



Planning and Development Department
Land Use Planning Division

A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code, Title 23

AUP #13-20000017

Property Address: **2118 GRANT STREET**

Permittee Name: **DANIEL SMITH AND ASSOCIATES**

Use and/or Construction Permitted: to excavate the basement within an existing non-conforming front setback of 15'6" where 20' is required, and an existing non-conforming side setback of 3' where 4' is required, to create a by-right 500 sq. ft. Accessory Dwelling Unit, to create new window openings within non-conforming setbacks, and to construct a 108 sq. ft. addition to the existing sun porch, maintaining the existing 23' average height of the existing single family dwelling pursuant to:

- Section 23D.28.070.C to construct a residential addition exceeding 14' in height;
- Section 23C.04.070.B to horizontally extend non-conforming front and side yard setbacks of 15'6" and 3' where 20' and 4' are required; and
- Section 23C.04.070.B to allow alterations within non-conforming front and side yard setbacks of 15'6" and 3' where 20' and 4' are required.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on May 8, 2013.

Attest: Terry Blount
Terry Blount, AICP, Principal Planner
For Debbie Sanderson, Zoning Officer

May 8, 2013
Effective Date

ATTACHMENT 1

FINDINGS AND CONDITIONS

APRIL 17, 2013

2118 Grant Street

Administrative Use Permit #13-20000017

To excavate the basement within an existing non-conforming front setback of 15'6" where 20' is required and an existing non-conforming side setback of 3' where 4' is required to create a by-right 500 sq. ft. Accessory Dwelling Unit, to create new window openings within non-conforming setbacks, and to construct a 108 sq. ft. addition to the existing sun porch, maintaining the existing 23' average height of the existing single family dwelling.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - As required under Section 23D.28.030 (Uses Permitted) and Section 23D.28.090 (Findings), the proposed addition may exceed 14' in average height because the addition and the building's height is found to be non-detrimental. The height of the proposed addition does not create significant impacts to sunlight, air, or views for the following reasons:
 1. Sunlight – The existing and proposed 23' average height is maintained and the addition to the existing sun porch is located on the south side of the building.

- Because of the existing mass, existing shadows occur to the property to the north at 2114 Grant. The addition may cast new shadows on the basement wall of the adjacent property; however, there are not windows at this location and the shadowing may occur for a few hours in the winter months during the morning. For these reasons, this loss is found to be non-detrimental because the loss of sunlight will occur only for a small portion of the day.
2. Air – Because the proposal satisfies the District standards for minimum rear and south side setbacks and the distances to neighboring properties exceeds the District requirement for building separation, the addition is expected to provide adequate spatial separations between developments on abutting properties, thereby allowing for adequate air circulation;
 3. Views – The proposed addition would not significantly block the adjacent neighbors' views of any significant features. The proposed addition will not extend to the full height limit for the R-2 District and the addition will not exceed the maximum number of stories allowed; and
 4. Privacy – The proposed addition includes a new sun porch, two decks, and windows; however these features are not expected to create privacy impacts to the immediate neighbors because the sun porch is separated from the adjacent multi-family residence to the south at 2120 Grant by approximately 14', the decks (and windows at the north façade) are separated from the adjacent and rear residential structures to the north at 2116 Grant and to the west at 2121 Roosevelt by approximately 7' and 70' respectively.
- As required under Section 23C.04.070.B.1 (Expansions of Non-Conforming Buildings and Structures), the horizontal extension and the alterations within the non-conforming north and east facades which have an existing and proposed 3' and 15'6" side and front yard setback (where 4' and 20' are required), does not further encroach into the setback.
 - As required under Section 23D.28.040 (Development Standards for Accessory Dwelling Units), the proposed Accessory Dwelling Unit is "by-right" and permissible because:
 1. The gross floor area of the Accessory Dwelling Unit is 500 sq. ft. which is not more than 25% of the floor area of the main house, which is 2,011 sq. ft. (excluding the basement), and is more than 300 sq. ft. (required minimum size), but no more than 640 sq. ft. (maximum size permitted) (Sections 23D.28.040.B.1 and B.2);
 2. The Accessory Dwelling Unit is accessible from a roadway that meets the fire apparatus access road requirements (Section 23D.28.040.B.4);
 3. The permit is conditioned (see Condition #12 below) to restrict the Accessory Dwelling Unit from being sold independently of the main house, mandating that the owner shall not subdivide the land or air rights to enable sale or transfer of the Accessory Dwelling Unit (Section 23D.28.040.B.3 and B.5);
 4. There is a separate entrance for the Accessory Dwelling Unit not located on the front of the existing building (Section 23D.28.040.D.1);
 5. The subject lot is more than 4,500 sq. ft. (Section 23D.28.040.D.2); and

6. The off-street parking requirement for the proposed Accessory Dwelling Unit will be satisfied by either the existing ground floor garage or the proposed uncovered parking space located in the rear of the lot (Section 23D.28.080).
- As required under Section 23D.28.070 (Development Standards), this project is permissible because the subject property satisfies the development standards for lot coverage, maximum residential density, maximum building height, and rear and south setback requirements.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

- 10.** The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: _____ Phone: _____

- 11.** The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths

- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

Prior to Issuance of Any Building Permit:

12. Prior to issuance of a building permit, all owners of record of the subject property shall sign and record with the Alameda County Clerk Recorder a "Notice of Limitation on Use of Accessory Dwelling Unit" (form available from Land Use Planning Division), prohibiting the Accessory Dwelling Unit from being sold independently of the main house, mandating that the owner shall not subdivide the land or air rights to enable sale or transfer of the accessory dwelling unit, that the owner shall reside in either the main dwelling or the accessory dwelling unit, and that one (1) on-site parking space shall be provided for the resident(s) of the accessory dwelling unit for the life of the unit.
13. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
14. The applicant shall file an "Address Assignment Request Application" with the Permit Service Center (2120 Milvia Street) for any address change or new address associated with this Use Permit. The new address(es) shall be assigned prior to issuance of a building permit.

During Construction:

15. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
16. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

17. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
18. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
19. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
20. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
21. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
22. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
23. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
24. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

Prior to Issuance of Occupancy Permit or Final Inspection:

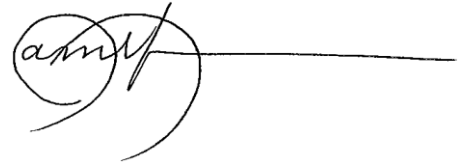
25. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
26. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **APRIL 4, 2013**.

At All Times (Operation):

27. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
28. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation

of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

- 29.** Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood.

A handwritten signature in black ink, appearing to read 'Pamela Johnson', with a long horizontal line extending to the right.

Pamela Johnson, Assistant Planner for
Debra Sanderson, Zoning Officer

HORTON RESIDENCE REMODEL, A.U.P.

2118 GRANT STREET, BERKELEY, CA 94703

PROJECT DESCRIPTION
 NEW ACCESSORY DWELLING UNIT IN BASEMENT,
 KITCHEN ADDITION, WHEELCHAIR LIFT, NEW
 MECHANICAL, EXTEND FRONT PORCH, NEW REAR
 DECK, NEW RAINWATER CATCHMENT SYSTEM, NEW
 SOLAR THERMAL WATER HEATING SYSTEM.

PROJECT LOCATION
 2118 GRANT ST
 BERKELEY, CA 94703

APN: 056-201201000

PROJECT OWNER
 ALISON HORTON
 2118 GRANT ST
 BERKELEY, CA 94703

ARCHITECT
 DANIEL SMITH & ASSOCIATES
 (510) 526-1935

STRUCTURAL ENGINEER
 SERI NGERNAWATTANA, PE
 (510) 991-6890

GEOTECHNICAL ENGINEER
 AL MASSO
 SUMMIT ENGINEERING
 (510) 531-6655

BUILDING INFORMATION
 USE MAIN STRUCTURE
 STRUCTURE AREA (E)3342 SQ FT

ZONING INFORMATION
 PARCEL SIZE 6'500 SF
 ZONING R-2
 UNITS 1
 HEIGHT LIMIT 28'
 STORIES 3
 PARKING SPACES 2

CODE REQUIREMENTS
 2010 CRC, CPC, CMC, CEC, & CFC,
 2010 CALIFORNIA GREEN BUILDING CODE
 LOCAL CODES AND REGULATIONS

RECEIVED

APR 04 2013

LAND USE PLANNING

SHEET INDEX

A1.0 COVER SHEET
 A2.0 SITE PLAN
 A2.0.1 2ND SIGNATURE PAGE
 A3.0 PROPOSED FLOOR PLANS
 A4.0 EXISTING FLOOR PLANS
 A4.1 PROPOSED ELEVATIONS
 C1.0 EXISTING ELEVATIONS
 C1.0 SITE SURVEY

VICINITY MAP



Daniel Smith & Associates
 Architects
 1197 Virginia Street, Berkeley, CA 94702
 Tel: (510) 526-1935
 Fax: (510) 526-1936
 ds@dsarch.com

Scale: As Shown

Comments:

Project No: AUP
 Date: 04/23/2013

Horton House
 2118 Grant Street
 Berkeley, CA

Sheet No: 128/13
 Project No: 1285

A1.0

APPROVED PLAN 4-16-13
 PLANNING DATE
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

David Smith & Associates
Architects
3107 Virginia Street Berkeley, CA 94702
Tel: (415) 254-1933 Fax: (415) 254-1941
www.dsaarchitects.com

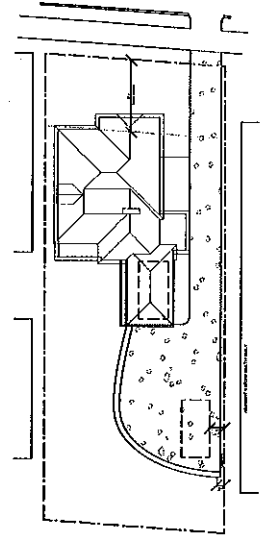


Project: Horton House
Date: 02/22/2013
AUP

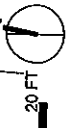
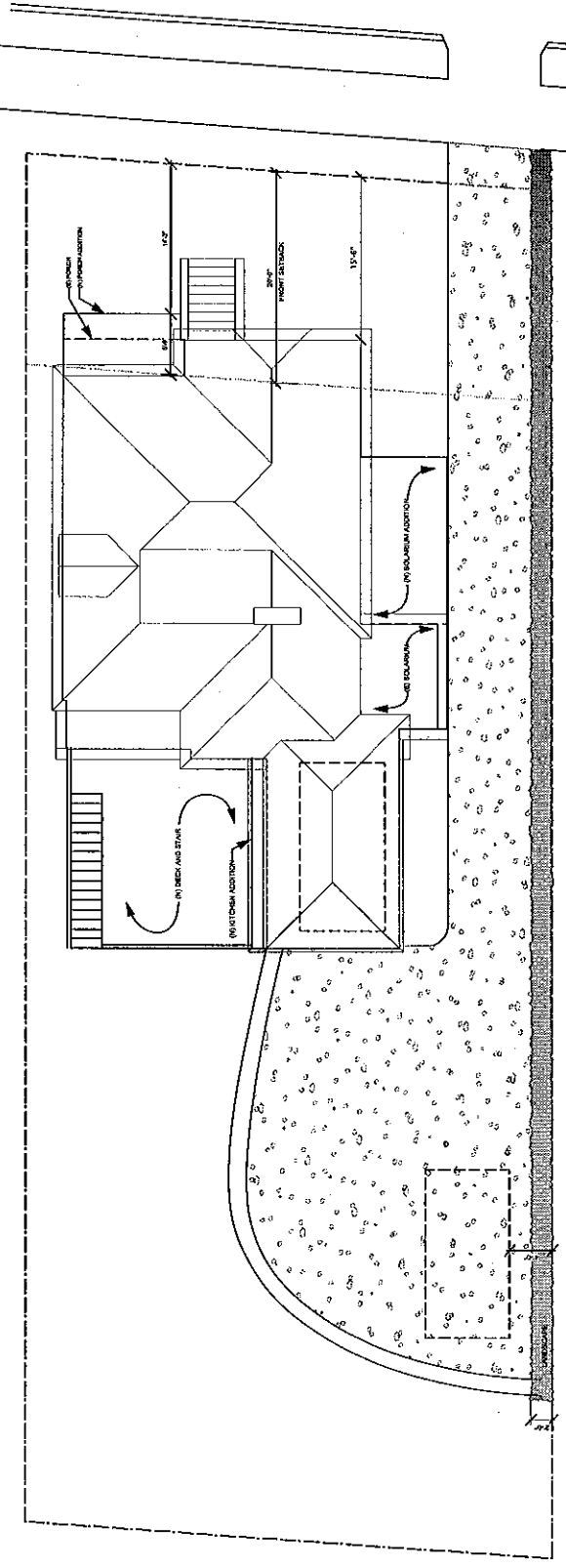
Horton House
2118 Grant Street
Berkeley, CA

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Scale: [blank]
Project No: 1205
Date: 1/28/13
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NEIGHBOR NAME	SIGNATURE	ADDRESS	RENT/TOWN	DATE	COMMENTS
		2114 Grant St.			
		2114#A Grant St.			
		2116 Grant St.			
		2117 Grant St.			
		2119 Grant St.			
		2120 Grant St.			
		2120#4 Grant St.			
		2120#7 Grant St.			
		2120#8 Grant St.			
		2121 Grant St.			
		2117 Roosevelt St.			
		2121 Roosevelt St.			
		2125 Roosevelt St.			
		2125#A Roosevelt St.			
		2127 Roosevelt St.			
		2127#A Roosevelt St.			



2 Existing Site Plan
Scale: 1/32" = 1'-0"
0 10 20 FT



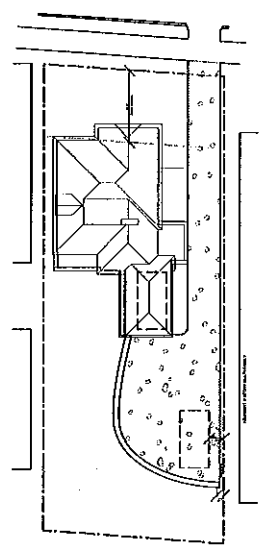
1 Site Plan & Existing Foundation
Scale: 3/32" = 1'-0"

ADJACENT 3 STORY MULTI-FAMILY

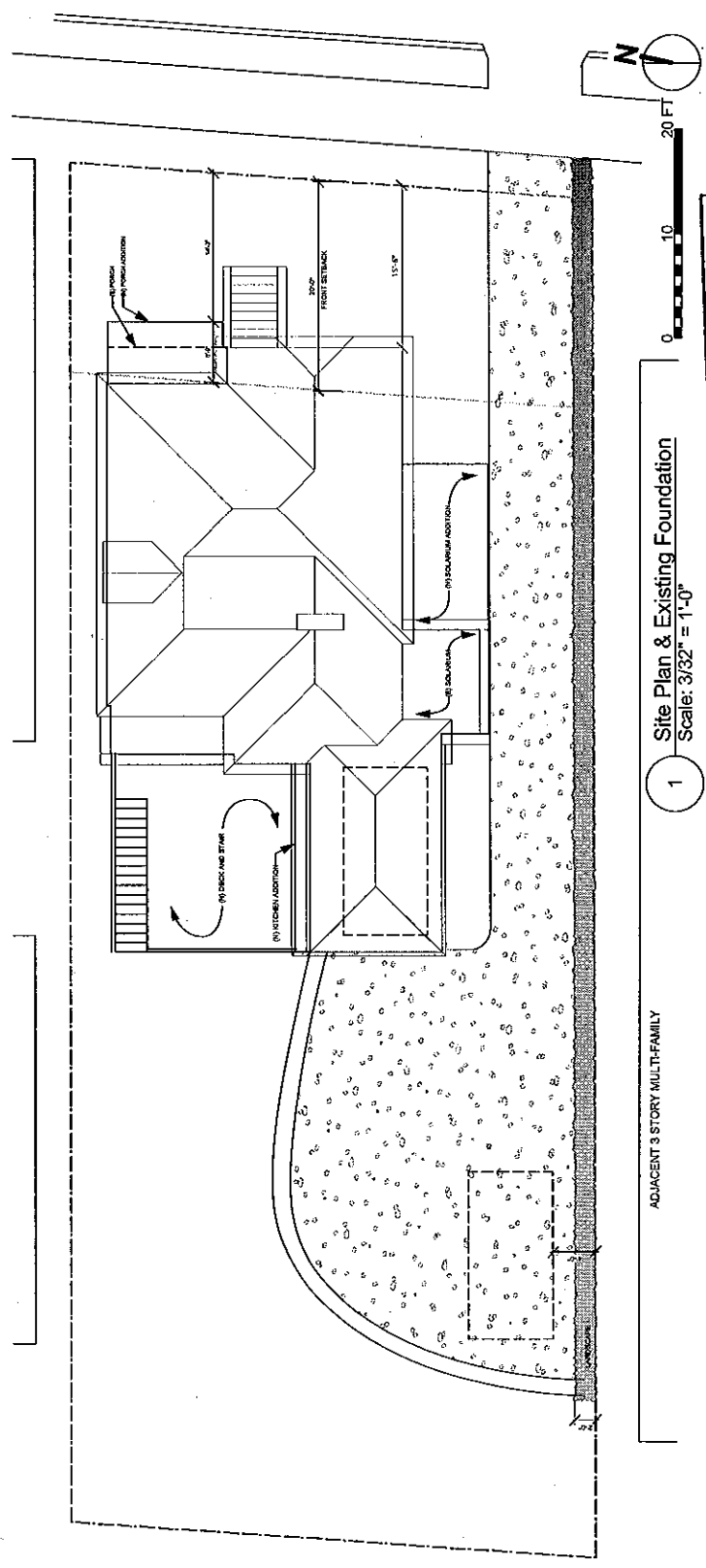
APPROVED PLAN *DM* 7.16.13
DATE
 D/R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

Daniel Smith & Associates Architects 11775 Via de Arroyo, Suite 100 San Diego, CA 92127 (619) 594-1100 ds@dsarch.com		Date: 02/28/13 Project: A2.0.1	Horton House 2125 Grant Street Escondido, CA	Sheet: A2.0.1 Date: 02/28/13 Project: A2.0.1
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NEIGHBOR NAME	SIGNATURE	ADDRESS	RENT/TOWN	DATE	COMMENTS
		2125 Grant St.			
		2125#A Grant St.			
		2127 Grant St.			
		2127#A Grant St.			
		2120#1 Grant St.			
		2120#2 Grant St.			
		2120#3 Grant St.			
		2120#5 Grant St.			
		2120#9 Grant St.			



2 Existing Site Plan
 Scale: 1/32" = 1'-0"



1 Site Plan & Existing Foundation
 Scale: 3/32" = 1'-0"

APPROVED PLAN 4.16.13
 DATE
 PLANNING
 P.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

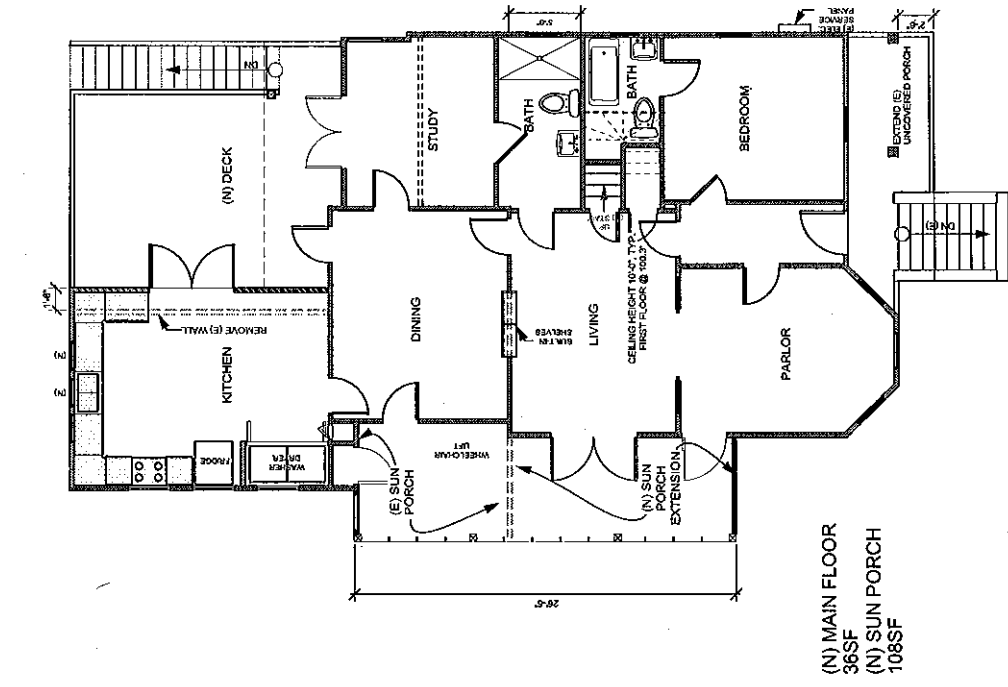
ADJACENT 3 STORY MULTIFAMILY

Daniel Smith & Associates
Architects
1177 Avenida de las Arbores, CA 94020
Tel: (202) 554-9243 Fax: (202) 554-9247
ds@dsarch.com

Project Name:
Comments:

Scale:
Date: 03.28.2013
AUP
Horton House
2118 Coast Street
Berkeley, Ca.
Sheet number:
Drawing: 1/28/13
Project: 1200

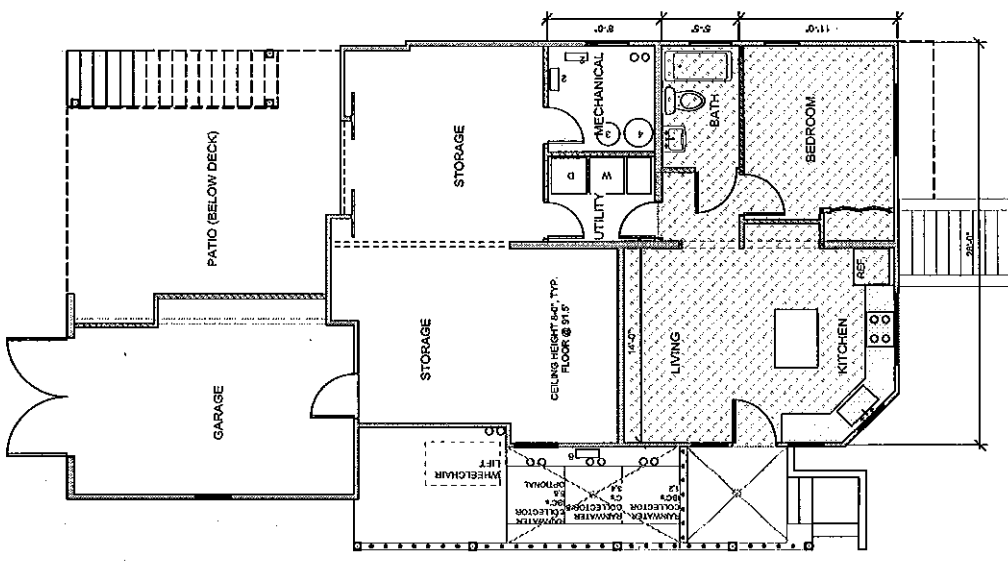
A3.0



(N) MAIN FLOOR
36SF
(N) SUN PORCH
108SF



1 Proposed 1st Floor Remodel
Scale: 1/8" = 1'-0"



(N) ACCESSORY
DWELLING UNIT
W/IN (E) BASEMENT
500SF

KEY:
EXISTING CONSTRUCTION
TO BE DEMOLISHED
NEW CONSTRUCTION

2 Proposed Ground Floor Dwelling Unit
Scale: 1/8" = 1'-0"

APPROVED PLAN
DATE 4.16.13
PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

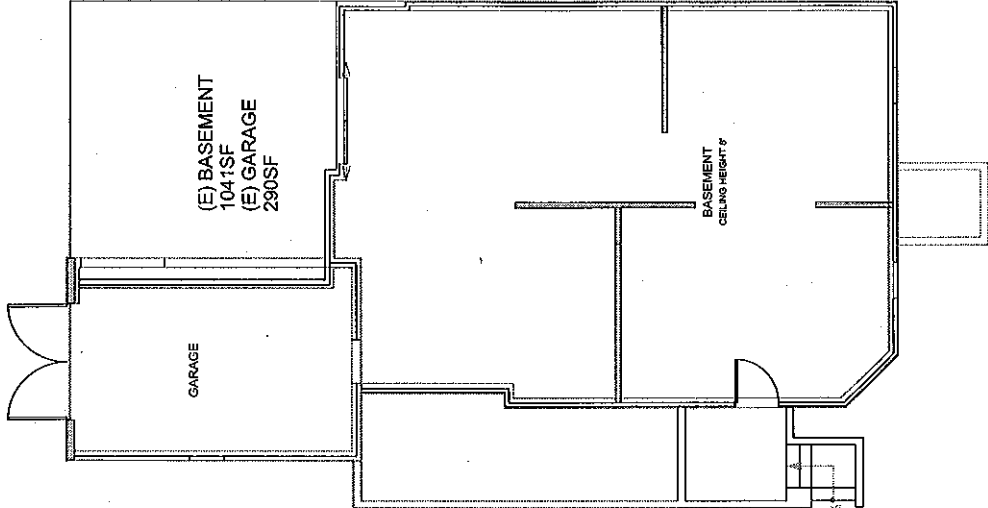
David Smith & Associates
Architects
10750 Wilshire Blvd., Suite 1000
Los Angeles, CA 90024
Tel: (310) 206-1100 Fax: (310) 206-1101
www.dsmith.com

Sheet 15 of 16
Comments

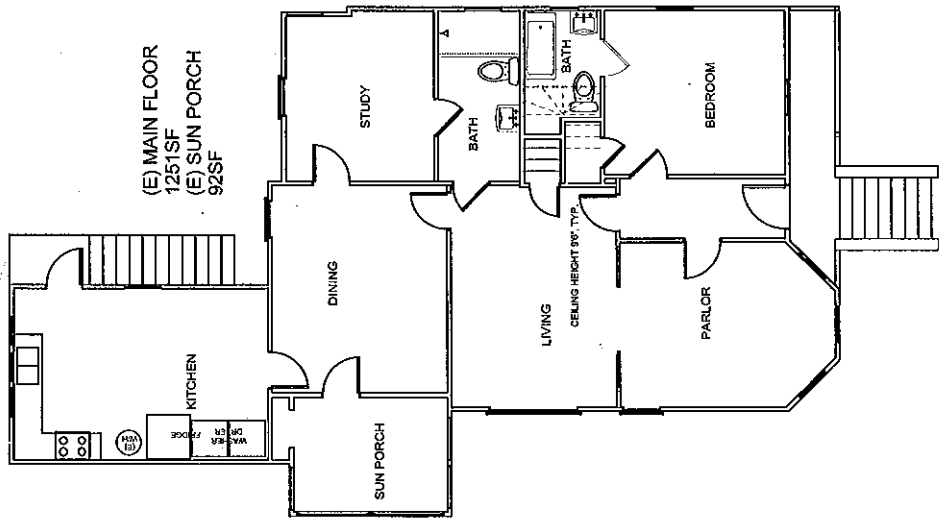
Revisions	Date
1	03/28/13
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Horton House
2118 Grant Street
Berkeley, CA
Sheet 15 of 16
Date: 03/28/13
Project No.: 1305

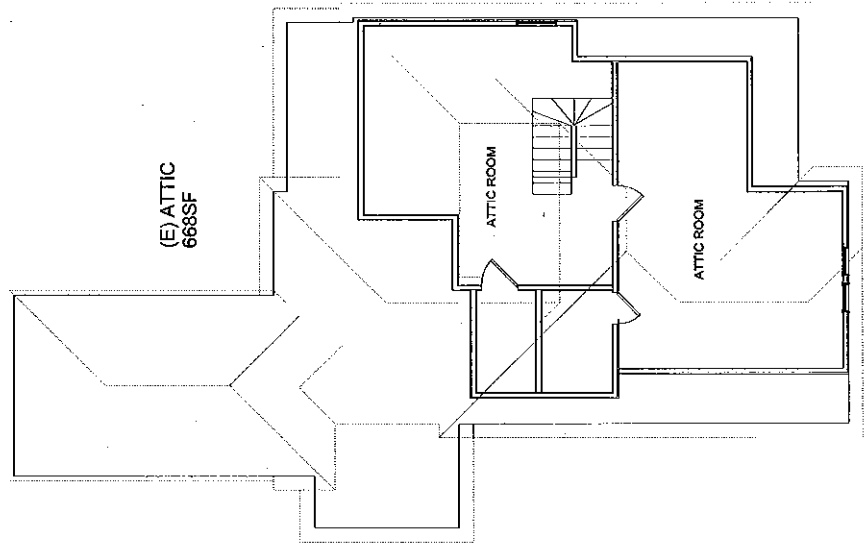
A3.1



1 Existing Basement
Scale: 1/8" = 1'-0"



2 Existing Main Floor
Scale: 1/8" = 1'-0"



3 Existing Attic, No Change
Scale: 1/8" = 1'-0"

APPROVED PLAN 4.16.13
DATE
DRAWING
R. Conditions Attached
A.U.P. Conditions Attached
U.P. Conditions Attached

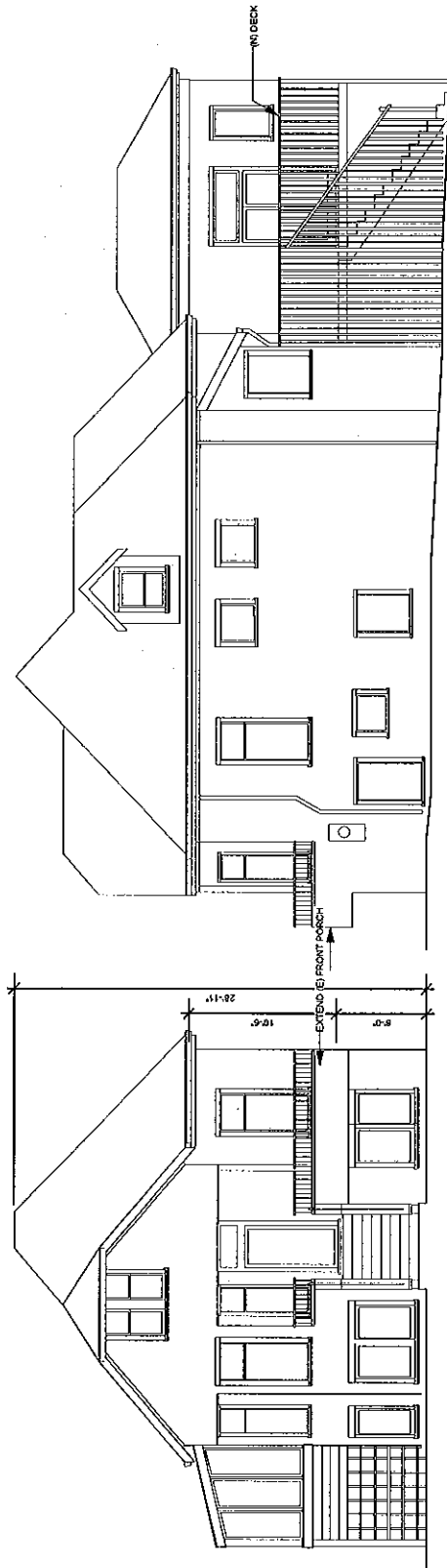
Daniel Smith & Associates
Architects
1171 Woodloch Road, Raleigh, NC 27607
760.619.5255-5256 Fax: 760.619.5254-5256
www.dsmitha.com

Sheet Title
Client Name

Architect: AUP Date: 03.28.2013
Project: Horton House
211 N. Great Street
Raleigh, NC
Sheet Number: 128.13
Drawn By: [Signature] Date: 1.28.13
Checked By: [Signature] Date: 1.28.13
Project No: 1285

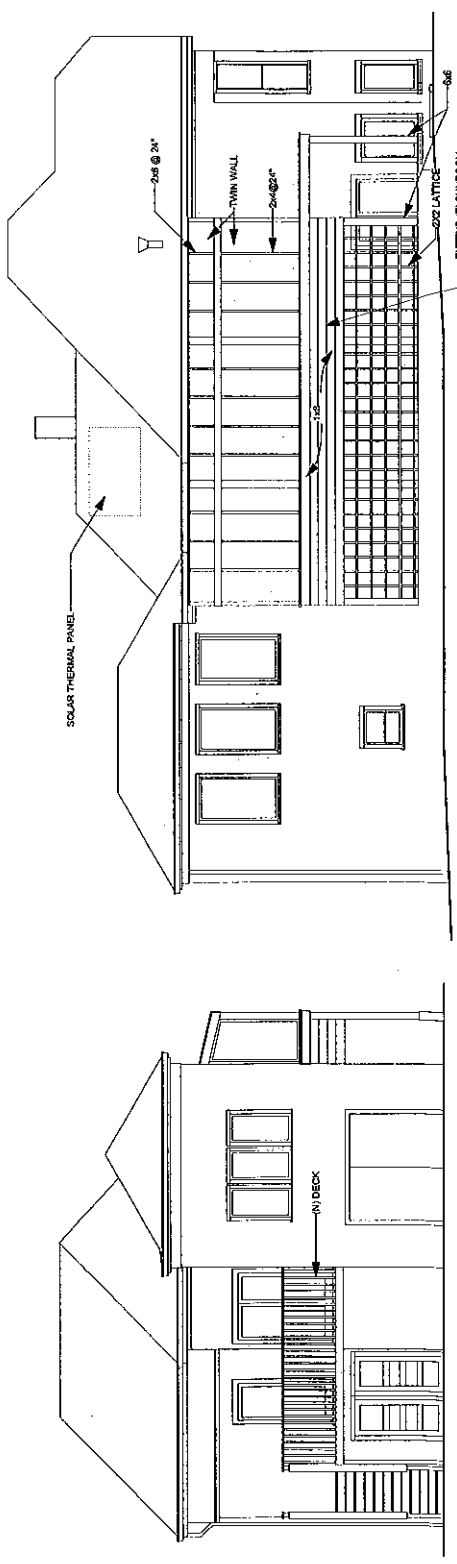
Horton House
211 N. Great Street
Raleigh, NC
Sheet Number: 128.13
Drawn By: [Signature] Date: 1.28.13
Checked By: [Signature] Date: 1.28.13
Project No: 1285

A4.0



1 Proposed Front Elevation
Scale: 1/8" = 1'-0"

2 Proposed North Elevation
Scale: 1/8" = 1'-0"



3 Proposed Rear Elevation
Scale: 1/8" = 1'-0"

4 Proposed South Elevation
Scale: 1/8" = 1'-0"

APPROVED PLAN **9.16.13**
DATE
PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

Daniel Smith & Associates
Architects
1107 Market Street, Berkeley, CA 94702
Tel. (415) 524-9710 Fax (415) 524-9741
dsmith@earthlink.net



Architect

Client Name

Contract No.

Project No.

Sheet No.

Scale

Date

Project No.

1235

1/28/13

A4.1

Project No.

1235

1/28/13

A4.1

Horton House

2118 Grant Street
Berkeley, Ca.

Client Name

Scale

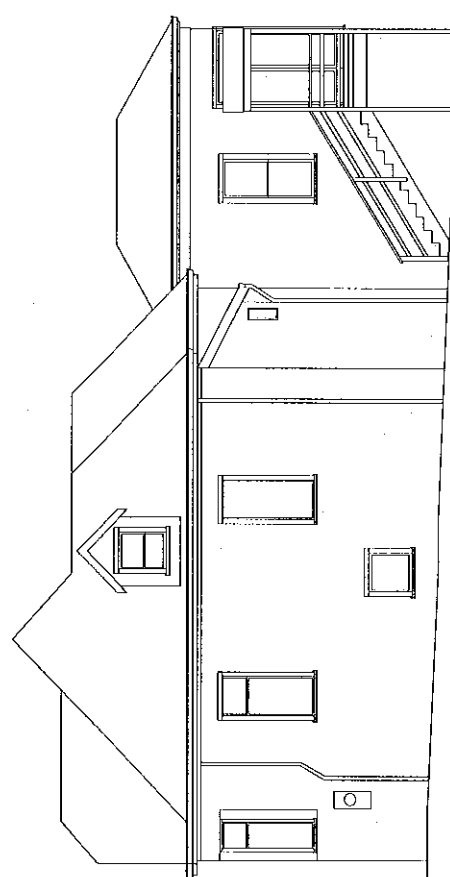
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Project No.

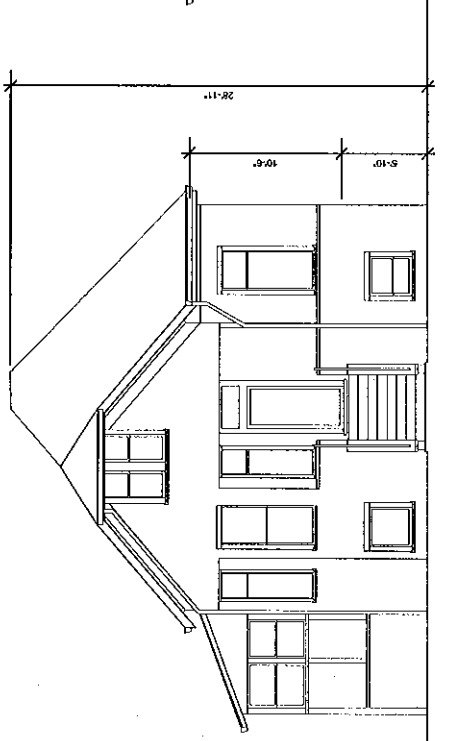
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1/28/13

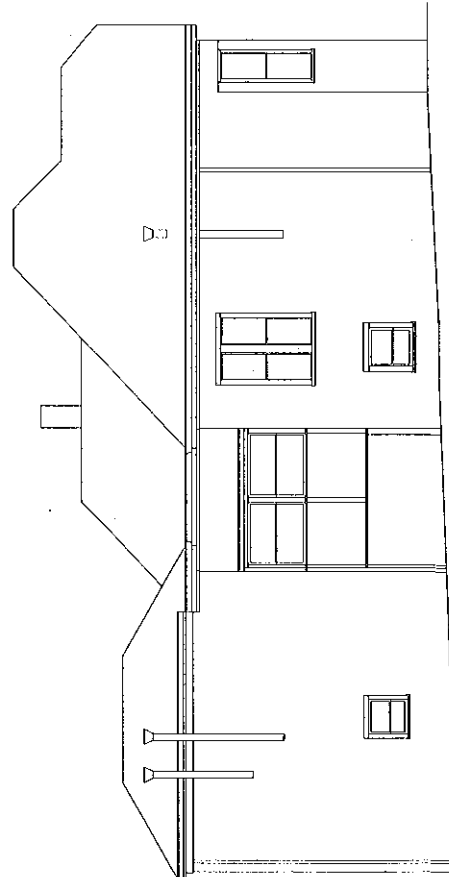
A4.1



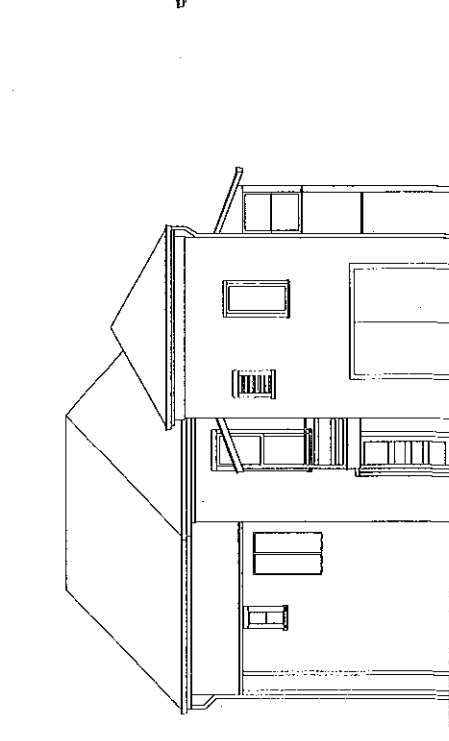
1 Existing Front Elevation
Scale: 1/8" = 1'-0"



2 Existing North Elevation
Scale: 1/8" = 1'-0"



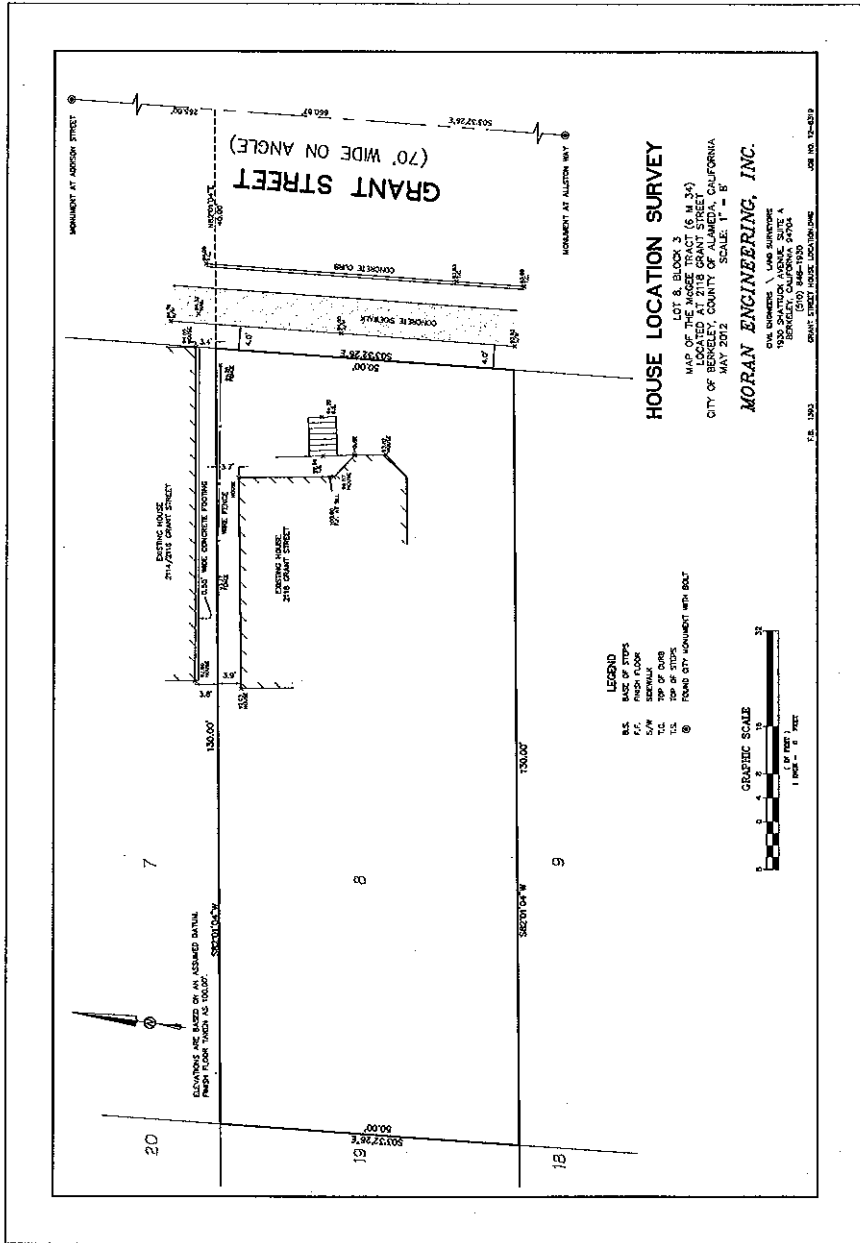
4 Existing South Elevation
Scale: 1/8" = 1'-0"



3 Existing Rear Elevation
Scale: 1/8" = 1'-0"

APPROVED PLAN 4.16.13
DATE
PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

<p>Daniel Smith & Associates Architects 1107 Virginia Street, Berkeley, CA 94704 916.841.8300 dsmith@dsai.com</p>	<p>Date: _____</p>	<p>Project: _____</p>	<p>Client: _____</p>
<p>City: _____</p>	<p>County: _____</p>	<p>State: _____</p>	<p>Scale: 1" = 8'</p>
<p>Project Name: Horton House</p>	<p>2118 Grant Street Berkeley, CA</p>		



HOUSE LOCATION SURVEY

LOT 1, BLOCK 3
MAP OF THE SEASIDE TRACT (S. M. 34)
LOCATED AT 2118 GRANT STREET
CITY OF BERKELEY, COUNTY OF ALAMEDA, CALIFORNIA
MAY 2012
SCALE: 1" = 8'

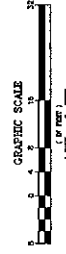
MORAN ENGINEERING, INC.

ONE ENGINEERS \ LONG SHORE
1930 SHANTUCK AVENUE, SUITE A
BERKELEY, CA 94704
415.841.1930

GRANT STREET HOUSE LOCATION SURVEY

USE NO. 12-813

- LEGEND**
- BS BACK OF STAIRS
 - F.F. FINISH FLOOR
 - S/W SIDEWALK
 - W.C. WALL CENTERLINE
 - T.C. TOP OF STAIRS
 - ⊗ FOUND CITY MONUMENT WITH BOLT



APPROVED PLAN **4.16.13**
DATE
DRM
PLANNING
 P.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached