EXTERIOR  
 ELEVATIONS

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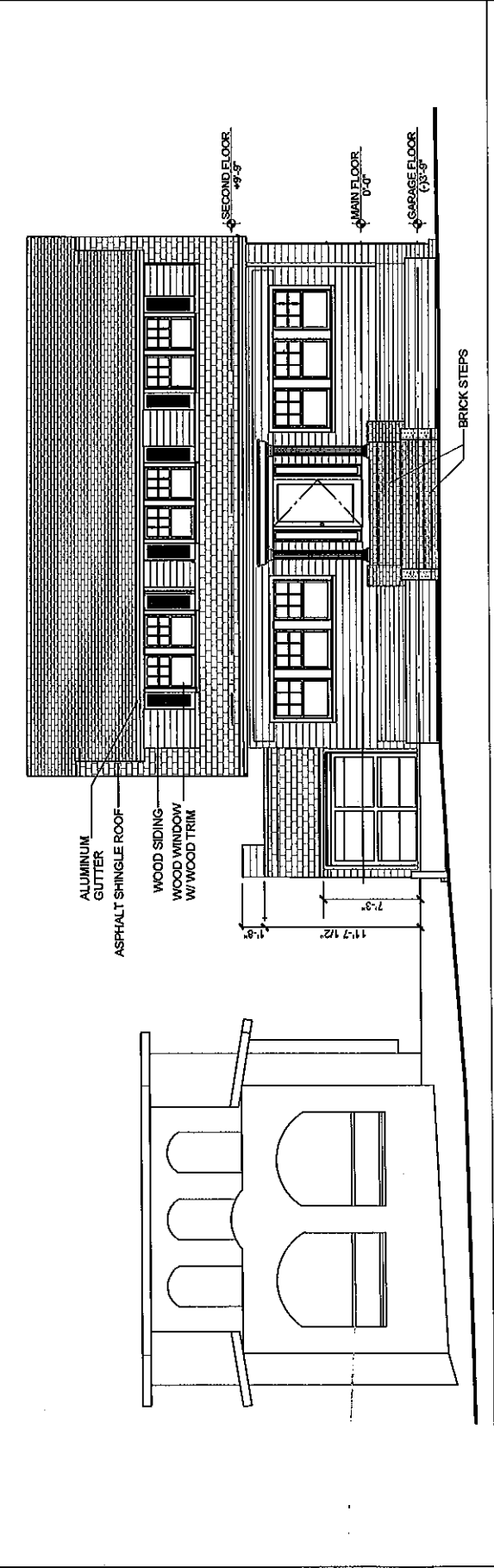
Date:  
 SEPTEMBER 18, 2013

Drawn by:  
 SOGNILA

Checked By:  
 MSL

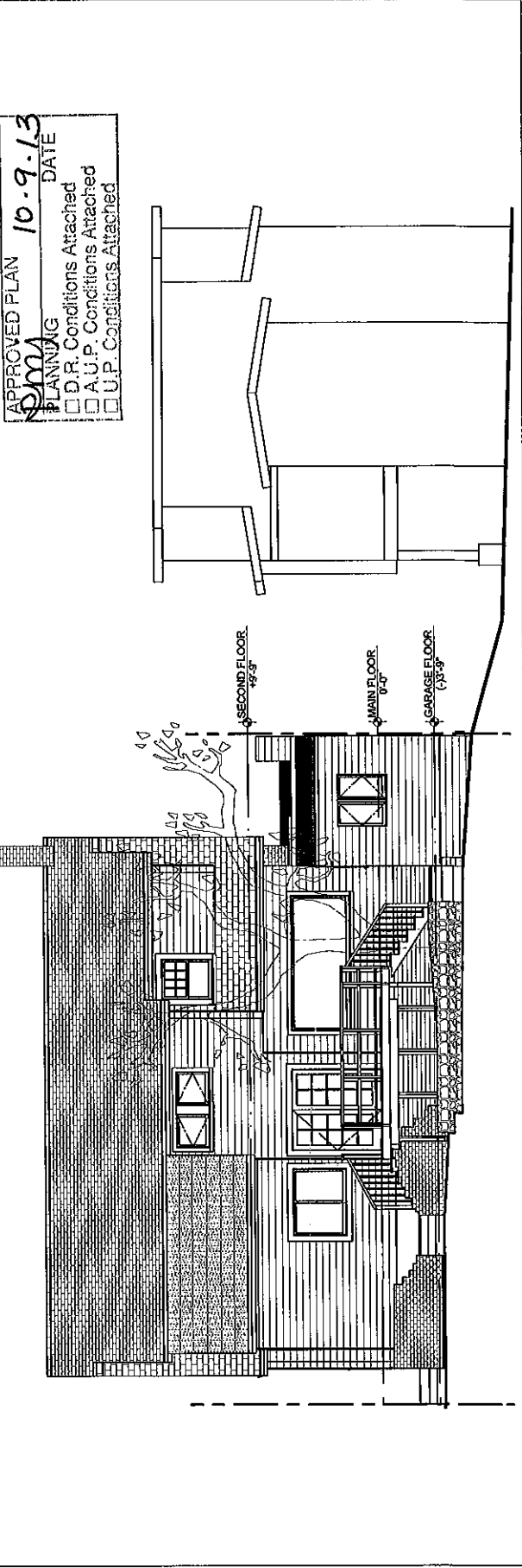
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Sheet **A3**



**FRONT/SOUTH**

**2**



**REAR/NORTH**  
**EXISTING EXTERIOR ELEVATIONS**

**1**

APPROVED PLAN **10-9-13**  
 PLANNING DATE  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached

**CHO RESIDENCE**

Project Address:  
1817 CAPISTRANO AVENUE  
BERKELEY CA 94707

Owner:  
THERESA CHO

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Sheet Contents:  
EXISTING EXTERIOR  
ELEVATIONS

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Project No: 13-12

Date: SEPTEMBER 18, 2013

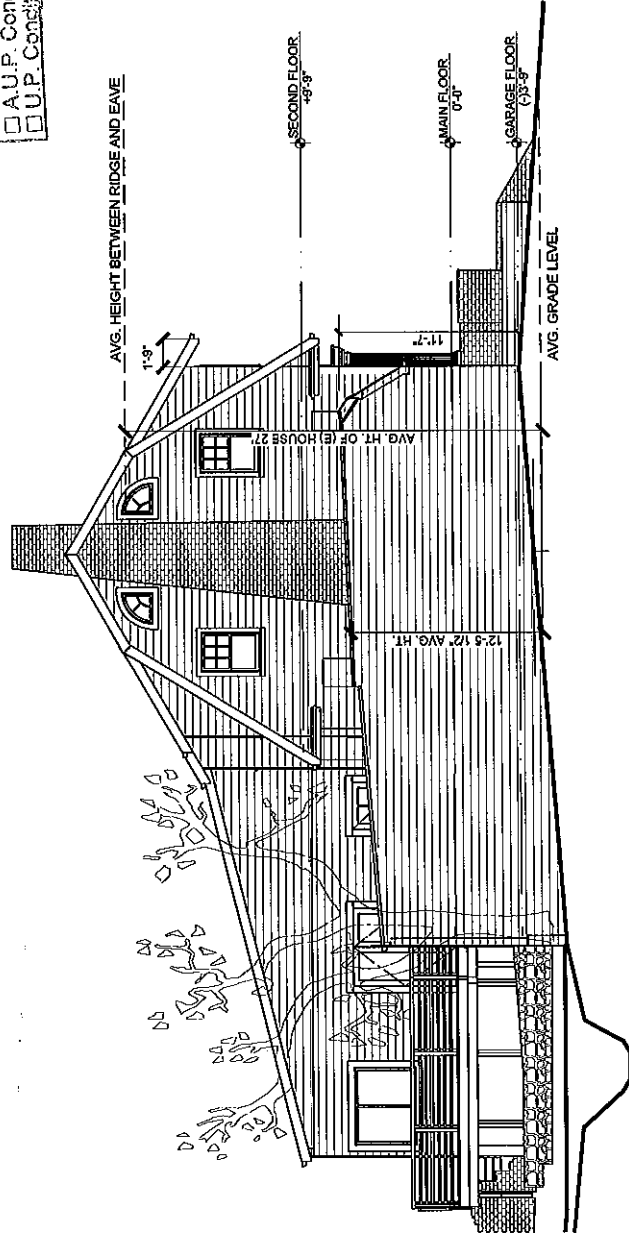
Drawn by: SOGINLA

Checked By: MSL

Revisions:

Sheet A4

APPROVED PLAN **10.9.13**  
DATE  
PLANNING  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached



**LEFT SIDEWEST  
EXISTING EXTERIOR ELEVATIONS**

Scale: 1/8" = 1'-0"

**CHO RESIDENCE**

**Project Address:**  
1817 CAPISTRANO AVENUE  
BERKELEY CA 94707

**Owner:**  
THERESA CHO

**Address:**  
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BERKELEY CA 94707  
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**Sheet Contents:**  
PROPOSED SECOND  
FLOOR PLAN

**AUP SET**

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**Project No:** 13-12

**Date:** SEPTEMBER 18, 2013

**Drawn by:** SCGN/ILA

**Checked By:** MSL

**Revisions:**

**Sheet** A5

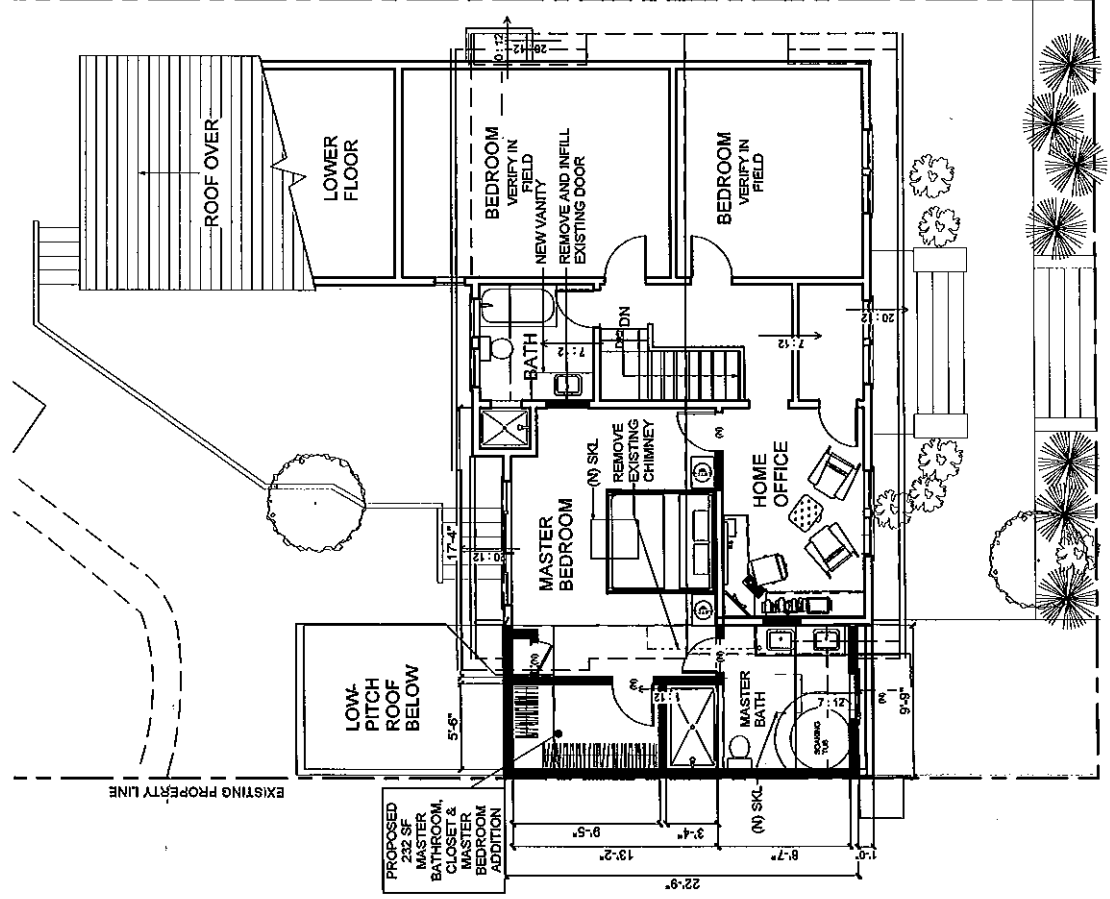
APPROVED PLAN  
*DM* 10-9-13  
DATE  
D.R. Conditions Attached  
A.U.P. Conditions Attached  
U.P. Conditions Attached



**WALL LEGEND:**

- EXISTING
- TO BE REMOVED
- NEW

Scale: 1/8" = 1'-0"



**PROPOSED SECOND FLOOR PLAN**

**CHO RESIDENCE**  
 Project Address:  
 1817 CAPISTRANO AVENUE  
 BERKELEY CA 94707

Owner:  
 THERESA CHO

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Sheet Contents:  
 PROPOSED EXTERIOR  
 ELEVATIONS

**AUP SET**  
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Project No:  
 13-12

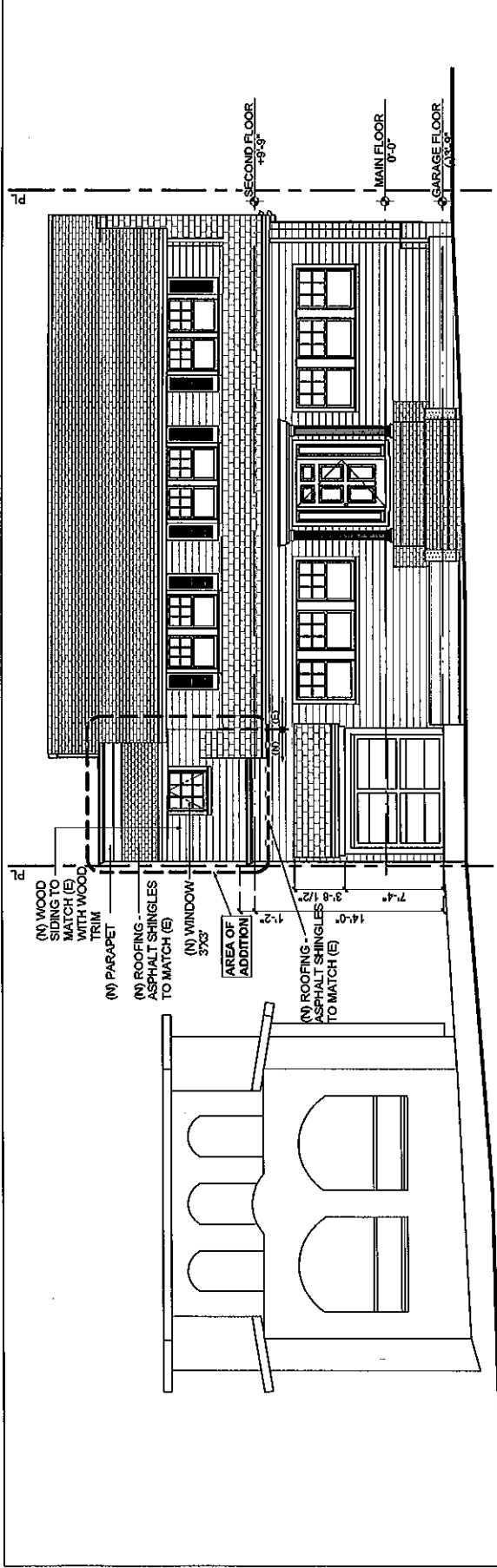
Date:  
 SEPTEMBER 16, 2013

Drawn by:  
 SCGN/LLA

Checked By:  
 MSL

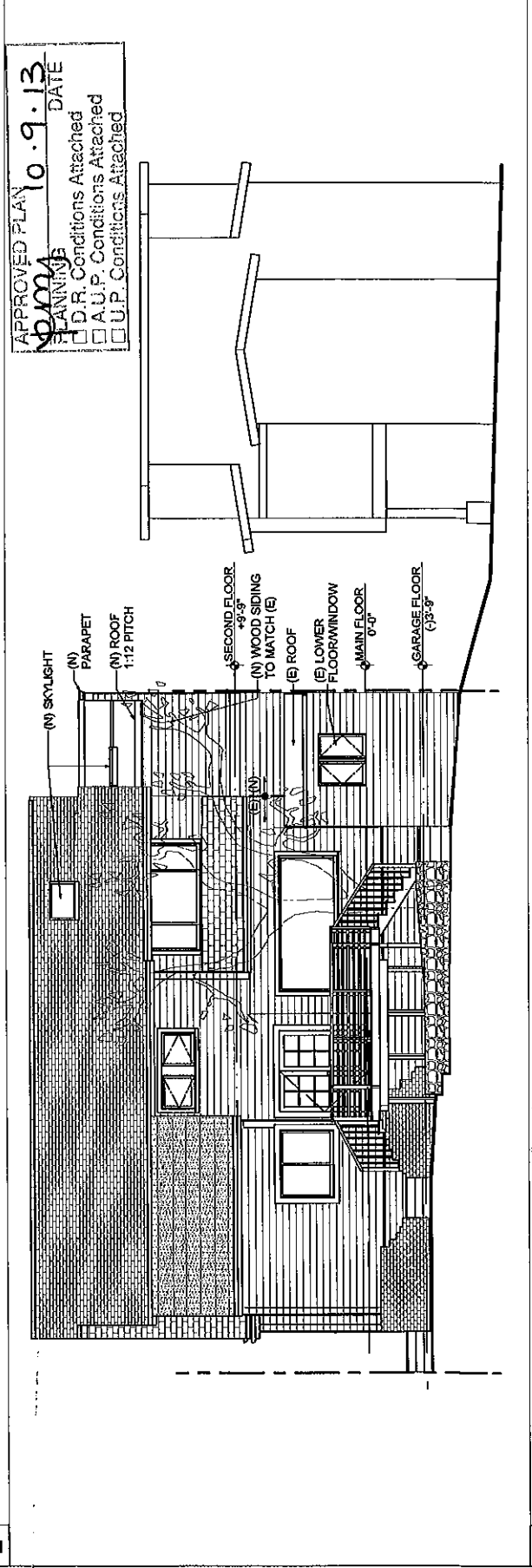
Revisions:

Sheet **A6**



**FRONT/SOUTH**

2



**REAR/NORTH**

2

APPROVED PLAN  
 10.9.13  
 DATE  
 PLANNING  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached

Scale: 1/8" = 1'-0"

**PROPOSED EXTERIOR ELEVATIONS**

**CHO RESIDENCE**

**Project Address:**  
187 CAPISTRANO AVENUE  
BERKELEY CA 94707

**Owner:**  
THERESA CHO

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**Sheet Contents:**  
PROPOSED EXTERIOR  
ELEVATIONS

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**Project No.:** 13-12

**Date:** SEPTEMBER 18, 2013

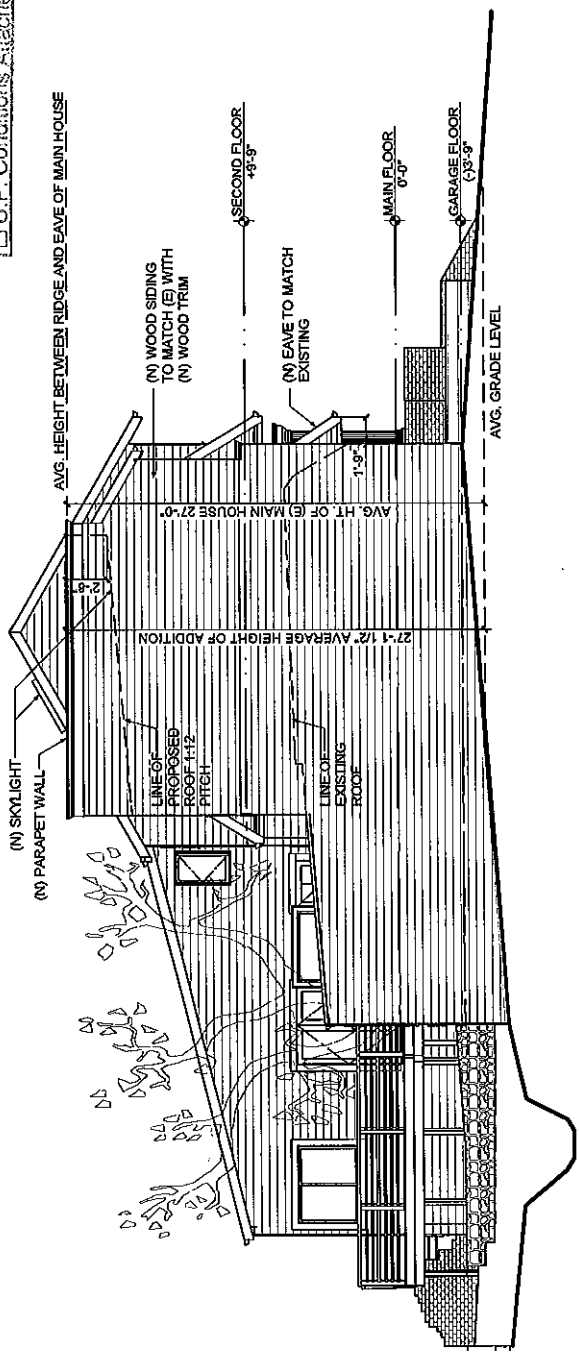
**Drawn by:** SOGIN/MLA

**Checked By:** MSL

**Revisions:**

**Sheet** A7

APPROVED PLAN  
10.9.13  
PLANNING DATE  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached



**LEFT SIDEWEST  
PROPOSED EXTERIOR ELEVATIONS**

**Scale: 1/8" = 1'-0"**