



Planning and Development Department
Land Use Planning Division

A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code, Title 23

AUP #2013-0119

Property Address: **2233 BYRON STREET**

Permittee Name: **JUDD & TAMAR ANTIN**

Use and/or Construction Permitted: to construct a 139-square-foot addition at the rear of the property that is approximately 15.5 feet in average height, pursuant to:

- Section 23D.28.070.C to construct a residential addition >14' in average height.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on October 17, 2013.

Attest: Terry Blount
Terry Blount, AICP, Principal Planner
For Debbie Sanderson, Zoning Officer

Oct. 17, 2013
Effective Date

FINDINGS AND CONDITIONS

SEPTEMBER 26, 2013

2233 Byron Street

Administrative Use Permit 2013-0119

To construct a 139-square-foot addition at the rear of the property that is approximately 15.5 feet in average height.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - The new addition meets all the site development standards of the district. Therefore, air and privacy impacts to surrounding properties are determined to be insignificant in nature and the project will not be detrimental to the general welfare of the neighborhood.
 - The new addition is less than 16' in average height and located at the southeastern end of the house (rear right). The project will, therefore, cast minimal new shadows on the subject property and none on the neighboring properties. The shadowing impacts are deemed non-detrimental.
 - The architectural style of the addition is consistent with the style of the existing house. The addition will be constructed with colors and materials to match the existing home and is located at the rear of the existing home, which is not visible from the public right-of-way. Therefore, the addition will be compatible with the existing character and scale of the neighborhood.
 - The addition will not affect any significant views in the neighborhood.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

10. The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: _____ Phone: _____

11. The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths
- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

During Construction:

12. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
13. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
14. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
15. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
16. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
17. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
18. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
19. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.

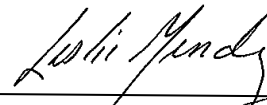
20. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
21. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

Prior to Issuance of Occupancy Permit or Final Inspection:

22. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
23. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **RECEIVED SEPTEMBER 18, 2013**.

At All Times (Operation):

24. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.



Leslie Mendez, Associate Planner for
Debra Sanderson, Zoning Officer

NO. DATE

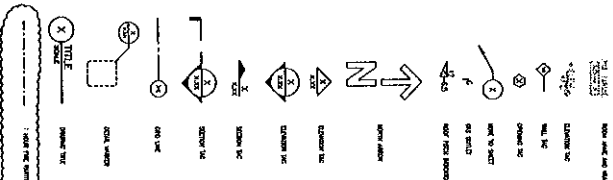
1. 1/23/83

2. 2/10/83

3. 3/15/83

4. 4/20/83

5. 5/15/83



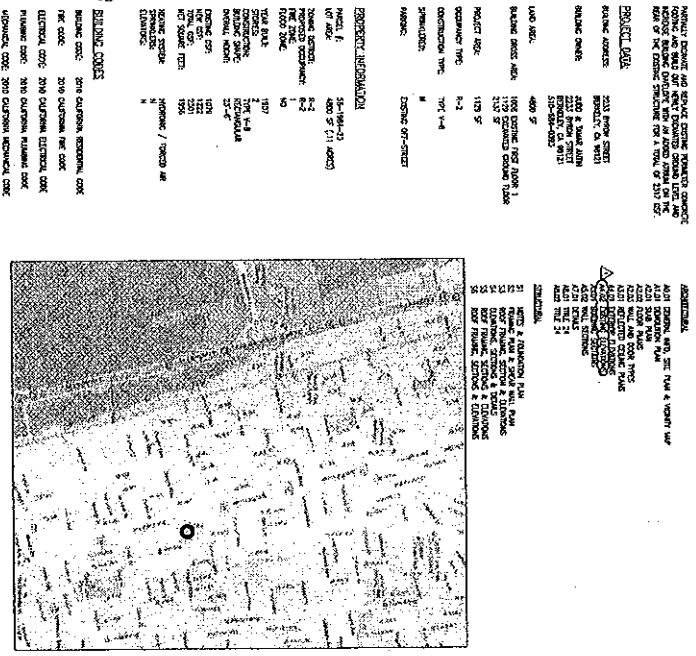
RESIDENTIAL SITE CONSTRUCTION

1. FOUNDATION SHALL BE CONSTRUCTION TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC.
2. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
3. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
4. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
5. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
6. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
7. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
8. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
9. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
10. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
11. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
12. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
13. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
14. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.
15. THE EXISTING FOUNDATION SHALL BE DEMOLISHED TO THE EXISTING GRADE AND SHALL BE CONSTRUCTED WITH 12" CONCRETE WALLS OF 8" CONC. AND SHALL BE FINISHED WITH 2" POLYSTYRENE INSULATION AND FINISH WITH 1/2" GYP. BOARD.

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND CONDITIONS OF CONTRACT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES ON THE SITE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE SITE AFTER COMPLETION OF WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND LABOR NECESSARY FOR THE WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT AT ALL TIMES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PLANTS AND TREES ON THE SITE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AGENCIES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE SITE AFTER COMPLETION OF WORK.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND LABOR NECESSARY FOR THE WORK.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT AT ALL TIMES.

APPROVED PLAN
DATE 9/23/83
PLANNING
CONDITIONS ATTACHED
P.D.P.
CONDITIONS ATTACHED
P.U.P.
CONDITIONS ATTACHED

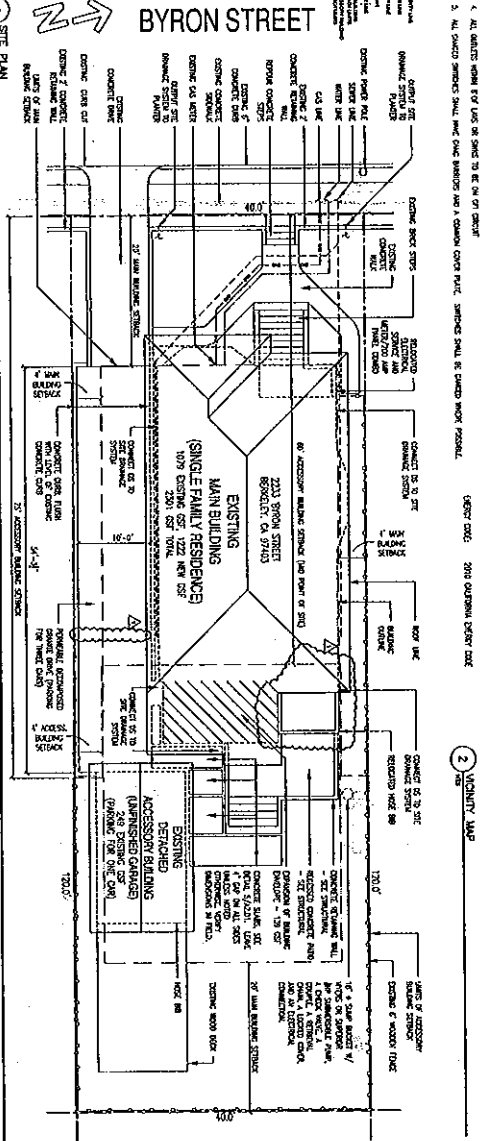


EXISTING UTILITIES:

1. ALL UTILITIES SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE SITE AFTER COMPLETION OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND LABOR NECESSARY FOR THE WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT AT ALL TIMES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PLANTS AND TREES ON THE SITE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AGENCIES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE SITE AFTER COMPLETION OF WORK.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND LABOR NECESSARY FOR THE WORK.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT AT ALL TIMES.

EXHIBIT INFORMATION

NO.	DESCRIPTION
1	Site Plan
2	Mountain View Map
3	Soil Report
4	Engineering Notes
5	Permit Application
6	Environmental Assessment
7	Utility Maps
8	Topographic Map
9	Adjacent Property Maps
10	City Zoning Ordinance
11	County Code of Ordinances
12	State Building Code
13	Federal Building Code
14	Local Fire Department Regulations
15	Local Health Department Regulations
16	Local Air Quality Regulations
17	Local Noise Regulations
18	Local Traffic Regulations
19	Local Parking Regulations
20	Local Signage Regulations
21	Local Landmarks Regulations
22	Local Historic Preservation Regulations
23	Local Open Space Regulations
24	Local Wetlands Regulations
25	Local Riparian Area Regulations
26	Local Coastal Resources Regulations
27	Local Parks and Recreation Regulations
28	Local Cultural Resources Regulations
29	Local Archaeological Resources Regulations
30	Local Geological Resources Regulations
31	Local Paleontological Resources Regulations
32	Local Biological Resources Regulations
33	Local Botanical Resources Regulations
34	Local Zoological Resources Regulations
35	Local Fish and Wildlife Resources Regulations
36	Local Marine Resources Regulations
37	Local Wetland Resources Regulations
38	Local Riparian Area Resources Regulations
39	Local Coastal Resources Regulations
40	Local Parks and Recreation Resources Regulations
41	Local Cultural Resources Resources Regulations
42	Local Archaeological Resources Resources Regulations
43	Local Geological Resources Resources Regulations
44	Local Paleontological Resources Resources Regulations
45	Local Biological Resources Resources Regulations
46	Local Botanical Resources Resources Regulations
47	Local Zoological Resources Resources Regulations
48	Local Fish and Wildlife Resources Resources Regulations
49	Local Marine Resources Resources Regulations
50	Local Wetland Resources Resources Regulations
51	Local Riparian Area Resources Resources Regulations
52	Local Coastal Resources Resources Regulations
53	Local Parks and Recreation Resources Resources Regulations
54	Local Cultural Resources Resources Resources Regulations
55	Local Archaeological Resources Resources Resources Regulations
56	Local Geological Resources Resources Resources Regulations
57	Local Paleontological Resources Resources Resources Regulations
58	Local Biological Resources Resources Resources Regulations
59	Local Botanical Resources Resources Resources Regulations
60	Local Zoological Resources Resources Resources Regulations
61	Local Fish and Wildlife Resources Resources Resources Regulations
62	Local Marine Resources Resources Resources Regulations
63	Local Wetland Resources Resources Resources Regulations
64	Local Riparian Area Resources Resources Resources Regulations
65	Local Coastal Resources Resources Resources Regulations
66	Local Parks and Recreation Resources Resources Resources Regulations
67	Local Cultural Resources Resources Resources Resources Regulations
68	Local Archaeological Resources Resources Resources Resources Regulations
69	Local Geological Resources Resources Resources Resources Regulations
70	Local Paleontological Resources Resources Resources Resources Regulations
71	Local Biological Resources Resources Resources Resources Regulations
72	Local Botanical Resources Resources Resources Resources Regulations
73	Local Zoological Resources Resources Resources Resources Regulations
74	Local Fish and Wildlife Resources Resources Resources Resources Regulations
75	Local Marine Resources Resources Resources Resources Regulations
76	Local Wetland Resources Resources Resources Resources Regulations
77	Local Riparian Area Resources Resources Resources Resources Regulations
78	Local Coastal Resources Resources Resources Resources Regulations
79	Local Parks and Recreation Resources Resources Resources Resources Regulations
80	Local Cultural Resources Resources Resources Resources Resources Regulations
81	Local Archaeological Resources Resources Resources Resources Resources Regulations
82	Local Geological Resources Resources Resources Resources Resources Regulations
83	Local Paleontological Resources Resources Resources Resources Resources Regulations
84	Local Biological Resources Resources Resources Resources Resources Regulations
85	Local Botanical Resources Resources Resources Resources Resources Regulations
86	Local Zoological Resources Resources Resources Resources Resources Regulations
87	Local Fish and Wildlife Resources Resources Resources Resources Resources Regulations
88	Local Marine Resources Resources Resources Resources Resources Regulations
89	Local Wetland Resources Resources Resources Resources Resources Regulations
90	Local Riparian Area Resources Resources Resources Resources Resources Regulations
91	Local Coastal Resources Resources Resources Resources Resources Regulations
92	Local Parks and Recreation Resources Resources Resources Resources Resources Regulations
93	Local Cultural Resources Resources Resources Resources Resources Resources Regulations
94	Local Archaeological Resources Resources Resources Resources Resources Resources Regulations
95	Local Geological Resources Resources Resources Resources Resources Resources Regulations
96	Local Paleontological Resources Resources Resources Resources Resources Resources Regulations
97	Local Biological Resources Resources Resources Resources Resources Resources Regulations
98	Local Botanical Resources Resources Resources Resources Resources Resources Regulations
99	Local Zoological Resources Resources Resources Resources Resources Resources Regulations
100	Local Fish and Wildlife Resources Resources Resources Resources Resources Resources Regulations



11 Residence
2233 Byron Street
Berkeley, CA 94702

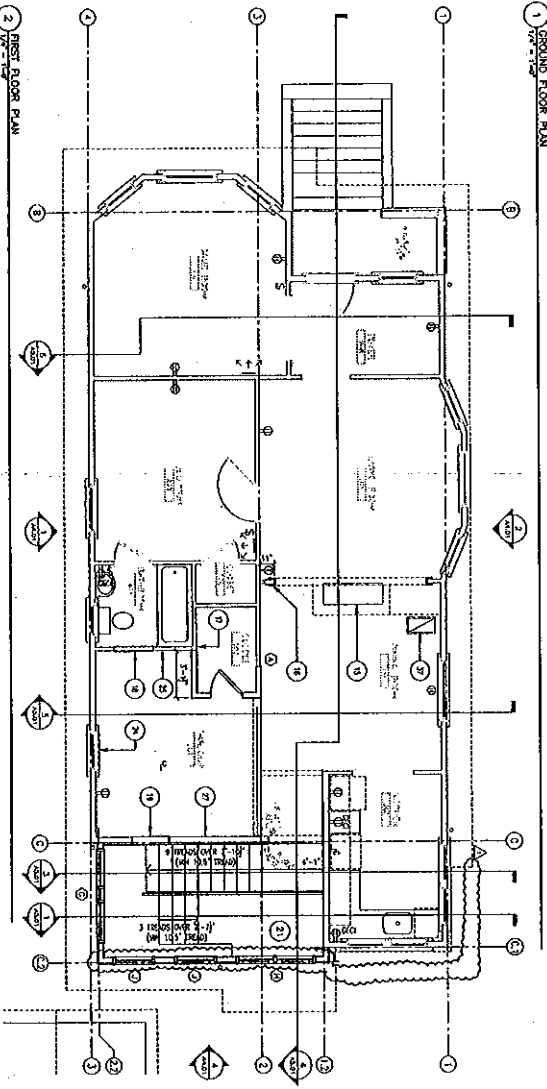
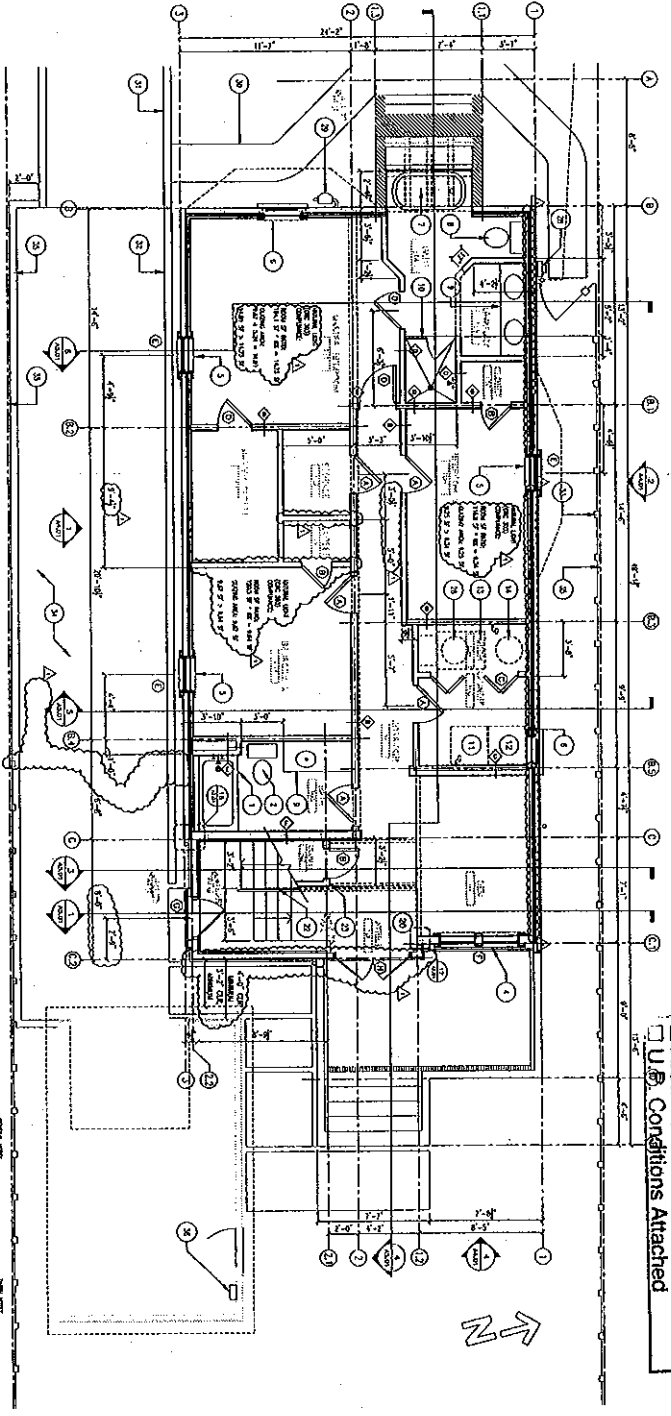
S. C. Scaifermato
1445 F. Squidman, #304
San Jose, CA 95128
(415) 253-1234
F. Scaifermato
2233 Byron Street
Berkeley, CA 94702

DATE 9/23/83

AD.01

APPROVED PLAN
 9/23/18
 DATE

P.L.R. Conditions Attached
 A.U.P. Conditions Attached
 U.S. Conditions Attached



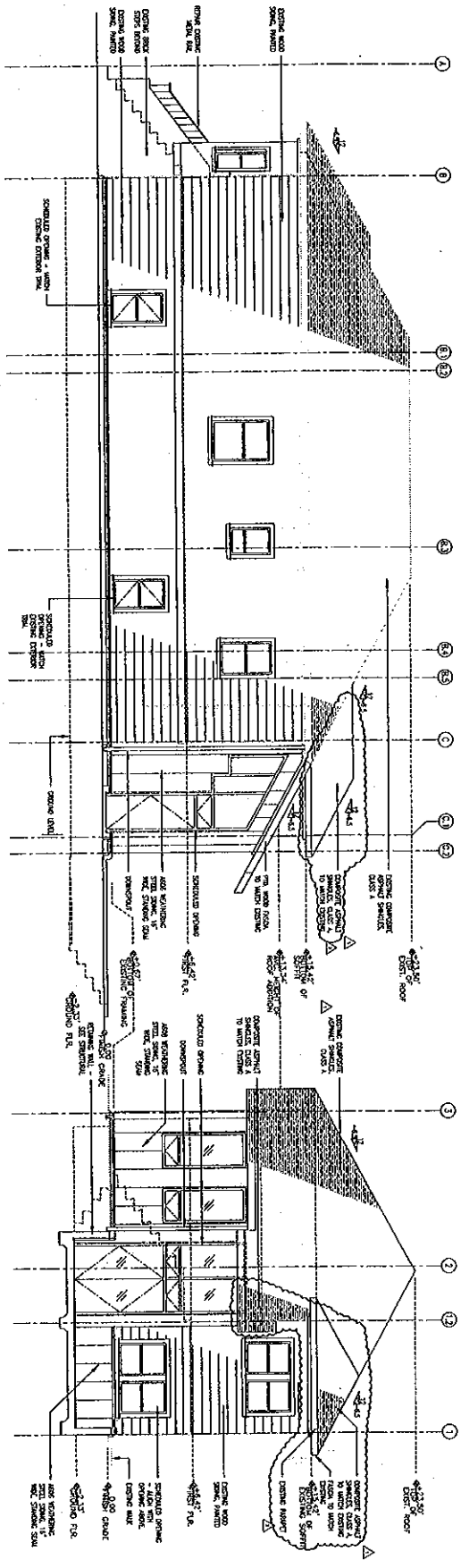
- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. FINISHES TO BE SHOWN ON DRAWINGS.
 3. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 4. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 5. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 6. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 7. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 8. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 9. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 10. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 11. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 12. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 13. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 14. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 15. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 16. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 17. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 18. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 19. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 20. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 21. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 22. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 23. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 24. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 25. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 26. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 27. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 28. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 29. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 30. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 31. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 32. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 33. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 34. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 35. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 36. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 37. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 38. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 39. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 40. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 41. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 42. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 43. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 44. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 45. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 46. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 47. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 48. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 49. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 50. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

DATE: 9/23/18
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: A2.02

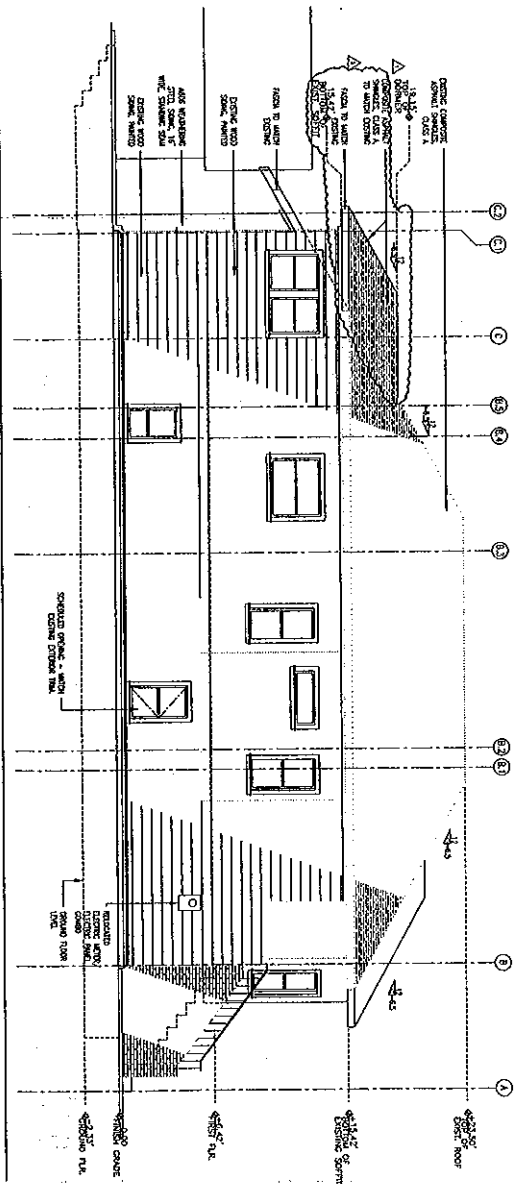
S. C. Scarmardo
 1402 Broadway, #104
 San Francisco, CA 94102
 415.774.4400
 1. 2025.04.02
 2. 2025.04.02

11 Residence
 2253 Byron Street
 Berkeley, CA 94702

APPROVED PLAN **9/23/13**
 DATE
 PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached



2 SOUTH ELEVATION



1 NORTH ELEVATION

3 WEST ELEVATION

S. C. Scarlatido
 1402 E. Hamilton Ave.
 Sunnyvale, CA 94087
 P: 408.262.8400
 F: 408.262.8400

71 Residence
 2233 Byron Street
 Berkeley, CA 94702

SEE CONTRACT DOCUMENTS
 50% SET - 3/07/2013
 100% CONTRACT DOCUMENTS
 APPROVED 1-16-2013
 APPROVED 3-11-2013

Drawn: JES
 Checked: JES
 Project #: 7022
 Date: 9/23/13
 Scale: As Shown
 Engineer: Scarlatido

A4.01