

Planning and Development Department
Land Use Planning

U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code Title 23

USE PERMIT # 12-1000003

Property Address: **1529 HARMON STREET**

Permittee Name: **MATTHEW BARAN**

Use and/or Construction Permitted:

to construct a two-story, 1,766-square-foot single-family dwelling behind an existing two-story duplex; three total parking spaces proposed.

- Use Permit to construct new dwelling unit, under BMC Section 23D.32.030.A

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

The Use Permit herein described has been duly granted by the Zoning Adjustments Board and is in effect on September 24, 2013.

ATTACHMENT 1

FINDINGS AND CONDITIONS

AS APPROVED BY THE ZAB ON AUGUST 8, 2013

1529 Harmon Street

Use Permit #12-10000003 to construct a two-story, 1,766-square-foot single-family dwelling behind an existing two-story duplex; four total parking spaces proposed.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15303 of the CEQA Guidelines (“New Construction or Conversion of Small Structures”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

GENERAL NON-DETRIMENT FINDING

2. Pursuant to Berkeley Municipal Code Section 23B.32.040, the Zoning Adjustments Board finds that the proposed dwelling unit, under the circumstances of the particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the area or neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City, for the following reasons:
 - A. The proposed dwelling conforms to the R-2A standards for height, setbacks, and lot coverage. The height is one story and about seven feet less than the “by-right” height limit of three stories and 28 feet. The proposed height and massing are consistent with, if not smaller than, that of surrounding buildings, including the much larger building to the west at 1525 Harmon.
 - B. Shadow impacts will not be detrimental given the relatively low height of the proposed building, and the proposed setbacks to nearby dwellings. The nearest residential building, 1533 Harmon, will be approximately eight feet to the east, and the project’s shadows on this building will be minimized due to its east-west (rather than north-south) orientation, and its flat roof. The nearest windows of the building to the west, 1525 Harmon, will be about 20 feet away, and the next nearest habitable building, 1522 Fairview, will be about 80 feet away.

- C. The project exceeds the R-2A parking requirement of one space per unit and the proposed parking arrangement has been approved by the City's traffic engineer, subject to the modifications included in Condition 10. This condition includes an option to remove one of the parking spaces, as only three spaces are required to meet zoning requirements, and removal of one space would increase the amount of landscaping and usable open space on the property.
- D. The project is an ideal infill development project in that it adds residential density to an underdeveloped residential site, in close proximity to transit and neighborhood goods and services. The proposed height and massing are consistent with surrounding buildings. The proposed design, although more contemporary than most neighboring buildings, is adequately articulated and will utilize materials of adequate quality and durability.
- E. The project adds an additional dwelling unit to help meet the City's housing production goals.
- F. The project is consistent with applicable policies of the General Plan and South Berkeley Area Plan for the reasons stated above.
- G. The dwelling has less than six bedrooms and is therefore not a "mini-dorm" as defined in BMC Chapter 13.42.

STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the first sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. The second sheet may also be used if the first sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is approved is permitted unless the Permit is modified by the Zoning Adjustments Board, in conformance with Section 23B.56.020.A.

Changes in the plans for the construction of a building or structure may be modified prior to the completion of construction, in accordance with Section 23B.56.020.D. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project. The Zoning Officer may also approve a maximum two-foot variation to Board approved plans, provided that such variation does not increase a structure's height, reduce the minimum distance to any property line, and/or conflict with any special objective sought by the Board. In the case of modifications to Use Permits for construction of, or additions or changes to, single-family homes which required Board review, the Zoning Officer shall follow Board policy adopted March 13, 1997, as follows:

- A. Upon applications for modifications to a home where a Use Permit has been granted, Staff shall review the Use Permit to determine if any explicit conditions were placed on the Use Permit that would be affected by the proposed modification.
- B. If, prior to acting on a Building Permit, Staff becomes aware of controversy over an earlier application, Staff may choose to conduct a more detailed review of the record to determine if conditions were implied by the Board or offered by the applicant (but not included in the Use Permit conditions) that would be affected by the proposed modification (this does not imply that Staff will review the whole Use Permit record for all applications).
- C. If there are explicit conditions (#A) or implied conditions (#B) affected by the proposed modification, the project shall be brought back to the Board as a Use Permit Modification.
- D. If there are no explicit conditions that would be affected by the proposed modification, and if Staff is not otherwise aware of implied conditions, and the project would otherwise meet the requirements of the Zoning Ordinance, Staff will approve the Building Permit without Board or public review.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as expressly specified herein, the site plan, floor plans, building elevations and any additional information or representations submitted by the applicant during the Staff review and public hearing process leading to the approval of this Permit, whether oral or written, which indicated the proposed structure or manner of operation are deemed conditions of approval.

6. Subject to all City and Other Regulations (Section 23B.56.040)

The approved use and/or construction are subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8 below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has (1) applied for a building permit or (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS OF APPROVAL

Pursuant to BMC Section 23B.32.040.D, the Zoning Adjustments Board attaches the following conditions to this Permit:

Prior to Issuance of Any Building Permit:

10. Plans submitted for building permit shall include removal of concrete within curbside planting strip in front of subject property (per BMC Section 12.44.040), and planting of new street trees, as directed by the City Forester.
11. Plans submitted for building permit shall include landscape plans showing that: (1) at least 40% of the total area required as usable open space shall be a landscaped area; (2) all landscaped areas shall incorporate automatic irrigation and drainage facilities adequate to assure healthy growing conditions for plants; (3) all areas of the lot which do not qualify as usable open space and which are not designated as driveways, off-street parking spaces or required walkways, shall be retained as landscaped areas.
12. Prior to applying for a building permit, the applicant shall file an "Address Assignment Request Application" with the Permit Service Center (2120 Milvia Street) for any address change or new address associated with this Use Permit. The new address(es) shall be assigned and entered into the City's database prior to the applicant's submittal of a building permit application.
13. Prior to issuance of a building permit, the applicant shall complete and submit an updated *Draft GreenPoint Checklist* to the project planner with comments on any revisions to the project that affect the project's green building score.
14. Prior to issuance of a building permit, the applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit this record to the project planner upon request.

 Noise Management Individual _____
Name Phone #
15. The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:
 - Alterations, closures, or blockages to sidewalks or pedestrian paths
 - Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)

- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

During Construction:

16. Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season (between October 15 and April 15), the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department. The applicant shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.
17. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
18. The height and location of the proposed structure, property lines and spot elevations shall be verified by a licensed surveyor or engineer on site after foundation forms are placed, but before pouring concrete or placing construction material in its permanent position. This verification shall be to the satisfaction of the Zoning Officer.
19. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
20. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
21. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.

22. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
23. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
24. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
25. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.

Prior to Final Inspection or Issuance of Occupancy Permit:

26. The project shall conform to the plans and statements in the Use Permit.
27. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated July 18, 2013, except as modified by these conditions.
28. Prior to issuance of an occupancy permit or final inspection approval, the applicant shall update, sign, and submit an *As-Built GreenPoint Checklist* reflecting final as-built conditions, including the total green building score, to the project planner.

At All Times:

29. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
30. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
31. Only one electrical and one gas meter may be installed per dwelling unit.

ABBREVIATIONS			SCOPE OF WORK			APPLICABLE CODES			SYMBOLS			PROJECT INFORMATION			SHEET INDEX				
& AND @ AT # CENTERLINE # POUND OR NUMBER (E) EXISTING ACOUST. ACOUSTICAL A.D. AREA DRAIN ADJ. ADJACENT A.F.F. ABOVE FINISH FLOOR AGGR. AGGREGATE ALUM. ALUMINUM APPROX. APPROXIMATE ARCH. ARCHITECTURAL ASB. ASBESTOS ASPH. ASPHALT BD. BOARD BITUM. BITUMINOUS BLDG. BUILDING BLK. BLOCK BLKG. BLOCKING BM. BEAM B.O. BOTTOM OF BOT. BOTTOM CAB. CABINET C.B. CATCH BASIN CEM. CEMENT CER. CERAMIC C.I. CAST IRON C.G. CORNER GUARD CLG. CEILING CLKG. CAULKING CLO. CLOSET CLR. CLEAR C.O. CASED OPENING COL. COLUMN CONC. CONCRETE CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS CORR. CORRIDOR CTSK. COUNTERSINK CNTR. COUNTER CTR. CENTER DBL. DOUBLE DEPT. DEPARTMENT D.F. DRINKING FOUNTAIN DET. DETAIL DIA. DIAMETER DIM. DIMENSION DISP. DISPENSER DN. DOWN D.O. DOOR OPENING DR. DOOR DWR. DRAWER DS. DOWNSPOUT D.S.P. DRY STANDPIPE DWG. DRAWING E. EAST EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EMER. EMERGENCY ENCL. ENCLOSURE E.P. ELECTRICAL PANEL EQ. EQUAL EQUIP. EQUIPMENT E.W.C. ELECTRICAL WATER COOLER (E), EXST. EXISTING EXPO. EXPOSED EXP. EXPANSION EXT. EXTERIOR F.A. FIRE ALARM F.B. FLAT BAR F.D. FLOOR DRAIN F.D.C. FIRE DEPT. CONNECTION FDN. FOUNDATION F.E. FIRE EXTINGUISHER F.E.C. F.E. CABINET F.H. FIRE HYDRANT F.H.C. FIRE HOSE CABINET FIN. FINISH FLR. FLOOR FLASH. FLASHING FLOUR. FLOURESCENT	F./, F.O. FACE OF F.O.B. FACE OF BUILDING F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.S. FACE OF STUDS FPRF. FIREPROOF F.S. FULL SIZE FT. FOOT OR FEET FTG. FOOTING FURR. FURRING FUT. FUTURE GA. GAUGE GALV. GALVANIZED G.B. GRAB BAR GL. GLASS GND. GROUND GR. GRADE GYP. GYPSUM GYP. BD. GYPSUM BOARD H.B. HOSE BIB H.C. HOLLOW CORE HDWD. HARDWOOD HDWE. HARDWARE H.M. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR HGT. HEIGHT I.D. INSIDE DIAMETER INSUL. INSULATION INT. INTERIOR JAN. JANITOR JT. JOINT KIT. KITCHEN LAB. LABORATORY LAM. LAMINATE LAV. LAVATORY LKR. LOCKER LT. LIGHT MAX. MAXIMUM MECH. MECHANICAL MEMB. MEMBRANE MTL. METAL MFR. MANUFACTURER MH. MANHOLE MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.O. MASONRY OPENING MTD. MOUNTED MUL. MULLION (N) NEW N. NORTH N.I.C. NOT IN CONTRACT NO. NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE OA. OVERALL OBS. OBSOLETE O.C. ON CENTER O.D. OUTSIDE DIAMETER OFF. OFFICE O.H. OPPOSITE HAND OPNG. OPENING OPP. OPPOSITE PAC. PACIFIC ATHLETIC CLUB P.A.D. PLANTER AREA DRAIN PRCST. PRECAST PL. PLATE PLAM. PLASTIC LAMINATE PLAS. PLASTER PLYWD. PLYWOOD PNT. PAINT PR. PAIR PT. PRESSURE TREATED P.T.D. PAPER TOWEL DISPENSER P.T.D./R. P.T.D. & RECEPTACLE PTN. PARTITION P.T.R. PAPER TOWEL RECEPTACLE Q.T. QUARRY TILE R. RISER RAD. RADIUS R.D. ROOF DRAIN R.H. ROOF HATCH REF. REFERENCE REFR. REFRIGERATOR	RGTR. REGISTER REINF. REINFORCED REQ. REQUIRED RESIL. RESILIENT RM. ROOM R.O. ROUGH OPENING RWD. REDWOOD R.W.L. RAIN WATER LEADER S. SOUTH S.C. SOLID CORE S.C.D. SEE CIVIL DRAWINGS SCHED. SCHEDULE S.D. SOAP DISPENSER S.E.D. SEE ELECTRICAL DRAWINGS SECT. SECTION SH. SHELF SHR. SHOWER SHT. SHEET SIM. SIMILAR S.M.D. SEE MECHANICAL DRAWINGS S.N.D. SANITARY NAPKIN DISPENSER S.N.R. SANITARY NAPKIN RECEPTACLE SPEC. SPECIFICATION S.P.D. SEE PLUMBING DRAWINGS S.P.L.D. SEE POOL DRAWINGS S.S. STAINLESS STEEL S.S.D. SEE STRUCTURAL DRAWINGS S.SK. SERVICE SINK STA. STATION STD. STANDARD STL. STEEL STO. STORAGE STRUCT. STRUCTURAL SUSP. SUSPENDED SYM. SYMMETRICAL TRD. TREAD T.B. TOWEL BAR T.B.A. TO BE ANNOUNCED T.C. TOP OF CURB TEL. TELEPHONE T.&G. TONGUE & GROOVE THK. THICK T.P. TOP OF PAVEMENT T.P.D. TOILET PAPER DISPENSER T.V. TELEVISION T.W. TOP OF WALL TR. TRASH RECEPTACLE TYP. TYPICAL TWL. SOILED TOWEL DROP UNF. UNFINISHED U.O.N. UNLESS OTHERWISE NOTED UR. URINAL VERT. VERTICAL VEST. VESTIBULE W. WEST WITH WITH W.C. WATER CLOSET WD. WOOD W/O. WITHOUT WP. WATERPROOF WSCT. WAINSCOT WT. WEIGHT	NEW CONSTRUCTION OF A TWO STORY SINGLE FAMILY RESIDENCE	2010 CALIFORNIA BUILDING CODE WITH OAKLAND AMENDMENTS 2010 CALIFORNIA RESIDENTIAL CODE WITH OAKLAND AMENDMENTS 2010 CALIFORNIA MECHANICAL CODE WITH OAKLAND AMENDMENTS 2010 CALIFORNIA PLUMBING CODE WITH OAKLAND AMENDMENTS 2010 CALIFORNIA ELECTRICAL CODE WITH OAKLAND AMENDMENTS 2010 CALIFORNIA ENERGY CODE WITH OAKLAND AMENDMENTS 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE		LOCATION: 1531 Harmon St. Berkeley, CA 94703 50 FT. x 135.02 FT. 6751 S.F. APN: V USNG: R-2A ZONING DISTRICT: 5 BLDG. INSPECTOR AREA: MDR GENERAL PLAN AREA:	A_0.0 PROJECT INFORMATION A_0.1 TABULATION A_1.0 SITE A_1.1 VICINITY MAP A_1.2 LANDSCAPE PLAN A_1.3 STREET ELEVATIONS A_1.4 SUN STUDY A_2.3 1531 LEVEL 1 A_2.4 1531 LEVEL 2 A_4.5 1531 ELEVATIONS A_4.6 1531 ELEVATIONS A_4.7 1531 ELEVATIONS A_4.8 1531 ELEVATIONS A_5.3 SECTION A_5.4 SECTION												
			<table border="1"> <tr> <th colspan="2">Area (Gross Building)</th> </tr> <tr> <td>Level 2</td> <td>995 SF</td> </tr> <tr> <td>Level 1</td> <td>890 SF</td> </tr> <tr> <td colspan="2" style="text-align: center;">1885 SF</td> </tr> </table>			Area (Gross Building)		Level 2	995 SF	Level 1	890 SF	1885 SF		<div style="border: 2px solid red; padding: 5px; text-align: center;"> <p>PLANS APPROVED by ZONING ADJUSTMENTS BOARD</p> <p><i>Judy Stout</i> ION August 8, 2013</p> </div>					
Area (Gross Building)																			
Level 2	995 SF																		
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			GENERAL NOTES			SITE													
			<p>1. SCOPE DOCUMENTS: THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE OVERALL CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL SYSTEMS, ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND SPECIFICATIONS.</p> <p>2. THE FOLLOWING NOTES AND TYPICAL DETAILS APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED.</p> <p>3. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.</p> <p>4. IN ADDITION TO THE GENERAL NOTES, ABBREVIATIONS, AND DRAWING LEGEND ON THIS SHEET, SEE ALSO NOTES, ABBREVIATIONS, DRAWING LEGENDS AND SYMBOLS ON CIVIL, STRUCTURAL, ELECTRICAL, MECHANICAL AND OTHER ARCHITECTURAL DRAWINGS.</p> <p>5. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO THE REVIEW AND APPROVAL OF THE ARCHITECT.</p> <p>6. CODE REQUIREMENTS: ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE APPLICABLE EDITION OF THE UNIFORM BUILDING CODE, LOCAL CODES AND JURISDICTIONAL AUTHORITIES AND AGENCIES.</p> <p>7. THE CONTRACTOR SHALL PERFORM IN A MANNER CONFORMING TO APPLICABLE REGULATION, AND REQUIREMENTS OF ALL GOVERNING AGENCIES AS WELL AS STANDARD INDUSTRY PRACTICES.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.</p> <p>9. RESPONSIBILITY: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS THAT AFFECT ANY WORK, NOTIFY THE ARCHITECT AND OWNER IN WRITING AT ONCE FOR INSTRUCTIONS TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE OWNER WITH NO RESULTING COST TO THE OWNER. SHOULD A CONFLICT OCCUR IN OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON THE CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIAL AND CONSTRUCTION METHODS INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT / OWNER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS OR UNLESS THE ORIGINAL BID IS APPROPRIATELY QUALIFIED.</p> <p>10. THE CONTRACTOR SHALL CONFINE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE LAWS, LOCAL ORDINANCES, PERMITS AND THE CONTRACT DOCUMENTS. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS/HER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS/HER OPERATION.</p> <p>11. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.</p> <p>12. PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PANELS HVAC EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.</p> <p>13. ALL MATERIALS SHALL BE HANDLED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.</p> <p>14. STORAGE & DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GASES AND HAZARDOUS CHEMICALS SHALL COMPLY WITH THE UNIFORM FIRE CODE REGULATIONS.</p>			<p>15. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORK DEPARTMENT.</p> <p>16. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS/HER WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL UPON COMPLETION MATCH SURROUNDING SIMILAR SURFACES.</p> <p>17. SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL SUPPLY THE ARCHITECT/ENGINEER WITH THE REQUIRED SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE A MINIMUM OF THREE WEEKS PRIOR TO FABRICATION. THE REVIEW OF SHOP DRAWINGS AND SPECIFICATIONS BY THE ARCHITECT/ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT, COMPLETE, NOR DOES IT INFER THAT THEY SUPERCEDE THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL COMMENCE UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES. THE ARCHITECT SHALL NOT PROCEED WITH THE REVIEW OF SHOP DRAWINGS FOR A SPECIFIC SECTION OF SPECIFICATIONS UNLESS THE SHOP DRAWINGS FOR THAT SECTION AND ALL RELATED AND CONTIGUOUS SECTIONS OF WORK ARE SUBMITTED IN THEIR ENTIRETY SIMULTANEOUSLY. THE REVIEW AND ACCEPTANCE OF A PART OF THE SHOP DRAWINGS SHALL NOT IMPLY THE ACCEPTANCE OF THE SHOP DRAWINGS IN WHOLE OR IN PART. BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.</p> <p>18. DIMENSIONS: A. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. B. ALL DIMENSIONS SHOWN ARE TO THE CENTER OF COLUMNS AND BEAMS, FACE OF CONCRETE / CONG. BLOCK WALLS, EDGE OF SLAB, FACE OF FINISH UNLESS OTHERWISE NOTED. C. CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR OR SLAB TO THE FINISHED FACE OF CEILING. D. DIMENSIONS AND ELEVATIONS ARE TO THE TOP OF CONCRETE, BLOCK OR OTHER HARD SURFACE MATERIALS, NOT TO THE TOP OF FLOOR COVERINGS OR ROOFING U.O.N. E. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS</p> <p>19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL THE TRADES AND SHALL CHECK ALL DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ARCHITECT OF DISCREPANCIES OR CONFLICTS IN THESE DRAWINGS FOUND DURING BIDDING AND/OR CONSTRUCTION PRIOR TO PERFORMING THE WORK. THE ARCHITECT SHALL RESOLVE ALL SUCH DISCREPANCIES OR ANY DOUBT AS TO THEIR MEANING EXPEDITIOUSLY AND NOTIFY THE CONTRACTOR AND OWNER WITH WRITTEN CLARIFICATION AS TO THE RESOLUTION OF SUCH CONDITIONS.</p> <p>20. THE BUILDING INSPECTOR SHALL BE NOTIFIED JUST PRIOR TO START OF CONSTRUCTION, INCLUDING GRADING.</p> <p>21. FLOOR ELEVATIONS INDICATED ARE TO THE TOP OF STRUCTURAL TOPPING SLAB OR GRADE SLAB UNLESS OTHERWISE NOTED.</p>													

ARCHITECTURE

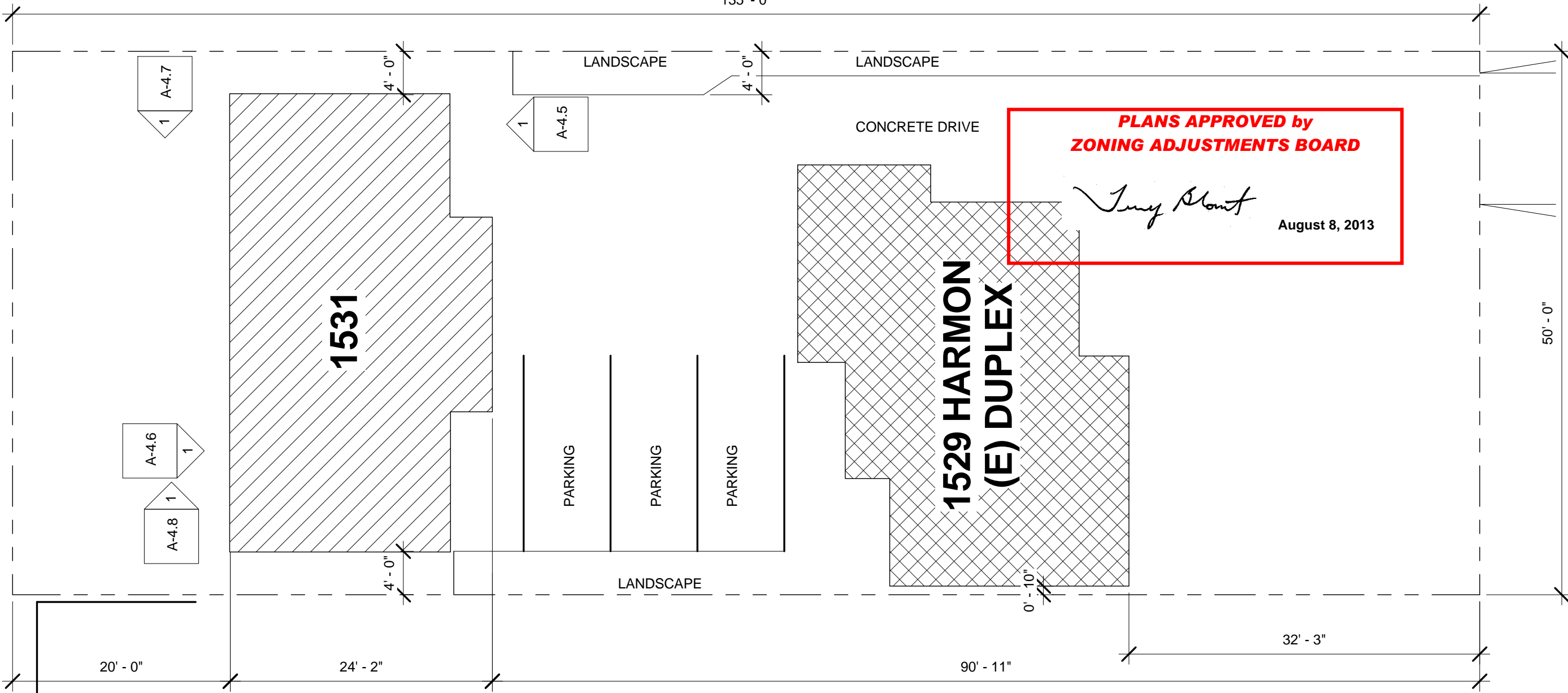
1531 HARMON STREET
BERKELEY, CA, 94703

No.	Description	Date

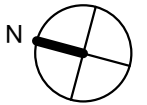
Project Information		
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Date	2013.07.18	
Drawn by	CKC	
Checked by	MB	
		Scale As indicated

1533

135' - 0"



HARMON STREET



1531 HARMON STREET
BERKELEY, CA, 94703

ARCHITECTURE

No.	Description	Date

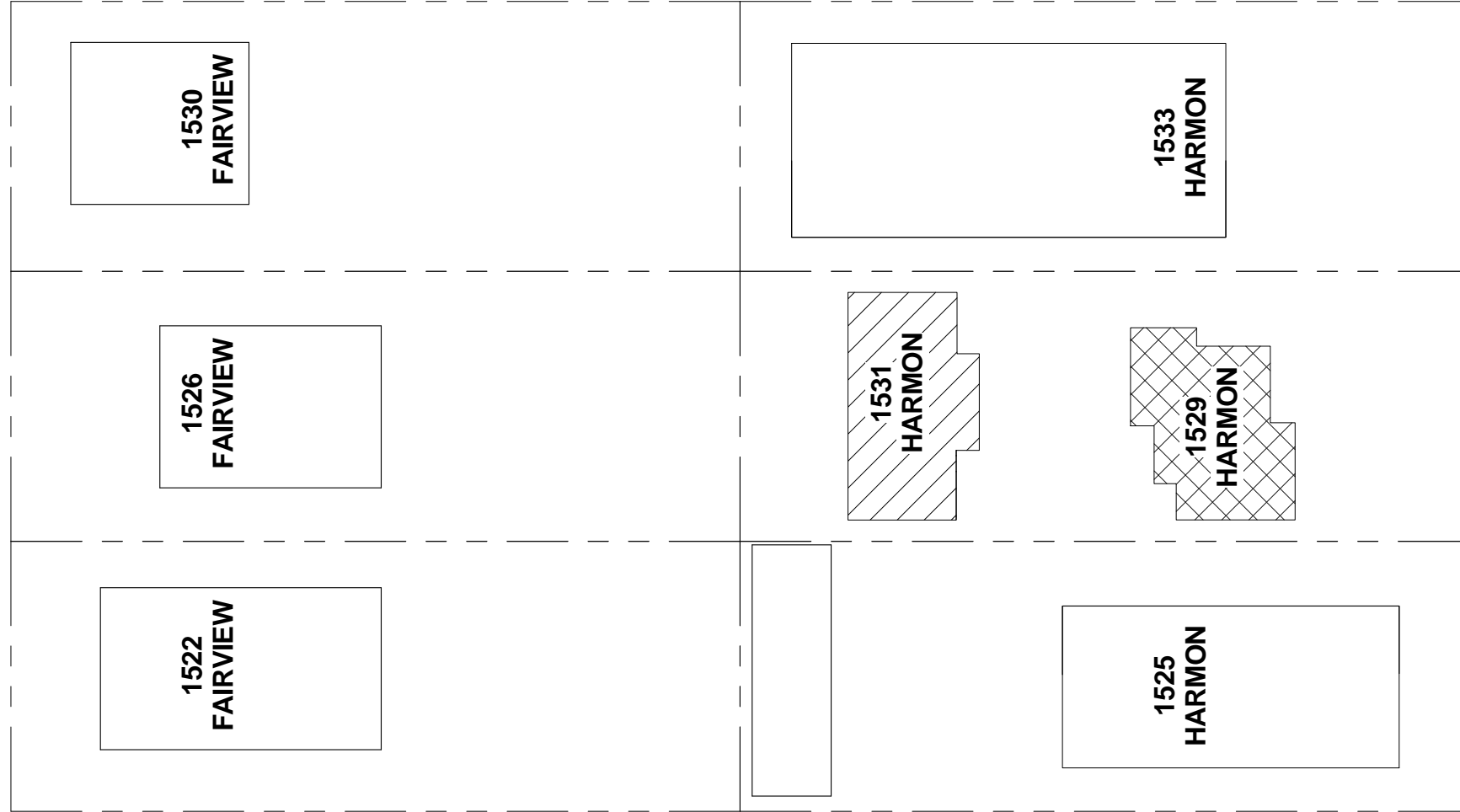
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Project number	153113	
Date	2013.07.18	
Drawn by	CKC	
Checked by	MB	
Scale 1" = 10'-0"		

**PLANS APPROVED by
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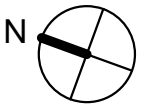
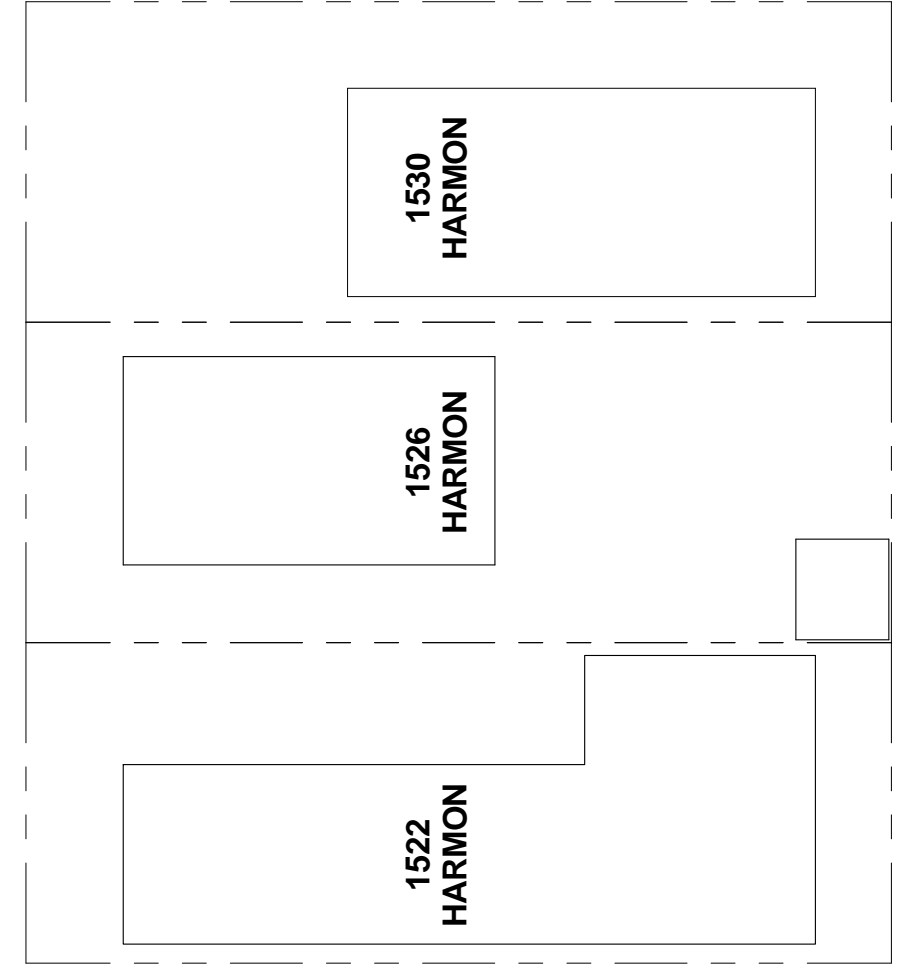
Judy Stout

August 8, 2013

FAIRVIEW STREET



HARMON STREET



ARCHITECTURE

**1531 HARMON STREET
BERKELEY, CA, 94703**

No.	Description	Date

Vicinity Map	
Project number	153113
Date	2013.07.18
Drawn by	CKC
Checked by	MB

A-1.1

Scale 1" = 30'-0"

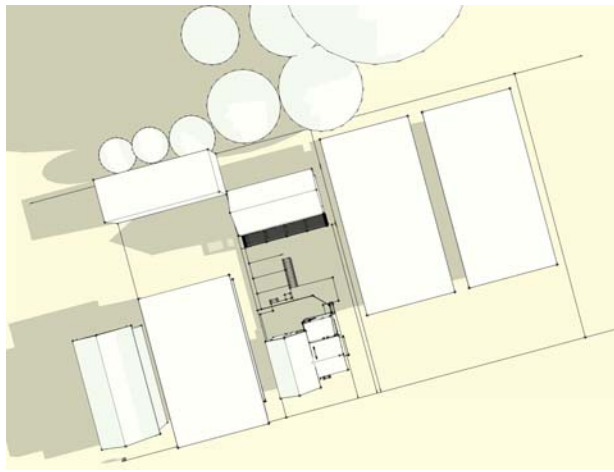
**PLANS APPROVED by
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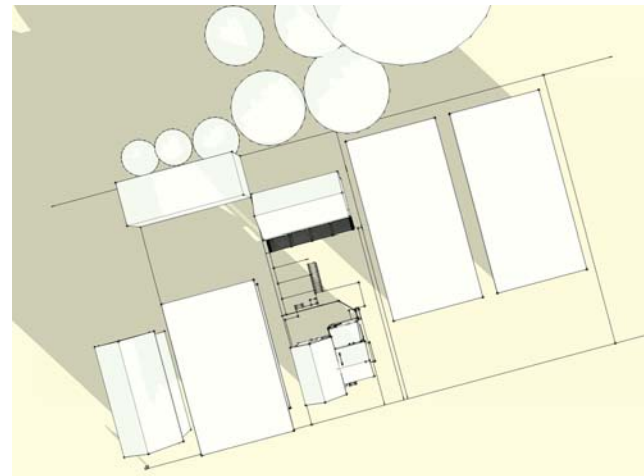
August 8, 2013



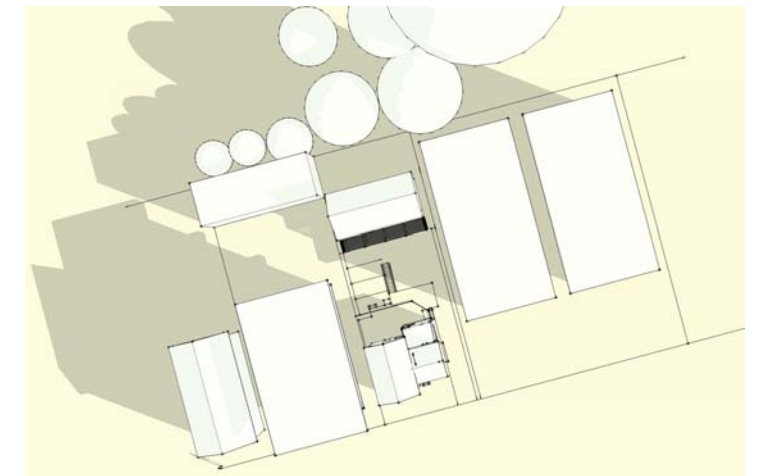
ARCHITECTURE	<h2 style="margin: 0;">1531 HARMON STREET</h2> <p style="margin: 0;">BERKELEY, CA, 94703</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="font-size: small;">No.</th> <th style="font-size: small;">Description</th> <th style="font-size: small;">Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Description	Date																<h3 style="margin: 0;">Street Elevations</h3> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: x-small;">Project number</td> <td style="font-size: x-small;">153113</td> <td rowspan="4" style="font-size: 2em; vertical-align: middle;">A-1.3</td> </tr> <tr> <td style="font-size: x-small;">Date</td> <td style="font-size: x-small;">2013.07.18</td> </tr> <tr> <td style="font-size: x-small;">Drawn by</td> <td style="font-size: x-small;">CKC</td> </tr> <tr> <td style="font-size: x-small;">Checked by</td> <td style="font-size: x-small;">MB</td> </tr> <tr> <td colspan="2" style="font-size: x-small;">Scale 1/16" = 1'-0"</td> <td> </td> </tr> </table>	Project number	153113	A-1.3	Date	2013.07.18	Drawn by	CKC	Checked by	MB	Scale 1/16" = 1'-0"		
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Date	2013.07.18																																
Drawn by	CKC																																
Checked by	MB																																
Scale 1/16" = 1'-0"																																	



1 JUNE MORNING



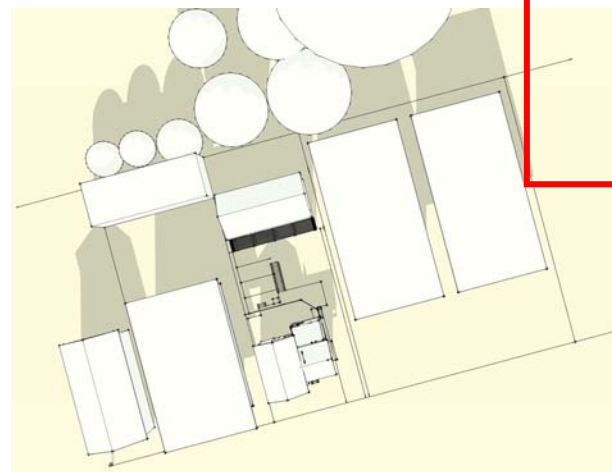
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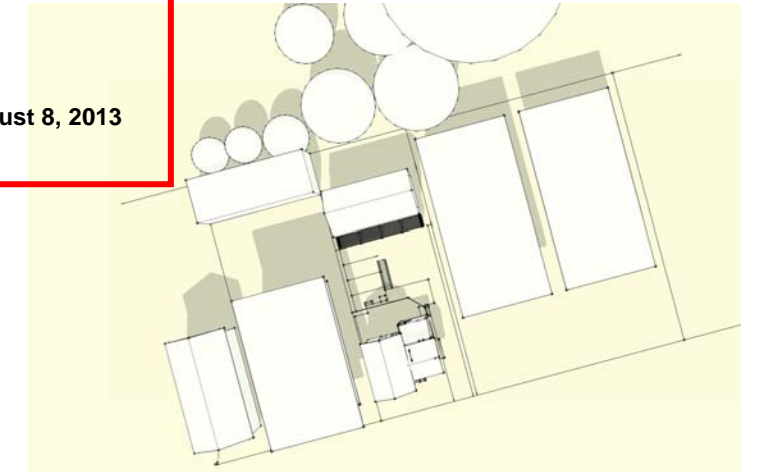
7 SEPT. MORNING



2 JUNE NOON

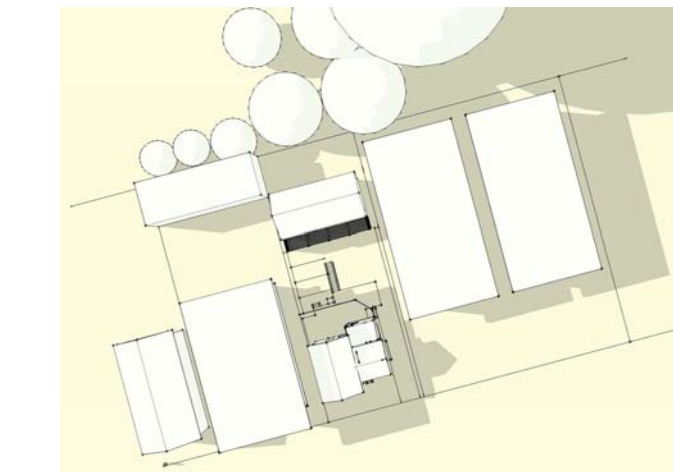


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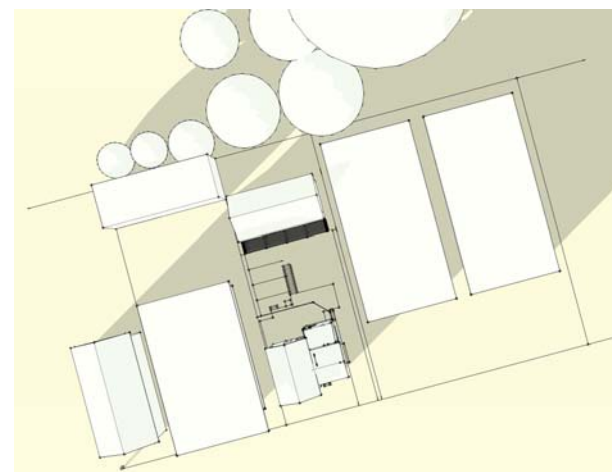


8 SEPT. NOON

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 August 8, 2013



3 JUNE EVENING



6 DEC. EVENING



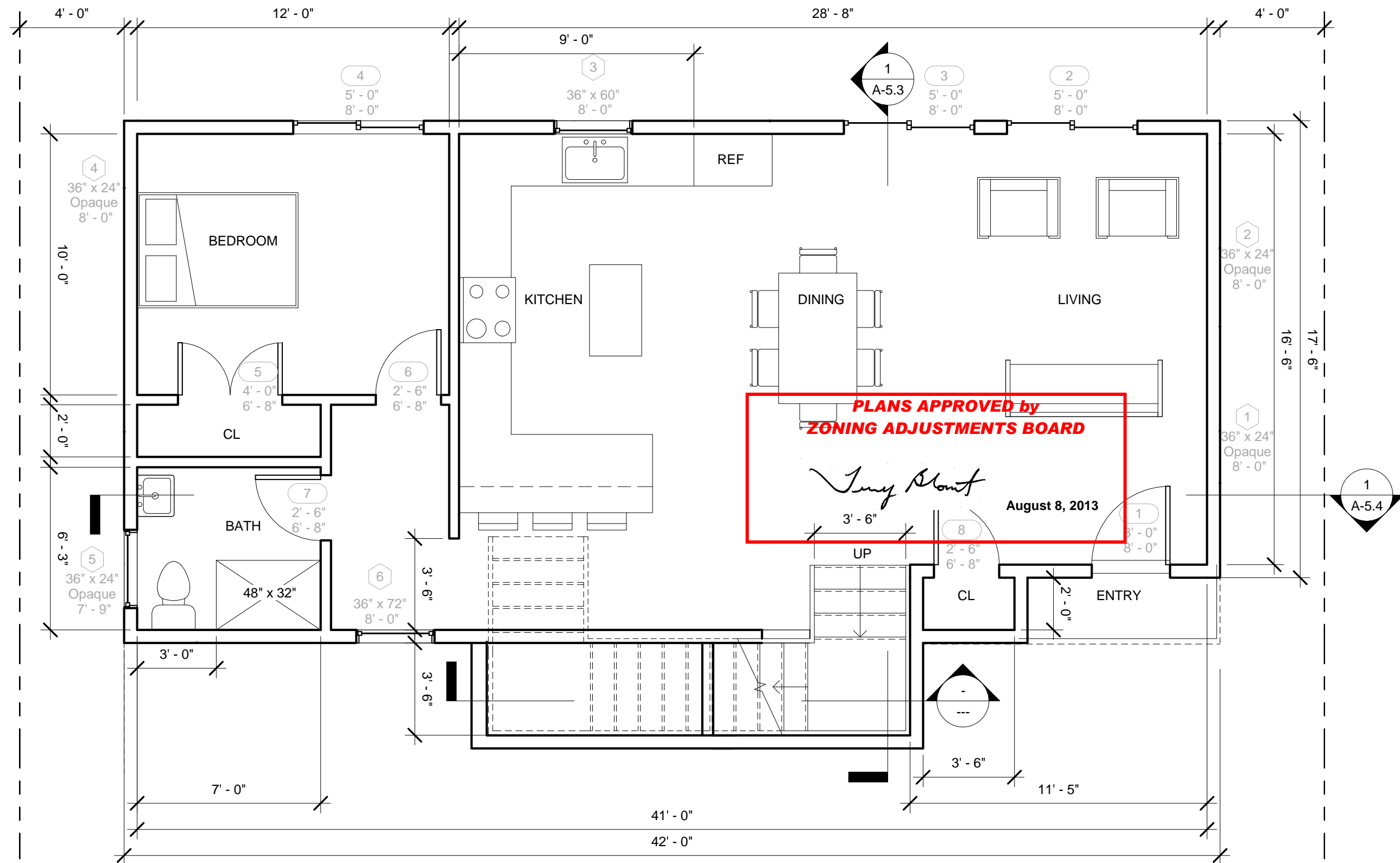
9 SEPT. EVENING

ARCHITECTURE

1531 HARMON STREET
BERKELEY, CA, 94703

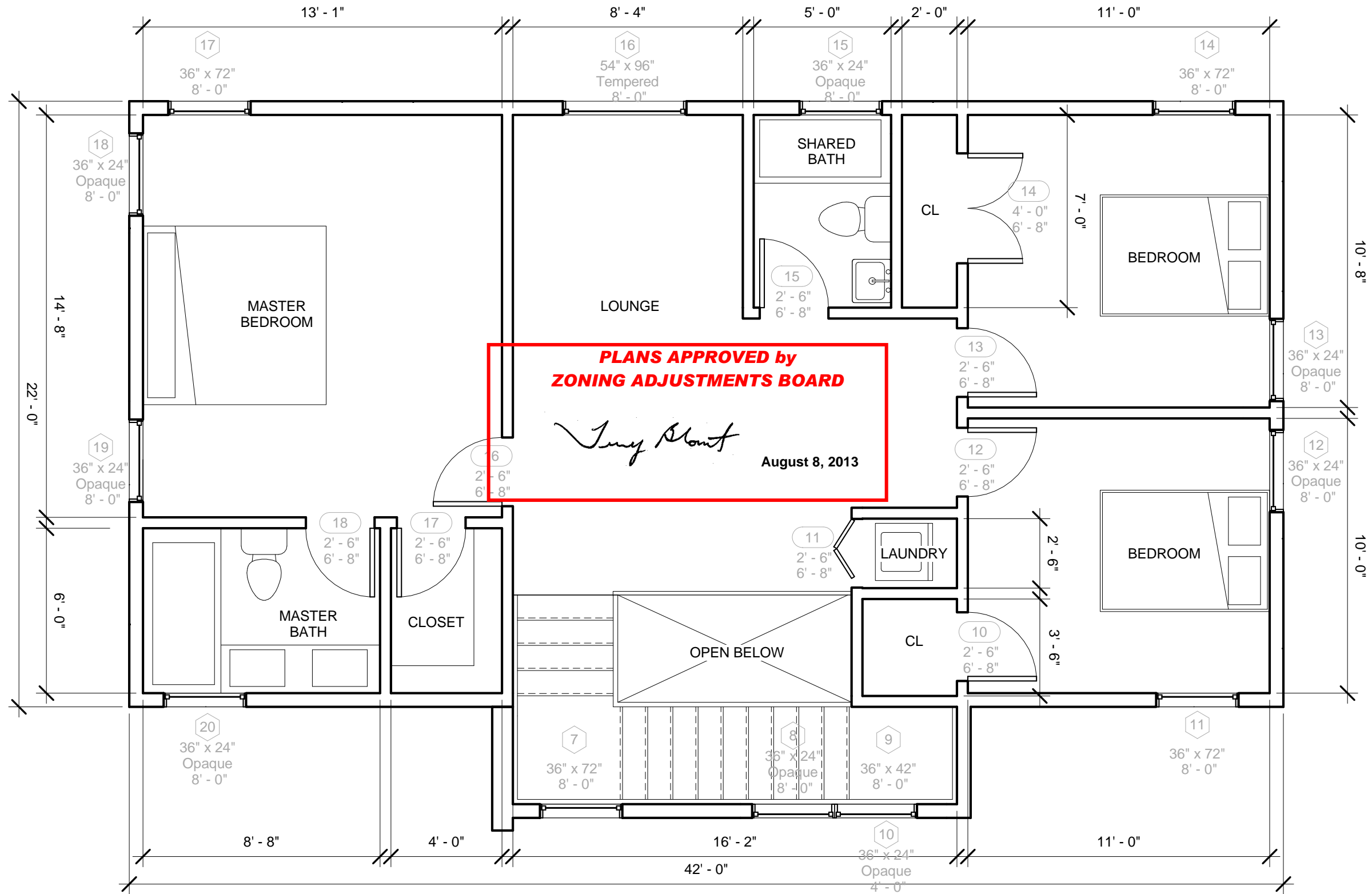
No.	Description	Date

Sun Study		A-1.4
Project number	153113	
Date	2013.07.18	
Drawn by	CKC	
Checked by	MB	
Scale		



① 1531 Level 1
1/4" = 1'-0"

ARCHITECTURE	1531 HARMON STREET BERKELEY, CA, 94703	No.	Description	Date	1531 Level 1	
					Project number	153113
					Date	2013.07.18
					Drawn by	CKC
					Checked by	MB
					Scale	1/4" = 1'-0"
					A-2.3	

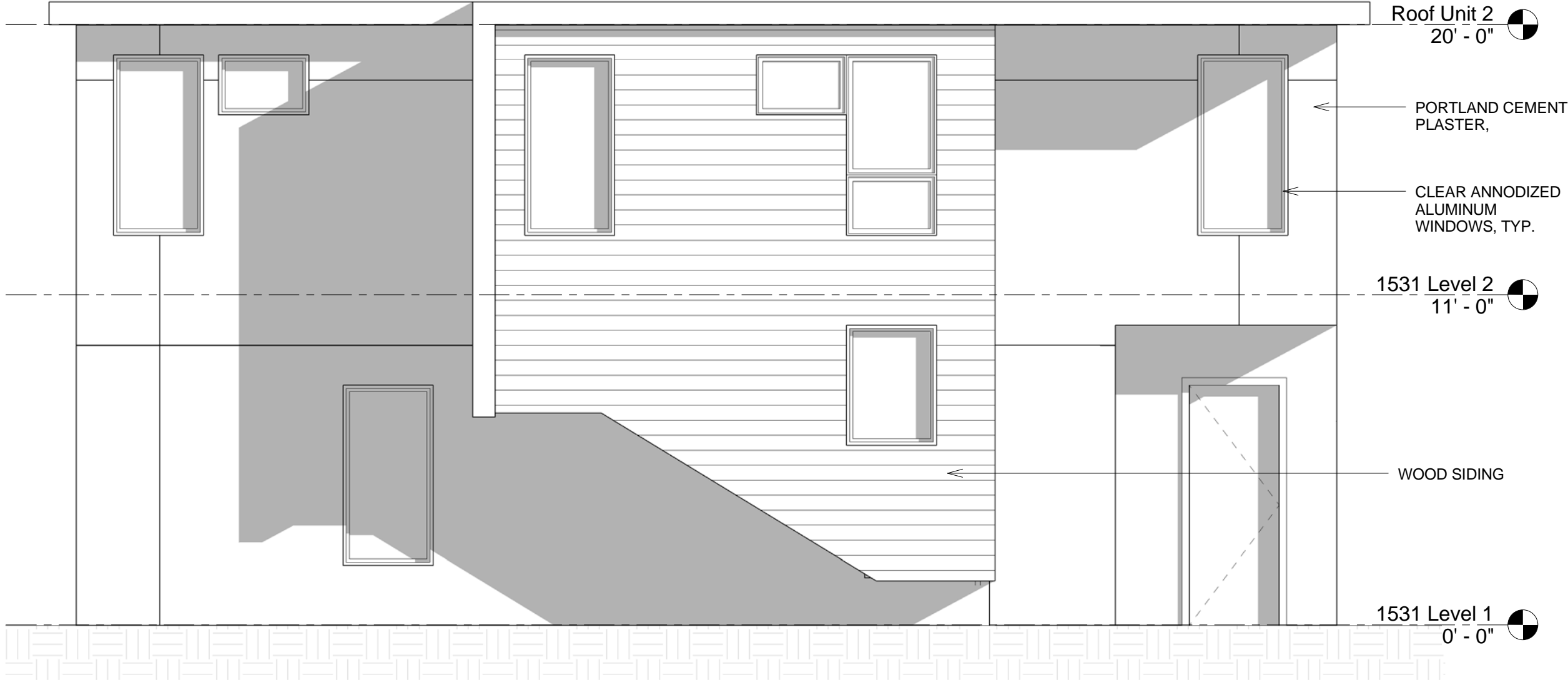


1 1531 Level 2
1/4" = 1'-0"

ARCHITECTURE	<h2 style="margin: 0;">1531 HARMON STREET</h2> <h3 style="margin: 0;">BERKELEY, CA, 94703</h3>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">No.</th> <th style="width: 60%;">Description</th> <th style="width: 30%;">Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Description	Date																<h2 style="margin: 0;">1531 Level 2</h2> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 70%;">Project number</td> <td style="width: 30%;">153113</td> </tr> <tr> <td>Date</td> <td>2013.07.18</td> </tr> <tr> <td>Drawn by</td> <td>CKC</td> </tr> <tr> <td>Checked by</td> <td>MB</td> </tr> </table> <div style="text-align: right; font-size: 2em; font-weight: bold; margin-top: 10px;">A-2.4</div> <p style="font-size: 0.8em; margin-top: 5px;">Scale 1/4" = 1'-0"</p>	Project number	153113	Date	2013.07.18	Drawn by	CKC	Checked by	MB
No.	Description	Date																											
Project number	153113																												
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Drawn by	CKC																												
Checked by	MB																												

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August 8, 2013



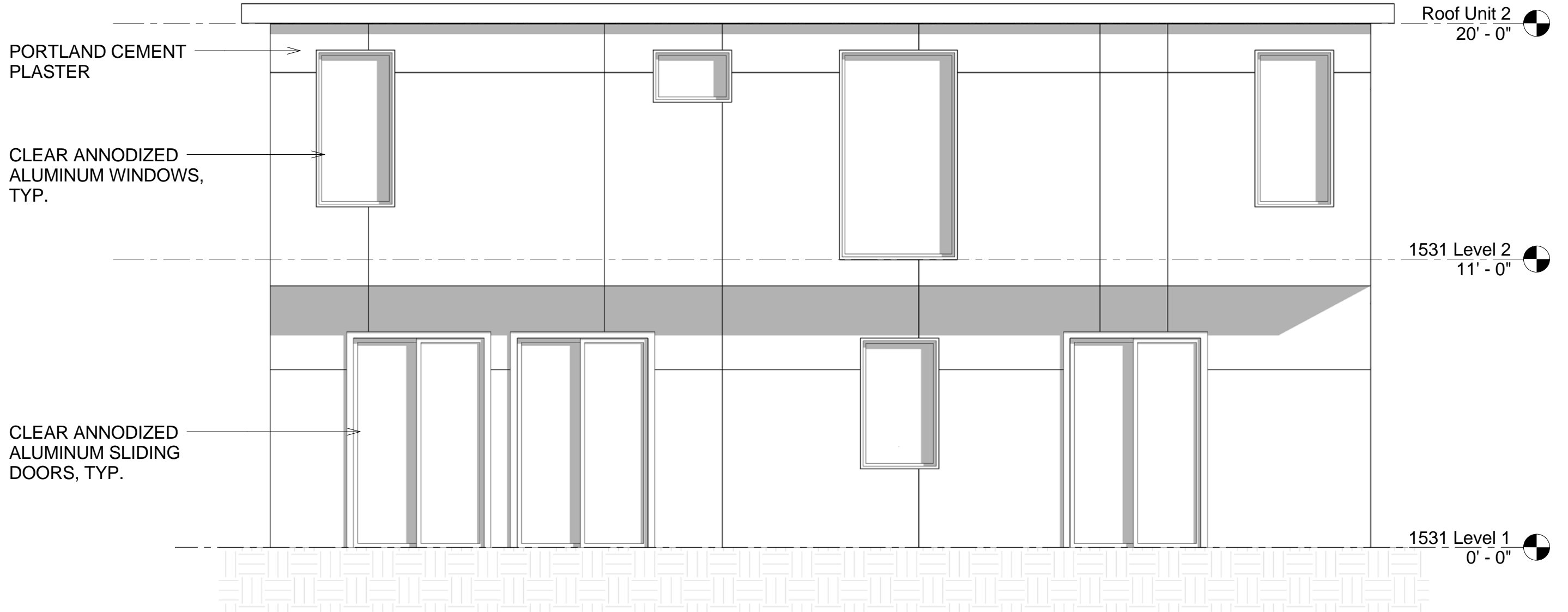
① 1531 South
1/4" = 1'-0"

ARCHITECTURE	1531 HARMON STREET BERKELEY, CA, 94703	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">No.</th> <th style="text-align: left;">Description</th> <th style="text-align: left;">Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Description	Date													<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">1531 Elevations</td> </tr> <tr> <td style="width: 70%;">Project number</td> <td style="text-align: right;">153113</td> </tr> <tr> <td>Date</td> <td style="text-align: right;">2013.07.18</td> </tr> <tr> <td>Drawn by</td> <td style="text-align: right;">CKC</td> </tr> <tr> <td>Checked by</td> <td style="text-align: right;">MB</td> </tr> <tr> <td colspan="2" style="text-align: center;">A-4.5</td> </tr> <tr> <td colspan="2" style="text-align: center;">Scale 1/4" = 1'-0"</td> </tr> </table>	1531 Elevations		Project number	153113	Date	2013.07.18	Drawn by	CKC	Checked by	MB	A-4.5		Scale 1/4" = 1'-0"	
No.	Description	Date																														
1531 Elevations																																
Project number	153113																															
Date	2013.07.18																															
Drawn by	CKC																															
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A-4.5																																
Scale 1/4" = 1'-0"																																

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August 8, 2013



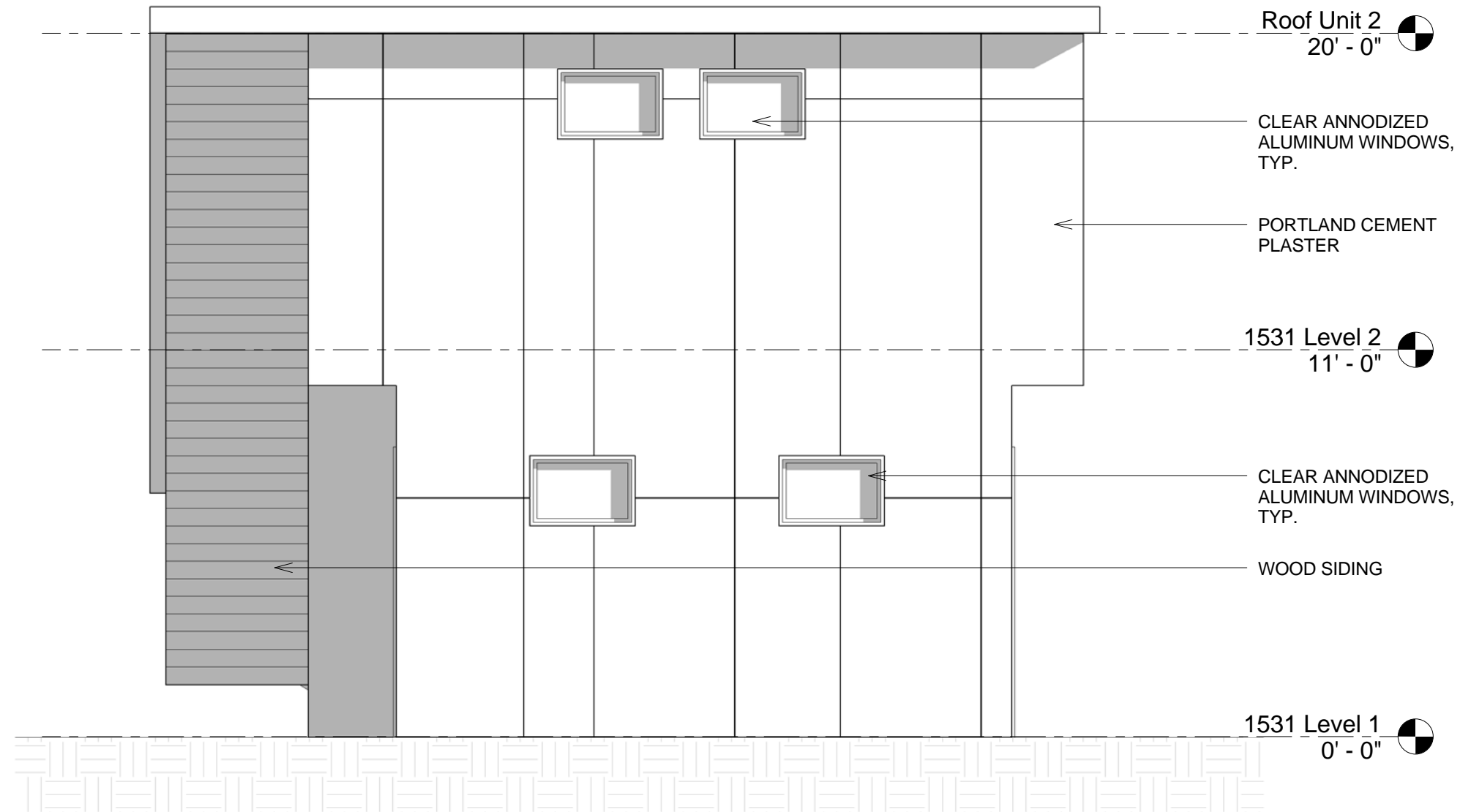
① 1531 North
1/4" = 1'-0"

ARCHITECTURE	1531 HARMON STREET BERKELEY, CA, 94703	No.	Description	Date	1531 Elevations		
					Project number	153113	A-4.6
					Date	2013.07.18	
					Drawn by	CKC	
					Checked by	MB	

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① 1531 East
1/4" = 1'-0"

ARCHITECTURE

**1531 HARMON STREET
BERKELEY, CA, 94703**

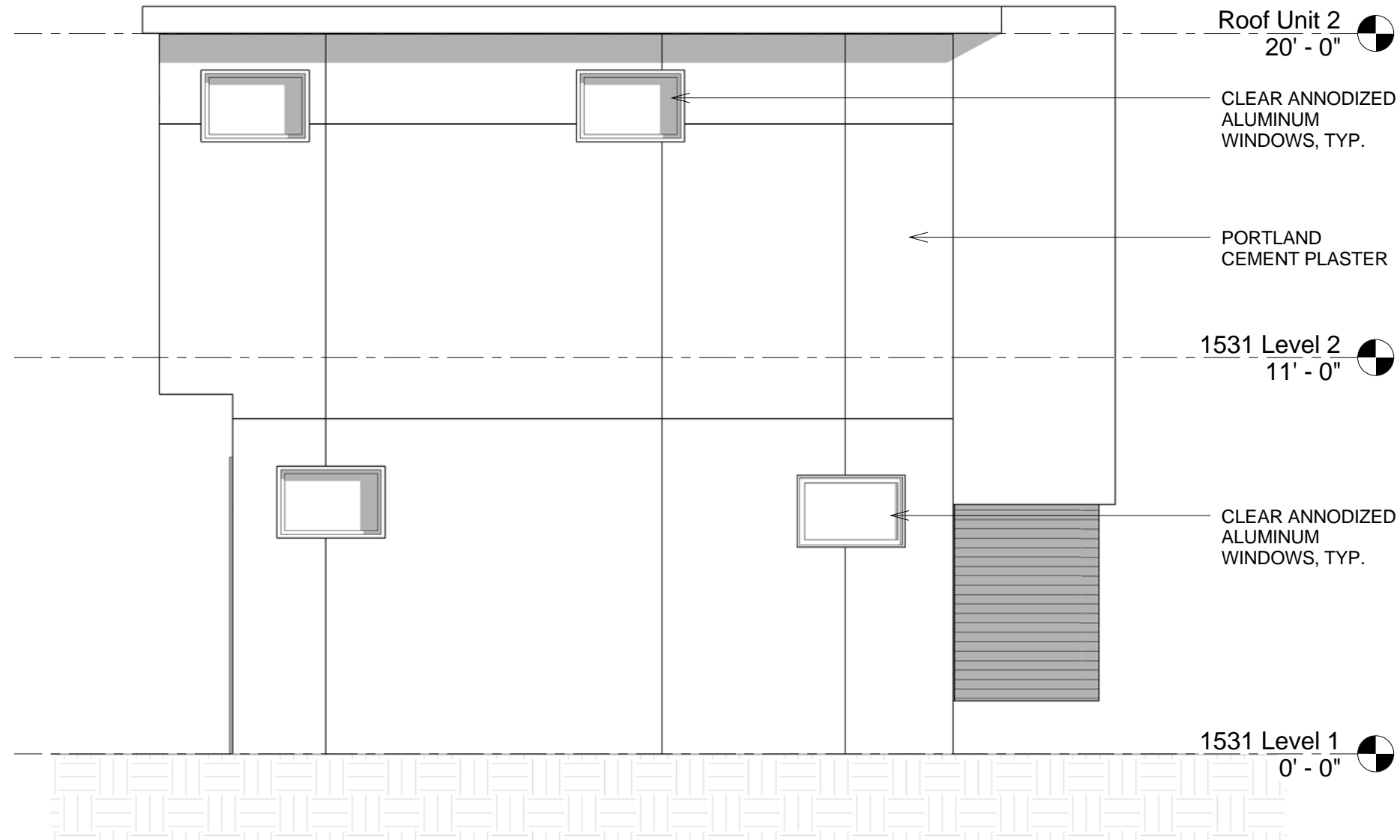
No.	Description	Date

1531 Elevations		
Project number	153113	A-4.7
Date	2013.07.18	
Drawn by	CKC	
Checked by	MB	
Scale		1/4" = 1'-0"

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August 8, 2013



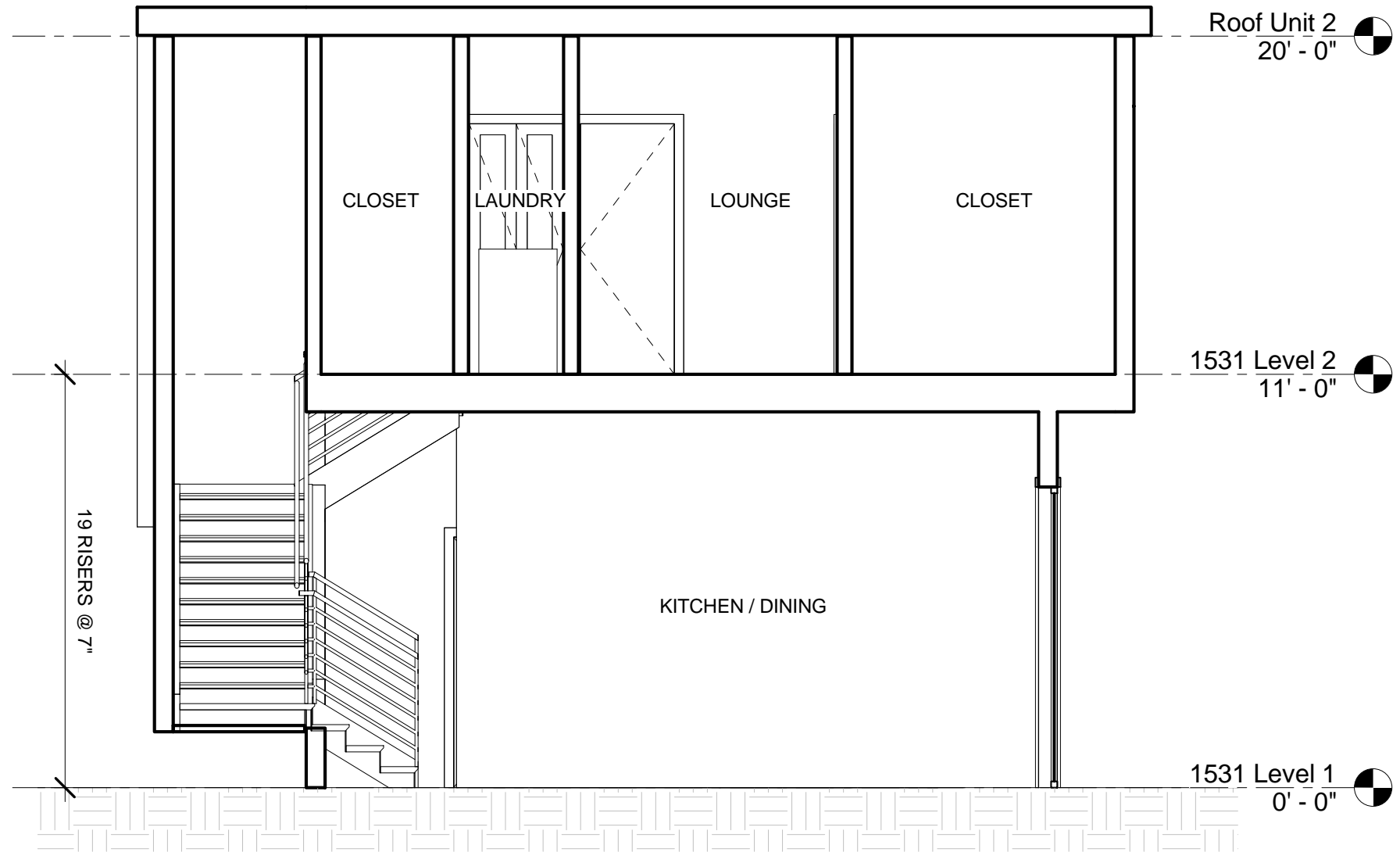
① 1531 West
1/4" = 1'-0"

ARCHITECTURE	1531 HARMON STREET BERKELEY, CA, 94703	No.	Description	Date	1531 Elevations		
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					Checked by	MB	

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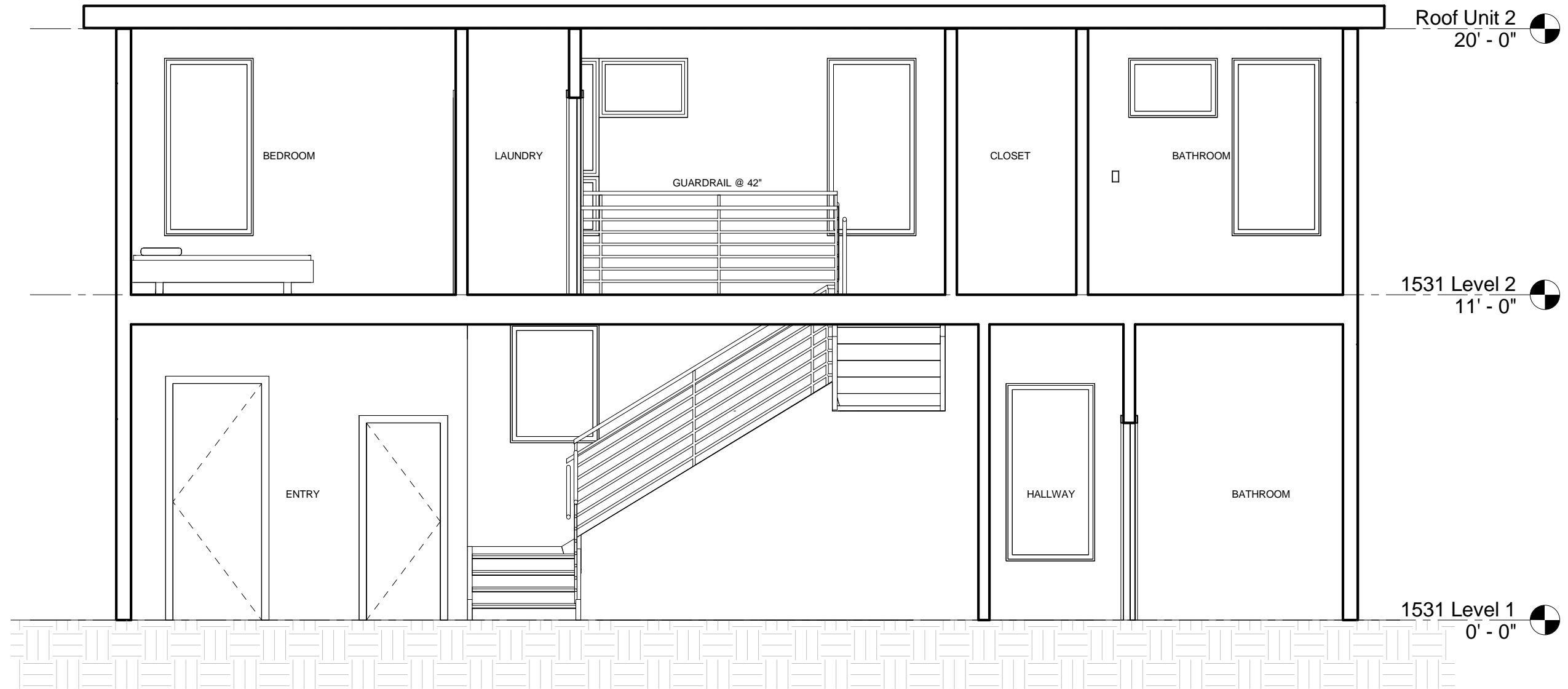
① 1531 Section 1
1/4" = 1'-0"

ARCHITECTURE	1531 HARMON STREET BERKELEY, CA, 94703	No.	Description	Date	1531 Section		
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					Date	2013.07.18	
					Drawn by	CKC	
					Checked by	MB	

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① 1531 Section 2
1/4" = 1'-0"

ARCHITECTURE	1531 HARMON STREET BERKELEY, CA, 94703	No.	Description	Date	1531 Section		
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