



Planning and Development Department
Land Use Planning Division

A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code, Title 23

AUP #12-20000157

Property Address:

1849 SONOMA AVENUE

Permittee Name:

GHASHI DESIGN STUDIO

Use and/or Construction Permitted: to construct a three-story, 478 square foot residential addition that will maintain the building's existing average height of 28' and maximum height of 35' pursuant to:

- Section 23D.16.070 to construct a residential addition greater than 14' in average height.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on March 20, 2013.

Attest: Terry Blount
Terry Blount, AICP, Principal Planner
For Debbie Sanderson, Zoning Officer

March 20, 2013
Effective Date

ATTACHMENT 1

FINDINGS AND CONDITIONS

FEBRUARY 27, 2013

1849 Sonoma Avenue

Administrative Use Permit #12-20000157

To construct a three-story, 478 square foot residential addition that will maintain the building's existing average height of 28' and maximum height of 35'.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - As required under Section 23D.16.090.B (Findings), the Zoning Officer finds that the project should not be denied because the proposed addition would not unreasonably obstruct sunlight, air, or views, because it would not cast new shadows on the windows or a substantial area of open space of adjacent residences. The addition remains well outside of the required yards, and is located within the general footprint of the existing dwelling in an area that is already developed with substantial vegetation that also filters views.
 - As required under Section 23D.16.070 (Development Standards), this project is permissible because the subject property satisfies the district standards for maximum residential density, maximum main building height, minimum front, rear, and side yard setbacks, maximum lot coverage and minimum open space.

- As required under Section 23D.16.080 (Parking), the project would not increase parking demand and existing parking is provided in accordance with the minimum requirement.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

- 10.** The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: _____ Phone: _____

- 11.** The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths

- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

Prior to Issuance of Any Building Permit:

12. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.

During Construction:

13. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
14. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
15. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
16. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
17. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
18. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
19. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.

20. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
21. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
22. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

Prior to Issuance of Occupancy Permit or Final Inspection:

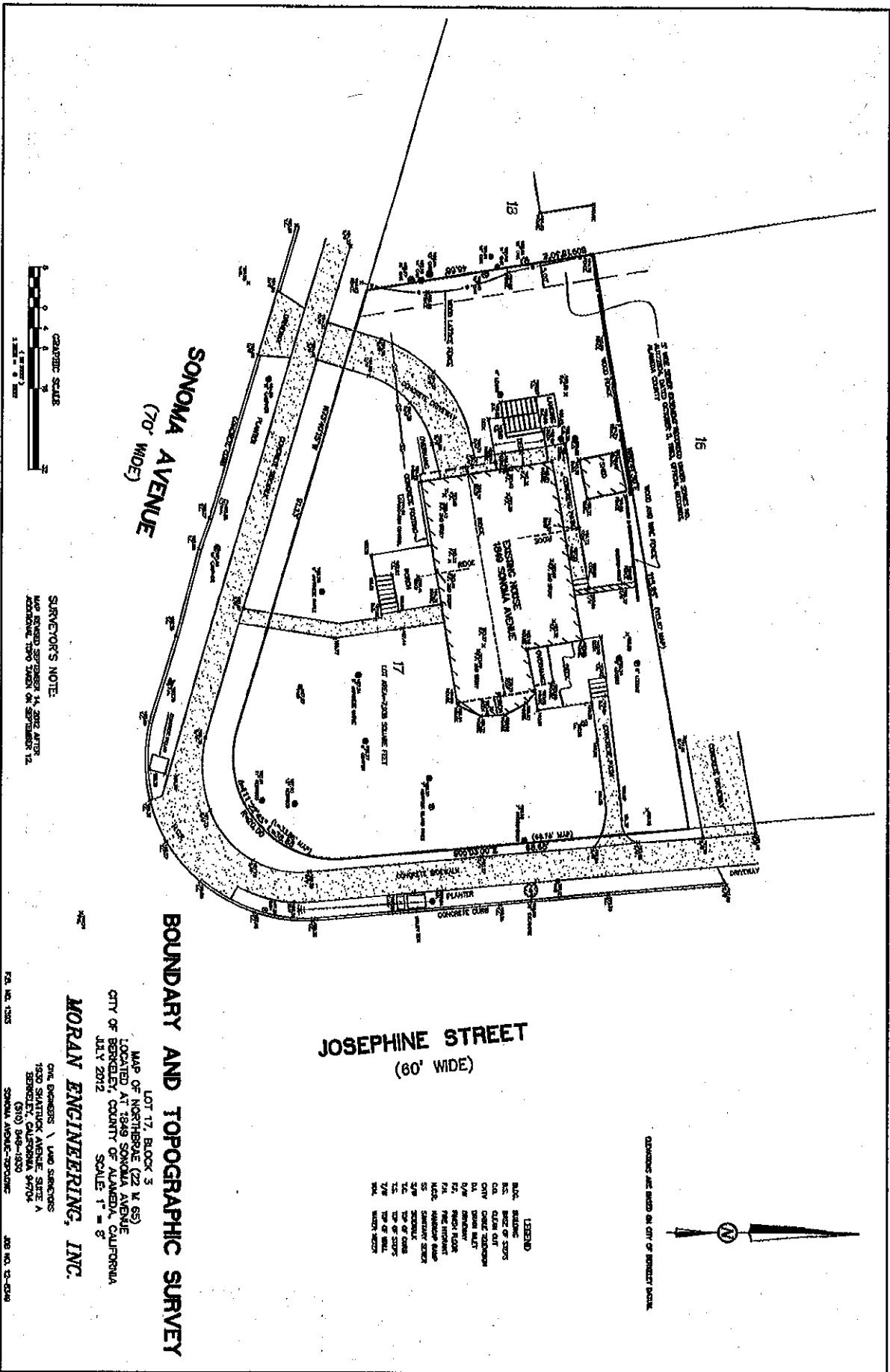
23. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
24. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **DECEMBER 20, 2012**.

At All Times (Operation):

25. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
26. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
27. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood.



Claudine Asbagh, Assistant Planner for
Debra Sanderson, Zoning Officer



SONOMA AVENUE
(70' WIDE)

JOSEPHINE STREET
(60' WIDE)



SURVEYOR'S NOTE:
MAP RECORDED SEPTEMBER 14, 2010 AFTER
MODIFICATION TO THE SURVEY BY 12.

BOUNDARY AND TOPOGRAPHIC SURVEY

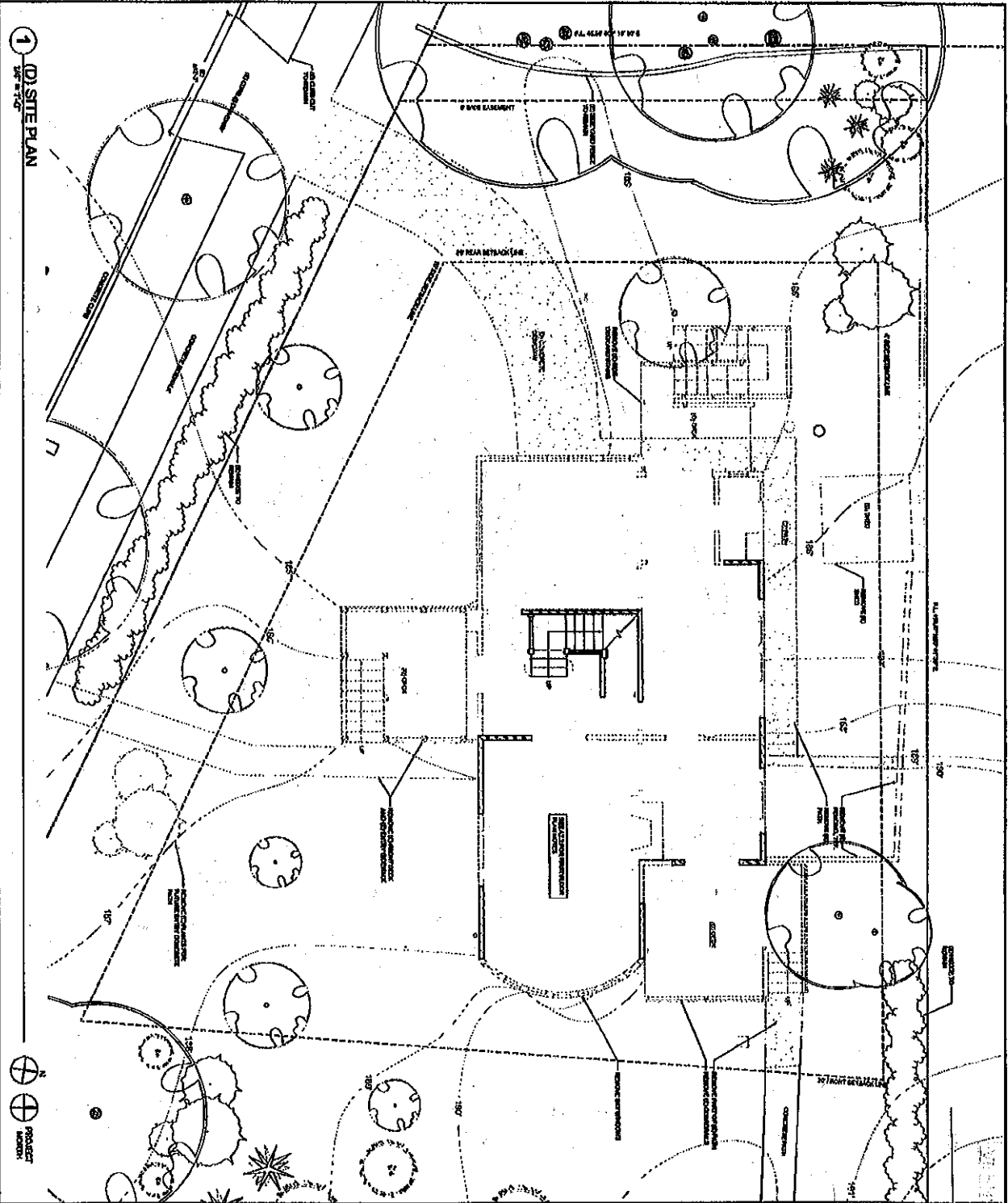
LOT 17, BLOCK 5
MAP OF NORTHSIDE (22 N. 85)
LOCATED AT 1549 SONOMA AVENUE
CITY OF BERKELEY, COUNTY OF ALAMEDA, CALIFORNIA
JULY 2012
SCALE: 1" = 8'

MORAN ENGINEERING, INC.

ONE, DRIVERS \ LAND SURVEYORS
1920 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(916) 548-1830
SONOMA AVENUE - 70' WIDE

LEGEND

ABC	BOUNDARY
BC	SETBACK
CD	SETBACK
DE	SETBACK
EF	SETBACK
FG	SETBACK
GH	SETBACK
HI	SETBACK
IJ	SETBACK
JK	SETBACK
KL	SETBACK
LM	SETBACK
NO	SETBACK
OP	SETBACK
PQ	SETBACK
R	SETBACK
S	SETBACK
T	SETBACK
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NW	SETBACK
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NY	SETBACK
NZ	SETBACK
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WY	SETBACK
WZ	SETBACK
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XB	SETBACK
XC	SETBACK
XD	SETBACK
XE	SETBACK
XF	SETBACK
XG	SETBACK
XH	SETBACK
XI	SETBACK
XJ	SETBACK
XK	SETBACK
XL	SETBACK
XM	SETBACK
XN	SETBACK
XO	SETBACK
XP	SETBACK
XQ	SETBACK
XR	SETBACK
XS	SETBACK
XT	SETBACK
XU	SETBACK
XV	SETBACK
XW	SETBACK
XX	SETBACK
XY	SETBACK
XZ	SET



NOTES

OHASHI DESIGN STUDIO
 ARCHITECTS
 1150 G ST. #100
 BERKELEY, CA 94707
 TEL: 415.841.1150
 FAX: 415.841.1151
 WWW.OHASHIDESIGNSTUDIO.COM



Vander Lans Licko Residence
 1849 SOMERSET AVE.
 BERKELEY, CA 94707

APR. 01-2015-20

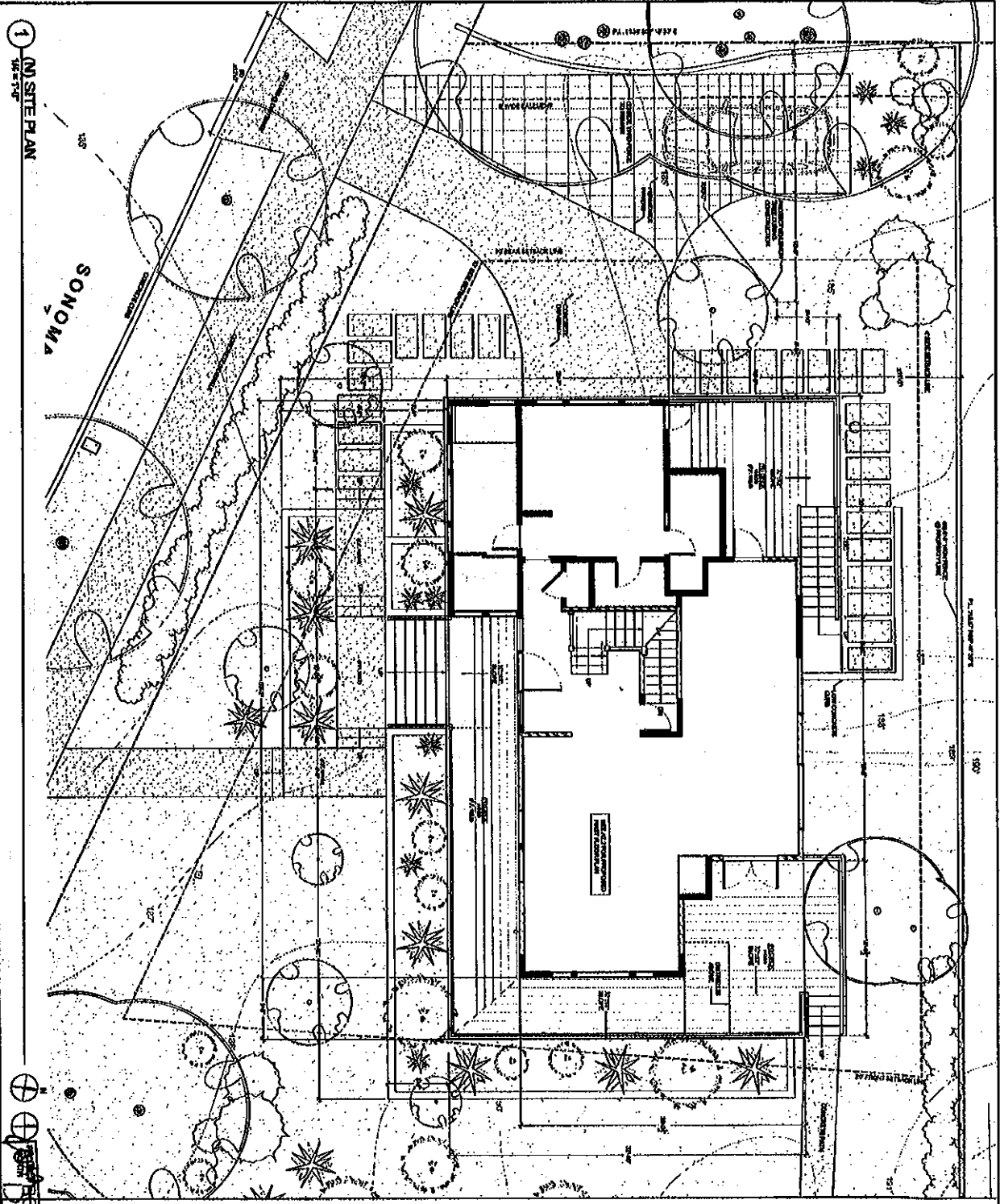
OWNER:
 Remy Vander Lans &
 Zorana Licko
 1849 SOMERSET AVE.
 BERKELEY, CA 94707
 510.527.4361

PLANNING SUBMITTAL

SHEET TITLE:
 (1) Site Plan

DATE	REVISION

A1.1



1 M SITE PLAN
NOV-19

SONOMA

NOTES
1. THE SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND LANDSCAPE ARCHITECTURE DRAWINGS.
2. THE SITE PLAN IS TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND LANDSCAPE ARCHITECTURE DRAWINGS.

- PLANNING
- D.R. Conditions Attached
 - A.U.P. Conditions Attached
 - U.P. Conditions Attached

REVIEWED PLAN
DATE: 11/19/19

A7.1.2

NO.	REVISIONS	DATE

**PLANNING
SUBMITTAL**

**Vanderlans
Licko
Residence**
1843 Sonoma Ave.
Berkeley, CA 94707

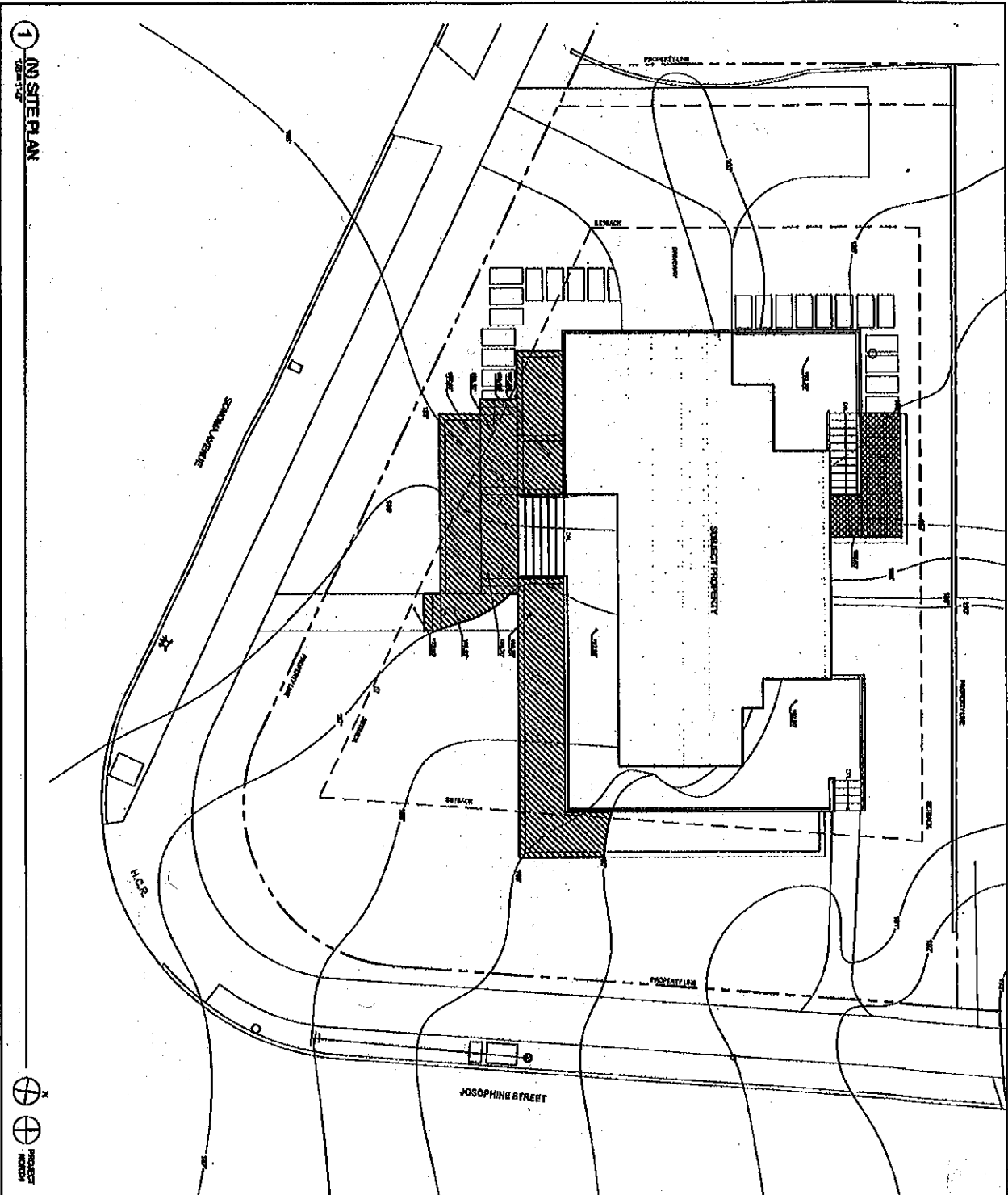
APR 07-2005-20

OWNERS:
Paul Vanderlans &
Zorana Licko
1843 Sonoma Ave.
Berkeley, CA 94707
(510) 527-2557



**CHASHI
DESIGN
STUDIO**

ARCHITECTS
LANDSCAPE ARCHITECTS
REGISTERED LANDSCAPE ARCHITECTS
IN THE STATE OF CALIFORNIA
NO. 123456789
123456789



1 (N) SITE PLAN
DATE: 11/10/10

NOTES:

LEGEND:

- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED DRIVEWAY
- PROPOSED PARKING
- PROPOSED UTILITY
- PROPOSED FENCE
- PROPOSED LANDSCAPE
- PROPOSED SIGNAGE
- PROPOSED LIGHTING
- PROPOSED SECURITY
- PROPOSED ACCESS
- PROPOSED EGRESS
- PROPOSED ESCAPE
- PROPOSED EXIT
- PROPOSED ENTRANCE
- PROPOSED STAIR
- PROPOSED ELEVATOR
- PROPOSED RAMP
- PROPOSED CURB CUT
- PROPOSED DRIVEWAY
- PROPOSED PARKING
- PROPOSED UTILITY
- PROPOSED FENCE
- PROPOSED LANDSCAPE
- PROPOSED SIGNAGE
- PROPOSED LIGHTING
- PROPOSED SECURITY
- PROPOSED ACCESS
- PROPOSED EGRESS
- PROPOSED ESCAPE
- PROPOSED EXIT
- PROPOSED ENTRANCE
- PROPOSED STAIR
- PROPOSED ELEVATOR
- PROPOSED RAMP
- PROPOSED CURB CUT

OWNER:
Bobby Vanderlans &
Zuzana Licko
1849 Serrano Ave,
Berkeley, CA 94707
(510) 527-2551

DATE: 01-28-10

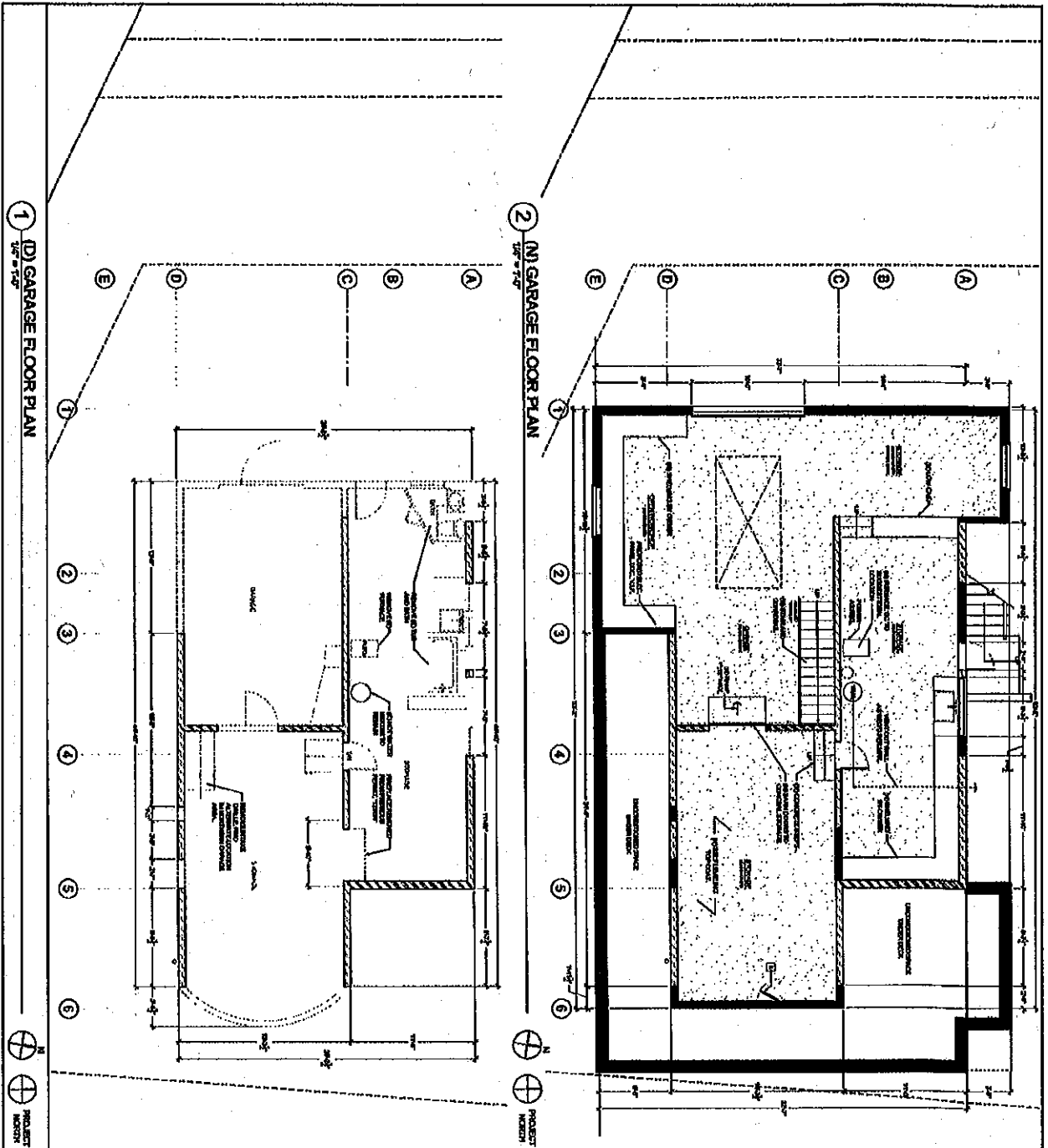
PROJECT: Vanderlans Licko Residence

SCALE: 1/8" = 1'-0"

SHEET NO.: A1.3

PLANNING SUBMITTAL

OHASHI DESIGN STUDIO
Architects
1000 University Ave., Suite 100
Berkeley, CA 94702
(415) 841-1111
www.ohashidesignstudio.com



GENERAL NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.

LEGEND:
 [Symbol] EXISTING
 [Symbol] REMOVAL
 [Symbol] NEW CONSTRUCTION
 [Symbol] MECHANICAL
 [Symbol] ELECTRICAL
 [Symbol] PLUMBING
 [Symbol] STRUCTURAL

KEY NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.

APPROVED PLAN
 D. SANDERSON 2/14/20
 PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

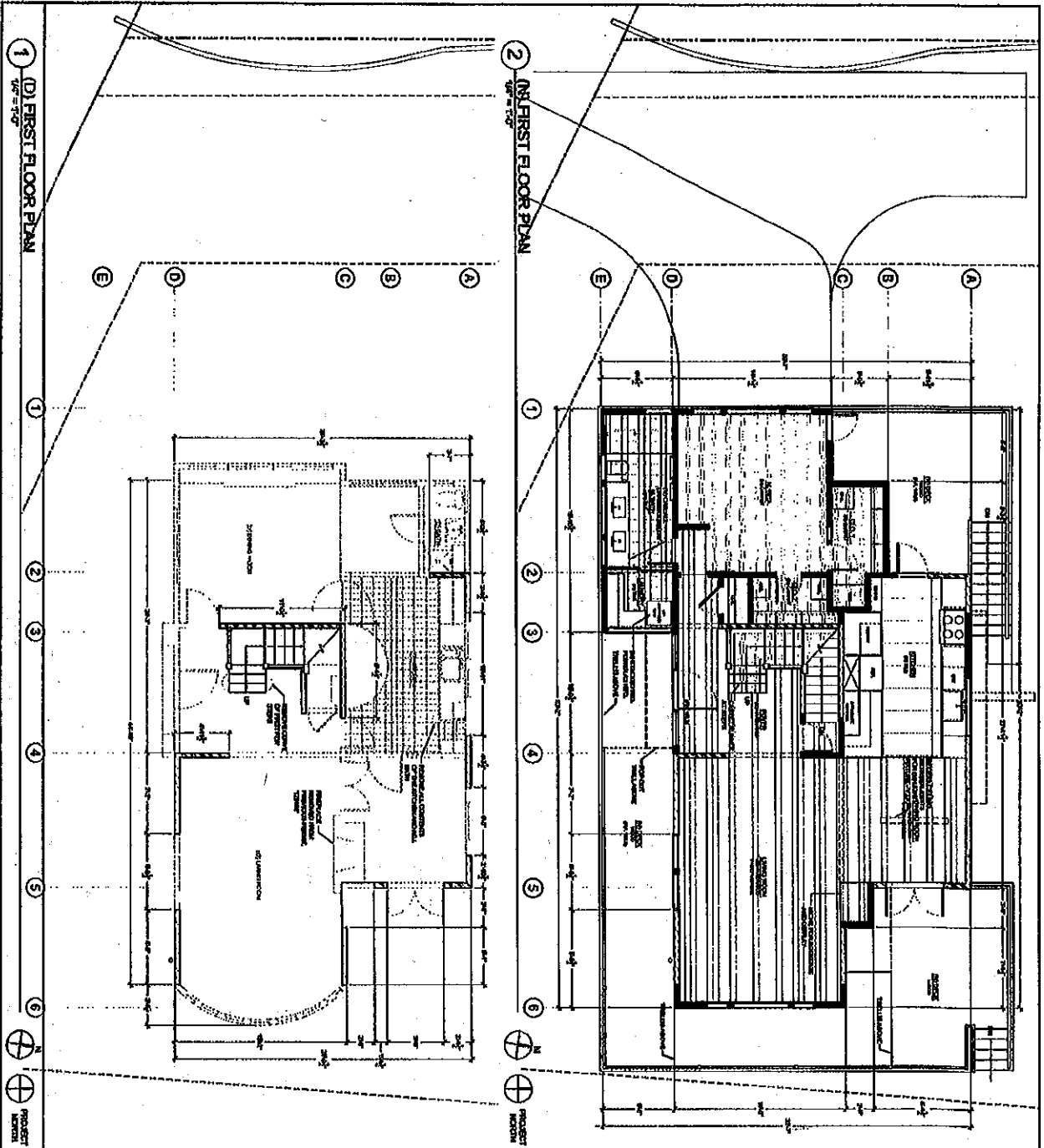
CHASHI DESIGN STUDIO
 ARCHITECTS
 1000 G ST. SUITE 200
 BERKELEY, CA 94707
 (415) 863-1100
 www.chashi.com

Vanderlans Licko Residence
 1885 Saratoga Ave.
 Berkeley, CA 94707
 94707
 APRIL 6, 2025-20
 OWNER:
 Rudy Vanderlans &
 Zorana Licko
 1885 Saratoga Ave.
 Berkeley, CA 94707
 (510) 527-2851

PLANNING SUBMITTAL

DATE: 2/14/20
 SCALE: 1/8" = 1'-0"

A2.1



1 (D) FIRST FLOOR PLAN
1/8" = 1'-0"

2 (M) FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE ORDINANCES.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL, ELECTRICAL AND PLUMBING CODES AND ALL APPLICABLE ORDINANCES.

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE AND SAFETY CODES AND ALL APPLICABLE ORDINANCES.

4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENERGY CODES AND ALL APPLICABLE ORDINANCES.

5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT AND ALL APPLICABLE ORDINANCES.

6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION ACT AND ALL APPLICABLE ORDINANCES.

7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LAND USE ACT AND ALL APPLICABLE ORDINANCES.

8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLANNING ACT AND ALL APPLICABLE ORDINANCES.

9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ZONING ACT AND ALL APPLICABLE ORDINANCES.

10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLANNING AND ZONING ACT AND ALL APPLICABLE ORDINANCES.

LEGEND

--- FINISH
--- WALL
--- FLOOR
--- CEILING
--- ROOF
--- EXTERIOR FINISH
--- EXTERIOR WALL
--- EXTERIOR FLOOR
--- EXTERIOR CEILING
--- EXTERIOR ROOF
--- EXTERIOR FINISH
--- EXTERIOR WALL
--- EXTERIOR FLOOR
--- EXTERIOR CEILING
--- EXTERIOR ROOF

KEY NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE ORDINANCES.

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1946 Stevens Ave.
Berkeley, CA 94707
94707
APR. 61.9365.33

OWNER:
Rody Vander Lans &
Zoeanna Liko
1946 Stevens Ave.
Berkeley, CA 94707
94707 527-5561

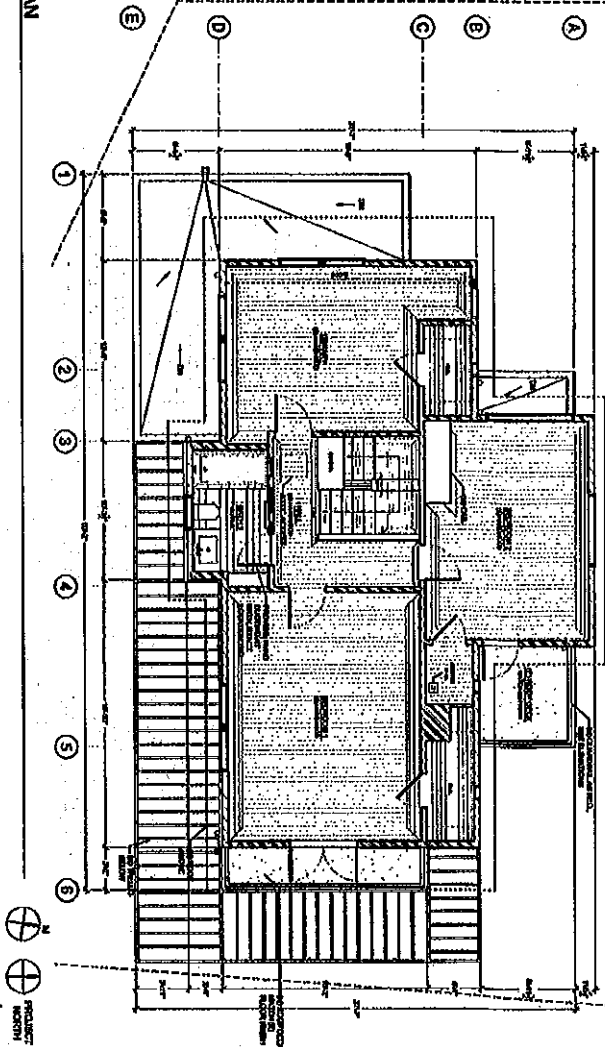
PLANNING SUBMITTAL

SHEET TITLE:
(D) First Floor Plan &
(M) First Floor Plan

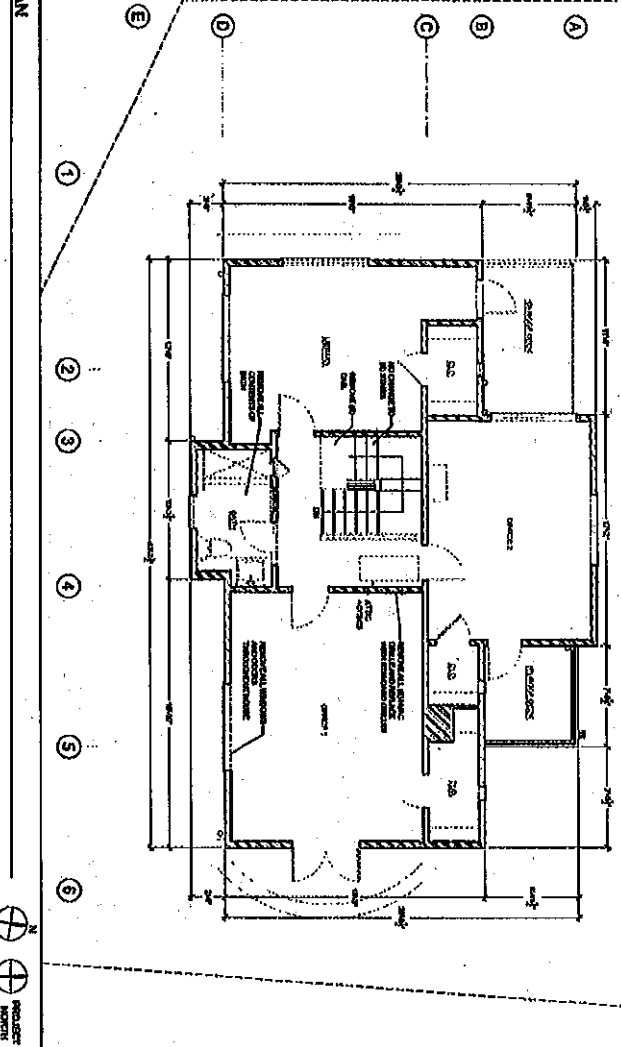
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2		ISSUED FOR PERMITTING
3		ISSUED FOR PERMITTING
4		ISSUED FOR PERMITTING
5		ISSUED FOR PERMITTING
6		ISSUED FOR PERMITTING
7		ISSUED FOR PERMITTING
8		ISSUED FOR PERMITTING
9		ISSUED FOR PERMITTING
10		ISSUED FOR PERMITTING

A2.2

2 (M) SECOND FLOOR PLAN
1/8" = 1'-0"



1 (D) SECOND FLOOR PLAN
1/8" = 1'-0"



GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
3. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2018 CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.
4. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2018 CALIFORNIA MECHANICAL CODE (CMC) AND ALL APPLICABLE LOCAL ORDINANCES.
5. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ELECTRICAL CODE (CEC) AND ALL APPLICABLE LOCAL ORDINANCES.
6. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2018 CALIFORNIA PLUMBING AND MECHANICAL CODE (CPC) AND ALL APPLICABLE LOCAL ORDINANCES.
7. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2018 CALIFORNIA FIRE AND SAFETY CODE (FSC) AND ALL APPLICABLE LOCAL ORDINANCES.
8. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2018 CALIFORNIA LANDMARK PRESERVATION ACT (LPA) AND ALL APPLICABLE LOCAL ORDINANCES.
9. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2018 CALIFORNIA HISTORIC PRESERVATION ACT (HPA) AND ALL APPLICABLE LOCAL ORDINANCES.
10. ALL WORK IS TO BE IN ACCORDANCE WITH THE 2018 CALIFORNIA ANTI-DISCRIMINATION ACT (ADA) AND ALL APPLICABLE LOCAL ORDINANCES.

LEGEND

- FINISH
- GENERAL CONTRACT
- MECHANICAL CONTRACT
- ELECTRICAL CONTRACT
- PLUMBING CONTRACT
- LANDSCAPE CONTRACT
- OTHER CONTRACT

OWNER:
Rudy Vanderlans &
Zanna Liko
1969 Stevens Ave.
Berkeley, CA 94707
(916) 277-2591

DATE: 01-28-2020

APPROVED PLAN
D. SHAW
DATE: 01-28-2020

PLANNING

- D.R. Conditions Attached
- A.U.P. Conditions Attached
- U.P. Conditions Attached

KEY NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

OHASHI DESIGN STUDIO

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Vanderlans Liko Residence

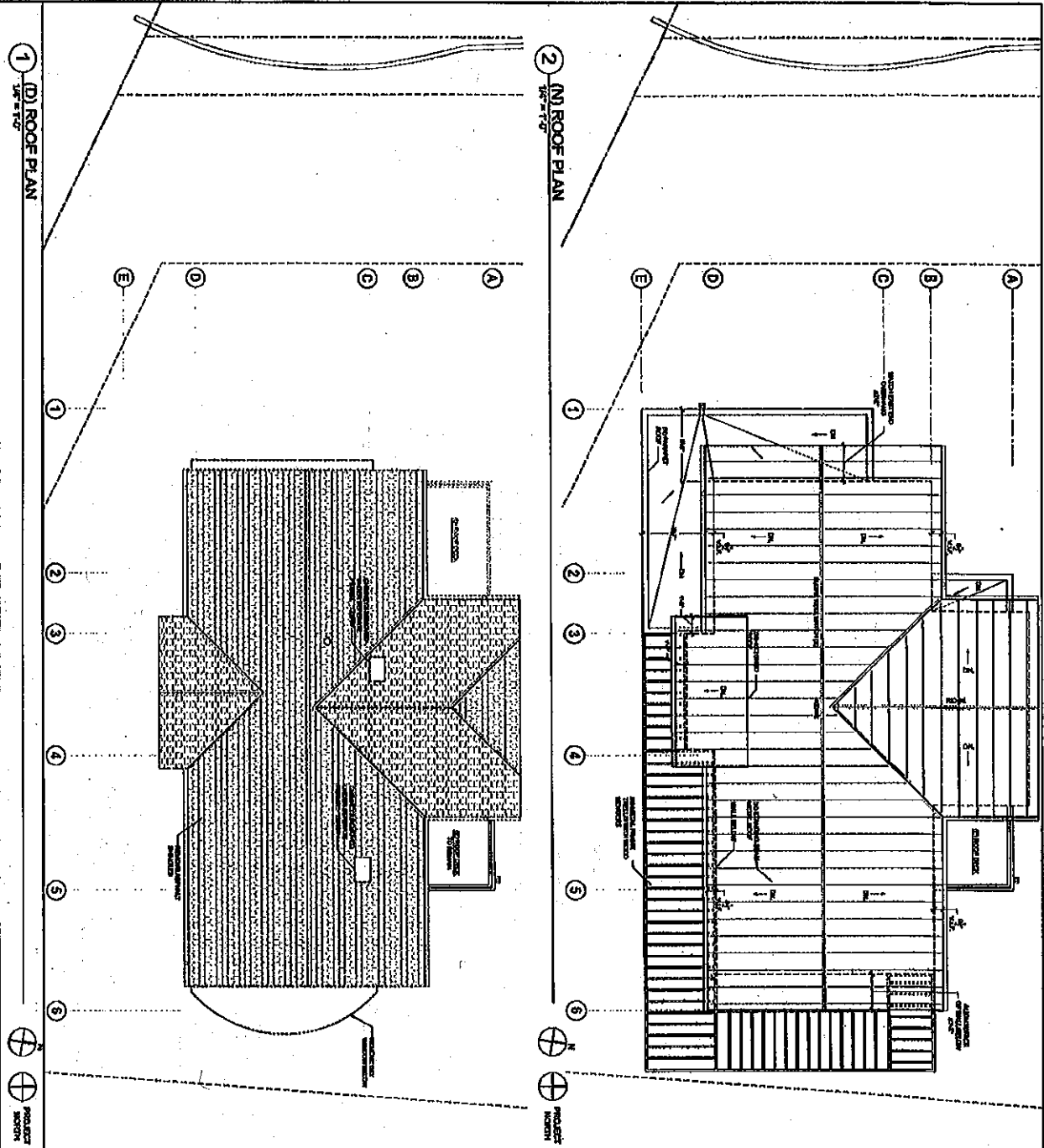
3969 Stevens Ave., Berkeley, CA 94707

APR 01-2020-20

PLANNING SUBMITTAL

NO.	REVISION	DATE
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2	ISSUED FOR PERMITTING	01-28-2020
3	ISSUED FOR PERMITTING	01-28-2020
4	ISSUED FOR PERMITTING	01-28-2020
5	ISSUED FOR PERMITTING	01-28-2020
6	ISSUED FOR PERMITTING	01-28-2020

A2.3



GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT BEFORE USE.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

LEGEND:

--- ROOF FINISH

--- ROOF FINISH

--- ROOF FINISH

--- ROOF FINISH

--- ROOF FINISH

OWNER:

Ruby Vanderlans &
Zuzana Licko
1849 Sherman Ave.
Berkeley, CA 94707
(910) 572-2881

KEY NOTES:

1. ROOF FINISH

2. ROOF FINISH

NO.	REVISION	DATE

OHASHI DESIGN STUDIO

Architects

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Berkeley, CA 94707
(910) 572-2881



Vanderlans Licko Residence

1849 Sherman Ave.
Berkeley, CA 94707

APR 01-2015-23

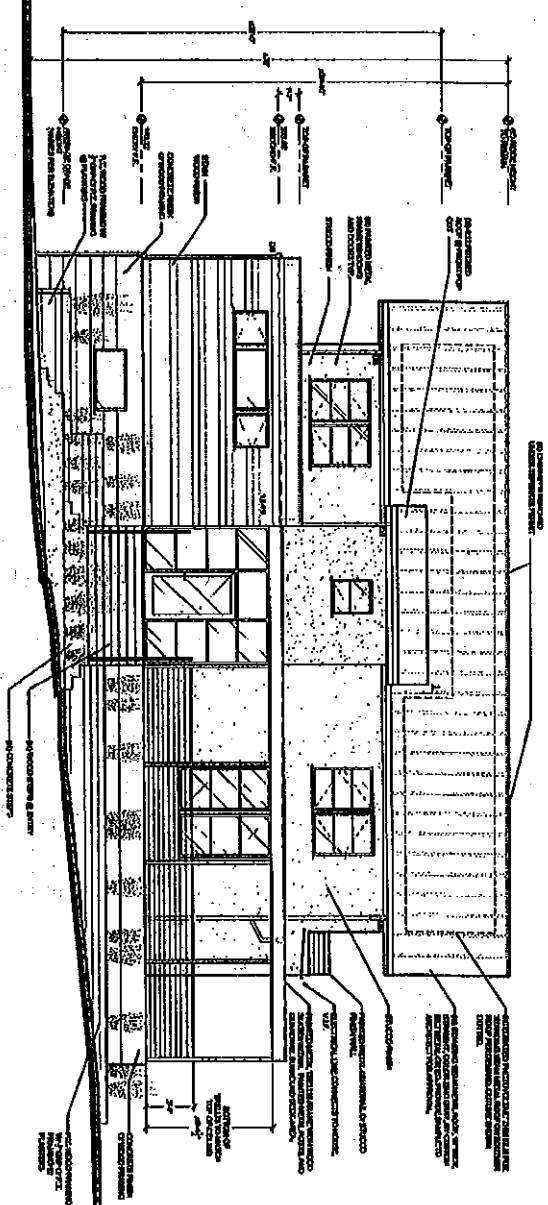
PLANNING SUBMITTAL

SHEET TITLE:

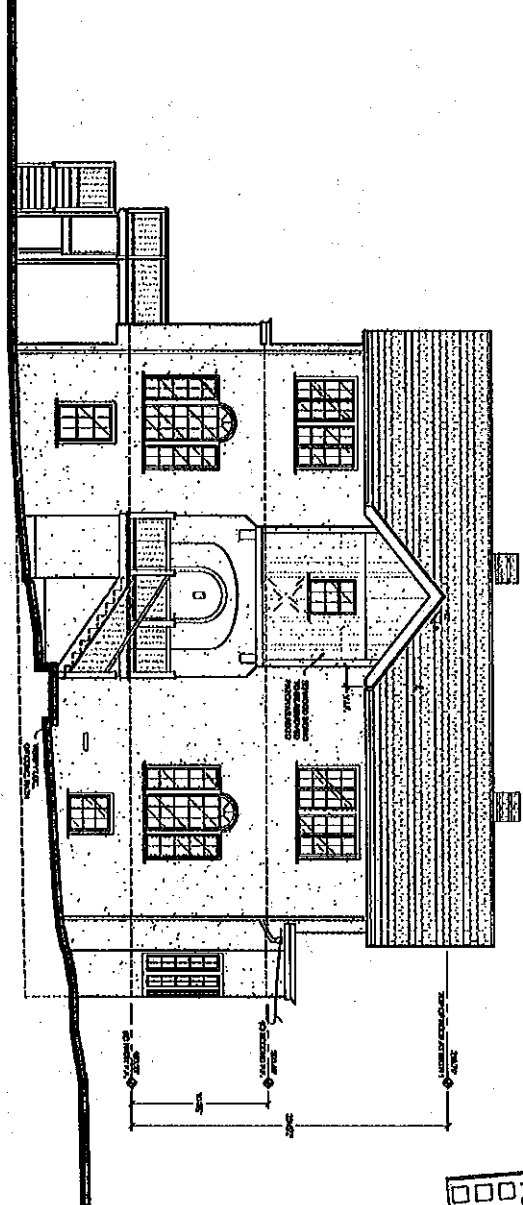
(D) Roof Plan &
(M) Roof Plan

A2.4

2 (M) SOUTH ELEVATION



1 (E) SOUTH ELEVATION



APPROVED PLAN
 D. SAUNDERS
 DATE 10/27/2011

PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

OHASHI
 DESIGN
 STUDIO

ARCHITECTS
 1000 N. GARDEN
 SUITE 100
 ANAHEIM, CA 92810
 TEL: 714.771.1111
 FAX: 714.771.1112
 WWW.OHASHIDESIGNSTUDIO.COM

Vanderlans
 Licko
 Residence
 1888 Sherman Ave,
 Berkeley, CA
 94704

ARCH: 01-2005-20

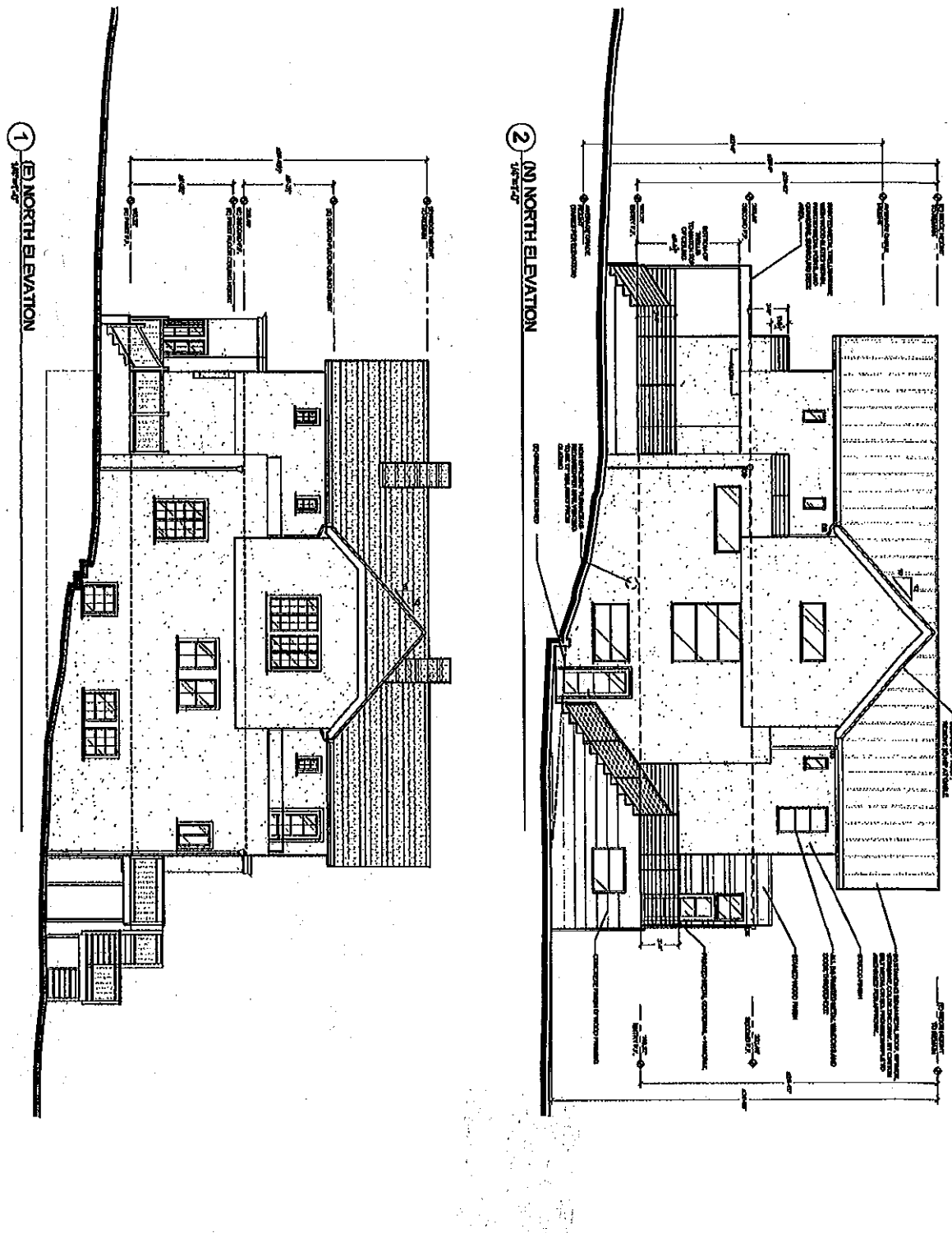
OWNER:

Billy Vanderlans &
 Zorana Licko
 1888 Sherman Ave,
 Berkeley, CA 94704
 415.863.1111

PLANNING
 SUBMITTAL

A3.1

SHEET TITLE:	
(E) & (M) ELEVATION	
DATE:	10/27/2011
DESIGNER:	D. SAUNDERS
CHECKED:	
DATE:	
SCALE:	
PROJECT:	
CLIENT:	
ARCHITECT:	
ENGINEER:	
PLUMBER:	
ELECTRICIAN:	
Mechanical:	
Structural:	
Other:	



1 (E) NORTH ELEVATION

2 (M) NORTH ELEVATION



OHASHI DESIGN STUDIO
 ARCHITECT
 1000 S. GARDEN ST. #1113
 ANAHEIM, CA 92805
 (714) 771-1113
 www.ohashidesignstudio.com

VanderLans Licko Residence
 1546 Sycamore Ave.
 Berkeley, CA 94707
 94707

APR 51-2025-20
 OWNER:
 Rudy VanderLans &
 Zuzanna Licko
 1849 Sycamore Ave.
 Berkeley, CA 94707
 (510) 527-2861

PLANNING SUBMITTAL

SHEET TITLE: (E) & (M) Elevation Elevations

NO.	REVISION	DATE

A3.2

