



Planning and Development Department  
Land Use Planning Division

# A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE  
Berkeley Municipal Code, Title 23

**AUP #13-2000028**

Property Address:

**2502 CALIFORNIA STREET**

Permittee Name:

**JOHN NEWTON**

Use and/or Construction Permitted: to construct a two-story, approximately 619 square foot major residential addition that will increase the average height of the residence from 11' 4" to 21' 3", increase the maximum height from 14' 6" to 22' 5" and vertically extend the existing non-conforming front yard (8' 8" where 20' is required) pursuant to:

- Section 23D.28.030 to construct a residential addition greater than 600 square feet;
- Section 23D.28.070 to construct a residential addition greater than 14' in average height; and
- Section 23C.04.070 to vertically extend a portion of a building within a required yard.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on May 8, 2013.

Attest: Terry Blount  
Terry Blount, AICP, Principal Planner  
For Debbie Sanderson, Zoning Officer

May 8, 2013  
Effective Date

# ATTACHMENT 1

## FINDINGS AND CONDITIONS

APRIL 17, 2013

### 2502 California Street

#### Administrative Use Permit #13-20000028

To construct a two-story, approximately 619 square foot major residential addition that will increase the average height of the residence from 11' 4" to 21' 3", increase the maximum height from 14' 6" to 22' 5" and vertically extend the existing non-conforming front yard (8' 8" where 20' is required).

#### CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

#### FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
  - As required under Section 23D.28.090.B (Findings), the Zoning Officer finds that the project should not be denied because the proposed addition would not unreasonably obstruct sunlight, air, or views, because it would not cast new shadows on the windows or a substantial area of open space of adjacent residences. The addition remains well outside of the required side and rear yards, and is located within the general footprint of the existing dwelling in an area that is already developed with substantial vegetation that also filters views.
  - As required under Section 23D.28.070 (Development Standards), this project is permissible because the subject property satisfies the district standards for

maximum residential density, maximum main building height, minimum rear, and side yard setbacks, maximum lot coverage and minimum open space.

- As required under Section 23D.28.080 (Parking), the project would not increase parking demand and existing parking is provided in accordance with the minimum requirement.
- As required under Section 23C.04.070 (Expansions of Non-Conforming Buildings and Structures), the project is permissible because the alteration will not encroach further into the required front yard.
- As required under Section 23D.08.010.B (Accessory Buildings), the creation of an accessory building at this location is found to be non-detrimental. The structure is located the same location (relative to the side property line) as the existing garage and will increase the height at the side of the structure due to the lowering of the grade. The structure will move towards the rear of the property by six feet, and as this will move the structure further from the dwelling on the adjacent property it is not expected to create any significant impact to the adjacent residence. When finished, the building will have a gabled roof with a maximum height of 12'.

## **STANDARD CONDITIONS**

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The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

### **1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

### **2. Applicant Responsible for Compliance with Conditions**

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

### **3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)**

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

### **4. Modification of Permits (Section 23B.56.020)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

### **5. Plans and Representations Become Conditions (Section 23B.56.030)**

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

### **6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)**

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

**7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)**

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

**8. Exercise and Lapse of Permits (Section 23B.56.100)**

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

**9. Indemnification Agreement**

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

**ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER**

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

**Prior to Submittal of Any Building Permit:**

- 10.** The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

- 11.** The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths

- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

**Prior to Issuance of Any Building Permit:**

12. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.

**During Construction:**

13. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
14. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
15. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
16. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
17. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
18. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
19. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.

20. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
21. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
22. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

**Prior to Issuance of Occupancy Permit or Final Inspection:**

23. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
24. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **MARCH 1, 2013**.

**At All Times (Operation):**

25. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
26. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
27. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood.



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Claudine Asbagh, Assistant Planner for  
Debra Sanderson, Zoning Officer

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Findings\_1319 Carlotta Ave.docx



# RESIDENCE REMODEL & ADDITION

2502 California Street, Berkeley, CA 94703

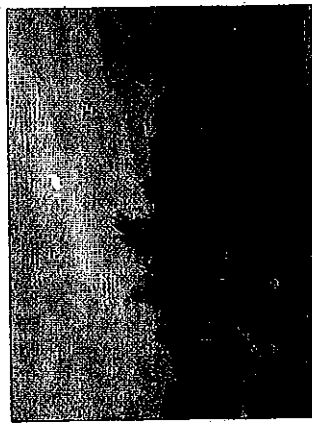
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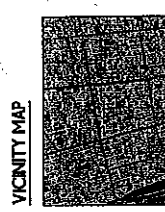
LAND USE PLANNING

### ABBREVIATIONS

AC	ACRYLIC	AD	ADHESIVE	AL	ALUMINUM	AN	ANNEX	AP	APPLY	AR	ARCHITECTURAL	AS	ASBESTOS	AT	ATTACHED	AV	AVENUE	AW	AWNING	AX	AXIS	BA	BATH	BB	BED	BC	BENCH	BD	BEDROOM	BE	BELIEF	BF	BREAKFAST	BG	BREAKFAST ROOM	BH	BREAKFAST ROOM	BI	BREAKFAST ROOM	BJ	BREAKFAST ROOM	BK	BREAKFAST ROOM	BL	BREAKFAST ROOM	BM	BREAKFAST ROOM	BN	BREAKFAST ROOM	BO	BREAKFAST ROOM	BP	BREAKFAST ROOM	BQ	BREAKFAST ROOM	BR	BREAKFAST ROOM	BS	BREAKFAST ROOM	BT	BREAKFAST ROOM	BU	BREAKFAST ROOM	BV	BREAKFAST ROOM	BW	BREAKFAST ROOM	BX	BREAKFAST ROOM	BY	BREAKFAST ROOM	BZ	BREAKFAST ROOM	CA	CALIFORNIA	CB	CALIFORNIA	CC	CALIFORNIA	CD	CALIFORNIA	CE	CALIFORNIA	CF	CALIFORNIA	CG	CALIFORNIA	CH	CHIMNEY	CI	CALIFORNIA	CJ	CALIFORNIA	CK	CALIFORNIA	CL	CALIFORNIA	CM	CALIFORNIA	CN	CALIFORNIA	CO	CALIFORNIA	CP	CALIFORNIA	CQ	CALIFORNIA	CR	CALIFORNIA	CS	CALIFORNIA	CT	CALIFORNIA	CU	CALIFORNIA	CV	CALIFORNIA	CW	CALIFORNIA	CX	CALIFORNIA	CY	CALIFORNIA	CZ	CALIFORNIA	DA	DRAWING	DB	DRAWING	DC	DRAWING	DD	DRAWING	DE	DRAWING	DF	DRAWING	DG	DRAWING	DH	DRAWING	DI	DRAWING	DJ	DRAWING	DK	DRAWING	DL	DRAWING	DM	DRAWING	DN	DRAWING	DO	DRAWING	DP	DRAWING	DQ	DRAWING	DR	DRAWING	DS	DRAWING	DT	DRAWING	DU	DRAWING	DV	DRAWING	DW	DRAWING	DX	DRAWING	DY	DRAWING	DZ	DRAWING	EA	EARTH	EB	EARTH	EC	EARTH	ED	EARTH	EE	EARTH	EF	EARTH	EG	EARTH	EH	EARTH	EI	EARTH	EJ	EARTH	EK	EARTH	EL	EARTH	EM	EARTH	EN	EARTH	EO	EARTH	EP	EARTH	EQ	EARTH	ER	EARTH	ES	EARTH	ET	EARTH	EU	EARTH	EV	EARTH	EW	EARTH	EX	EARTH	EY	EARTH	EZ	EARTH	FA	FLOOR	FB	FLOOR	FC	FLOOR	FD	FLOOR	FE	FLOOR	FF	FLOOR	FG	FLOOR	FH	FLOOR	FI	FLOOR	FJ	FLOOR	FK	FLOOR	FL	FLOOR	FM	FLOOR	FN	FLOOR	FO	FLOOR	FP	FLOOR	FQ	FLOOR	FR	FLOOR	FS	FLOOR	FT	FLOOR	FU	FLOOR	FV	FLOOR	FW	FLOOR	FX	FLOOR	FY	FLOOR	FZ	FLOOR	GA	GARAGE	GB	GARAGE	GC	GARAGE	GD	GARAGE	GE	GARAGE	GF	GARAGE	GG	GARAGE	GH	GARAGE	GI	GARAGE	GJ	GARAGE	GK	GARAGE	GL	GARAGE	GM	GARAGE	GN	GARAGE	GO	GARAGE	GP	GARAGE	GQ	GARAGE	GR	GARAGE	GS	GARAGE	GT	GARAGE	GU	GARAGE	GV	GARAGE	GW	GARAGE	GX	GARAGE	GY	GARAGE	GZ	GARAGE	HA	HALL	HB	HALL	HC	HALL	HD	HALL	HE	HALL	HF	HALL	HG	HALL	HH	HALL	HI	HALL	HJ	HALL	HK	HALL	HL	HALL	HM	HALL	HN	HALL	HO	HALL	HP	HALL	HQ	HALL	HR	HALL	HS	HALL	HT	HALL	HU	HALL	HV	HALL	HW	HALL	HX	HALL	HY	HALL	HZ	HALL	IA	INTERIOR	IB	INTERIOR	IC	INTERIOR	ID	INTERIOR	IE	INTERIOR	IF	INTERIOR	IG	INTERIOR	IH	INTERIOR	II	INTERIOR	IJ	INTERIOR	IK	INTERIOR	IL	INTERIOR	IM	INTERIOR	IN	INTERIOR	IO	INTERIOR	IP	INTERIOR	IQ	INTERIOR	IR	INTERIOR	IS	INTERIOR	IT	INTERIOR	IU	INTERIOR	IV	INTERIOR	IW	INTERIOR	IX	INTERIOR	IY	INTERIOR	IZ	INTERIOR	JA	JACKET	JB	JACKET	JC	JACKET	JD	JACKET	JE	JACKET	JF	JACKET	JG	JACKET	JH	JACKET	JI	JACKET	JJ	JACKET	JK	JACKET	JL	JACKET	JM	JACKET	JN	JACKET	JO	JACKET	JP	JACKET	JQ	JACKET	JR	JACKET	JS	JACKET	JT	JACKET	JU	JACKET	JV	JACKET	JW	JACKET	JX	JACKET	JY	JACKET	JZ	JACKET	KA	KITCHEN	KB	KITCHEN	KC	KITCHEN	KD	KITCHEN	KE	KITCHEN	KF	KITCHEN	KG	KITCHEN	KH	KITCHEN	KI	KITCHEN	KJ	KITCHEN	KK	KITCHEN	KL	KITCHEN	KM	KITCHEN	KN	KITCHEN	KO	KITCHEN	KP	KITCHEN	KQ	KITCHEN	KR	KITCHEN	KS	KITCHEN	KT	KITCHEN	KU	KITCHEN	KV	KITCHEN	KW	KITCHEN	KX	KITCHEN	KY	KITCHEN	KZ	KITCHEN	LA	LANDSCAPE	LB	LANDSCAPE	LC	LANDSCAPE	LD	LANDSCAPE	LE	LANDSCAPE	LF	LANDSCAPE	LG	LANDSCAPE	LH	LANDSCAPE	LI	LANDSCAPE	LJ	LANDSCAPE	LK	LANDSCAPE	LL	LANDSCAPE	LM	LANDSCAPE	LN	LANDSCAPE	LO	LANDSCAPE	LP	LANDSCAPE	LQ	LANDSCAPE	LR	LANDSCAPE	LS	LANDSCAPE	LT	LANDSCAPE	LU	LANDSCAPE	LV	LANDSCAPE	LW	LANDSCAPE	LX	LANDSCAPE	LY	LANDSCAPE	LZ	LANDSCAPE	MA	MATERIAL	MB	MATERIAL	MC	MATERIAL	MD	MATERIAL	ME	MATERIAL	MF	MATERIAL	MG	MATERIAL	MH	MATERIAL	MI	MATERIAL	MJ	MATERIAL	MK	MATERIAL	ML	MATERIAL	MM	MATERIAL	MN	MATERIAL	MO	MATERIAL	MP	MATERIAL	MQ	MATERIAL	MR	MATERIAL	MS	MATERIAL	MT	MATERIAL	MU	MATERIAL	MV	MATERIAL	MW	MATERIAL	MX	MATERIAL	MY	MATERIAL	MZ	MATERIAL	NA	NORTH	NB	NORTH	NC	NORTH	ND	NORTH	NE	NORTH	NF	NORTH	NG	NORTH	NH	NORTH	NI	NORTH	NJ	NORTH	NK	NORTH	NL	NORTH	NM	NORTH	NO	NORTH	NP	NORTH	NQ	NORTH	NR	NORTH	NS	NORTH	NT	NORTH	NU	NORTH	NV	NORTH	NW	NORTH	NX	NORTH	NY	NORTH	NZ	NORTH	OA	OPENING	OB	OPENING	OC	OPENING	OD	OPENING	OE	OPENING	OF	OPENING	OG	OPENING	OH	OPENING	OI	OPENING	OJ	OPENING	OK	OPENING	OL	OPENING	OM	OPENING	ON	OPENING	OO	OPENING	OP	OPENING	OQ	OPENING	OR	OPENING	OS	OPENING	OT	OPENING	OU	OPENING	OV	OPENING	OW	OPENING	OX	OPENING	OY	OPENING	OZ	OPENING	PA	PARTITION	PB	PARTITION	PC	PARTITION	PD	PARTITION	PE	PARTITION	PF	PARTITION	PG	PARTITION	PH	PARTITION	PI	PARTITION	PJ	PARTITION	PK	PARTITION	PL	PARTITION	PM	PARTITION	PN	PARTITION	PO	PARTITION	PP	PARTITION	PQ	PARTITION	PR	PARTITION	PS	PARTITION	PT	PARTITION	PU	PARTITION	PV	PARTITION	PW	PARTITION	PX	PARTITION	PY	PARTITION	PZ	PARTITION	QA	QUALITY	QB	QUALITY	QC	QUALITY	QD	QUALITY	QE	QUALITY	QF	QUALITY	QG	QUALITY	QH	QUALITY	QI	QUALITY	QJ	QUALITY	QK	QUALITY	QL	QUALITY	QM	QUALITY	QN	QUALITY	QO	QUALITY	QP	QUALITY	QQ	QUALITY	QR	QUALITY	QS	QUALITY	QT	QUALITY	QU	QUALITY	QV	QUALITY	QW	QUALITY	QX	QUALITY	QY	QUALITY	QZ	QUALITY	RA	RAMP	RB	RAMP	RC	RAMP	RD	RAMP	RE	RAMP	RF	RAMP	RG	RAMP	RH	RAMP	RI	RAMP	RJ	RAMP	RK	RAMP	RL	RAMP	RM	RAMP	RN	RAMP	RO	RAMP	RP	RAMP	RQ	RAMP	RR	RAMP	RS	RAMP	RT	RAMP	RU	RAMP	RV	RAMP	RW	RAMP	RX	RAMP	RY	RAMP	RZ	RAMP	SA	SCHEDULE	SB	SCHEDULE	SC	SCHEDULE	SD	SCHEDULE	SE	SCHEDULE	SF	SCHEDULE	SG	SCHEDULE	SH	SCHEDULE	SI	SCHEDULE	SJ	SCHEDULE	SK	SCHEDULE	SL	SCHEDULE	SM	SCHEDULE	SN	SCHEDULE	SO	SCHEDULE	SP	SCHEDULE	SQ	SCHEDULE	SR	SCHEDULE	SS	SCHEDULE	ST	SCHEDULE	SU	SCHEDULE	SV	SCHEDULE	SW	SCHEDULE	SX	SCHEDULE	SY	SCHEDULE	SZ	SCHEDULE	TA	TILE	TB	TILE	TC	TILE	TD	TILE	TE	TILE	TF	TILE	TG	TILE	TH	TILE	TI	TILE	TJ	TILE	TK	TILE	TL	TILE	TM	TILE	TN	TILE	TO	TILE	TP	TILE	TQ	TILE	TR	TILE	TS	TILE	TT	TILE	TU	TILE	TV	TILE	TW	TILE	TX	TILE	TY	TILE	TZ	TILE	UA	UNIT	UB	UNIT	UC	UNIT	UD	UNIT	UE	UNIT	UF	UNIT	UG	UNIT	UH	UNIT	UI	UNIT	UJ	UNIT	UK	UNIT	UL	UNIT	UM	UNIT	UN	UNIT	UO	UNIT	UP	UNIT	UQ	UNIT	UR	UNIT	US	UNIT	UT	UNIT	UU	UNIT	UV	UNIT	UW	UNIT	UX	UNIT	UY	UNIT	UZ	UNIT	VA	VARIABLE	VB	VARIABLE	VC	VARIABLE	VD	VARIABLE	VE	VARIABLE	VF	VARIABLE	VG	VARIABLE	VH	VARIABLE	VI	VARIABLE	VJ	VARIABLE	VK	VARIABLE	VL	VARIABLE	VM	VARIABLE	VN	VARIABLE	VO	VARIABLE	VP	VARIABLE	VQ	VARIABLE	VR	VARIABLE	VS	VARIABLE	VT	VARIABLE	VU	VARIABLE	VV	VARIABLE	VW	VARIABLE	VX	VARIABLE	VY	VARIABLE	VZ	VARIABLE	WA	WALL	WB	WALL	WC	WALL	WD	WALL	WE	WALL	WF	WALL	WG	WALL	WH	WALL	WI	WALL	WJ	WALL	WK	WALL	WL	WALL	WM	WALL	WN	WALL	WO	WALL	WP	WALL	WQ	WALL	WR	WALL	WS	WALL	WT	WALL	WU	WALL	WV	WALL	WW	WALL	WX	WALL	WY	WALL	WZ	WALL	XA	WOOD	XB	WOOD	XC	WOOD	XD	WOOD	XE	WOOD	XF	WOOD	XG	WOOD	XH	WOOD	XI	WOOD	XJ	WOOD	XK	WOOD	XL	WOOD	XM	WOOD	XN	WOOD	XO	WOOD	XP	WOOD	XQ	WOOD	XR	WOOD	XS	WOOD	XT	WOOD	XU	WOOD	XV	WOOD	XW	WOOD	XX	WOOD	XY	WOOD	XZ	WOOD	YA	YARD	YB	YARD	YC	YARD	YD	YARD	YE	YARD	YF	YARD	YG	YARD	YH	YARD	YI	YARD	YJ	YARD	YK	YARD	YL	YARD	YM	YARD	YN	YARD	YO	YARD	YP	YARD	YQ	YARD	YR	YARD	YS	YARD	YT	YARD	YU	YARD	YV	YARD	YW	YARD	YX	YARD	YY	YARD	YZ	YARD	ZA	ZONE	ZB	ZONE	ZC	ZONE	ZD	ZONE	ZE	ZONE	ZF	ZONE	ZG	ZONE	ZH	ZONE	ZI	ZONE	ZJ	ZONE	ZK	ZONE	ZL	ZONE	ZM	ZONE	ZN	ZONE	ZO	ZONE	ZP	ZONE	ZQ	ZONE	ZR	ZONE	ZS	ZONE	ZT	ZONE	ZU	ZONE	ZV	ZONE	ZW	ZONE	ZX	ZONE	ZY	ZONE	ZZ	ZONE
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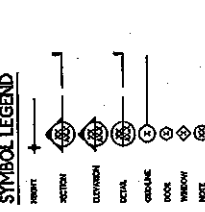


2502 CALIFORNIA STREET



VICINITY MAP

### SYMBOL LEGEND



### PROJECT INFORMATION

PROJECT ADDRESS:  
2502 California Street  
Berkeley, CA 94703  
APR: 24/1992

### DESCRIPTION OF WORK

REMODEL AND ADDITION TO EXISTING 1-1/2 STORY RESIDENCE TO PROVIDE FOR A 3-BEDROOM, 2-BATH, 2-CAR GARAGE AND PORCH. THE PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BERKELEY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION.

### CODE COMPLIANCE

THE PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF BERKELEY STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION, THE CALIFORNIA BUILDING CODE, AND THE CALIFORNIA FIRE CODE.

### SHEET INDEX

NO.	DESCRIPTION
1	GENERAL NOTES
2	FOUNDATION
3	FLOOR PLAN
4	ELEVATIONS
5	SECTION

### REVISION

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	1-16-13

### APPROVED PLAN

DATE: 1-16-13

PLANNING: [ ] D.R. Conditions Attached  
[ ] A.U.P. Conditions Attached  
[ ] U.P. Conditions Attached

A1.0

**John Mondorf**  
Design & Management  
837 Coventry Road  
Kensington, CA 94707  
(510) 536-1970

**RESIDENCE  
REMODEL &  
ADDITION**

**PROJECT ADDRESS**  
2307 Colma Street  
Berkeley, CA 94703  
APN: 54-1797-2

**OWNER:**  
Glen & Barbara Fine  
2307 Colma Street  
Berkeley, CA 94703  
(510) 863-5862

REVISION	
NO.	DATE

PROJECT NO.:  
DRAWN BY:  
CHECKED BY:  
DATE:

**A2.0**

**EXISTING/DEMO FLOOR PLAN**  
1 1/2" = 1'-0"

**PROPOSED LOWER FLOOR PLAN**  
1 1/2" = 1'-0"

**PROPOSED UPPER FLOOR PLAN**  
1 1/2" = 1'-0"

**ELECTRICAL PLAN LEGEND**

**2010 TITLE-24 LTG REQTS**

**PLAN NOTES**

**APPROVED PLAN**  
DATE: 4.16.13

**EXISTING/DEMO**  
**PROPOSED FLOOR PLANS**

**APPROVED PLAN**  
**PLANNING**  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached

John Newton  
 Design & Development  
 887 Conway Road  
 Menlo Park, CA 94025  
 (415) 326-5700

RESIDENCE  
 REMODEL &  
 ADDITION

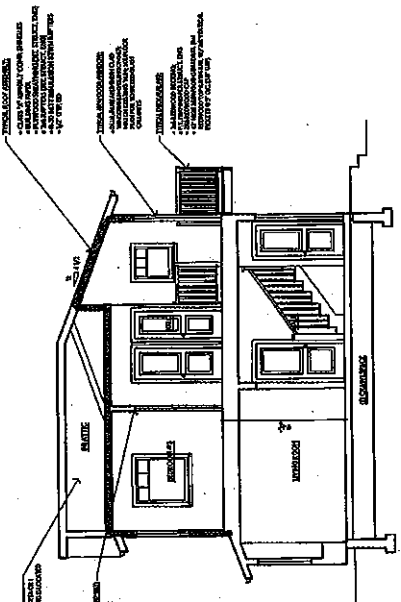
PROJECT ADDRESS:  
 2502 California Street  
 Berkeley, CA 94702  
 APR: 30-1992

OWNER:  
 Gino Iod & Janet Fine  
 2502 California Street  
 Berkeley, CA 94702  
 (415) 862-0662

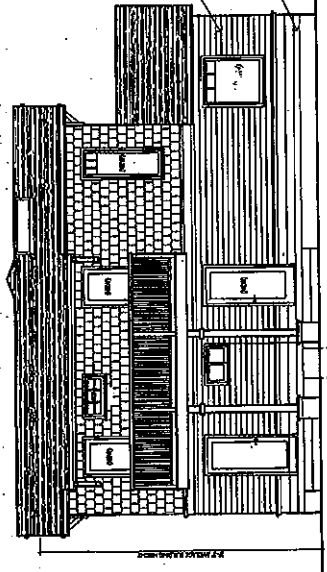
REVISION	
No.	Description

PROJECT NO.:  
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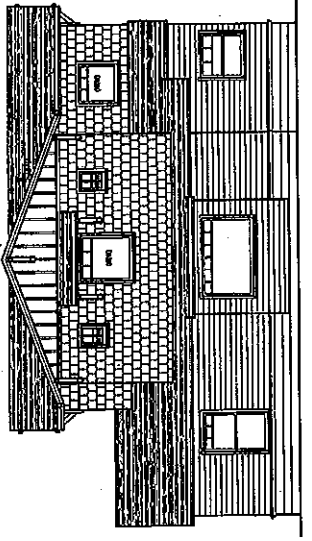
**A3.0**



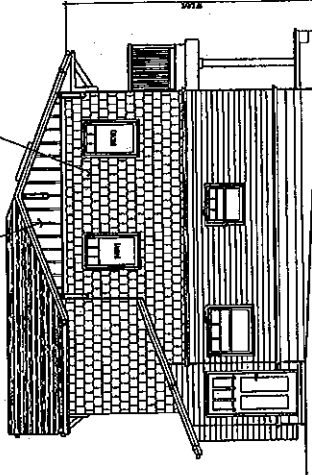
- 1. FOUNDATION: CONCRETE ON GRADE
- 2. FLOORING: CARPET
- 3. WALLS: 2x4 STUDS WITH GYPSUM BOARD
- 4. CEILING: 2x4 JOISTS WITH GYPSUM BOARD
- 5. ROOF: 2x12 RAFTERS WITH 1/2" OSB SHEATHING
- 6. EXTERIOR FINISH: SIDING
- 7. INTERIOR FINISH: CARPET
- 8. STAIRS: 2x4 JOISTS WITH 1/2" OSB SHEATHING
- 9. DOORS: 1 3/4" SOLID CORE
- 10. WINDOWS: 1 3/4" DOUBLE GLAZED
- 11. PORCHES: 2x4 JOISTS WITH 1/2" OSB SHEATHING
- 12. RAILINGS: 2x4 POSTS WITH 1 1/2" BALUSTERS



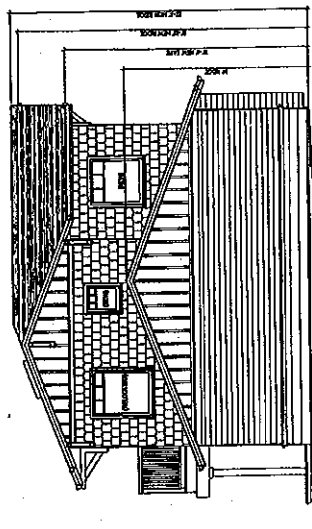
REAR (WEST) ELEVATION



FRONT (EAST) ELEVATION



RIGHT (NORTH) ELEVATION



LEFT (SOUTH) ELEVATION

ELEVATIONS & SECTION  
 APPROVED PLAN  
 PLANNING DATE  
 D.R. Conditions Attached  
 S.A.U.P. Conditions Attached  
 S.U.P. Conditions Attached