



Planning and Development Department
Land Use Planning Division

A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code, Title 23

AUP #13-2000051

Property Address:

1151 SIXTH STREET

Permittee Name:

DAVID TRACHTENBERG

Use and/or Construction Permitted: to allow a sustainable farm and community education program with incidental retail sales and to reduce the required off-street parking requirement from 22 to 13 parking spaces pursuant to:

- Section 23E.80.030.B to allow a use compatible with the Purposes of the MU-LI District;
- Section 23E.80.030 to allow an activity outside of a building;
- Section 23E.80.030 to allow incidental retail sales of goods manufactured on site; and
- Section 23E.28.145 to waive off-street parking requirements.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on October 11, 2013.

Attest: Terry Blount
Terry Blount, AICP, Principal Planner
For Debbie Sanderson, Zoning Officer

Oct. 11, 2013
Effective Date

FINDINGS AND CONDITIONS

SEPTEMBER 20, 2013

1151 Sixth Street

Administrative Use Permit #13-20000051

To allow a sustainable farm and community educational program with incidental retail sales and to reduce the required off-street parking requirement from 22 to 13 parking spaces.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15304(b) and 15332 of the CEQA Guidelines (“Minor Alterations to Land”) and (“In-Fill Development Projects”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - As required under Section 23E.80.090 (Findings), the proposed sustainable farm and community education program with incidental retail sales:
 1. Is consistent with the purposes of the MU-LI District because the use:
 - a) Implements the West Berkeley Plan’s designation of a Light Manufacturing District by allowing the operation of a farm and agricultural establishment including a vocational school providing training for uses permitted in the MU-LI District such as research and development, farms and agricultural establishments and materials and garden supply establishments;

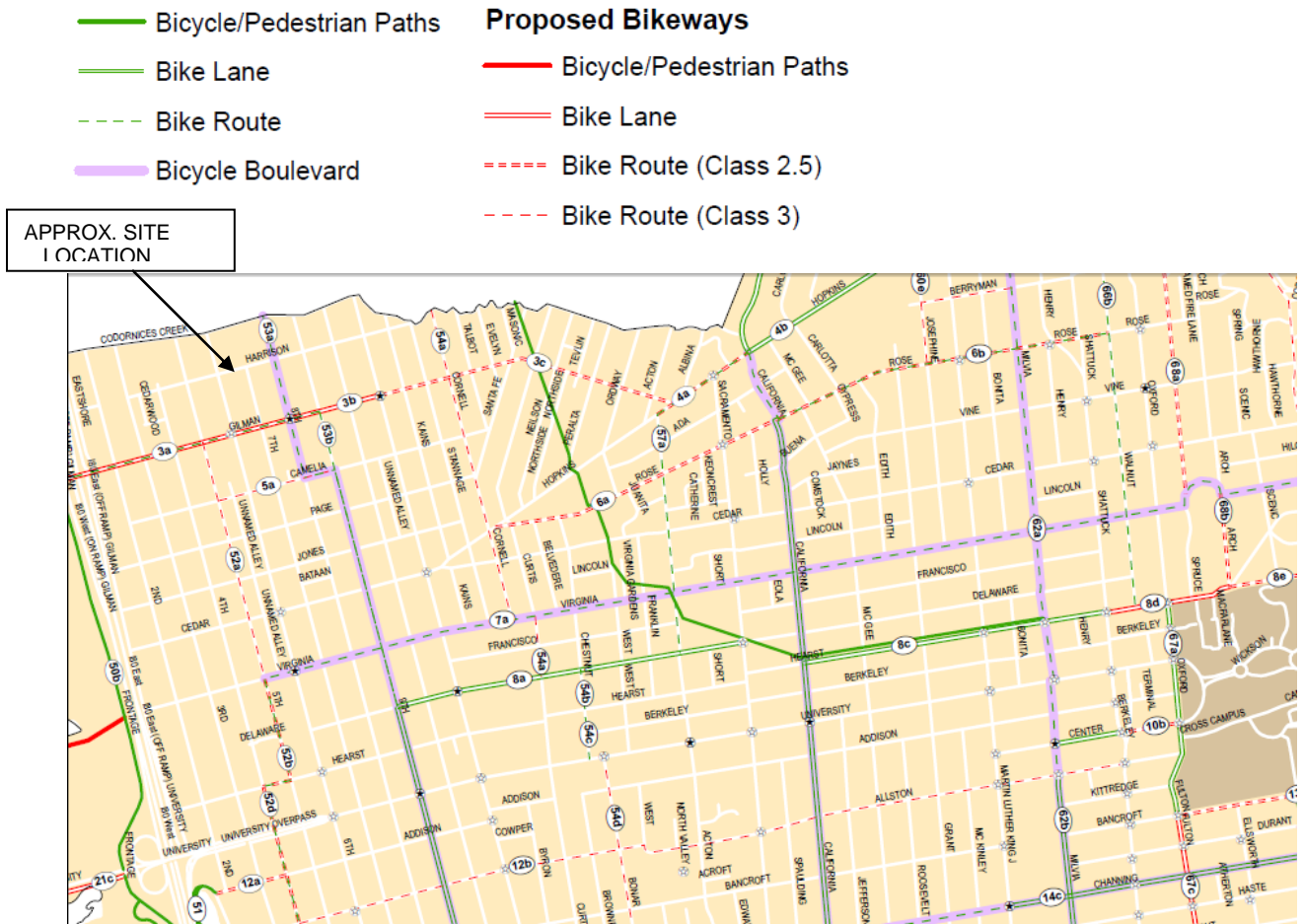
- b) Develops this mixed use-light industrial area with a compatible use which teaches gardening skills, sustainability, technologies that reduce environmental impacts of food systems, and urban farming;
 - c) Develops a light manufacturing use and does not interfere with existing light manufacturers so that these uses can operate free from the economic, physical and social constraints caused by incompatible uses;
 - d) Employs those that work in, and offer vocational training in sustainable agriculture, green living skills, farm management, and non-profit organization; the use encourages the creation and continuation of well paid jobs in the environmental sustainability business which do not require advanced degrees;
 - e) Supports the development of businesses which contribute to the maintenance and improvement of the environment;
 - f) Allows on site ancillary retail to maintain and enhance the economic viability of manufacturers in the district such as research and development and material and garden supply establishments; and
 - g) Maintains and improves the quality of the West Berkeley environment, by allowing a compatible and unique business, and permits the reasonable operation of a light industrial use.
2. Is compatible with the surrounding wholesale trade, warehouse, and automobile repair uses and buildings.
 3. Maintains the urban life, including environmental quality, and the diverse range of land uses and economic activity in West Berkeley and is therefore consistent with the adopted West Berkeley Plan.
 4. Is unlikely, under reasonable foreseeable circumstances, to either induce a substantial change of use in buildings in the District from manufacturing, wholesale trade or warehousing uses, because the proposed use utilizes an undeveloped lot and may attract other green businesses to the area, particularly green research and development and manufacturing of green products.
 5. Is designed in such a manner to support the unique character of the District by providing the appropriate screening for parking and the supporting accessory structures (administration, bathroom, classrooms, barn, milking station, storage) are appropriately broken up around the lot and not grouped together and include landscaping, a forested area, orchard, crops, and an herb garden, making the proposed site inviting and aesthetically pleasing. In addition, the permit is conditioned to require Staff-Level Design Review prior to the issuance of a building permit (see Condition #14 below).
 6. As required under Section 23E.80.070.D (Development Standards), the use meets applicable performance standards because the farm and education program use is not expected to create dust, glare, noise, odor, vibration, hazardous materials, or any other potential off-site environmental impacts. The permit is conditioned to comply with the City of Berkeley Noise Standards (BMC Chapter 13.40), requires that approval be obtained from the City of Berkeley Toxics Management Division and Environmental Health Department for operation of the farm (See Conditions #15, #17-33, and #54). In addition, Urban Adamah, the administrator, submitted

an animal Odor Management Policy which will be included in the Conditions of this permit (see Condition #46 below).

- As required under Section 23E.80.060.C, the Incidental Retail Sales of goods manufactured on site is allowed for the following reasons:
 - 1) The size and character of signage for the incidental Retail Sales shall clearly indicate that the retail use is not the Primary Use of the site (see Condition #58 below);
 - 2) The 500 sq. ft. dedicated to Incidental Retail Sales does not exceed 10% of the gross floor area of the structures on-site (see Condition #59 below); and
 - 3) The farm stand does not have adequate clear space to allow seating, therefore unauthorized on-site consumption is unlikely. Furthermore, the use is subject to conditions to require Zoning Officer or Board approval to include seating at this location.
- As allowed under Section 23E.80.070 (Development Standards), the storage, classrooms/barn, administration, kitchen, bathrooms, greenhouse, and main program space structures meet the development standards for the District and will not exceed 45' in height or a floor area ration of two.
- The proposed operation and installation of accessory structures are not located within 30' of the center line of the Codornices Creek and are therefore permissible.
- The creation of a sustainable farm and community education program with incidental retail sales is not expected to increase any environmental performance standards.
- The project is subject to condition #12 that requires that a "Notice of Limitation of Use" be placed on the deed to the property. Such deed restriction will prohibit the accessory buildings from being used as a dwelling unit and restrict the extent of interior renovations.
- As allowed under Section 23E.80.030.B (Uses Permitted), based on the above findings and subject to the conditions of approval of this permit, the unique character of the community farm and sustainable agriculture training center is compatible with the purposes of the MU-LI District, and is therefore, permissible.
- As permitted under Section 23E.28.130.C (Parking Reductions for a Change of Use) and as required under Section 23E.28.145.B (Required Findings for Parking Reductions), the reduction in the number of required off-street parking spaces will not substantially reduce the availability of on-street parking in the vicinity of the proposed use, allows the continued use of the existing parking supply and meeting the parking requirement is not practical and therefore the waiver is permissible because:
 1. The project site is located one-third of a mile or less from a rapid bus transit stop (AC line 72R at San Pablo Avenue and Gilman), and one-third of a mile from a bus stop serving four bus lines; and

2. The Urban Adamah program administrators have stated that they intend to have project-specific transportation demand management strategies to reduce the parking demand within the surrounding area through such measures as encouraging car pooling, riding bikes, posting AC Transit and BART schedules in a visible location within the Administration structure, and the applicant proposes seven bicycle parking spaces which does not cause a shortage of automobile parking spaces and will be utilized by employees and patrons; and
3. There exist alternative transportation demand management strategies and policies in place in the form of the City of Berkeley Bicycle Blvd which includes the area of Eighth and Ninth Streets to Harrison which is expected to reduce potential parking demands generated by the proposed use (see Figure 1 below).

Figure 1 – Partial Berkeley Bikeway Map



- As required under Section 23E.80.080.C, seven bicycle parking spaces are proposed and therefore the requirements under this section have been met.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

10. The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: _____ Phone: _____

11. The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths

- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

Prior to Issuance of Any Building Permit:

12. All owners of record of the subject property shall sign and record with the Alameda County Clerk-Recorder a "Notice of Limitation on Use of Property" (available from Land Use Planning Division) and provide a recorded copy thereof to the project planner. This Notice of Limitation shall stipulate that no part of the buildings on the site shall be used or converted to use a dwelling unit unless and until permission is requested of the City of Berkeley and authorized a Use Permit, Administrative Use Permit, or Zoning Certificate, whichever is applicable. This limitation shall include the explicit acknowledgment that no shower, tub, or kitchen facilities may be installed in this habitable accessory building. This limitation may not be revised or removed from this property without the prior written permission of the Zoning Officer of the City of Berkeley.
13. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
14. Project requires Staff-Level Design Review approval prior to issuance of any building permit.
15. Prior to issuance of a building permit, all permits required by the Environmental Health Department (if required) shall be approved and issued.
16. Prior to issuance of a building permit, the applicant shall submit a Notice of Intent from the Regional Water Quality Board (if required).

TOXICS

Before Construction

17. All building permit plans shall be subject to the review and approval by the City of Berkeley Toxics Management Division prior to issuance of a building permit. The applicant shall submit a site management plan that addresses worker and community protection during construction.

18. Prior to disturbing any soil on site, the applicant shall present a plan to the City's Toxics Management Division to identify and remediate any soil or groundwater contaminants present that might pose an unreasonable risk to human, health and safety. The site shall be remediated to the satisfaction of the Toxics Management Division prior to initiation of construction activities on site.
19. The applicant shall provide test results for any onsite groundwater monitoring wells to confirm groundwater quality conditions. The wells are required to be properly destroyed before the site is released for development. Contact the Toxics Management Division for sampling and well destruction requirements.
20. Before any demolition, a hazardous materials survey will be conducted by a TMD Certified Environmental Inspector and submitted to the City of Berkeley. If any hazardous materials are discovered, hazardous materials abatement procedures to address disposal and worker and community safety will be included in the final demolition specifications prior to any demolition activities. Demolition and disposal of any asbestos-containing building material would be in accordance with the procedures specified by Regulation 11, Rule 2 (Asbestos Demolition, Renovation and Manufacturing) of BAAQMD's regulations
21. The project sponsor shall provide the results of a lead-based paint survey prior to issuance of demolition permits. Lead-based paint abatement shall be conducted prior to demolition in accordance with State, City of Berkeley and/or Alameda County Department of Environment Health regulations. If lead-based paint abatement is required, post-abatement soil sampling shall be performed to ensure that no remnant lead contamination exists in the soil prior to site development.
22. A dewatering and collection and disposal plan shall be identified prior to commencing grading activities. Water generated during dewatering shall be discharged or collected and disposed of off-site in accordance with all applicable local and state regulations which may include obtaining appropriate permits to discharge through the sanitary sewer to the local treatment plant. Water may not be discharged directly to nearby surface water drainages unless appropriate permits and approvals are obtained and conditions of those permits and approvals are applied. Temporary dewatering plans shall be forwarded to public works for review.
23. The subterranean portions of the project may encounter contaminated ground water. To minimize the potential for negative impacts, the project shall include a de-watering system that will drain the subterranean areas of the project, filter the water for release into the City's sanitary sewer system.
24. Discharge permits may be required by the Regional Water Quality Control Board or EBMUD. The Phase I report identifies a Site Management Plan (for proper management of soil and water during excavation) that should be referenced and employed during site development.
25. Prior to issuance of a building permit, construction drawings shall be reviewed and approved by the City's Toxics Management Division (TMD). The applicant's building

permit submittal shall include a plan for detection, analysis, and removal of contaminated soil and groundwater discovered during construction activities, which shall be routed to TMD. TMD shall have authority, based on permit review and/or subsequent detection of contaminated materials, to require additional information and/or mitigations as necessary to protect construction workers, the community and the environment. Obvious soil contamination discovered during demolition, grading, or excavation shall be segregated, profiled, covered, and removed from the site, consistent with the approved plan or as determined by TMD. The applicant shall contract with a qualified professional to collect verification soil samples to ensure complete soil removal, and TMD shall be notified of all soil contamination requiring removal.

During Construction

26. If underground storage tank(s) are observed during demolition or excavation, the contractor shall immediately contact the Toxics Management Division.
27. The applicant shall protect workers by identifying hazards during construction and using proper protections; tailgate safety meetings; and a site safety plan as required by OSHA regulations. Chemicals of concern, hazards, protections for workers, and other measures shall be incorporated into a Health and Safety Plan (HASP) which shall be approved by the Toxics Management Division.
28. The Project Safety and Health Officer, as identified in the Site Specific Health and Safety Plan (SSHP), shall also respond to community queries regarding odors and other health concerns. This will include perimeter air testing if odors are noticeable at the perimeter.
29. During construction, the project sponsor should require the construction contractor to implement the following BAAQMD's basic dust control measures:
 - a. Water all active construction areas at least twice daily. Watering should be sufficient to prevent airborne dust from leaving the site. Increased watering frequency may be necessary whenever wind speeds exceed 15 miles per hour. Reclaimed water should be used whenever possible.
 - b. Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard (i.e., the minimum required space between the top of the load and the top of the trailer).
 - c. Pave, apply water three times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at construction sites.
 - d. Sweep streets (with water sweepers using reclaimed water if possible) at the end of each day if visible soil material is carried onto adjacent paved roads.
30. The project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season (November through March) to prevent on-site soils from being washed off-site and into the storm drain system. The project sponsor shall comply with all City ordinances regarding construction and grading.

31. The Project Safety and Health Officer, as identified in the SSHP, shall also respond to community queries regarding odors and other health concerns. This will include perimeter air testing if odors are noticeable at the perimeter.
32. The Project Safety and Health Officer shall amend the SSHP to reflect the additional needs specified above and the specific project scope of work. The amended SSHP should be submitted to the Toxics Management Division for approval during the permitting process.
33. To reduce odors during excavation, the City adopted a policy to disallow aeration of volatile organic ground water and spoils. If polluted soils and water are encountered, the contractor shall contact the Toxics Management Division to develop a plan to adequately contain (i.e. cover) and remove them from the site as soon as possible.

During Construction:

34. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
35. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
36. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
37. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
38. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
39. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
40. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
41. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.

42. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
43. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

Prior to Issuance of Occupancy Permit or Final Inspection:

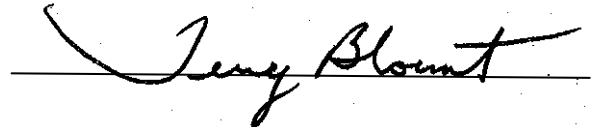
44. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
45. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **AUGUST 23, 2013**.

At All Times (Operation):

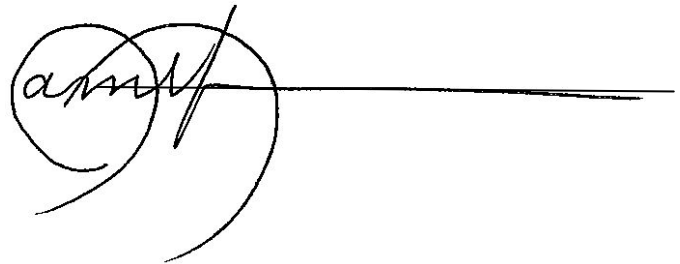
46. The sustainable farm and community education program shall be operated in a manner that will minimize noise and malodorous impacts to surrounding residents, tenants, and persons using nearby parks, trails, and similar recreation areas. The Urban Adamah Animal Odor Management Policy, Appendix A. attached, shall be adhered to and become standard practice.
47. Within forty five (45) days of initial operation or modification of the sustainable farm and community education program, the operator shall submit to the Zoning Officer a written report prepared by an independent environmental or sustainable agriculture consultant, indicating that the facility is in compliance with the U.S. Environmental Protection Agency (EPA) Animal Feeding Operations-Best Management Practices (BMPs), including but not limited to: Odors, Ruminant Livestock Efficiency, Animal Feeding Operations (AFOs) and any required conditions. If the report shows that the facility does not comply with applicable standards, the operator shall cease operation until the facility complies with, or has been modified to comply with, these standards. In order to assure the objectivity of the analysis, the City may require, at the applicant's expense, independent verification of the results of the analysis.
48. Once every two years, the City may retain, at the operator's expense, an approved environmental or sustainable agriculture consultant to conduct an unannounced spot check of the facility's compliance with applicable EPA BMP standards.
49. No later than thirty (30) days after the permitted activity has ceased operations, the operator shall remove all livestock and waste, and compost and garbage. If the operator fails to do so, the property owner shall be responsible for removal. If the aforementioned facility is not removed, the site shall be deemed to be a nuisance pursuant to Section 23B.64 and the City may remove the farm at the owner's expense.

50. The applicant shall be responsible for paying all costs (including City staff time) associated with monitoring and/or enforcement of the above conditions. Fees shall be based on the adopted City fee schedule in place at the time the work is performed or action is taken.
51. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
52. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
53. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood. This shall include noise created by employees working on the premises before or after patrons arrive.
54. Operation of the community farm and sustainable agriculture training center shall not exceed the City's Noise Ordinance, Section 13.40 which limits exterior noise in industrial districts to 70 dBA at all times.
55. Changes in the nature of the operation including, but not limited to, expansion of retail space beyond 500 sq. ft., the creation of a café and seating, shall require modification of this Use Permit by the Zoning Officer or the Zoning Adjustment Board.
56. Signage and any other exterior modifications, including but not limited to landscaping and lighting, shall be subject to Design Review approval.
57. The 500 sq. ft. dedicated to incidental retail sales shall not exceed 10% of the gross floor area of the structures on-site.
58. The size and character of signage for the incidental retail sales shall clearly indicate that the retail use is not the primary use of the site.
59. The owner or operator of the establishment shall take reasonable measures to prevent disturbances by patrons in the immediate vicinity. Such measures shall include signs reminding patrons of nearby residences and requests not to congregate or loiter near such neighbors nor operate vehicles in a noisy manner on residential streets. The operator shall give surveillance to public areas near the establishment, keep such areas free of trash and litter, provide lighting, and otherwise attempt to prevent conduct that might disturb the peace and quiet of residences in the vicinity.

60. The operator shall assume reasonable responsibility for ensuring that patrons do not block the entrance or interfere with pedestrian activity on the adjacent public sidewalk.



Terry Blount, Principal Planner for
Debra Sanderson, Zoning Officer



Prepared by: Pamela Johnson, Assistant Planner

APPROVED PLAN	
<i>pmj</i>	9.18.13
PLANNING	DATE
<input type="checkbox"/> D.F. Conditions Attached	
<input type="checkbox"/> A.U.P. Conditions Attached	
<input type="checkbox"/> U.P. Conditions Attached	

APPENDIX A: Urban Adamah Animal Odor Management Policy

Urban Adamah has a small flock of chickens and a small herd of goats. Both of these animals produce manure that, when managed properly, results in aerobic decomposition (decomposition that uses oxygen), a process which eliminates odors from manure. When not managed properly, however, manure decomposes anaerobically (without proper amounts of oxygen), which may produce odorous gases. At Urban Adamah, it is in our highest interest to manage our manure properly for multiple reasons: to maximize the nutrients available to us in our animals' manure, and to eliminate odors for ourselves and our neighbors.

This document explains the steps Urban Adamah takes in order to assure aerobic decomposition of our animal manure to eliminate odors.

Goats:

Goat manure naturally has minimal odor, and comes out dry in the form of pellets. This makes the manure very easy to manage, very unlikely to spread or leach, and results in little to no odor production. Nonetheless, when goat manure is left to accumulate, odors can arise. At Urban Adamah, we avoid build-up and odors from our goat manure with the following measures:

- Application of bedding (wood shavings, straw) in sleeping shelter: bedding absorbs urine and reduces odors.
- Weekly cleaning of sleeping shelters and milking parlor: all bedding and manure is removed to compost piles each week, and milking parlor is swept twice daily.
- Monthly flipping of goat pen mulch: turning of the mulch aerates the manure, encouraging aerobic decomposition and eliminating odors.
- Regular, active composting of bedding, manure, and mulch from goat pen: We use a high carbon content in our compost piles to ensure aerobic breakdown in our compost piles, and eliminate odors.

Chickens:

Chicken manure has higher nitrogen content than that of goats, and thus is more likely to cause odors. The steps we take to eliminate odors in our chicken coop are similar, and just as effective, as those in our goat pen. They include:

- Application of bedding (straw) in nesting boxes: The straw catches chicken manure, making it easy to remove and transport to our compost piles. Straw also encourages aerobic breakdown of manure to eliminate odors.
- Application of straw mulch in chicken run: see above.
- Weekly cleaning of entire chicken coop and run: We remove manure and green waste from the entire chicken coop each week, and scrub surfaces with anti-bacterial soap to eliminate odors. Manure is incorporated into active compost piles.
- Regular active composting of manure: chicken manure is incorporated into our compost piles and aerated multiple times per week to ensure aerobic decomposition and eliminate odors

The steps we take to eliminate odors from our animals at Urban Adamah are scientifically proven to be effective, and promoted as odor management strategies by multiple academic and governmental institutions. Here are some resources that support and further explain the information in this document:

- Bradley, Athena Lee. "Manure Management for Small and Hobby Farms." Northeast Recycling Council.
http://www.nerc.org/documents/manure_management/manure_management_handbook.pdf

- Elliott, A.L., Doesken, K. C., and Davis, J. G. "Manure Management for Livestock 4-H Projects." Colorado State University Department of Soil and Crop Sciences. http://www.extsoilcrop.colostate.edu/Soils/documents/manure_webviewing.pdf
- University of Minnesota Extension. "Backyard Chicken Basics." <http://www1.extension.umn.edu/food/small-farms/livestock/poultry/backyard-chicken-basics/#manure>
- Mikesel, Bob. "Best Management Practices for Odor Management." The Pennsylvania State University. <http://extension.psu.edu/animals/poultry/conferences/pssc-necad/presentations/2012/general-session/best-management-practices-for-odor-management/view>

APPROVED PLAN
9-18-13
 DATE
dm
 PLANNING
 P.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

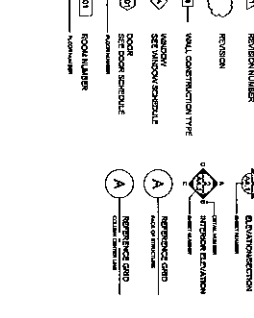
GENERAL NOTES

1. THE CONTRACTOR SHALL DESCRIBE THE WORK OF THE PROJECT IN FULL, INCLUDING THE LOCATION, SIZE, AND SCOPE OF THE PROJECT. THE CONTRACTOR SHALL PROVIDE A DETAILED DESCRIPTION OF THE WORK TO BE PERFORMED, INCLUDING THE LOCATION, SIZE, AND SCOPE OF THE PROJECT. THE CONTRACTOR SHALL PROVIDE A DETAILED DESCRIPTION OF THE WORK TO BE PERFORMED, INCLUDING THE LOCATION, SIZE, AND SCOPE OF THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BERKELEY, CALIFORNIA, AND ANY OTHER AGENCIES WITH JURISDICTION OVER THE PROJECT. THE CONTRACTOR SHALL PROVIDE A DETAILED DESCRIPTION OF THE PERMITS AND APPROVALS OBTAINED, INCLUDING THE LOCATION, SIZE, AND SCOPE OF THE PROJECT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BERKELEY, CALIFORNIA, AND ANY OTHER AGENCIES WITH JURISDICTION OVER THE PROJECT. THE CONTRACTOR SHALL PROVIDE A DETAILED DESCRIPTION OF THE PERMITS AND APPROVALS OBTAINED, INCLUDING THE LOCATION, SIZE, AND SCOPE OF THE PROJECT.
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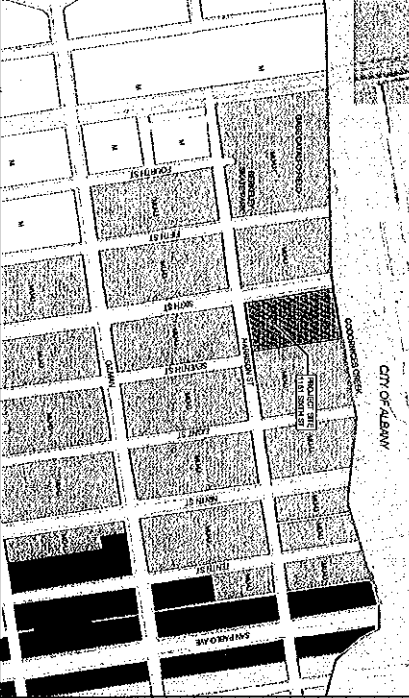
ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	ASB	11	JOINT
2	AT	12	LAG NAIL
3	AV	13	LAG NAIL
4	AV	14	LAG NAIL
5	AV	15	LAG NAIL
6	AV	16	LAG NAIL
7	AV	17	LAG NAIL
8	AV	18	LAG NAIL
9	AV	19	LAG NAIL
10	AV	20	LAG NAIL

SYMBOL LEGEND



VICINITY MAP



PROJECT DIRECTORY

OWNER:
 ADAMAH COMMUNITY FARM AND SUSTAINABLE TRAINING CENTER
 1151 6th Street
 Berkeley, CA 94710
 (415) 863-8000
 www.adamah.org

PROJECT DESCRIPTION

PROJECT ADDRESS: 1151 6th Street (PLAN 06-26019-REV.01)
 ZONING CODE ANALYSIS
 PROJECT AREA: 0.14 (CALCULATED)
 LOT COVERED: 44,200 sq ft (14% LOT COVERED)
 OTHER AREAS: 44,200 sq ft
 TOTAL: 88,400 sq ft

DRAWING LIST

SHEET NO. & TITLE	DATE
01 GENERAL INFORMATION	04.15.2013 ZONING SUBMITTAL REV. 1
02 SITE PLAN	06.05.2013 ZONING SUBMITTAL REV. 2
03 SITE PLAN	06.26.2013 ZONING SUBMITTAL REV. 2
04 SITE PLAN	09.20.2013 ZONING SUBMITTAL REV. 3

RECEIVED
 AUG 28 2013

TRACHTENBERG ARCHITECTS
 2221 Fourth Street
 Berkeley, California 94710
 www.TrachtenbergArch.com

URBAN ADAMAH Community Farm and Sustainable Agriculture Training Center
 1151 6th Street
 Berkeley, CA

GENERAL INFORMATION
 A0.0

LAND USE PLANNING

APPROVED PLAN
9.18.13
 DATE
 PLANING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

**TRACHTENBERG
 ARCHITECTS**

2421 Fourth Street
 Berkeley, California 94710
 Tel: 510.874.1414
 www.trachtenberg.com

**URBAN
 ADAMAH**
 Community Farm
 and Sustainable
 Agriculture Training
 Center

1151 Sixth Street
 Berkeley, CA

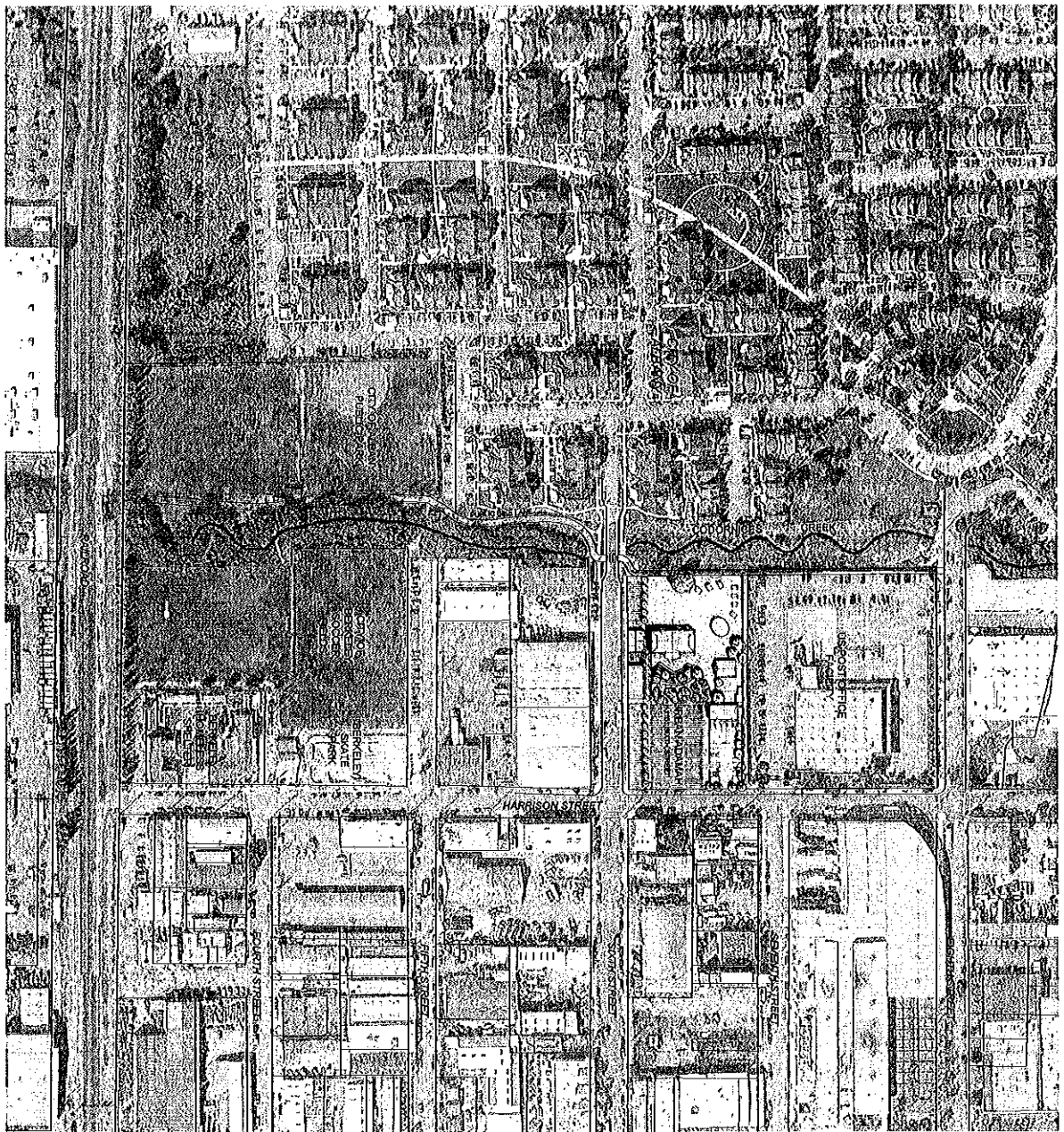
- 04.18.2013 ZONING SUBMITTAL
- 05.03.2013 ZONING SUBMITTAL REV.
- 06.28.2013 ZONING SUBMITTAL REV. 2
- 08.20.2013 ZONING SUBMITTAL REV. 3

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DATE: 1/22/13

CONTEXT MAP

A1.0



1
 A1.0
 CONTEXT PLAN
 0" 50' 100' 200'
 1"=100'-0" @ 20028



APPROVED PLAN
 PLAN NUMBER **DMJ**
 DATE **9.18.13**
 D.H. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

TRACHTENBERG
 ARCHITECTS

2421 Farm Street
 Berkeley, California 94710
 Tel: 510.669.1414
 www.trachtenberg.com

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 Community Farm
 and Sustainable
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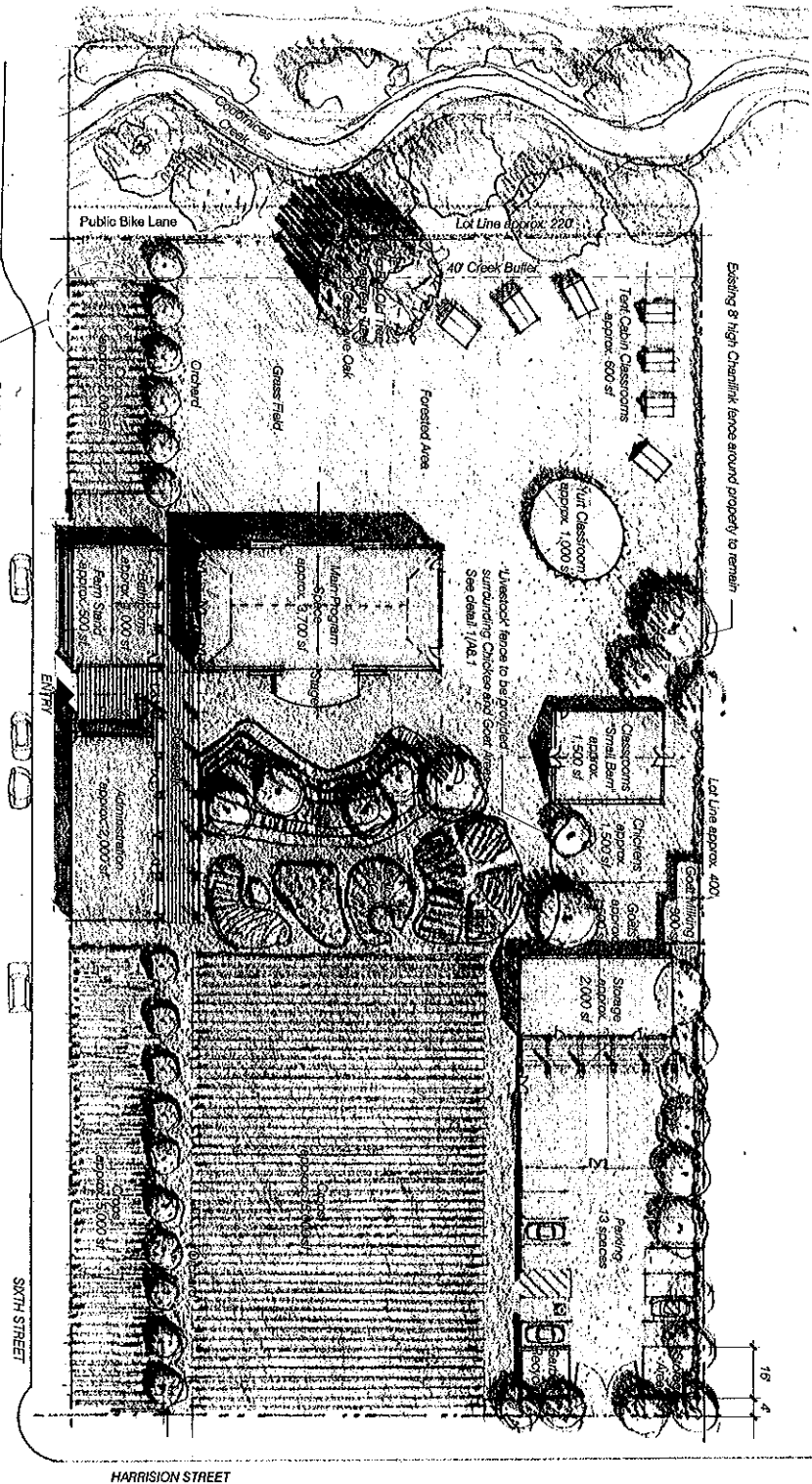
1151 Sixth Street
 Berkeley, CA

04.15.2013 ZONING SUBMITTAL
 05.03.2013 ZONING SUBMITTAL REV.
 06.26.2013 ZONING SUBMITTAL REV. 2
 09.20.2013 ZONING SUBMITTAL REV. 3

ALL FOUNDATIONS AND OTHER STRUCTURAL MEMBERS SHALL BE CONFORM TO THE CALIFORNIA AND UNIFORM BUILDING CODES AND ALL WORK SHALL BE IN ACCORDANCE WITH THE CONSENT OF TRACHTENBERG ARCHITECTS.
 JOB # 1222

PROPOSED
 SITE PLAN

A1.1



PROPOSED SITE PLAN
 A1.1
 1"=40'-0" @ 11X17
 0 10 20
 1/4"

APPROVED PLAN	DATE
PLANNING	9-18-13
<input type="checkbox"/> D.H. Conditions Attached	
<input type="checkbox"/> A.U.P. Conditions Attached	
<input type="checkbox"/> U.P. Conditions Attached	

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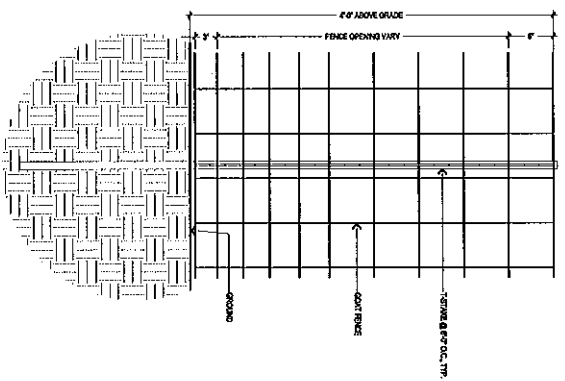
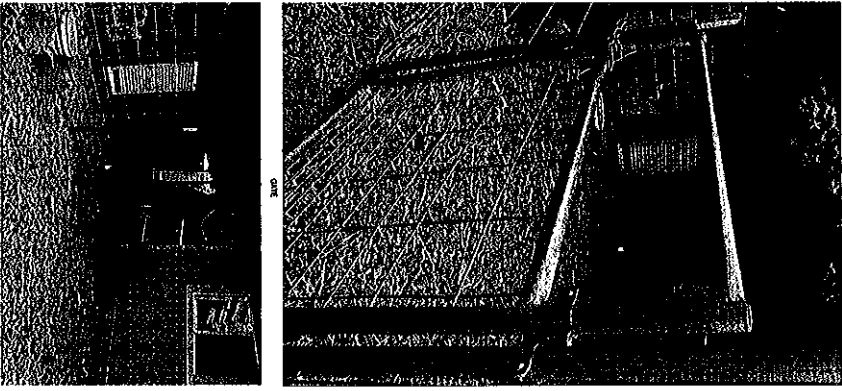
- 04.15.2013 ZONING SUBMITTAL
- 04.03.2013 ZONING SUBMITTAL REV. 1
- 06.26.2013 ZONING SUBMITTAL REV. 2
- 08.20.2013 ZONING SUBMITTAL REV. 3

ALL DIMENSIONS AND MATERIALS UNLESS OTHERWISE SPECIFIED ARE IN MILLIMETERS AND UNLESS OTHERWISE SPECIFIED ARE TO FACE. THE ARCHITECT HAS NOT CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS OR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE CONSULTING AGENCIES.

DATE: 1/22
SHEET: 1

GOAT FENCE
DETAILS

A8.1



2 TYPICAL GOAT FENCE
AS.1
3/8\"/>

1 SAMPLE GOAT FENCES PHOTOS
AS.1