



Planning and Development Department  
Land Use Planning Division

# A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE  
Berkeley Municipal Code, Title 23

**AUP #13-2000059**

Property Address: **2119 GRANT STREET**

Permittee Name: **DHARAM PAUL**

Use and/or Construction Permitted: to legalize the conversion of a garage into habitable space, construct an approximately 55 sq. ft. addition to the accessory structure for storage, sink, and water closet and to locate the required one uncovered off-street parking space in the side yard pursuant to:

- Section 23D.08.A to allow an accessory building containing habitable space.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on June 13, 2013.

Attest: Terry Blount  
Terry Blount, AICP, Principal Planner  
For Debbie Sanderson, Zoning Officer

June 13, 2013  
Effective Date

# ATTACHMENT 1

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## FINDINGS AND CONDITIONS

MAY 23, 2013

### 2119 Grant Street

#### Administrative Use Permit #13-20000059

**To legalize the conversion of a garage into habitable space, construct an approximately 55 sq. ft. addition to the accessory structure for storage, sink and water closet and to locate the required one off-street parking space in the side yard.**

#### CEQA FINDINGS

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1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15303 of the CEQA Guidelines ("New Construction or Conversion of Small Structures"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

#### FINDINGS FOR APPROVAL

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2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
  - As required under Section 23D.08.A, the legalization of the garage conversion to an office space and construction of approximately 55 sq. ft. addition for storage, sink, and water closet is expected to create little or no privacy impacts to the abutting and confronting neighbors, and is therefore found to be non-detrimental given that:
    - 1) The building is oriented towards the owner's rear yard;
    - 2) Building Separations and proximities to adjacent neighbors are greater than the district standards for main buildings, and is therefore found to be adequate; and
    - 3) The building will be used for as an office with a bathroom, a relatively quiet use.

- As required under Section 23D.12.080 (Site Location and Screening of Uncovered Parking Spaces), the proposed required off-street parking space, located in the rear yard, is constructed of a permeable surface, is outside of required setbacks and is separated from the interior side lot line by a vegetative screening.
- The accessory structure has an average height of 9'10" (Section 23D.08.020), meets the setback requirements for accessory buildings or structures (Section 23D.08.030), is 18'9" in length (Section 23D.08.050), and is therefore permissible.
- The proposed off-street space has been reviewed and approved by the City's Office of Transportation.
- The project is subject to condition #12 that requires that a "Notice of Limitation of Use" be placed on the deed to the property. Such deed restriction will prohibit the accessory building from being used as a dwelling unit and restrict the extent of interior renovations (see conditions of approval below).

## **STANDARD CONDITIONS**

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The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

### **1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

### **2. Applicant Responsible for Compliance with Conditions**

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

### **3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)**

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

### **4. Modification of Permits (Section 23B.56.020)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

### **5. Plans and Representations Become Conditions (Section 23B.56.030)**

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

### **6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)**

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

**7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)**

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

**8. Exercise and Lapse of Permits (Section 23B.56.100)**

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

**9. Indemnification Agreement**

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

**ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER**

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

**Prior to Submittal of Any Building Permit:**

- 10.** The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

- 11.** The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths

- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

**Prior to Issuance of Any Building Permit:**

12. All owners of record of the subject property shall sign and record with the Alameda County Clerk-Recorder a "Notice of Limitation on Use of Property" (available from Land Use Planning Division) and provide a recorded copy thereof to the project planner. This Notice of Limitation shall stipulate that no part of this accessory building shall be used or converted to use a dwelling unit unless and until permission is requested of the City of Berkeley and authorized a Use Permit, Administrative Use Permit, or Zoning Certificate, whichever is applicable. This limitation shall include the explicit acknowledgment that no shower, tub, or kitchen facilities may be installed in this habitable accessory building. This limitation may not be revised or removed from this property without the prior written permission of the Zoning Officer of the City of Berkeley.
13. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.

**During Construction:**

14. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
15. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
16. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.

17. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
18. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
19. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
20. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
21. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
22. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
23. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.


**Prior to Issuance of Occupancy Permit or Final Inspection:**

24. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
25. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **APRIL 30, 2013**.

**At All Times (Operation):**

26. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
27. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

- 28.** Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood.

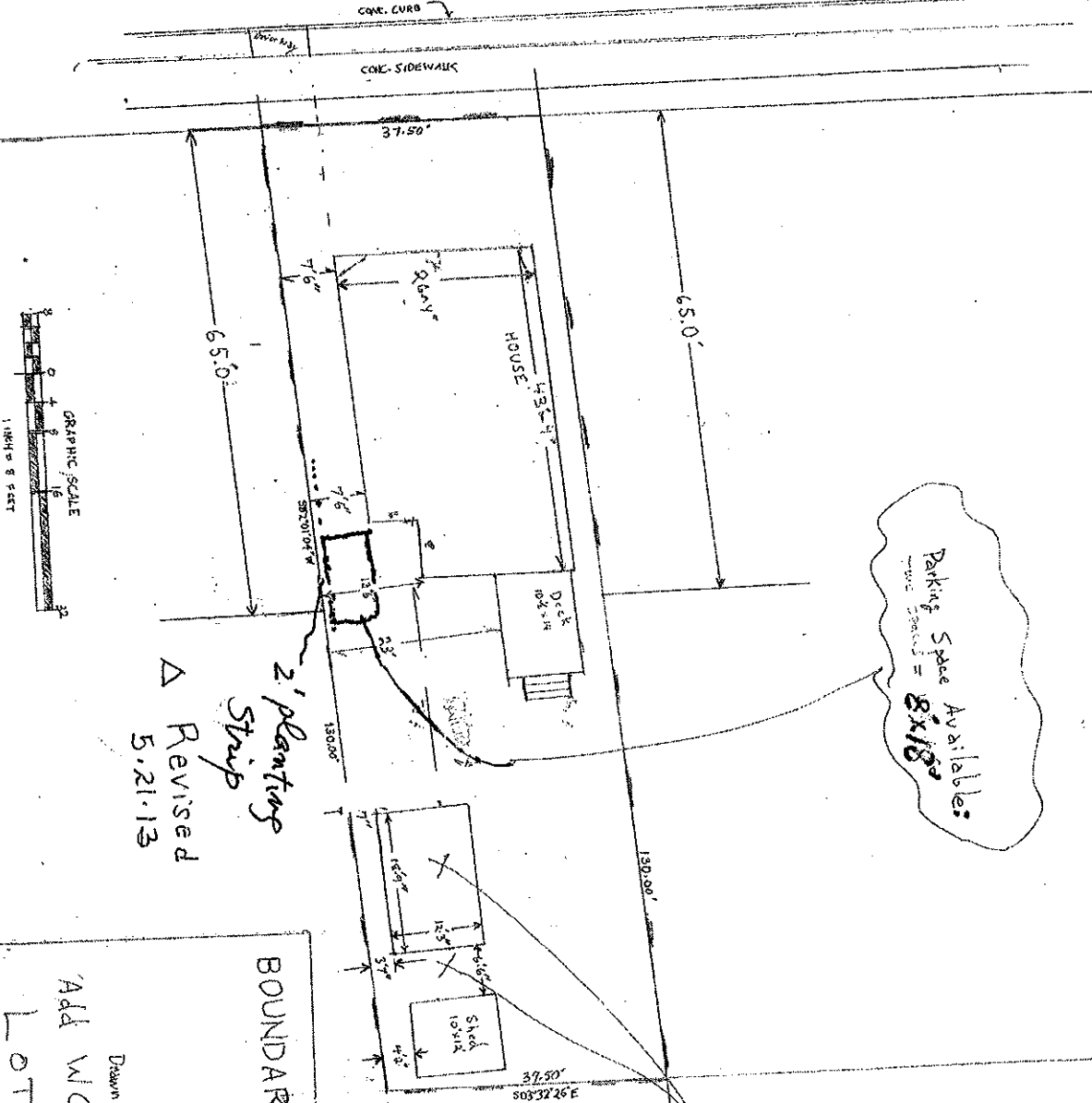


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Prepared by Pamela Johnson, Assistant Planner for  
Debra Sanderson, Zoning Officer



GRANT STREET



Parking Space Available:  
New Spaces = 8x18'

Accessory Building Address:  
Half Bath and closet addition,  
Average eave height 9'-10"  
Average eave height 11'-6" = 10'-9"  
Addition: less than 100 sq ft

APPROVED PLAN 5.21.13  
 PLANING DATE  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached

RECEIVED

APR 30 2013

LAND USE PLANNING

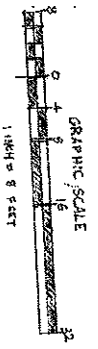
BOUNDARY SURVEY

LOT 1B, BLOCK 2  
 MCGEE TRACT  
 LOCATED AT 2179 GRANT STREET  
 BERKELEY, CALIFORNIA  
 APRIL, 2013  
 SCALE 1" = 8'

Drawn by MARK INNES  
 Add WC to Accessory Building  
 Lot Plan w Bldgs

1/5

2' planting strip  
 Revised  
 5.21.13



GRANT STREET

CORR. CURB

CONC. SIDEWALK

37.50'

DRIVE WAY

HOUSE  
2119 Grant Str.

Deck  
6' x 8'

Sewer  
Extension  
for  
Deck  
and  
House

Vertical Sewer Extension

Grade Difference  
for  
extension  
is  
20 inches

SECTION W

130.00'

Existing  
Accessory  
Building

5:3  
W

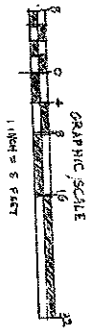
Shed  
10' x 10'

37.50'

50° 32' 26"

Proposed  
Extension  
for  
Deck  
&  
House  
W.C., Vent & Grease

property line

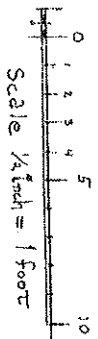
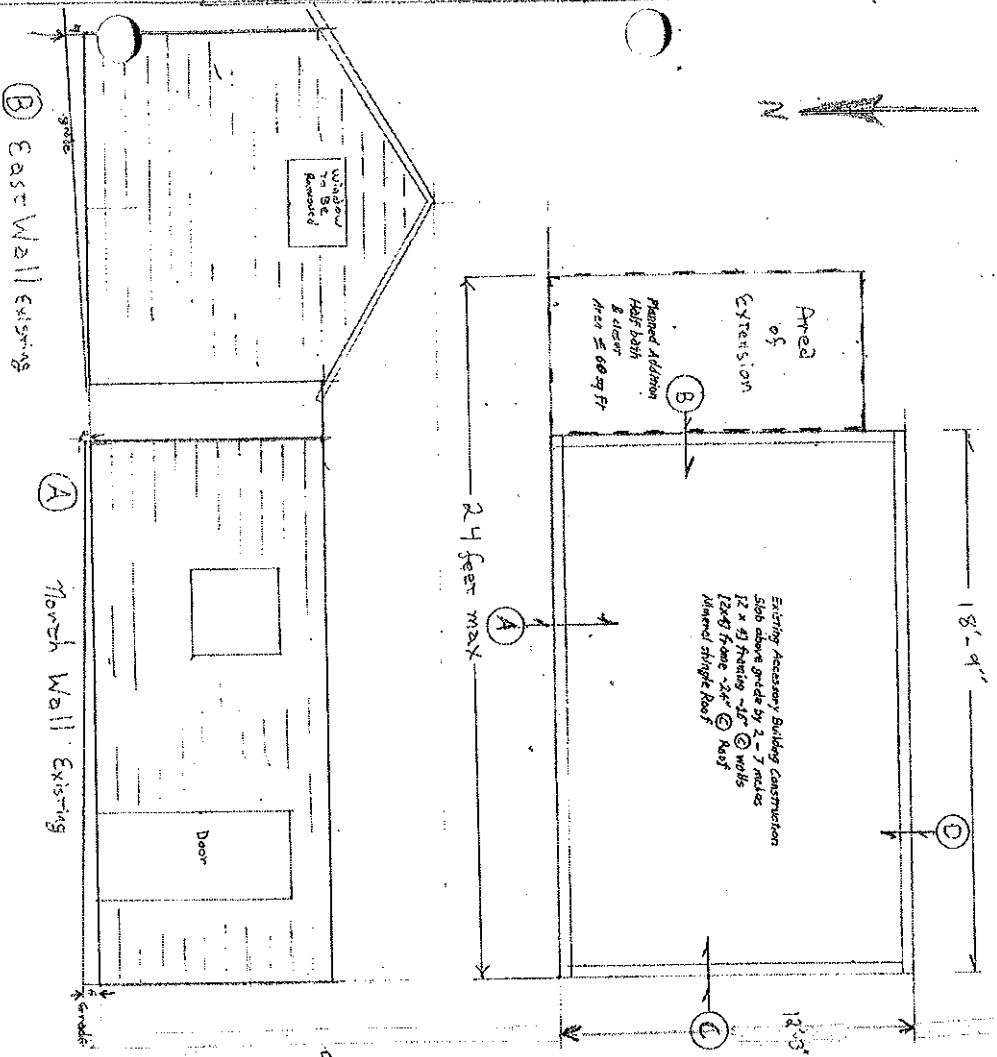


LOT 18 Block 2  
MCGEE TRACT  
LOCATED AT 2119 GRANT STREET  
BERKELEY CALIFORNIA  
SCALE 1" = 5'  
15 APRIL, 2012  
Drawn by MARK INNES  
SIO 993 8210  
LOT PLAN Showing Sewer lateral Extension

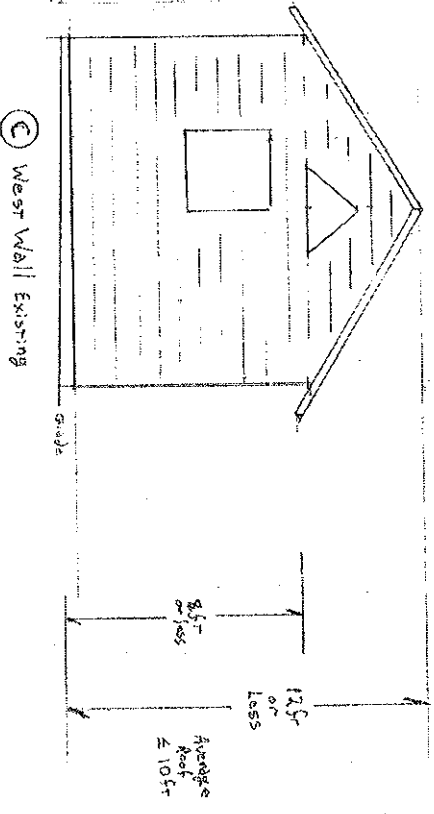
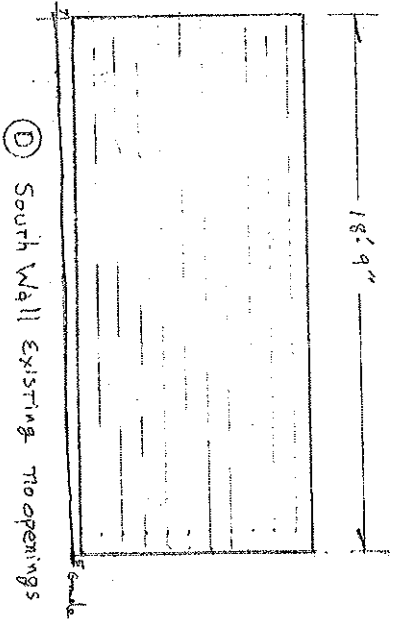
2/5

APPROVED PLAN	5.21.13
DATE	
PLANNING	
DDP Conditions Attached	<input type="checkbox"/>
AUP Conditions Attached	<input type="checkbox"/>
UP Comments Attached	<input type="checkbox"/>





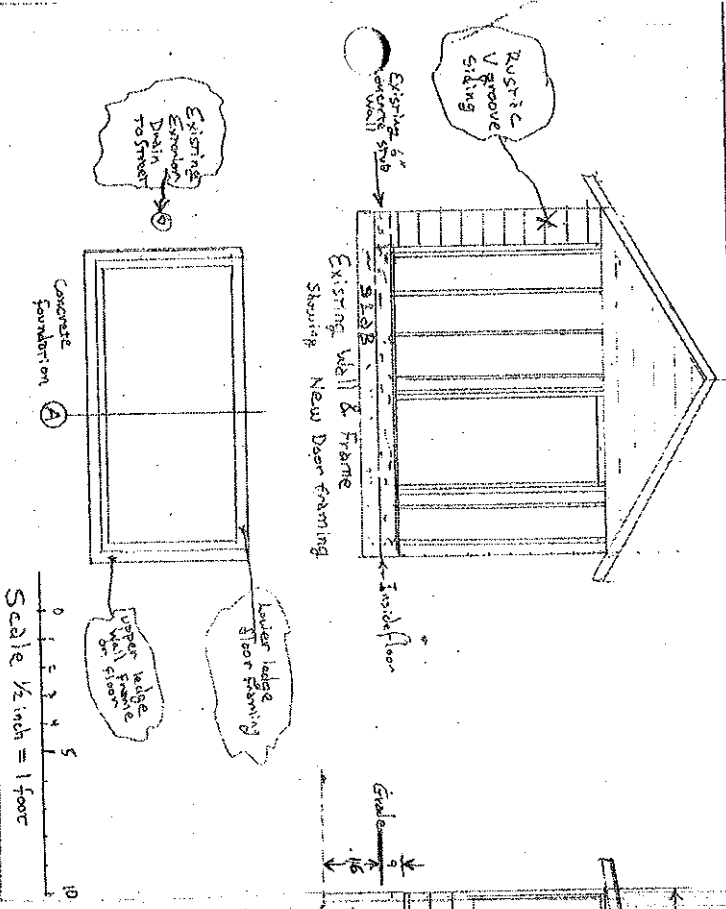
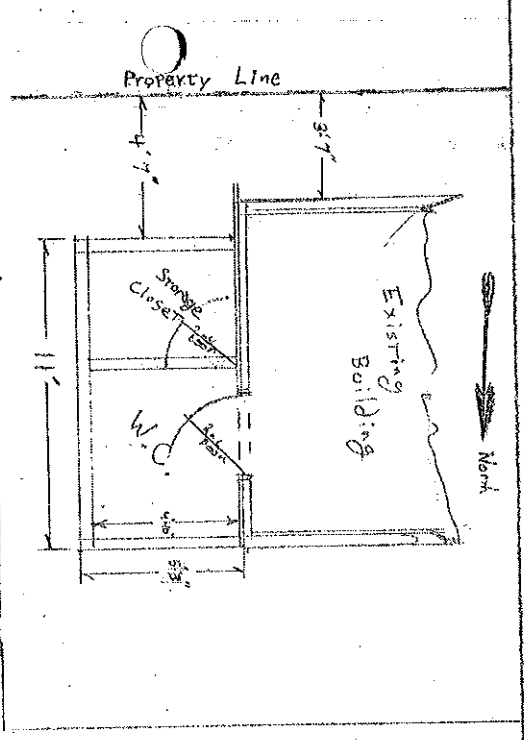
APPROVED PLAN	5.21.13
PLANNING	DATE
<input type="checkbox"/> D.R. Conditions Attached	
<input type="checkbox"/> A.U.P. Conditions Attached	
<input type="checkbox"/> U.P. Conditions Attached	



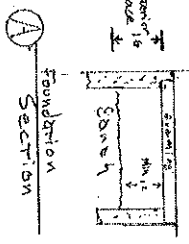
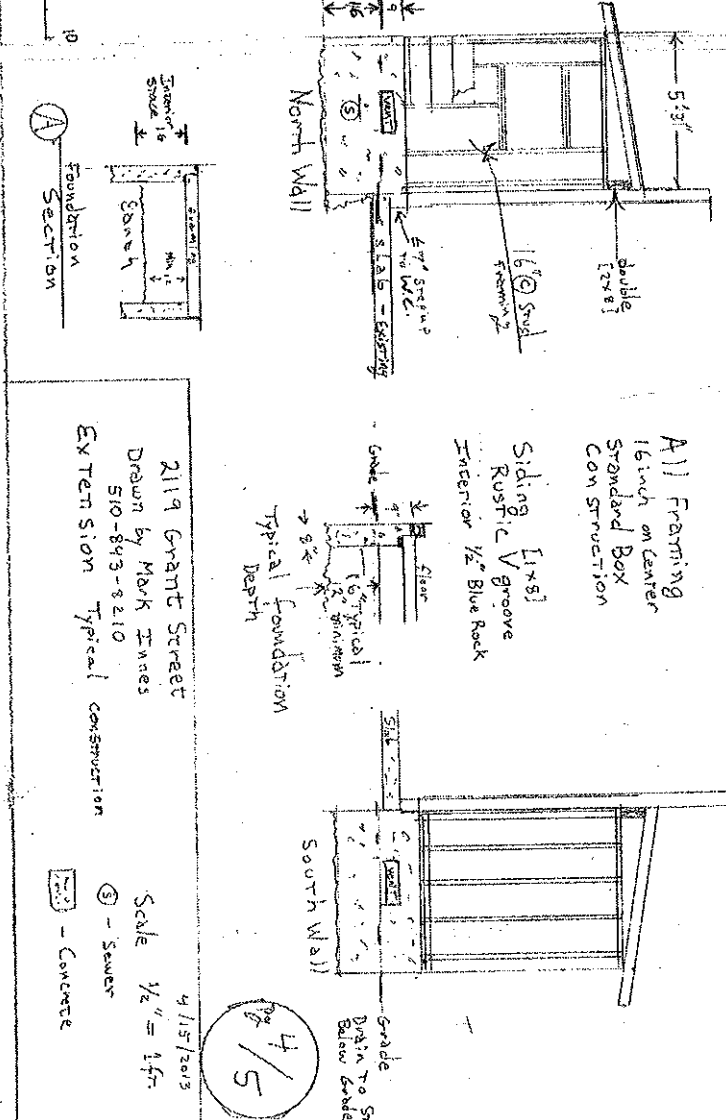
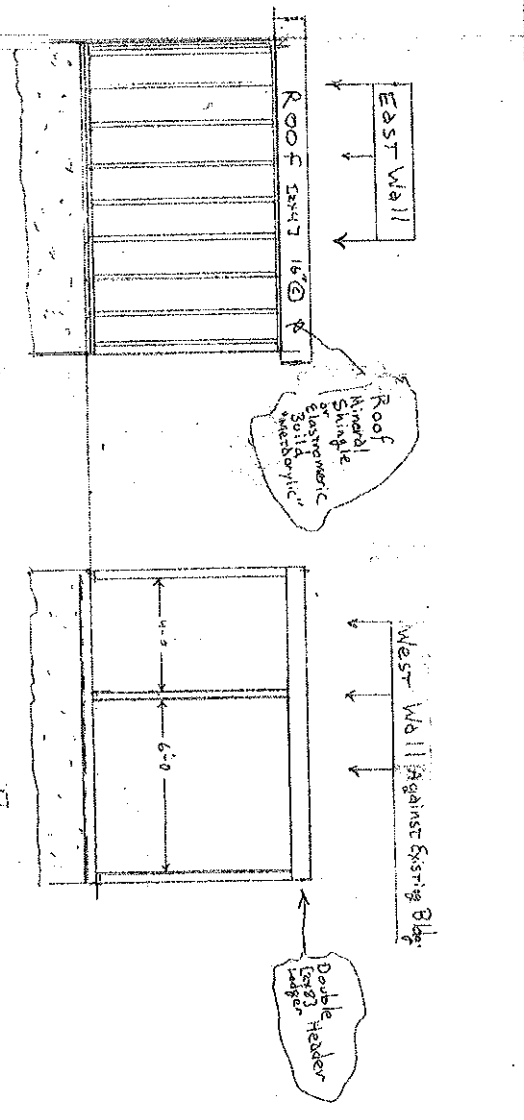
2119 Grant St Berkeley CA 4/15/2013  
 Drawn by Mark Innes 510 843 8210  
 Existing Accessory Building w/ Area of Extension

13/5

APPROVED PLAN 5.21.13  
 DATE  
 PLANNING DMJ  
 P.R. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached

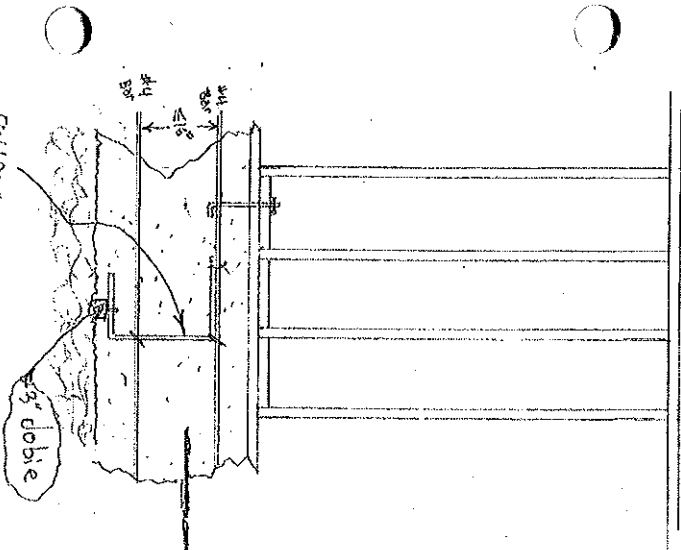


Scale 1/2 inch = 1 foot



2119 Grant Street  
 Drawn by Mark Innes  
 S10-843-8210  
 EXTENSION Typical construction  
 4/15/2013  
 Scale 1/2" = 1'-0"  
 ③ - Sewer  
 [Symbol] - Concrete

Typical Wall Forming  
 [2x4] Box Construction  
 Double Floor Shaded  
 16" Centers



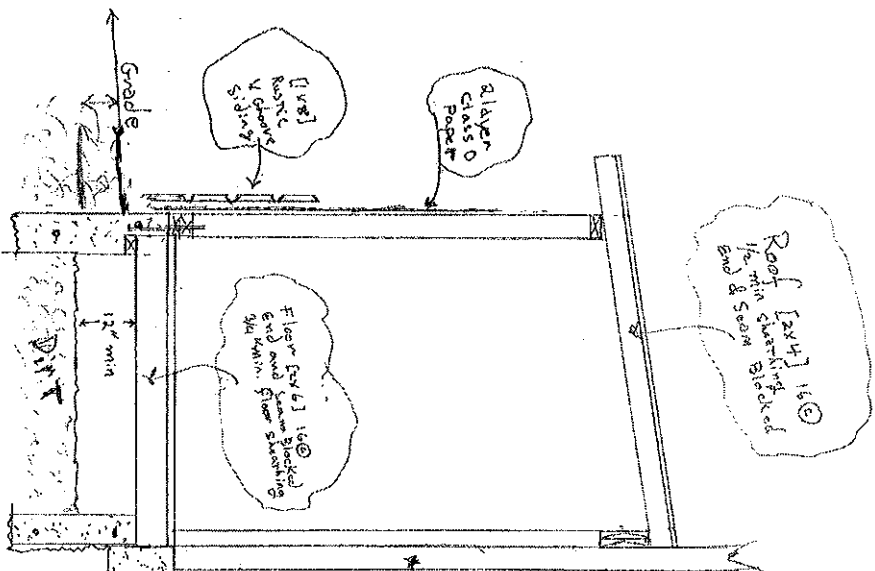
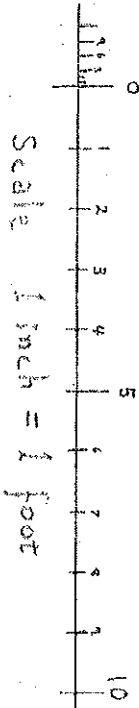
Field Beant  
 #4 Rebar  
 @ 16 inch



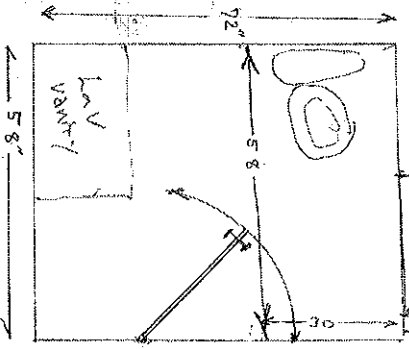
= Earth



= Concrete



Existing Building



APPROVED PLAN	5.21.13
DATE	
PLANNING	
<input type="checkbox"/> D.R. Conditions Attached	
<input type="checkbox"/> A.U.P. Conditions Attached	
<input type="checkbox"/> U.P. Conditions Attached	

All Construction Complies  
 2010 California Building Codes  
 2010 Calif Electric Codes  
 2010 Calif Plumbing & Mechanical Codes

2119 Grant St. Berkeley  
 Drawn by Mark Innes SIO-843-S210  
 CONSTRUCTION Detail EXTENSION

4/24/13

5/5