

Planning and Development Department  
Land Use Planning

# U S E P E R M I T

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CITY OF BERKELEY ZONING ORDINANCE  
Berkeley Municipal Code Title 23

## USE PERMIT # 11-10000010

Property Address: **2433 MARTIN LUTHER KING JR. WAY**

Permittee Name: **MINXI LIU**

**Use and/or Construction Permitted:**

to construct two dwellings within a two-story, 1,552 square foot building to the rear of an existing one-story 1,064 square foot, single-family residence, on a 5,200 square foot parcel in the R-3 district..

- Use Permit, under BMC Section 23D.36.030 to construct a building with two dwelling units.

**RESOLUTION, FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED**

The Use Permit herein described has been duly granted by the City Council and is in effect on June 12, 2013.

RESOLUTION NO. 66,209-N.S.

**AFFIRMING THE ZONING ADJUSTMENTS BOARD'S APPROVAL OF USE PERMIT No. 11-10000010 TO CONSTRUCT TWO DWELLINGS WITHIN A TWO-STORY, 1,552 SQUARE FOOT BUILDING TO THE REAR OF AN EXISTING ONE-STORY, 1,064 SQUARE FOOT, SINGLE-FAMILY RESIDENCE, ON A 5,200 SQUARE FOOT PARCEL IN THE R-3 DISTRICT**

WHEREAS, on March 15, 2011, Minxi Liu, on the behalf of the property owner, filed an application for Use Permit No. 11-10000010, to construct two dwellings within a two-story, 1,665 square foot building to the rear of an existing one-story, 1,064 square foot, single-family residence, on a 5,200 square foot parcel in the R-3 District; and

WHEREAS, on June 25, 2011 and August 18, 2011, the application was revised to reduce the overall floor area and to move the proposed second floor away from the property to the north; and

WHEREAS, on September 17, 2011, this application was deemed complete; and

WHEREAS, on October 25, 2012, staff mailed 327 notices to adjoining property owners and occupants within 300 feet of the site, and to interested neighborhood organizations and posted a Notice of Public Hearing to inform the public of a meeting with the Zoning Adjustments Board (ZAB); and

WHEREAS, on November 8, 2012, the ZAB held a public hearing, received testimony from seven speakers, requested new shadow studies to depict shading during the growing season, referred the application to mediation, and continued the hearing off calendar; and

WHEREAS, on January 10, 2013, new shadow studies depicting shadow impacts on March 21 and September 21 were submitted; and

WHEREAS, on January 21, 2013, staff mailed 327 notices to adjoining property owners and occupants within 300 feet of the site, and to interested neighborhood organizations and posted a Notice of Public Hearing to inform the public of a meeting with the Zoning Adjustments Board (ZAB); and

WHEREAS, on February 14, 2013, the ZAB held a public hearing, received testimony from four speakers, and approved the application by a 7-0-1-1 vote (Yes: Allen, Alvarez Cohen, Donaldson, Mathews, Tregub, Williams; Abstain: Hahn; Absent: Groves); and

WHEREAS, on February 19, 2013, staff issued the notice of the ZAB decision; and

WHEREAS, on March 5, 2013, Matthew O'Brien filed an appeal with the City Clerk, signed by at least 25 persons who lease or own land within 300 feet of the project site; and

WHEREAS, on June 11, 2013, the Council considered the record of the proceedings before the ZAB, and the staff report and correspondence presented to the Council and in the opinion of this Council, the facts stated in, or ascertainable from this information, do not warrant further hearing.


NOW THEREFORE, BE IT RESOLVED that the Council of the City of Berkeley hereby affirms the decision of the Zoning Adjustments Board to approve Use Permit No. 11-10000010, adopts the findings and conditions in Exhibit A and the project plans in Exhibit B, and dismisses the appeal.

The foregoing Resolution was adopted by the Berkeley City Council on June 11, 2013 by the following vote:

Ayes: Anderson, Capitelli, Maio, Moore, Wengraf, Worthington, Wozniak and Bates.

Noes: Arreguin.

Absent: None.

  
\_\_\_\_\_  
Tom Bates, Mayor

Attest:   
\_\_\_\_\_  
Mark Numainville, CMC, City Clerk

**ATTACHMENT 1****FINDINGS AND CONDITIONS**

FEBRUARY 14, 2013

**2433 Martin Luther King, Jr Way**

**Use Permit #11-1000010 to construct two dwellings within a two-story, 1,551 square foot building on a 5,200 square foot parcel with an existing one-story, 1,064 square foot, single-family residence.**

**CEQA FINDINGS**

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15303 of the CEQA Guidelines ("New Construction") and 15332 ("In-Fill Development Projects"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: a) the site is not located in an environmentally sensitive area, b) there are no cumulative impacts, c) there are no significant effects, d) the project is not located near a scenic highway, e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and f) the project will not affect any historical resource.

**GENERAL NON-DETRIMENT FINDING**

2. Pursuant to Berkeley Municipal Code Section 23B.32.040, the Zoning Adjustments Board finds that the proposed project, under the circumstances of the particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in the area or neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City, for the following reasons:
  - A. The proposed project conforms to the applicable General Plan Policies by increasing the available Berkeley Housing stock by adding two dwelling units;
  - B. The proposed project conforms to the applicable Purposes of the R-3 District by proposing dwellings that:
    1. Represent development that is within the range of building size and density expected within this high-density residential area (Purpose A).
    2. Provide housing for persons who desire both convenience of location and a reasonable amount of usable open space within a development that provides usable open space in excess of the R-3 District minimum (Purpose B); and
    3. Vary the building setback, minimize the potential bulk and limit unreasonable obstructions of light and air (Purpose C).
  - C. The proposed project conforms to the applicable Development Standards of the R-3 District by conforming to the average height limit, maximum lot coverage and the minimum setbacks, usable open space and the parking requirements for new dwellings.

**STANDARD CONDITIONS****1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the first sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. The second sheet may also be used if the first sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

**2. Applicant Responsible for Compliance with Conditions**

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

**3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)**

- A. This Permit authorizes only those uses and activities actually proposed in the application and exclude other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

**4. Modification of Permits (Section 23B.56.020)**

No change in the use for which this Permit is approved is permitted unless the Permit is modified by the Zoning Adjustments Board, in conformance with Section 23B.56.020.A.

Changes in the plans for the construction of a building or structure may be modified prior to the completion of construction, in accordance with Section 23B.56.020.D. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project. The Zoning Officer may also approve a maximum two-foot variation to Board approved plans, provided, that such variation does not increase a structure's height, reduce the minimum distance to any property line, and/or does not conflict with any special objective sought by the Board.

**5. Plans and Representations Become Conditions (Section 23B.56.030)**

Except as expressly specified herein, the site plan, floor plans, building elevations and any additional information or representations submitted by the applicant during the Staff review and public hearing process leading to the approval of this Permit, whether oral or written, which indicated the proposed structure or manner of operation are deemed conditions of approval.

**6. Subject to all City and Other Regulations (Section 23B.56.040)**

The approved use and/or construction are subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies.

**7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)**

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8 below.

8. **Exercise and Lapse of Permits (Section 23B.56.100)**
- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
  - B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
  - C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has (1) applied for a building permit or (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.
9. **Indemnification Agreement**
- The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

**ADDITIONAL CONDITIONS**

Pursuant to BMC Section 23B.32.040.D, the Zoning Adjustments Board attaches the following conditions to this Permit:

Prior to Submittal of Any Building Permit

10. Landscape plans shall be prepared to show that at least 40% of the total area required as usable open space shall be a landscaped area. In addition, landscaping shall be installed within the front yard. All landscaped areas shall incorporate automatic irrigation and drainage facilities adequate to assure healthy growing conditions for plants.

Prior to Issuance of Any Building Permit

11. The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit this record to the project planner upon request.

Noise Management Individual

Name	Phone #

12. The applicant shall file an "Address Assignment Request Application" with the Permit Service Center (2120 Milvia Street) for any address change or new address associated with this Use Permit. The new address(es) shall be assigned and entered into the City's database prior to the applicant's submittal of a building permit application.
13. The applicant shall submit any geotechnical plans and recommendations required by the Building and Safety Division.
14. **Construction Erosion Control and Drainage:** Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season (between October 15 and April 15), the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department.

15. **Construction Erosion Control and Drainage:** Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.
16. **Construction Erosion Control and Drainage:** The project shall comply with all Phase II NPDES Storm Water regulations for Small Construction activities. In particular, the project grading plan shall include Drainage and Erosion Control Plans to minimize the impacts from erosion and sedimentation during grading. This plan shall conform to all standards adopted by the City of Berkeley and Alameda County. This plan shall include at least the following procedures: (1) restricting grading to the dry season; (2) protecting all finished graded slopes from erosion using such techniques as erosion control matting and hydroseeding; (3) protecting downstream storm drainage inlets from sedimentation; (4) using silt fencing and hay bales to retain sediment on the project site; and (5) any other suitable measures outlined in the Association of Bay Area Governments' (ABAG) Manual of Standards for Erosion and Sediment Control Measures or the San Francisco Bay Regional Water Quality Control Board's Erosion and Sediment Control Field Manual.
17. The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:
- Alterations, closures, or blockages to sidewalks or pedestrian paths
  - Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
  - Storage of building materials, dumpsters, debris anywhere in the public ROW
  - Provision of exclusive contractor parking on-street
  - Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

During Construction:

18. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
19. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
20. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
21. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
22. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.

23. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
24. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
25. The height and location of the proposed structure, property lines and spot elevations shall be verified by a licensed surveyor or engineer on site after foundation forms are placed, but before pouring concrete or placing construction material in its permanent position. This verification shall be to the satisfaction of the Zoning Officer.

Prior to Issuance of Occupancy Permit or Final Inspection:

26. The project shall conform to the plans and statements in the Use Permit.
27. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **January 8, 2012**.
28. Prior to issuance of an occupancy permit or final inspection approval, the applicant shall update, sign, and submit an *As-Built GreenPoint Checklist* reflecting final as-built conditions, including the total green building score, to the project planner.

At All Times:

29. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
30. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way. All rainwater runoff from the roof and hard surfaces shall be collected and conveyed to the public R-O-W subject to approval by the Public Works Department. All hardscape shall be minimized to the maximum extent practicable; surface and subsurface drainage must be handled in a manner approved by the applicant's soil engineer. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department.





Exhibit B - Approved Plans  
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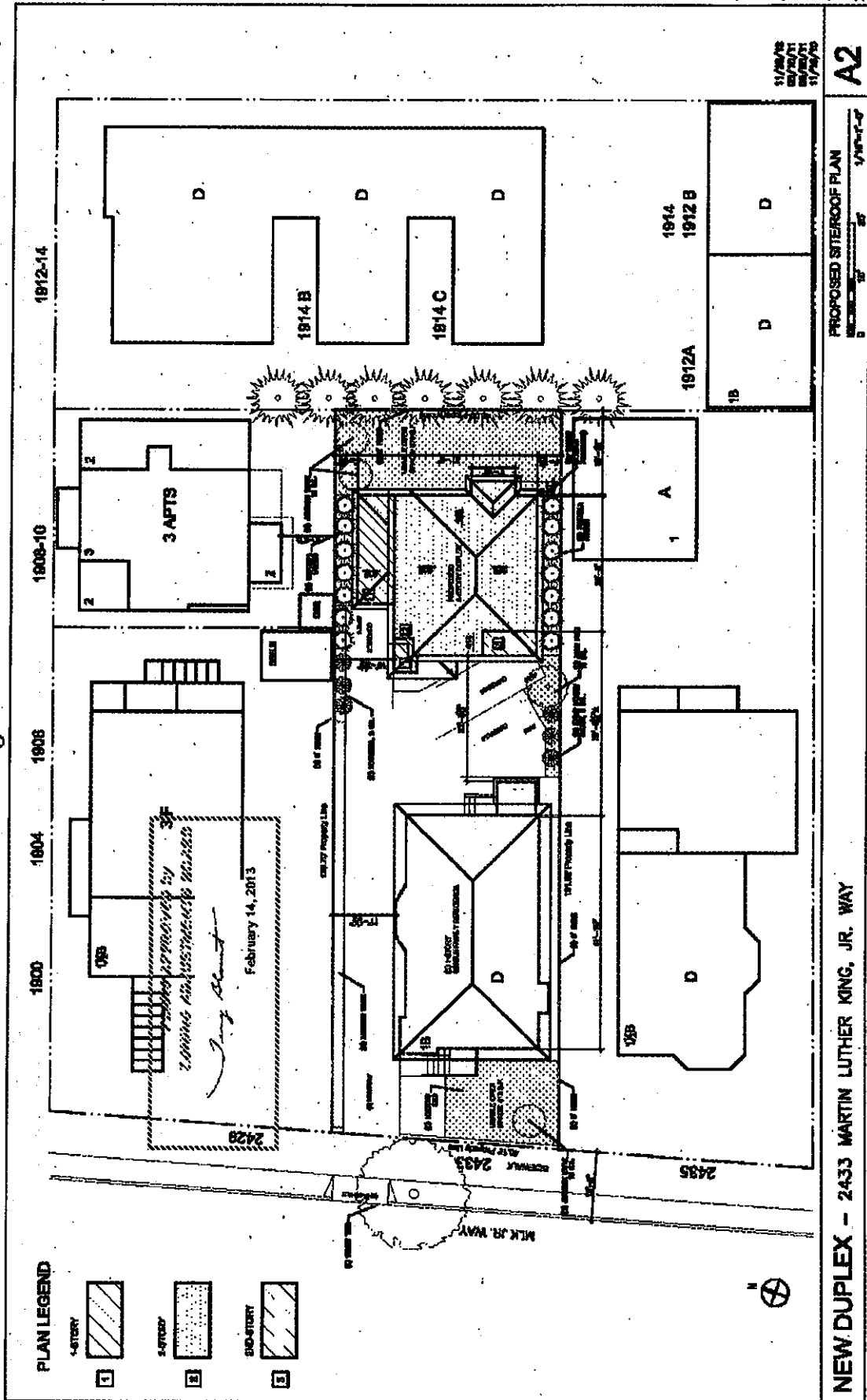
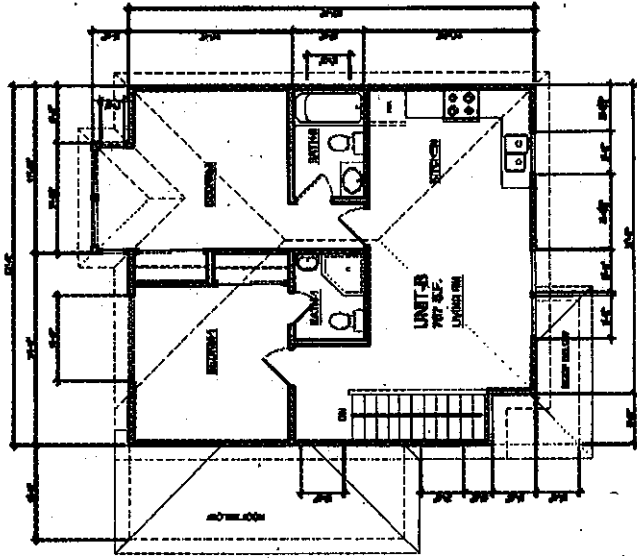


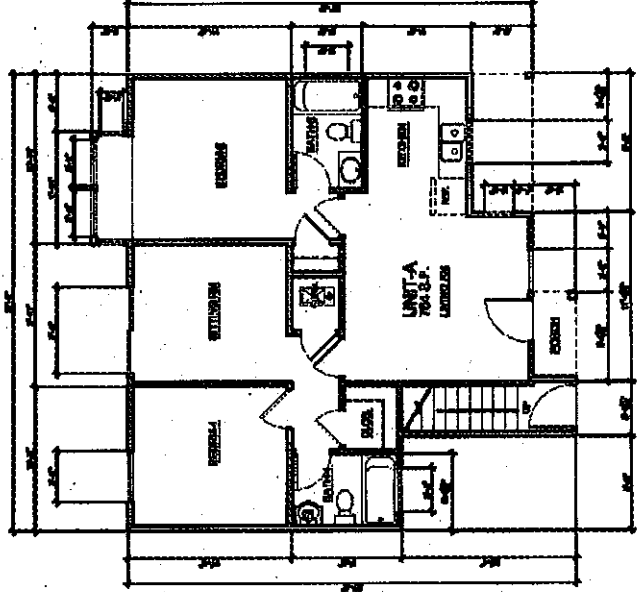
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ATTACHMENT 2  
2008 02-19-13  
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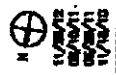
PLANS APPROVED BY  
ZONING ADJUDICATORS BOARD  
*Jay Stewart*  
February 14, 2013



2ND FLOOR PLAN



1ST FLOOR PLAN



A3

1ST & 2ND FLOOR PLANS  
1/2013

NEW DUPLEX - 2433 MARTIN LUTHER KING, JR. WAY

When Imposition - 02-19-13

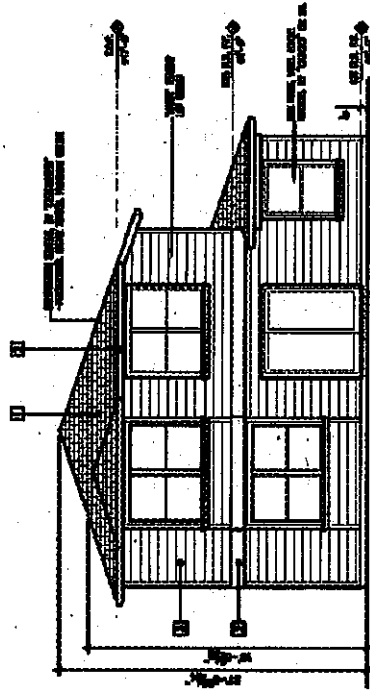
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ATTACHMENT 2  
TAB 02-2-43  
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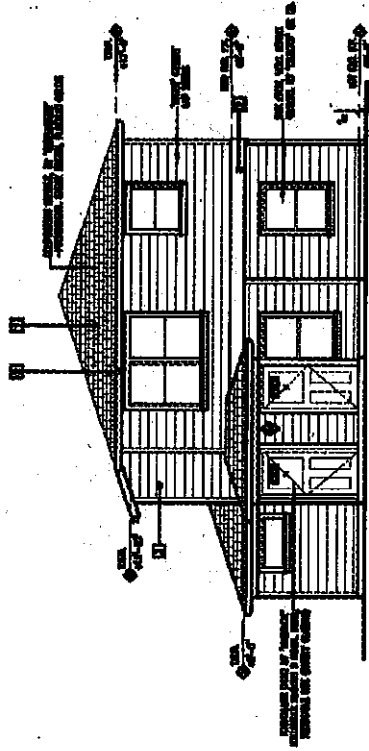
ELEVATION LEGEND

- 1 CHIMNEY SHALL BE "MINIMUM" HEIGHT. MINIMUM HEIGHT SHALL
- 2 THIS SHALL BE THE MINIMUM HEIGHT. MINIMUM HEIGHT SHALL
- 3 "MINIMUM" HEIGHT SHALL BE THE MINIMUM HEIGHT. MINIMUM HEIGHT SHALL

PLANS APPROVED BY  
ZONING ADMINISTRATOR 00000000  
*Jay Blunt*  
February 14, 2013



REAR ELEVATION



FRONT ELEVATION

11/20/02  
02/10/11  
02/20/11  
11/10/13

FRONT & REAR ELEVATIONS  
0' 1" 2' 4' 6' 8' 10'

NEW DUPLEX - 2433 MARTIN LUTHER KING, JR. WAY

A4

UNITED TECHNOLOGIES - 02-02-43 - 02-02-43 - 02-02-43

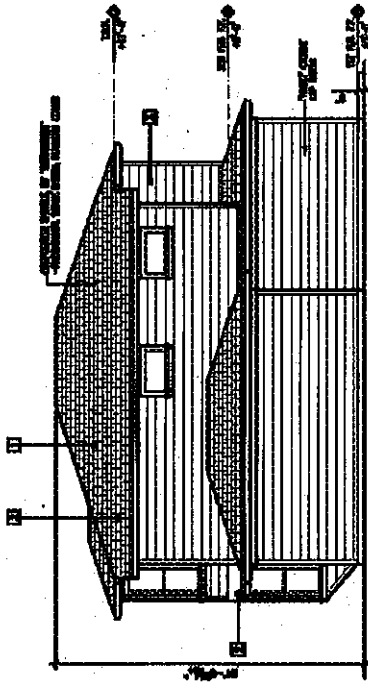
Exhibit B - Approved Plans  
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APPENDIX 2  
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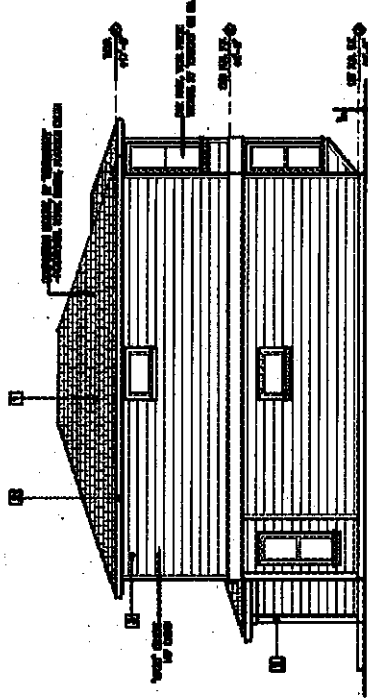
ELEVATION LEGEND

- 1. COMPLETE WALLS BY "STANDARD" PLYWOOD, 3/4" THICK, UNPAINTED COLOR
- 2. WOOD PANEL WALLS, 1/2" & 5/8" THICK, UNPAINTED, UNFINISHED, 3/4" WOOD JOISTS
- 3. TRIM CORNER LIP SHALL HAVE COLOR MATCHING TO BRICK WORK-UP BY

APPROVED BY  
ZONING ADJUDICATOR'S BOARD  
*Jerry Blunt*  
February 14, 2013



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

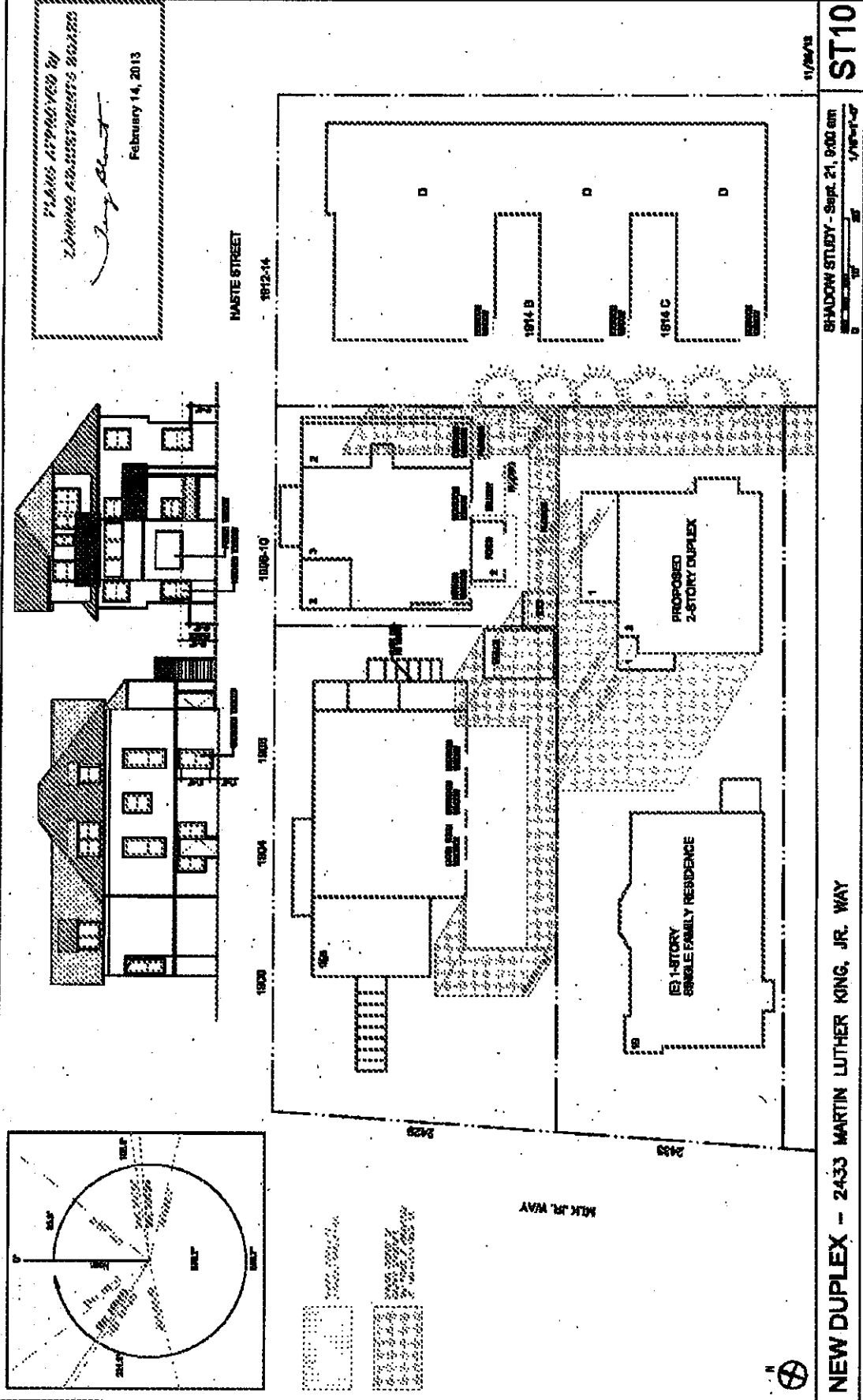
11/20/12  
08/24/11  
05/20/11  
11/16/10

LEFT & RIGHT SIDE ELEVATIONS  
5' 1" 6' 1" 7' 1" 8' 1"

A5

NEW DUPLEX - 2433 MARTIN LUTHER KING, JR. WAY

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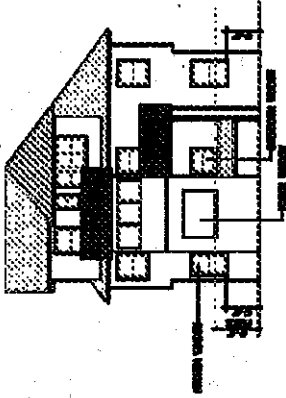


Urban Impression - 815 N. ... (mirrored text)

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2/17/2013 10:00:00 AM  
2013 02-14-13  
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PLANS APPROVED BY  
ZONING ADMINISTRATOR  
*Jay Albert*  
February 14, 2013



HARTE STREET

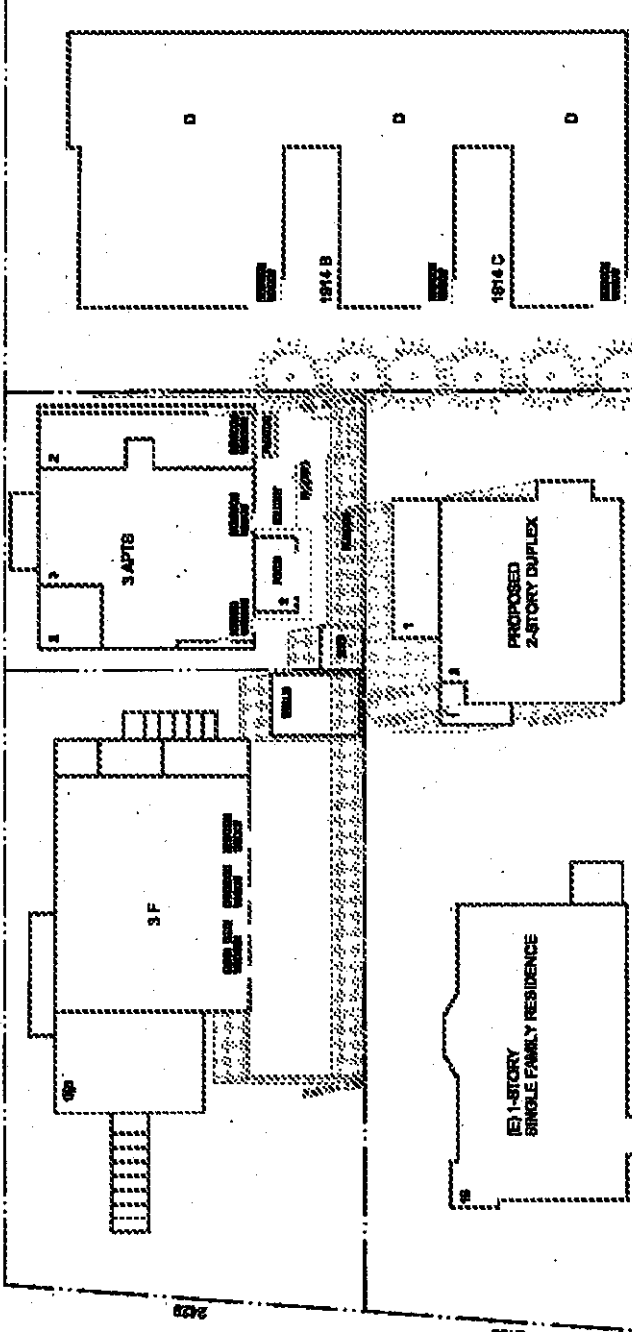
1800

1804

1808

1808-10

1812-14



MLK JR. WAY



NEW DUPLEX - 2433 MARTIN LUTHER KING, JR. WAY

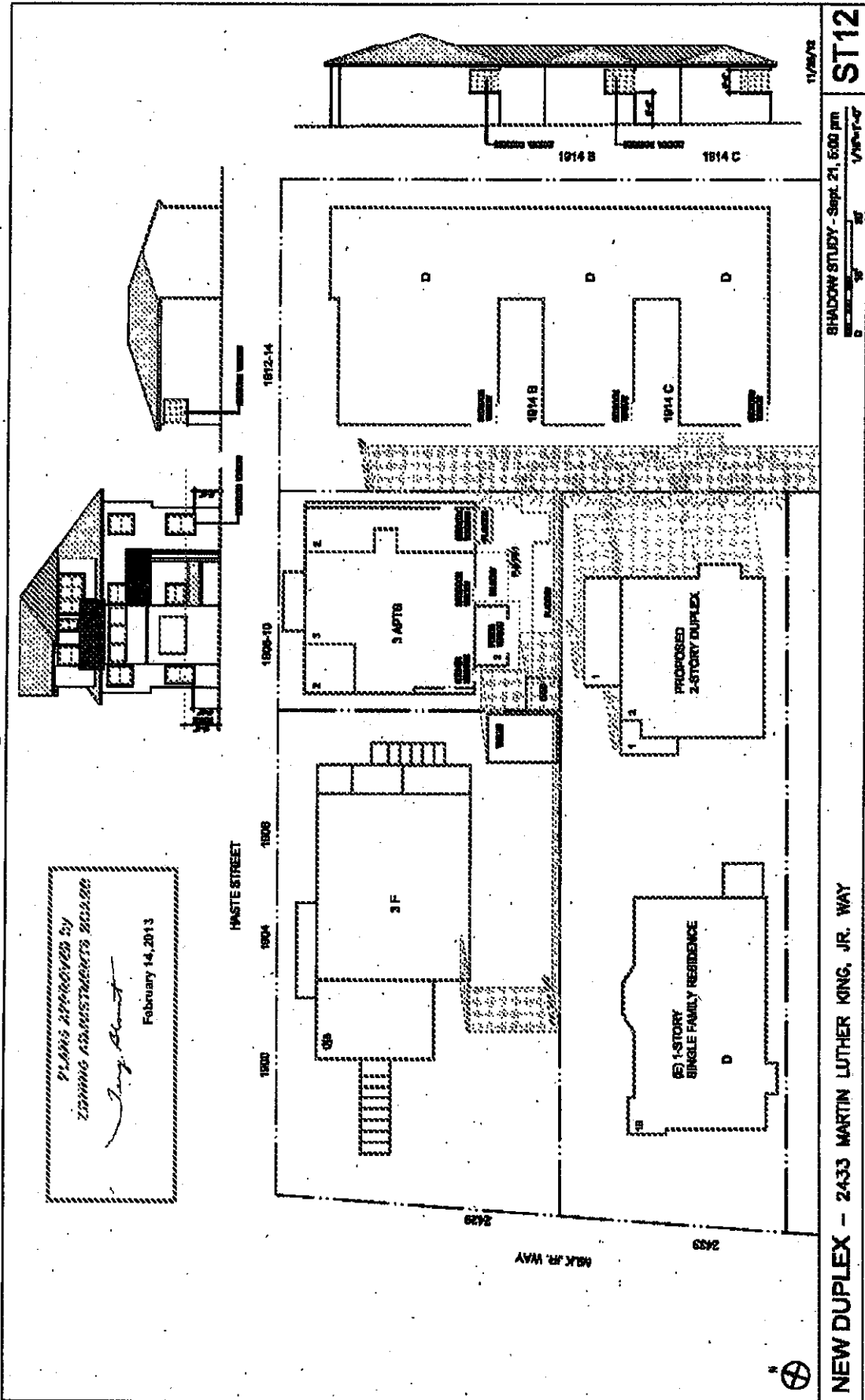
SHADOW STUDY - Sept. 21, 2010  
1/10" = 1'

ST11

Urban Impression - 6000 W. 10th, Suite 100

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ATTACHMENT 2  
TAB 02-14-13  
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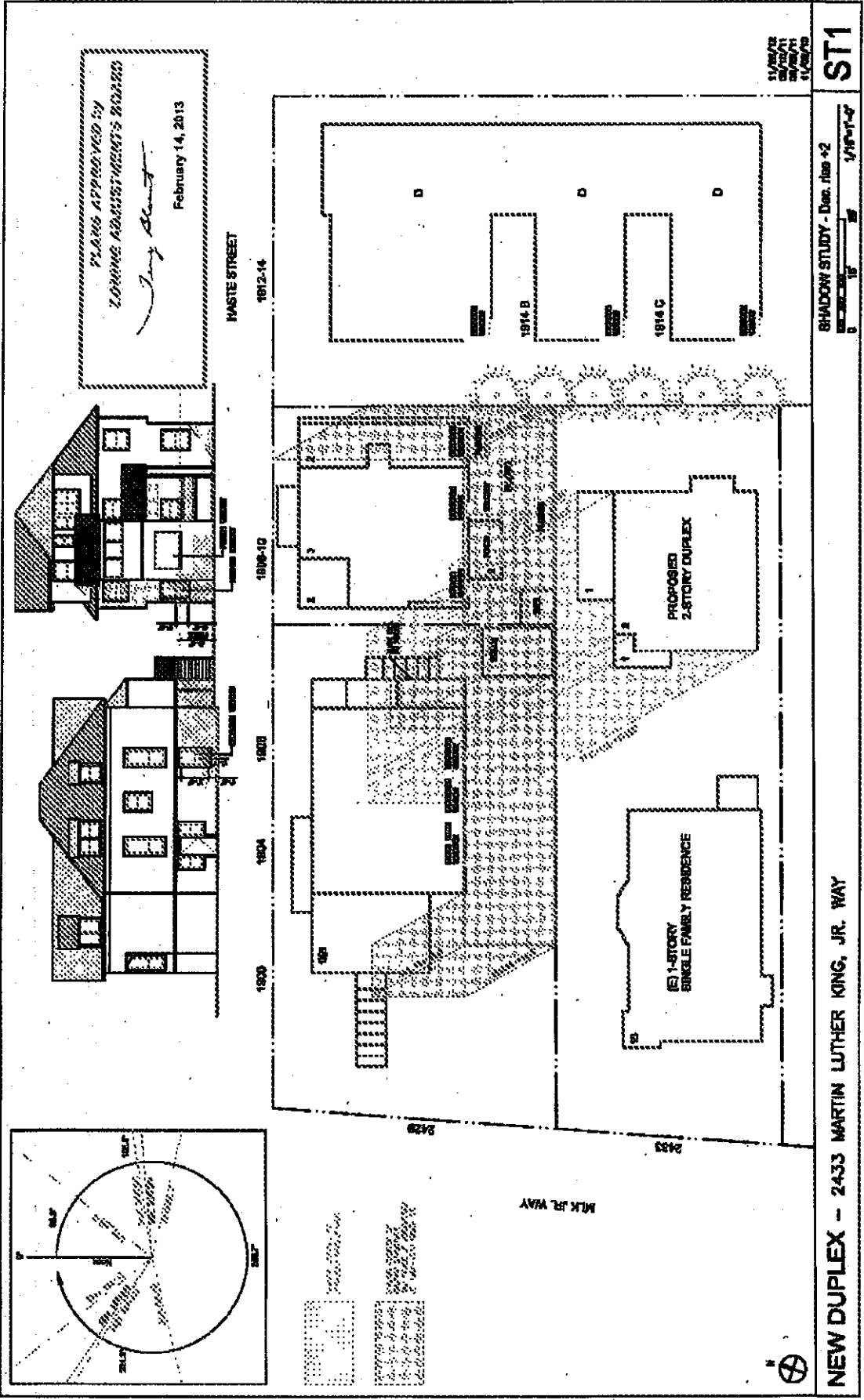


PLANS APPROVED BY  
ZONING ADMINISTRATORS BOARD  
*Jay Hunt*  
February 14, 2013

NEW DUPLEX - 2433 MARTIN LUTHER KING, JR. WAY  
SHADOWY STUDY - Sept. 21, 6:00 pm  
ST12  
11/28/12



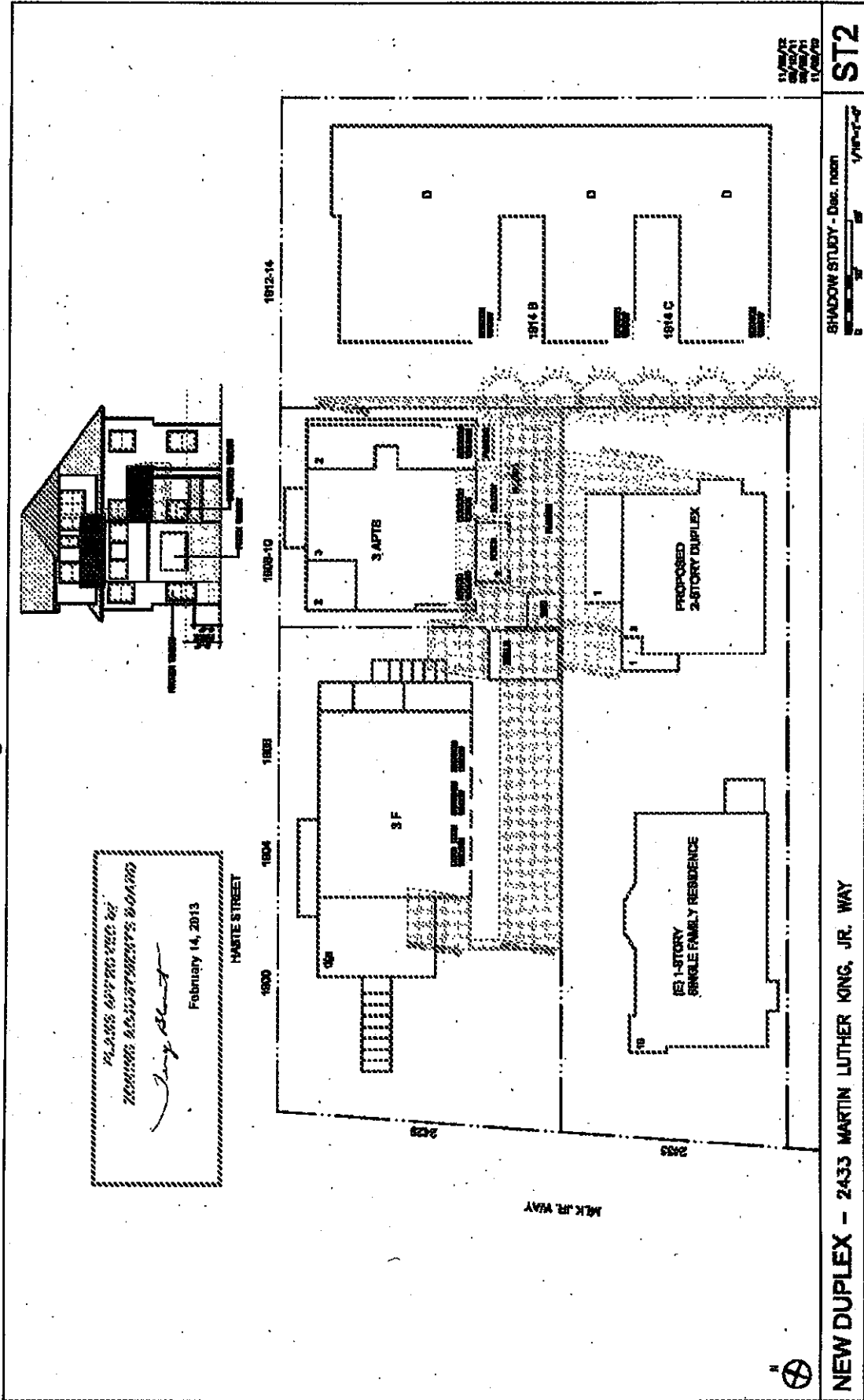
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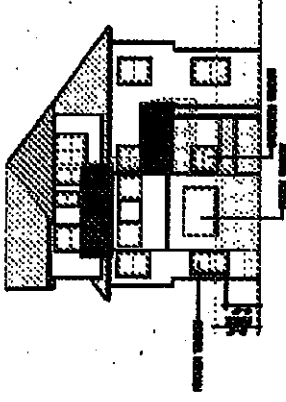
Urban Impression - 315 S. Hill St. Oakland, CA 94612

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ATTACHMENT 2  
2008 02-14-13  
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PLANS APPROVED BY  
ZONING DEPARTMENT BOARD  
*Jerry Albert*  
February 14, 2013



ST2

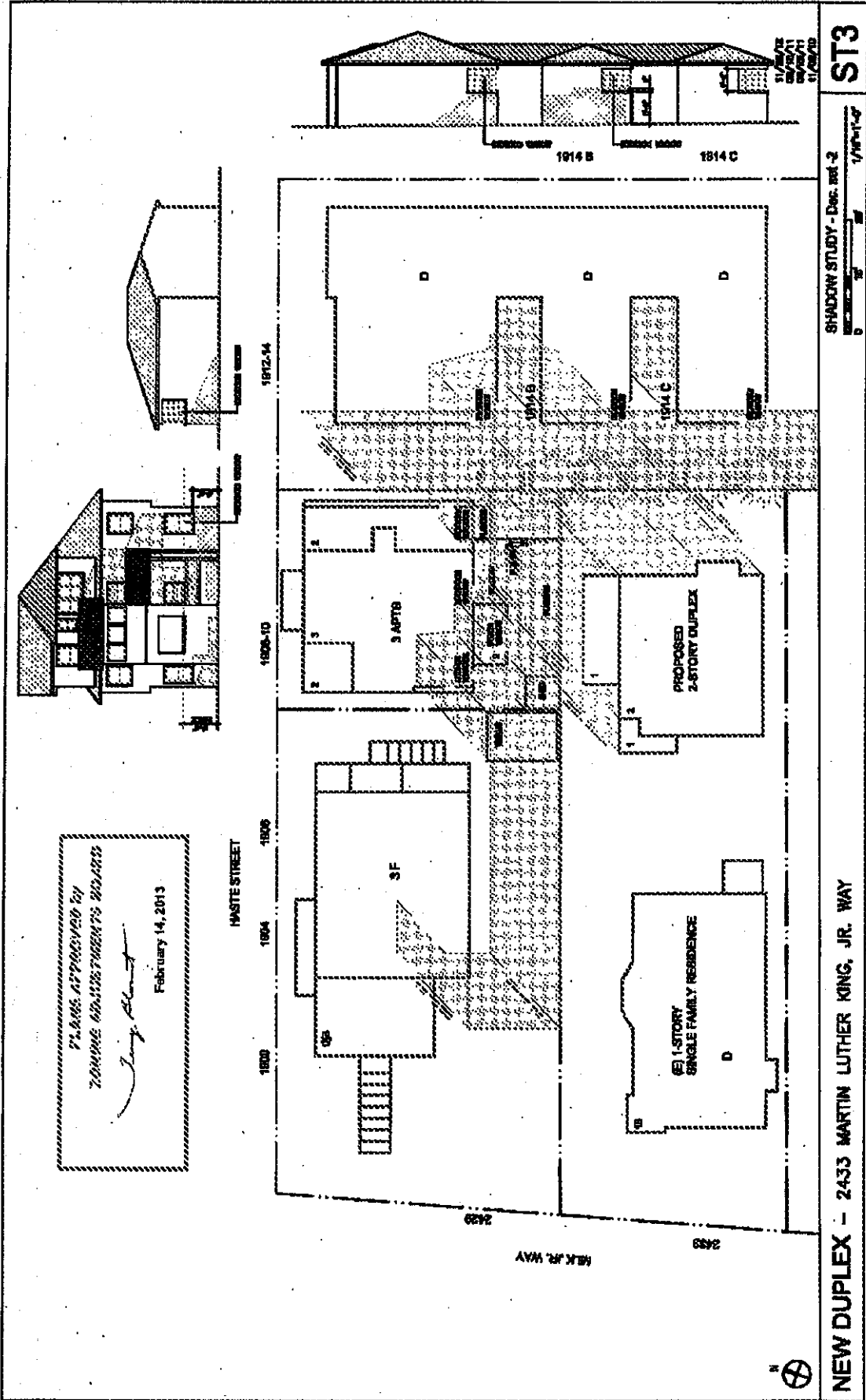
SHADOW STUDY - Dec. noon  
1/16\"/>

NEW DUPLEX - 2433 MARTIN LUTHER KING, JR. WAY

Urban Impression - 525 W. 5th St. - 4th Floor

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2013 FEBRUARY 2  
2:00 PM  
2013 FEBRUARY 14

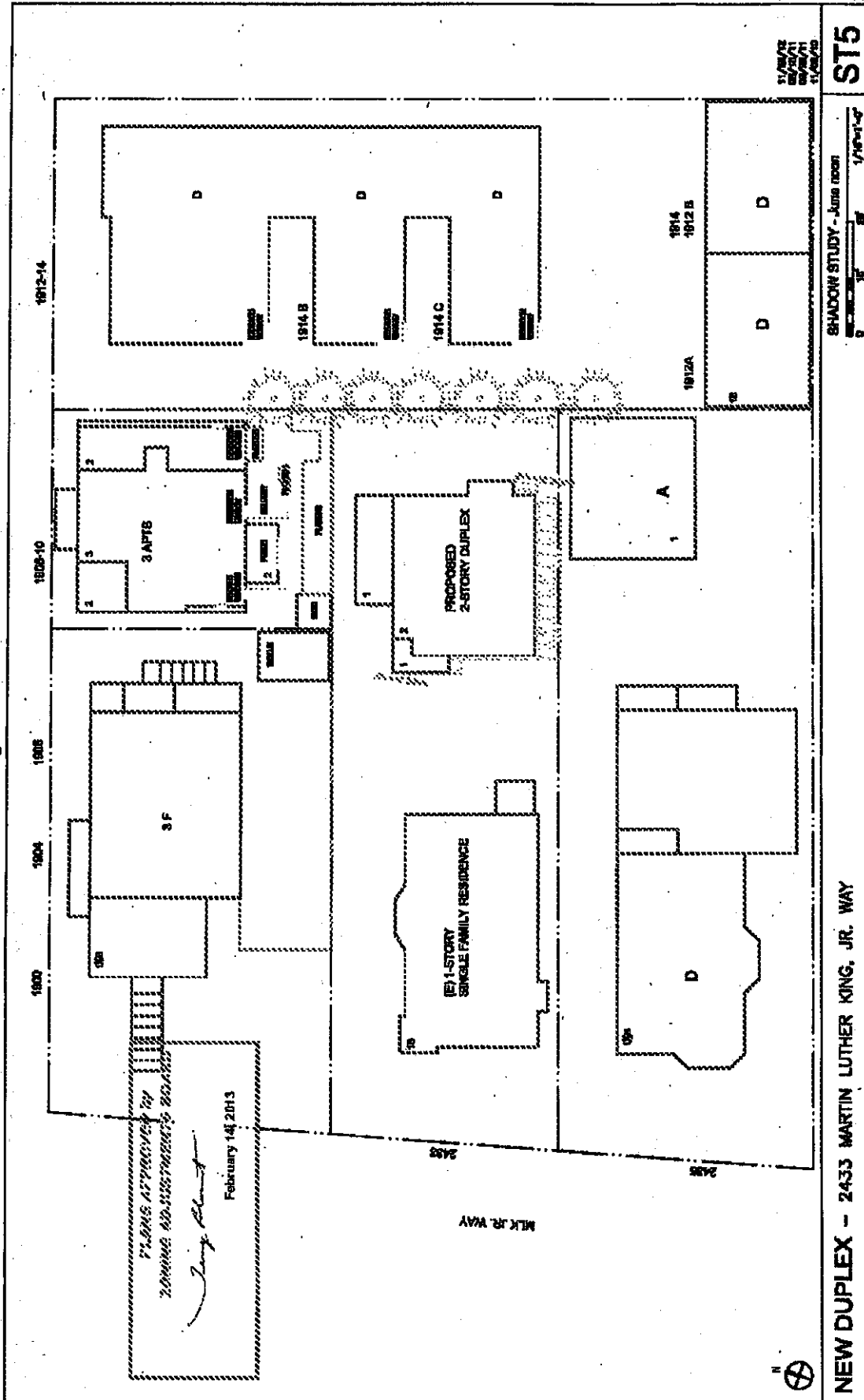


NEW DUPLEX - 2433 MARTIN LUTHER KING, JR. WAY



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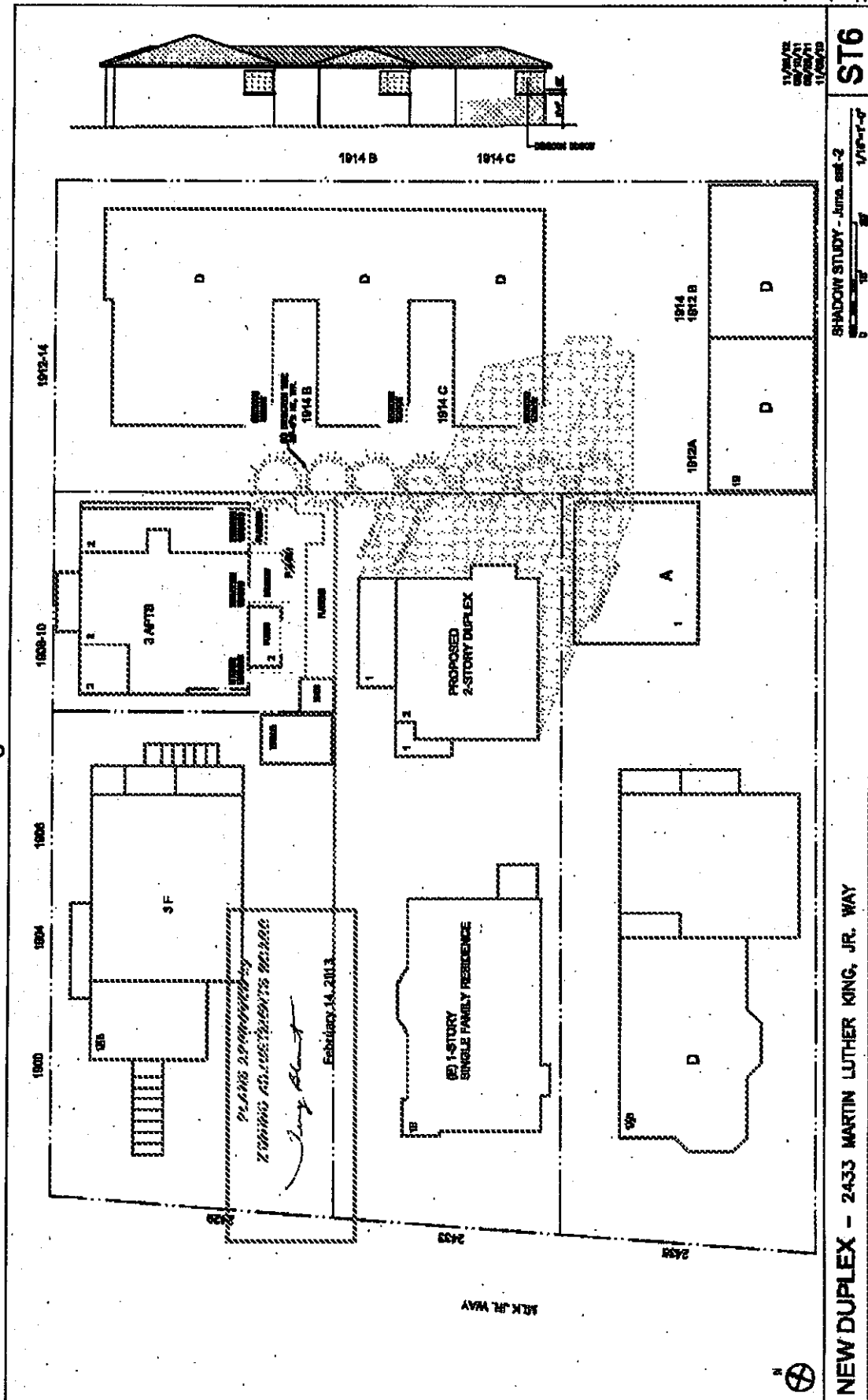
ATTACHED SHEETS 2  
2028 02-24-13  
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UPPER PORTION - FROM THE ST. CHARLES ROAD

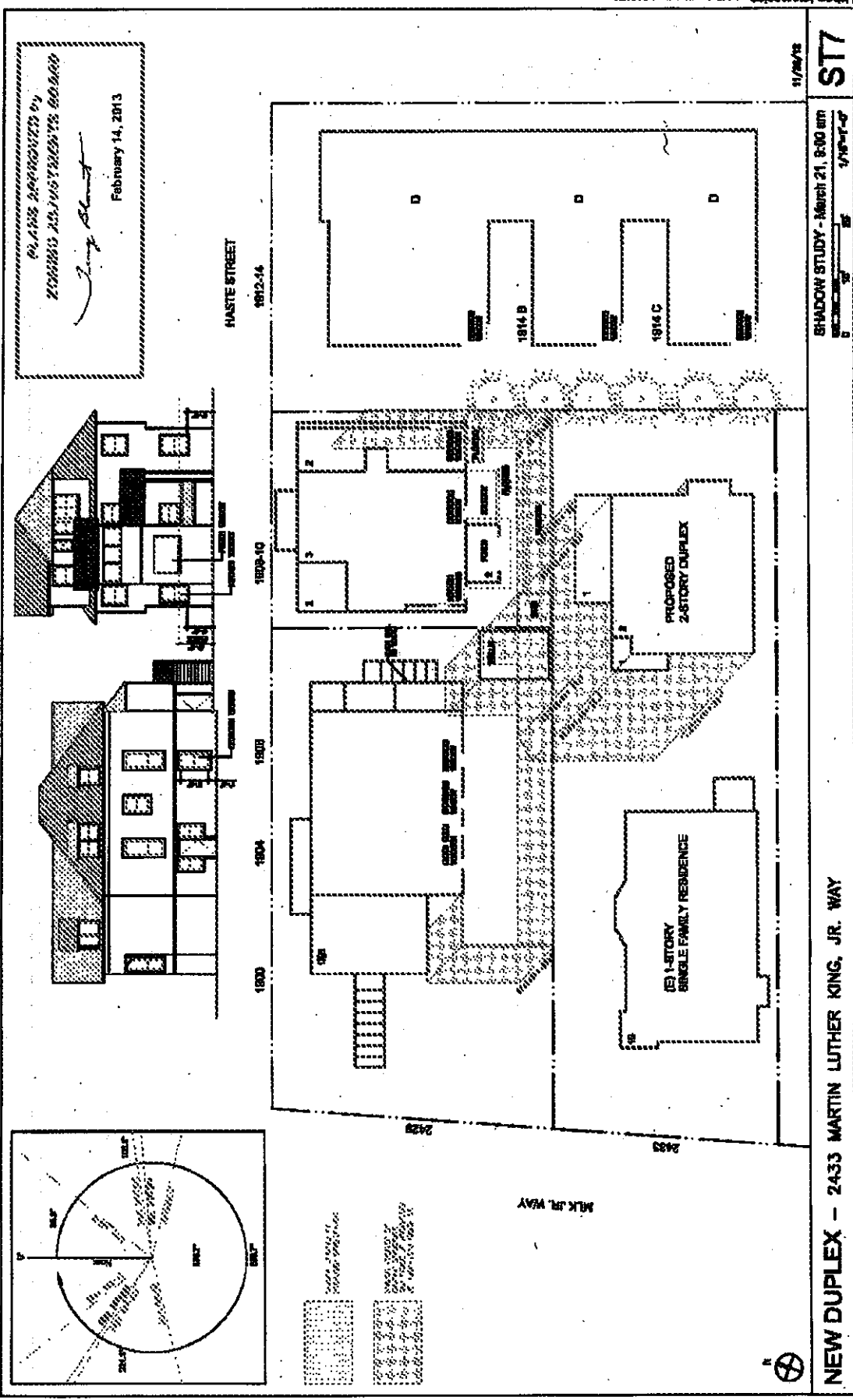
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ATTACHMENTS 2  
2023-02-28-23  
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ATTACHMENT 2  
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11/20/12

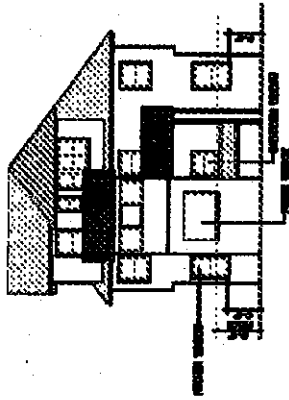
ST7  
 SHADOW STUDY - March 21, 8:00 AM  
 1/8" = 1'-0"

NEW DUPLEX - 2433 MARTIN LUTHER KING, JR. WAY

Urban Impression - 815 S.W. 10th St., Miami, FL 33135

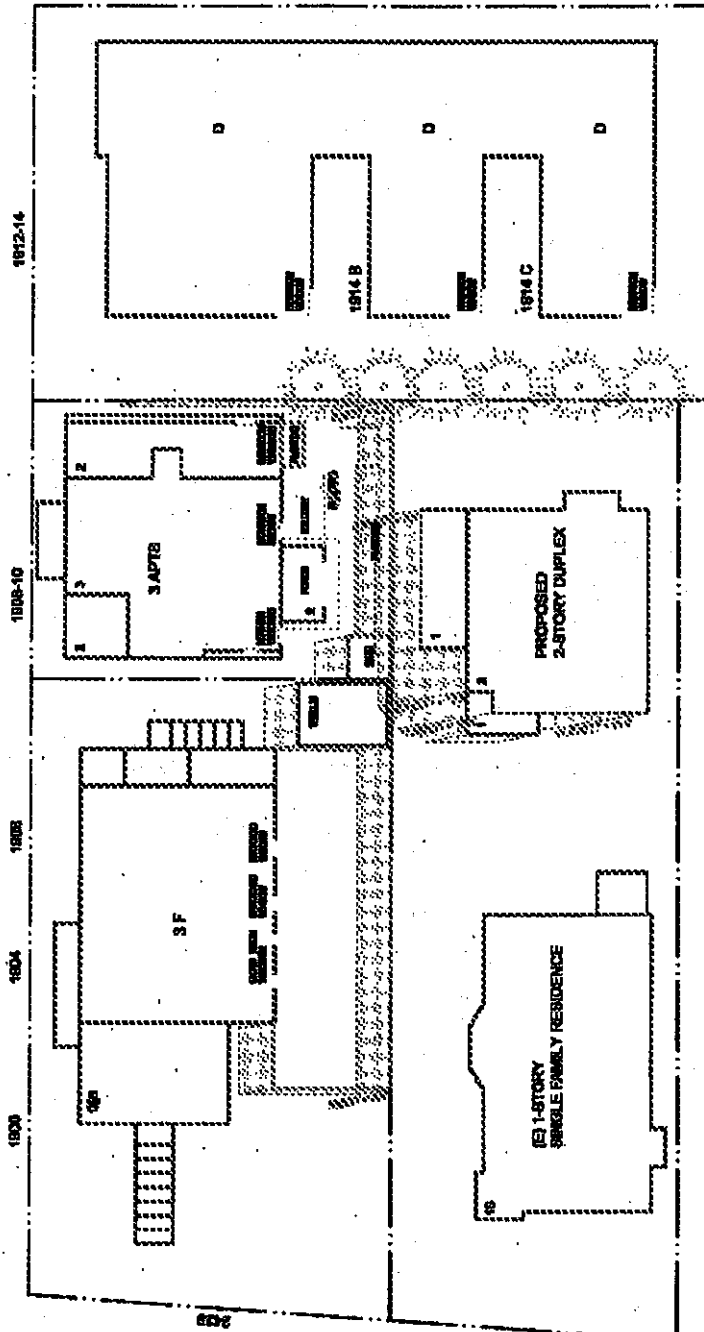
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ATTACHMENT 2  
2025 02-14-13  
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PLANS APPROVED BY  
ZONING ADMINISTRATOR'S OFFICE  
*[Signature]*  
February 14, 2013

MARTE STREET



NEW DUPLEX - 2433 MARTIN LUTHER KING, JR. WAY

SHADOW STUDY - March 21, noon  
1/16" = 1'

11/26/12  
ST8

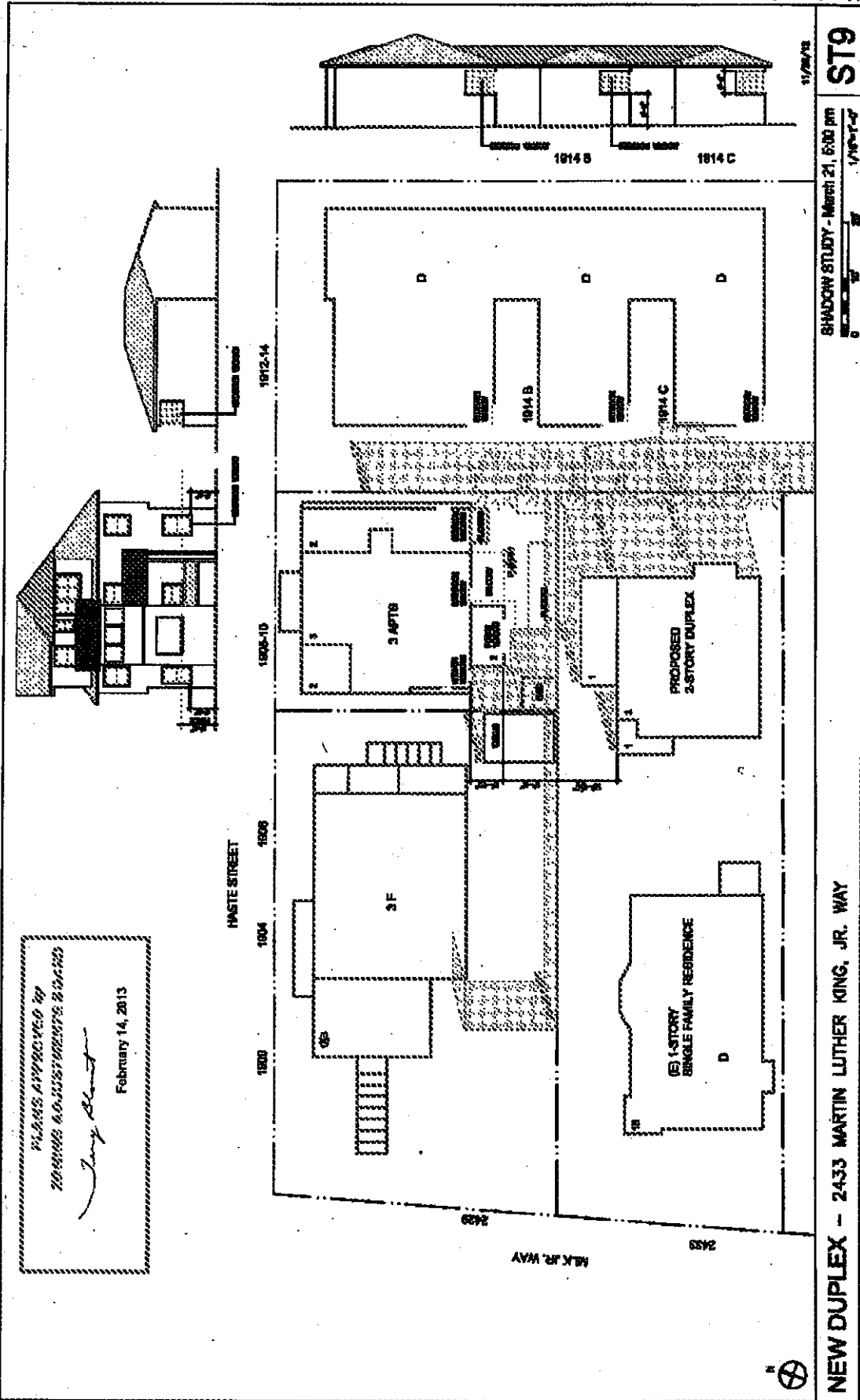
Urban Impression - 4125 Ave. St. Charles, CA 94024



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ATTACHED SHEET 2  
2013 02-14-13  
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PLANS APPROVED BY  
ZONING ADJUSTMENTS BOARD  
*July Dent*  
February 14, 2013



NEW DUPLEX - 2433 MARTIN LUTHER KING, JR. WAY

SHADOW STUDY - March 21, 6:00 pm  
1/8" = 1'-0"

ST9

Urban Impression - 428 Ave. Cl. Clark, Chicago

# Exhibit B - Approved Plans

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ATTACHMENT  
2/10/13  
10:04:10



### Revised Applicant Statement 2433 Martin Luther King Jr. Way, Berkeley

The proposed project parcel is located in an R-4 zone. The project site has currently a one story single family dwelling sitting close to the front of the lot. The building is a two bedroom, two baths, wood frame structure which was fully renovated with structural upgrades in 2009.

The proposed 1,552 square feet, two-story duplex is residential in nature, and compatible with the surrounding pattern of infill developments.

The materials, texture, as well as the visual appearance of scale of the proposed project are similar to the surrounding neighborhood, which consists mostly of two to three-story residential developments. The design of the proposed building is consistent with the architectural style of the neighborhood.

The proposed duplex is placed in the rear portion of the lot; the proposal breaks up the building into moderately scaled volumes and utilizes balcony and bay windows to break up unarticulated walls and building volumes that rise straight up from the surrounding grade. The proposal provides detailing, articulation, that mitigate any bulks created by the building height.

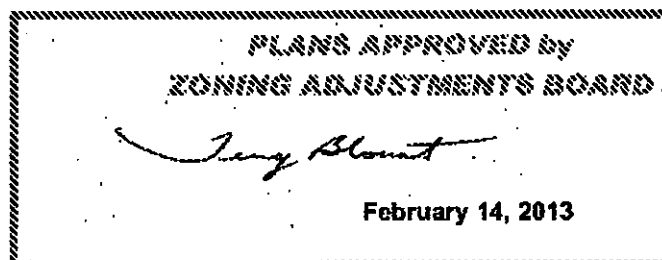
With consideration of impacts to the abutting residential buildings on the north side of the lot, and after meetings and mediations with the neighbors, the design has been revised a number of times. The setback of the second story portion of the building along that side is increased from 4'-1 1/2" to 10'-7 1/2" from the property line; and the building height is reduced from 18'-8" to 16'-4" from the previous design to mitigate the shadows casting onto the north abutting lots. As a result, the project would not cast shadows onto the bedroom windows on the property to the north at 1908-1910 Haste Street. The project would create new shading that would hit the dense trees of the west-side abutting 3-units apartments at 1912-1914 Haste Street. Even when the tree's own shadows are not in the equation, the building shadows would only impact one of the windows by 10% during noon to 2 hours before sunset in December. During the time from 2 hours after sunrise to noon in December, the shading would not affect any windows.

As recommended by the ZAB board during the ZAB meeting in Nov. 2012, a shadow study is conducted for the months of March and September to determine if the proposed building will create shadows onto the garden of abutting neighbor at 1908-1910 Haste Street. The study confirms that there is no shadows will affect the said garden from March to September months.

The proposed windows primarily oriented towards the subject property's front and rear yards to minimize any privacy impacts to the abutting neighbors. Viewing angles from within the proposed building into adjacent neighbor's back and side yards are limited by high sill windows.

The proposed design conforms in all significant aspects with the Berkeley General Plan. And the proposed design will be of a quality and character which harmonizes with the neighborhood and services to protect and preserve the value of private and public investments in the area.

Minxi Liu-Project architect  
Urban Impression  
January 8, 2013





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**PLANNING & DEVELOPMENT**

Land Use Planning, 2120 Milvia Street, Berkeley, CA 94704  
Tel: 510.981.7410 TDD: 510.981.9603 Fax: 510.981.7420 Email: [Planning@pl.berkeley.ca.us](mailto:Planning@pl.berkeley.ca.us)

**TABULATION FORM**

Project Address: 2433 Martin Luther King Jr. Way Date: 01/08/13  
Applicant's Name: Minxi Liu  
Zoning District: R-4

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		Existing	Proposed	Permitted/ Required
<b>Units; Parking Spaces</b>		<i>Jung Blount</i> February 14, 2013		
Number of Dwelling Units	(#)			3
Number of Parking Spaces	(#)			3
<b>Yards and Height</b>		15'-3"	15'-3"	5'-0"
Front Yard Setback	(ft.)			2'-0"
Side Yard Setbacks: (facing property)	Left: (ft.)	11'-1 1/2"	4'-1 1/2"	4'-0"
	Right: (ft.)	1'-9"	4'-1 1/2"	4'-0"
Rear Yard Setback	(ft.)	65'-6"	15'-0"	15'-0"
Building Height*	(# Stories)	1	2	3
Average*	(ft.)	16'-0"	19'-5 1/4"	28'-0"
Maximum*	(ft.)	22'-0"	21'-5 1/2"	35'-0"
<b>Areas</b>		5,207	5,207	5,000
Lot Area	(SqFt.)			
Gross Floor Area*	(SqFt.)	1,080	1,551	
Total Area Covered by All Floors				
Building Footprint*	(SqFt.)	1,080	810	2,082
Total of All Structures				
Lot Coverage*	(%)	20.7%	36.29%	45%
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	3,273	992	600
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)				

\*See Definitions - Zoning Ordinance Title 23F.

Revised: 09/02  
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