



Planning and Development Department
Land Use Planning Division

A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code, Title 23

AUP #12-20000138

Property Address: **1908 TENTH STREET**

Permittee Name: **LINDY SMALL**

Use and/or Construction Permitted: to raise a single-family house 4 feet, from 24 feet to 28 feet, pursuant to:

- Section 23D.36.070.C to build an addition over 16 feet in height;
- Section 23C.04.070.B to vertically extend a non-conforming front yard; and
- Section 23C.04.070.B to vertically extend a non-conforming side yard.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on April 23, 2013.

Attest: Terry Blount
Terry Blount, AICP, Principal Planner
For Debbie Sanderson, Zoning Officer

April 23, 2013
Effective Date

ATTACHMENT 1

FINDINGS AND CONDITIONS

APRIL 2, 2013

1908 Tenth Street

Administrative Use Permit #12-20000138

To raise an existing single-family residence an average of four feet in height and renovate the first and second floors. This will result in the vertical extension of two existing non-conforming setbacks (3'6" on the side (south) elevation and 14'10" at the front (east) elevation), and the raising of the existing deck to 15 feet (top of railing). This project does not result in the addition of floor area as the existing basement is already at least six feet in height.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:

Addition over 16' in height

As required by Section 23D.36.030 (Uses Permitted) and .090 (Findings), the raising of an existing structure 4 feet, from an existing average height of 24 feet to a proposed average height of 28 feet, for the purpose of creating additional height on the ground floor which currently has a ceiling height of six feet, may exceed 16 feet in average height because it does not create significant impacts to sunlight, air or views, and is found to be non-detrimental and permissible for the following reasons:

1. Sunlight – The proposed addition, which will increase the height of the existing building by 4 feet, is not expected to significantly shadow the adjacent buildings.
2. Air – Because the proposal involves raising the existing structure 4 feet to create habitable living space in the existing basement and the property meets or exceeds the district standards for minimum rear and north side yard setbacks, it will continue to provide adequate spatial separations between the abutting developments and is not expected to impact air circulation to the neighboring properties.
3. Views – The proposed addition is not expected to significantly block the adjacent neighbors' views of any significant features. The proposed addition will not exceed the full height limit allowed in the R-3 District and will not exceed the maximum stories allowed.
4. Privacy – The proposed elevation includes new windows on the ground floor on all elevations, and new windows on the second story of the north (right) and west (rear) elevations, and a new sliding glass door to the west (rear) facing deck. The south (left) elevation is eight feet from the neighboring house at 1910 Tenth Street and will have five new windows on the ground floor: two bathroom windows, and three bedroom windows, approximately 2 feet wide by 4 feet tall. Since the project is located between eight feet and 36 feet from the neighboring properties at 1910 Tenth Street and 1014 Hearst and 1018 Hearst, the proposed addition is not expected to create any privacy impacts to the immediate neighbors.

Continuation of non-conforming setback

As required by Section 23C.04.070.B.1 (Expansions of Non-conforming Buildings and Structures), the 4-foot vertical extension of the non-conforming south facing façade which has an existing and proposed setback of 3'6" side yard setback (where 4 feet is required) and the non-conforming east facing façade which has an existing and proposed 14'10" front yard setback (where 15 feet is required), may be authorized because:

1. The existing use of the property conforms to the Zoning Ordinance;
2. The addition will not further reduce the existing non-conforming yards; and
3. The addition will not exceed the maximum or calculated height limits.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

- 10. The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

□ Name: _____ Phone: _____

- 11. The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths

- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

Prior to Issuance of Any Building Permit:

12. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
13. The applicant shall show clearly on the plans the location of the fence located within the easement north of the property and give dimensions of the area between the fence and the structure to show that the driveway is wide enough for a car to access the rear portion of the lot. If the driveway is not deemed wide enough for a car, then the fence shall be removed to allow this access.

During Construction:

14. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
15. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
16. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
17. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
18. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.

19. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
20. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
21. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
22. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
23. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

Prior to Issuance of Occupancy Permit or Final Inspection:

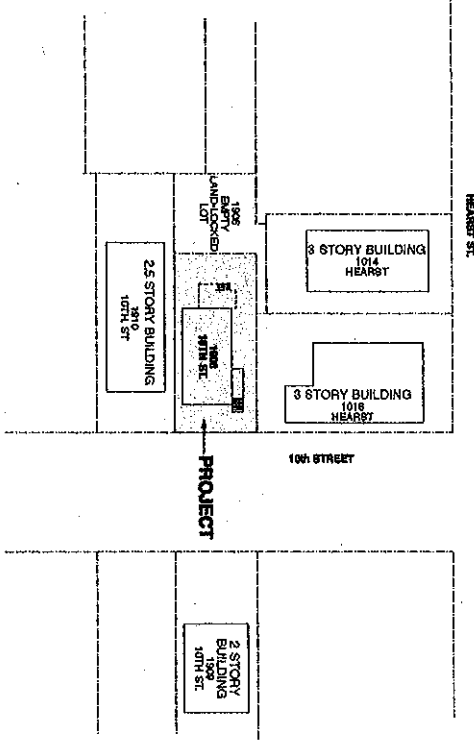
24. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
25. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **OCTOBER 30, 2012**.

At All Times (Operation):

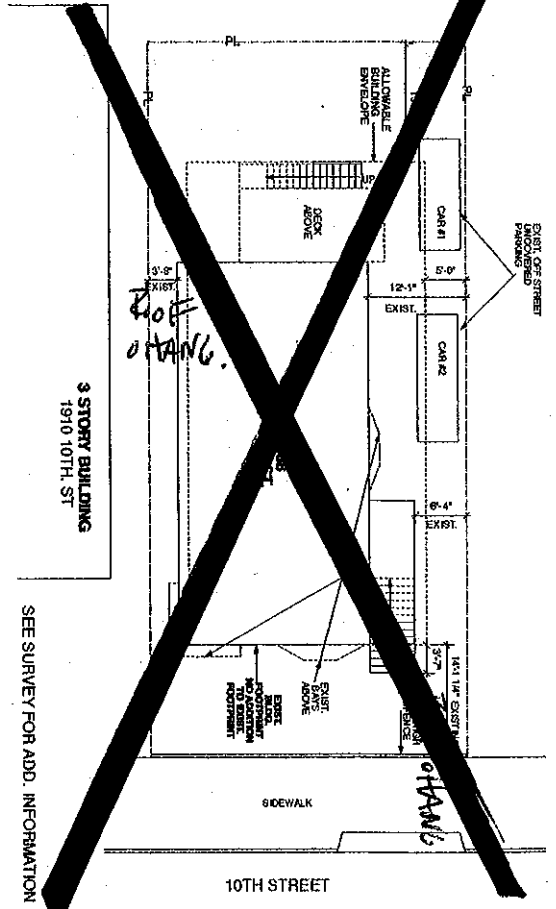
26. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
27. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
28. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood.



Elizabeth Greene, Senior Planner for
Debra Sanderson, Zoning Officer



SITE PLAN 3
1/8"=1'-0"



PLOT PLAN 2
1/8"=1'-0"

SEE SURVEY FOR ADD. INFORMATION

LAND USE PLANNING

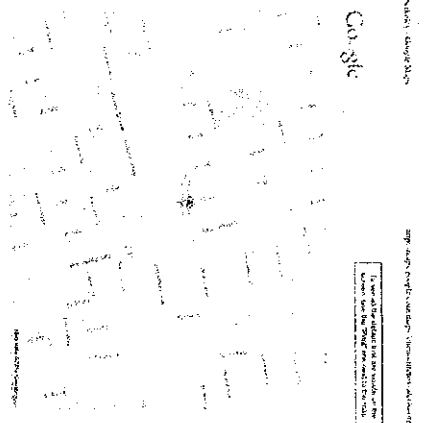
RECEIVED
OCT 30 2012

PROJECT DATA

ZONING: M
OCCUPANCY: SINGLE FAMILY
CONSTRUCTION TYPE: V
CODE: 2010 UBC

OWNERS:
BETH HILLMAN
TRISH CULBERT
1908 10TH ST
BERKELEY, CA

VICINITY MAP 1

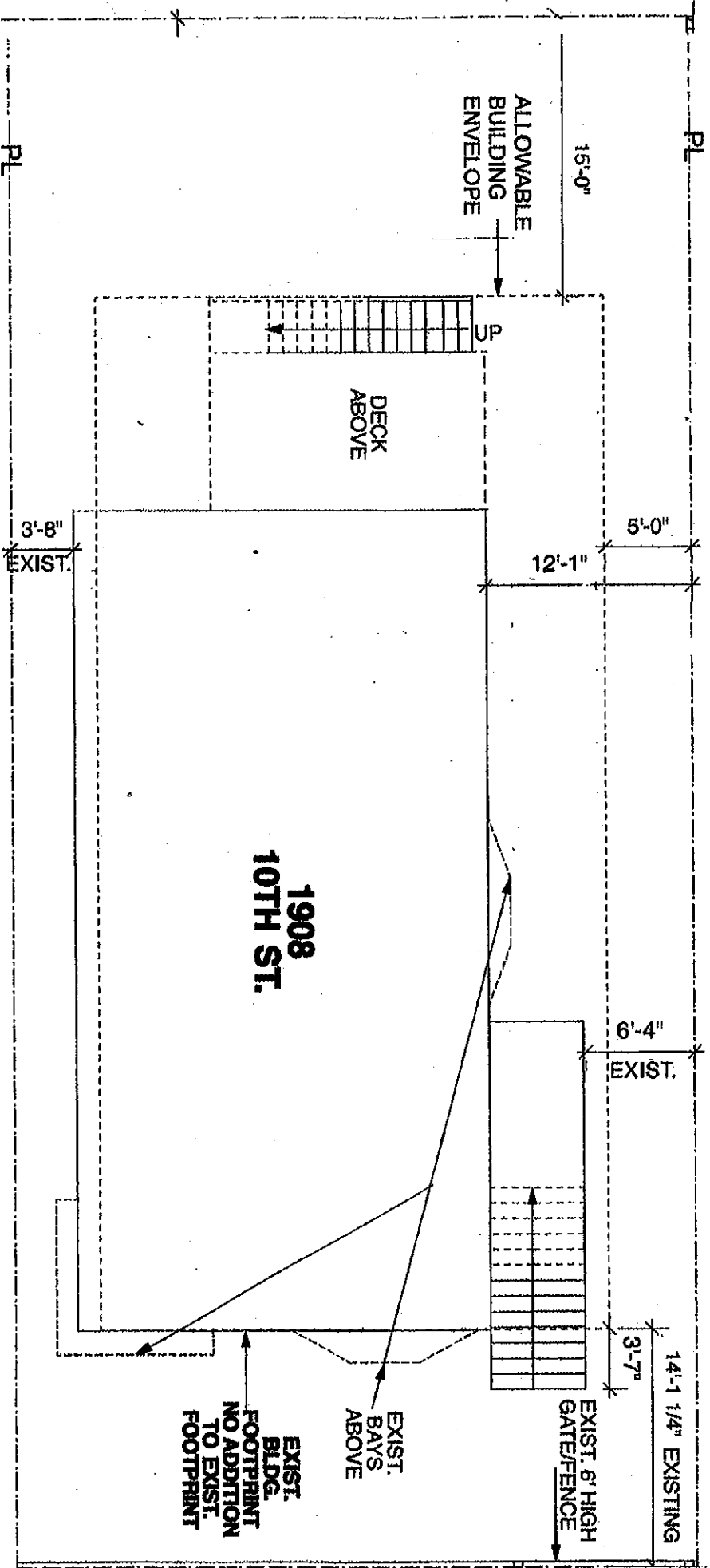


APPROVED PLANS
M. Hillbert 3/27/15

CURRENT/PLANNING DATE

D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

APPROVED PLAN
 PLANNING
 D.R. Conditions Attached
 S.A.U.P. Conditions Attached
 U.P. Conditions Attached
 DATE 3/27/13
 [Signature]



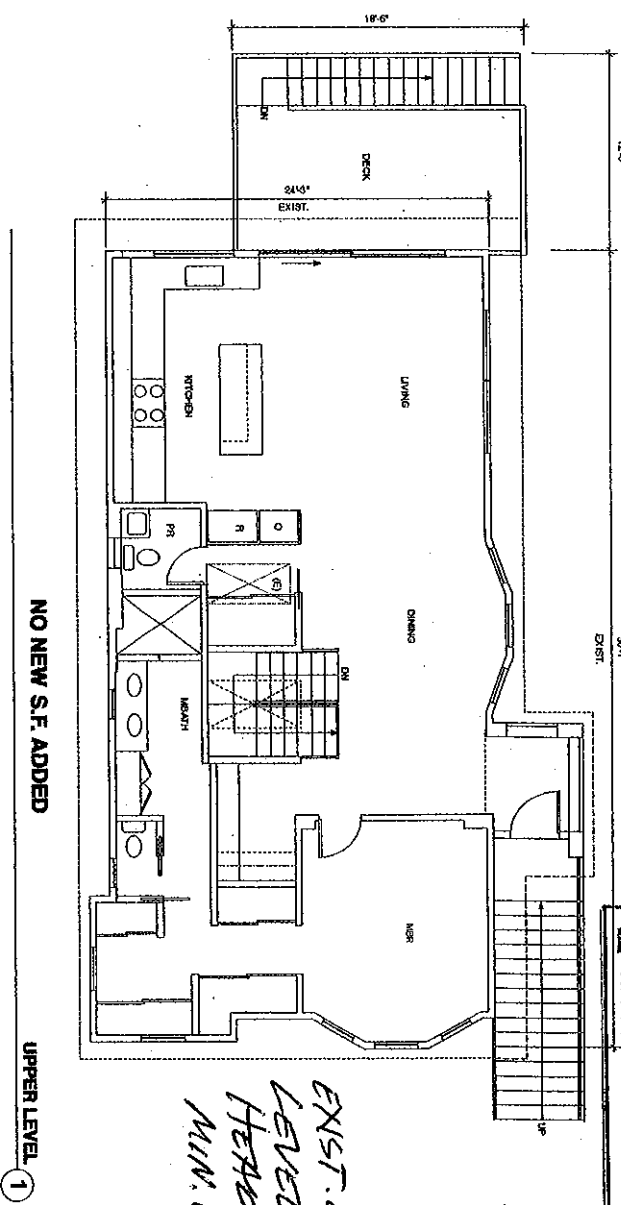
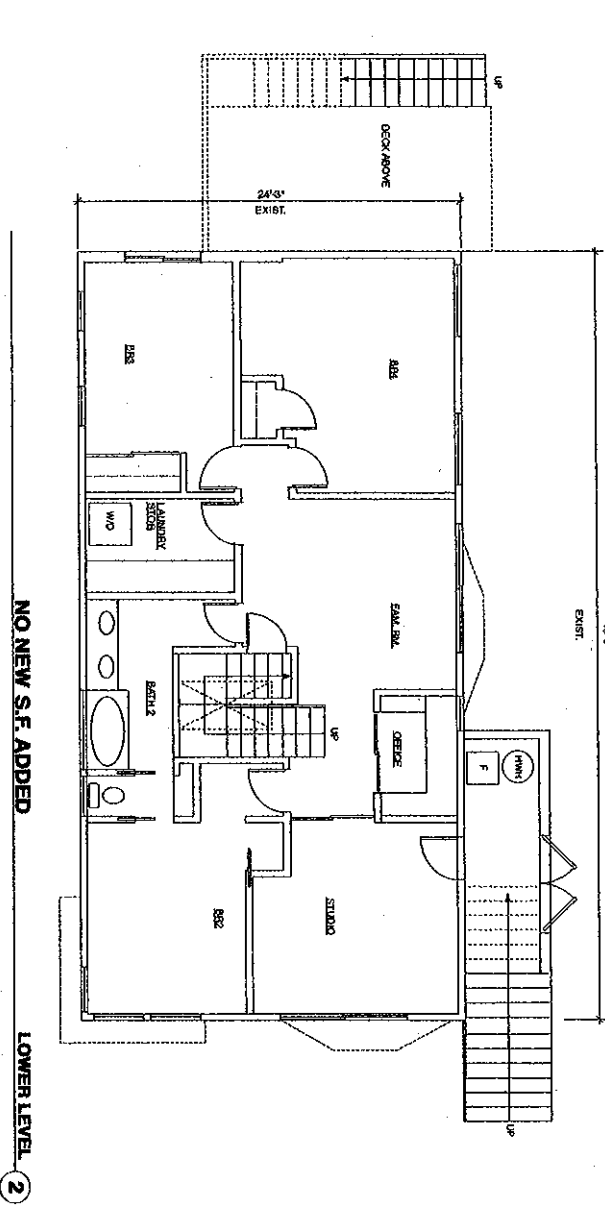
3 STORY BUILDING
 1910 10TH. ST

1908
10TH ST.

RECEIVED

OCT 30 2012

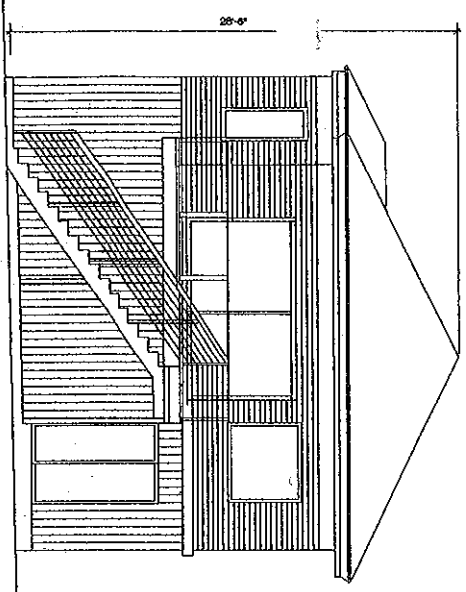
LAND USE PLANNING
 COLLECTED SITE
 PLANS



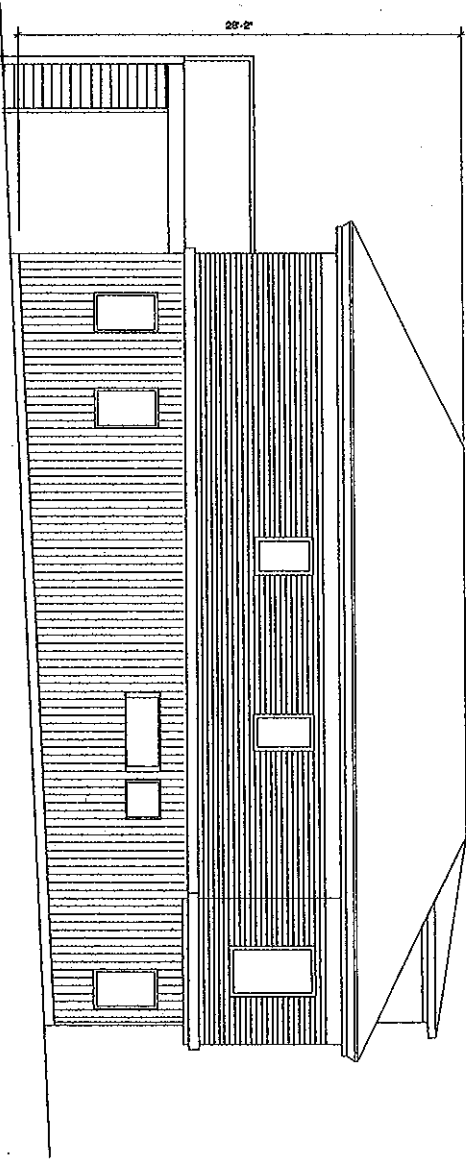
EXIST. LOWER LEVEL
 BEDROOM
 MIN. 6'-0"

APPROVED PLANS
 CURRENT PLANNING
 DATE 3/27/13
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

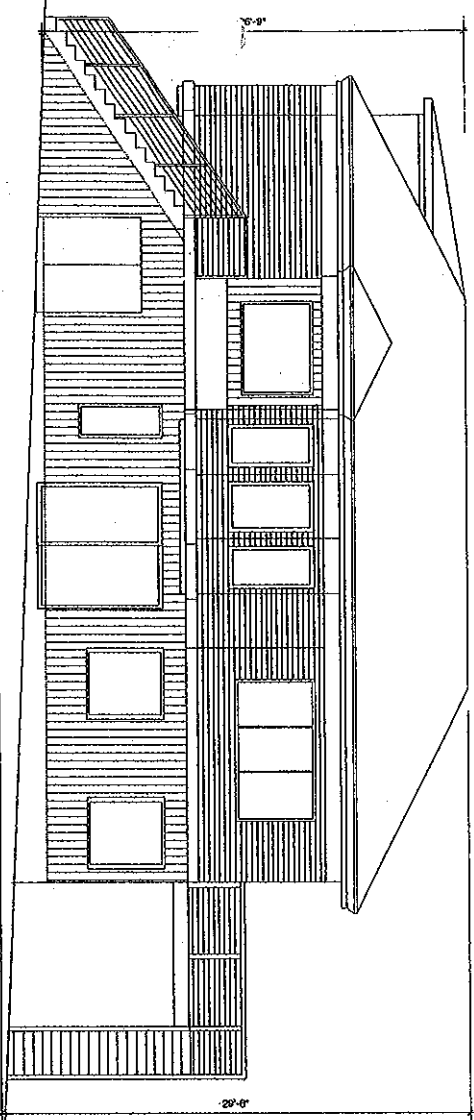
WEST ELEVATION 4



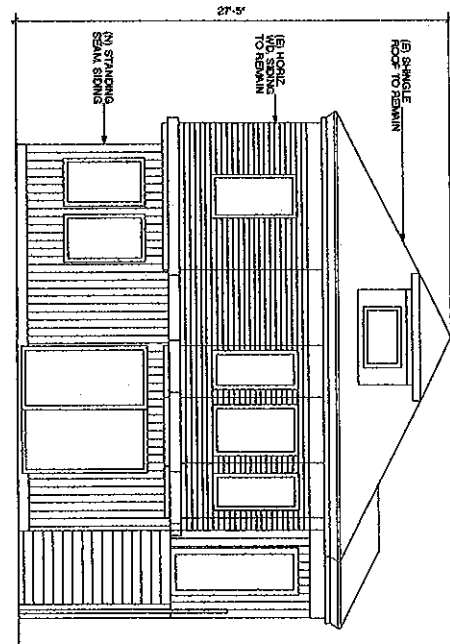
SOUTH ELEVATION 3



NORTH ELEVATION 2



EAST ELEVATION 1



APPROVED PLANS
Shelby K. Greene
 CURRENT PLANNING DATE 3/27/13
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached