



Planning and Development Department
Land Use Planning Division

A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code, Title 23

AUP #13-20000005

Property Address: **1319 CARLOTTA AVENUE**

Permittee Name: **CARRIE K. WILSON & WICK
PANCOAST**

Use and/or Construction Permitted: to construct a two-story, approximately 1,200 square foot major residential addition that will raise the existing single family dwelling by 11' to create a new second story, increase the average height of the residence from 15' 4" to 27', increase the maximum height from 17' 4" to 30' and vertically extend the existing non-conforming front yard (14' where 20' is required). The project will also replace the existing 175 square foot garage with a new garage that measures 190 square feet with an average height of 11' within four feet of the side property line pursuant to:

- Section 23D.28.030 to construct a residential addition greater than 600 square feet;
- Section 23D.28.070 to construct a residential addition greater than 14' in average height;
- Section 23C.04.070 to vertically extend an existing non-conforming front yard; and
- Section 23D.08.010.B to construct an accessory structure greater than 10' in average height within 4' of the property line.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on March 20, 2013.

Attest: Terry Blount
Terry Blount, AICP, Principal Planner
For Debbie Sanderson, Zoning Officer

March 20, 2013
Effective Date

ATTACHMENT 1

FINDINGS AND CONDITIONS

FEBRUARY 27, 2013

1319 Carlotta Avenue

Administrative Use Permit #13-20000005

To construct a two-story, approximately 1,200 square foot major residential addition that will raise the existing single family dwelling by 11' to create a new second story, increase the average height of the residence from 15' 4" to 27', increase the maximum height from 17' 4" to 30' and vertically extend the existing non-conforming front yard (14' where 20' is required). The project will also replace the existing 175 square foot garage with a new garage that measures 190 square feet with an average height of 11' within four feet of the side property line.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - As required under Section 23D.28.090.B (Findings), the Zoning Officer finds that the project should not be denied because the proposed addition would not unreasonably obstruct sunlight, air, or views, because it would not cast new shadows on the windows or a substantial area of open space of adjacent residences. The addition remains well outside of the required yards, and is located

within the general footprint of the existing dwelling in an area that is already developed with substantial vegetation that also filters views.

- As required under Section 23D.28.070 (Development Standards), this project is permissible because the subject property satisfies the district standards for maximum residential density, maximum main building height, minimum rear, and side yard setbacks, maximum lot coverage and minimum open space.
- As required under Section 23D.28.080 (Parking), the project would not increase parking demand and existing parking is provided in accordance with the minimum requirement.
- As required under Section 23C.04.070 (Expansions of Non-Conforming Buildings and Structures), the project is permissible because the alteration will not encroach further into the required front yard.
- As required under Section 23D.08.010.B (Accessory Buildings), the creation of an accessory building at this location is found to be non-detrimental. The structure is located the same location (relative to the side property line) as the existing garage and will increase the height at the side of the structure due to the lowering of the grade. The structure will move towards the rear of the property by six feet, and as this will move the structure further from the dwelling on the adjacent property it is not expected to create any significant impact to the adjacent residence. When finished, the building will have a gabled roof with a maximum height of 12'.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

- 10.** The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: _____ Phone: _____

- 11.** The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths

- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

Prior to Issuance of Any Building Permit:

12. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.

During Construction:

13. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
14. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
15. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
16. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
17. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
18. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
19. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.

20. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
21. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
22. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

Prior to Issuance of Occupancy Permit or Final Inspection:

23. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
24. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **JANUARY 14, 2013**.

At All Times (Operation):

25. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
26. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
27. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood.



Claudine Asbagh, Assistant Planner for
Debra Sanderson, Zoning Officer

DUPLICATED

WILSON/PANCOAST RESIDENCY

1319 CARLOTTA AVE
BERKELEY CA 94706

OWNER
CARLE WILSON & WICK PANCOAST
1319 CARLOTTA AVE
BERKELEY CA 94706
Phone (510) 867-2338

GENERAL CONTRACTOR
WICK PANCOAST
704 SONOMA AVE
BERKELEY CA 94702
Phone (510) 529-9346

ARCHITECTS
ALBERT MORRIS ARCHITECTS
870 6TH ST
Berkeley CA 94710
Phone (510) 865-5100
Fax (510) 865-5108

DESIGN & DRAFTING
FERNANDO SUAREZ
200 NEVILL ST
ALBANY CA 94589
Phone (510) 474-0055

ASSESSOR PARCEL NUMBER: 60-2445-48

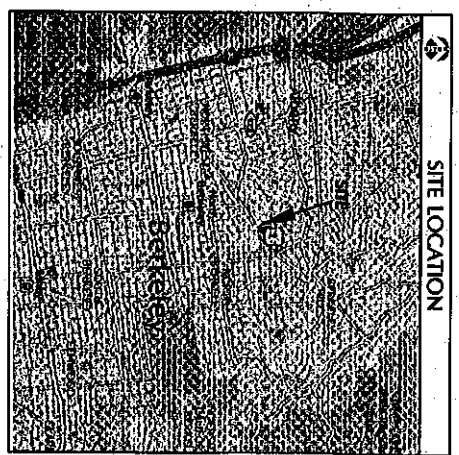
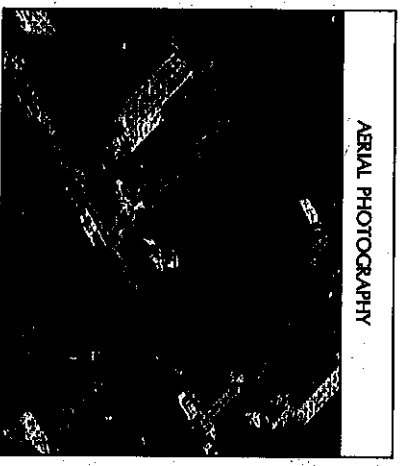
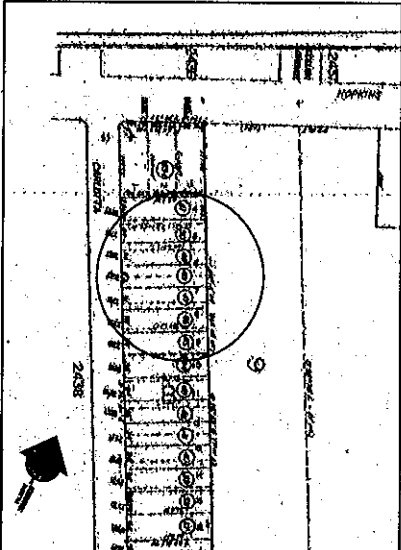
ABBREVIATIONS

1	1st FLOOR
2	2nd FLOOR
3	3rd FLOOR
4	4th FLOOR
5	5th FLOOR
6	6th FLOOR
7	7th FLOOR
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APPLICABLE CODES:
2010 California State Building Code
2010 California State Mechanical Code
2010 California State Plumbing Code
2010 California State Electrical Code
2001 International Code
2001 International and 2006 NEC

SCOPE OF WORK
1. TAKE EXISTING HOUSE AND ADD 185.5' ADDITION AT FIRST FLOOR AND 2nd SECOND STORY ADDITION
2. RELOCATE EXISTING CARPORT
3. NEW DECK

SYMBOLS	MATERIALS
1. 1/2" LINE	ACROPLATE, 1/2" OR 3/8"
2. 3/4" LINE	REINFORCING
3. 1" LINE	CONCRETE
4. 1 1/2" LINE	CONCRETE
5. 2" LINE	CONCRETE
6. 3" LINE	CONCRETE
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97. 94" LINE	CONCRETE
98. 95" LINE	CONCRETE
99. 96" LINE	CONCRETE
100. 97" LINE	CONCRETE



DRAWING INDEX

A10	COVER SHEET/PROJECT DATA
A11	SITE PLAN EXISTING & PROPOSED
A12	PROPOSED FLOOR PLAN
A13	EXISTING & PROPOSED GROUND PLAN
A14	EXISTING ELEVATIONS
A15	PROPOSED ELEVATIONS
A16	PROPOSED SECTIONS
A17	PHOTOGRAPHS
A18	SHADOW SURVEY

PROJECT DATA

PROJECT DESCRIPTION	RESIDENTIAL ADDITION/REMODEL
ADDRESS	1319 CARLOTTA AVE BERKELEY CA 94706
APN	00-2445-48
BUILDING TYPE	SINGLE FAMILY
ZONING	RESIDENTIAL
LOT AREA	4882 SQ. FT.
EXISTING HOUSE LIVING AREA	1016 SQ. FT.
PLAN AREA DESCRIPTION	
EXISTING LOT COVERAGE	24%
FIRST STORY COVERAGE	1033 SQ.FT.
GARAGE/CARPORT	175 SQ.FT.
PORCH	82 SQ.FT.
TOTAL LOT COVERAGE	1294 SQ.FT.
PROPOSED LOT COVERAGE	
FIRST STORY COVERAGE	28%
GARAGE/CARPORT	175 SQ.FT.
PORCH	150 SQ.FT.
BEAR DECK	116 SQ.FT.
TOTAL LOT COVERAGE	96%

LAND USE PLANNING

RECEIVED
JAN 14 2013

WILSON/PANCOAST
RESIDENCE
1319 CARLOTTA AVE
BERKELEY CA 94706
CALL 510-860-5840

COVER SHEET
PROJECT DATA

APPROVED PLAN
DATE: 1/13/13

D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

WILSON/PANCOAST
RESIDENCE
1319 CARLOTTA AVE
BERKELEY CA 94706
CALL 510-860-5840

COVER SHEET
PROJECT DATA

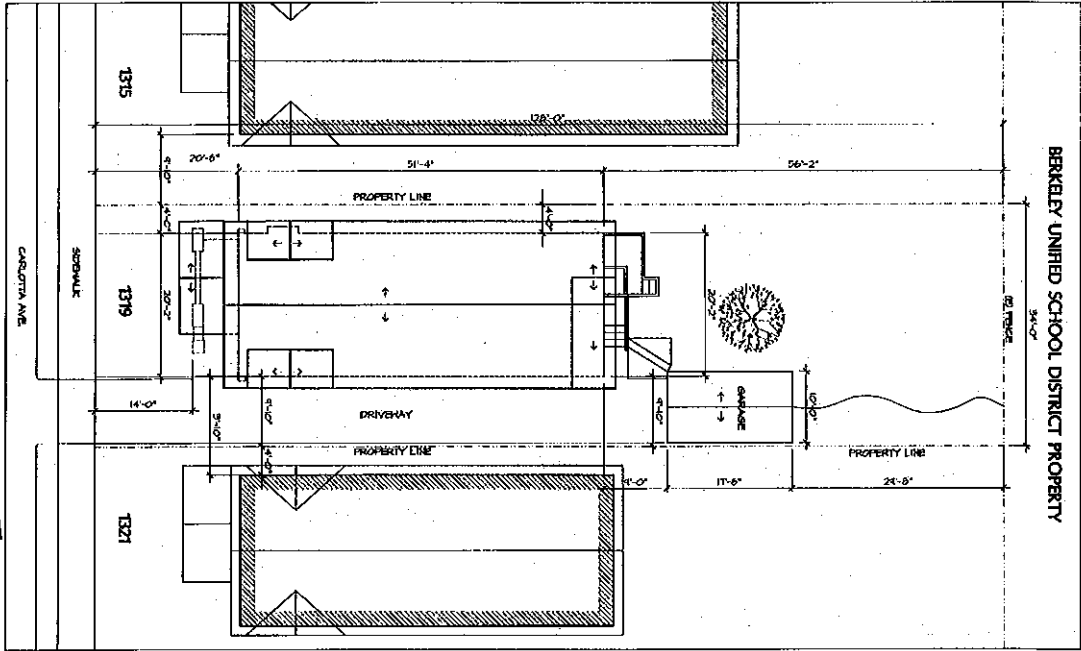
APPROVED PLAN
DATE: 1/13/13

D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

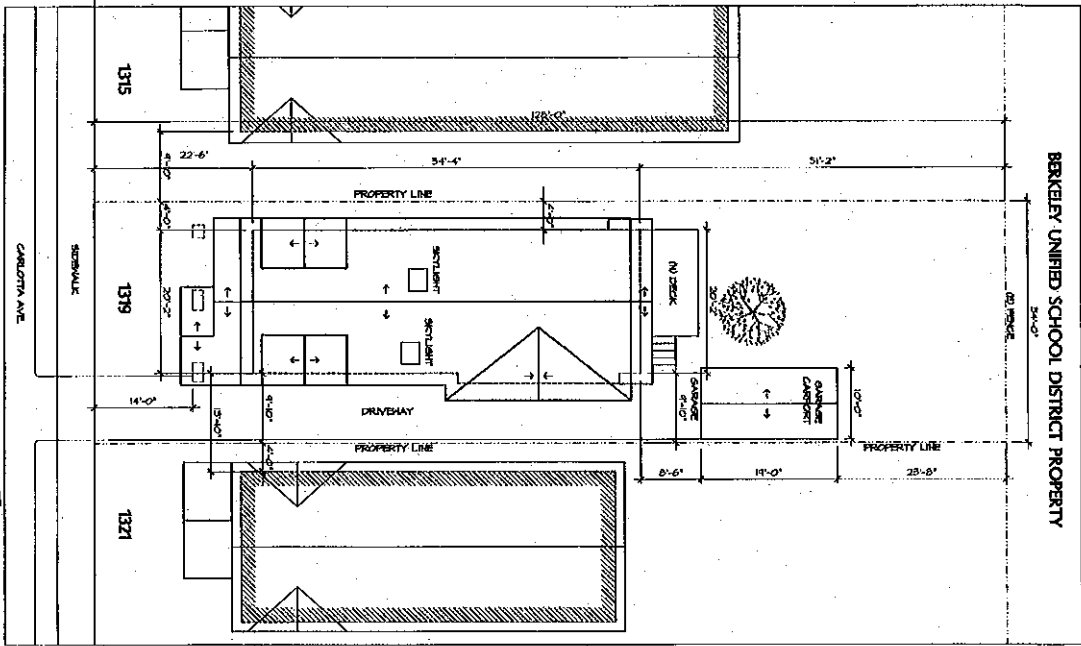
I HAVE REVIEWED THESE PLANS TO RAISE THE EXISTING 2016 SF HOUSE TO A MAXIMUM HEIGHT OF 29' AND ADD A 1106 SF ADDITION AT FIRST LEVEL AND 50 SF ADDITION AT SECOND LEVEL.

Name (Printed)	Signature	Address	Renter or Owner	Date	Have No Objections	Have Objections (Please state briefly)	(Please)	Have No Comment
Cecilia H. Pineda	<i>[Signature]</i>	1316 Carolla Ave.	OWNER	12/20/12	None			
Bill Hefner	<i>[Signature]</i>	1316 Carolla Ave.	OWNER	12-2-12	None			
Wesley Brockman	<i>[Signature]</i>	1016 Carolla Ave.	Owner	9/20/2012	None			
Anna Borger	<i>[Signature]</i>	"	"	"	None			
Kyle Foster	<i>[Signature]</i>	1320 CAROLLA AVE	OWNER	12/16/12	None			
Dana Clark	<i>[Signature]</i>	1316 Carolla Ave	OWNER	12/17/12	None			
Scott Roach	<i>[Signature]</i>	1315 Carolla Ave	"	12/17/12	None			

1 SITE PLAN
EXISTING CONDITIONS



2 SITE PLAN
PROPOSED CONDITIONS



APPROVED PLAN
DATE: 12/13/12

PLANNING
 P.D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

DATE: 28 NOV 2012
 SHEET NO. 01-08
 SHEET TITLE: A-1.1

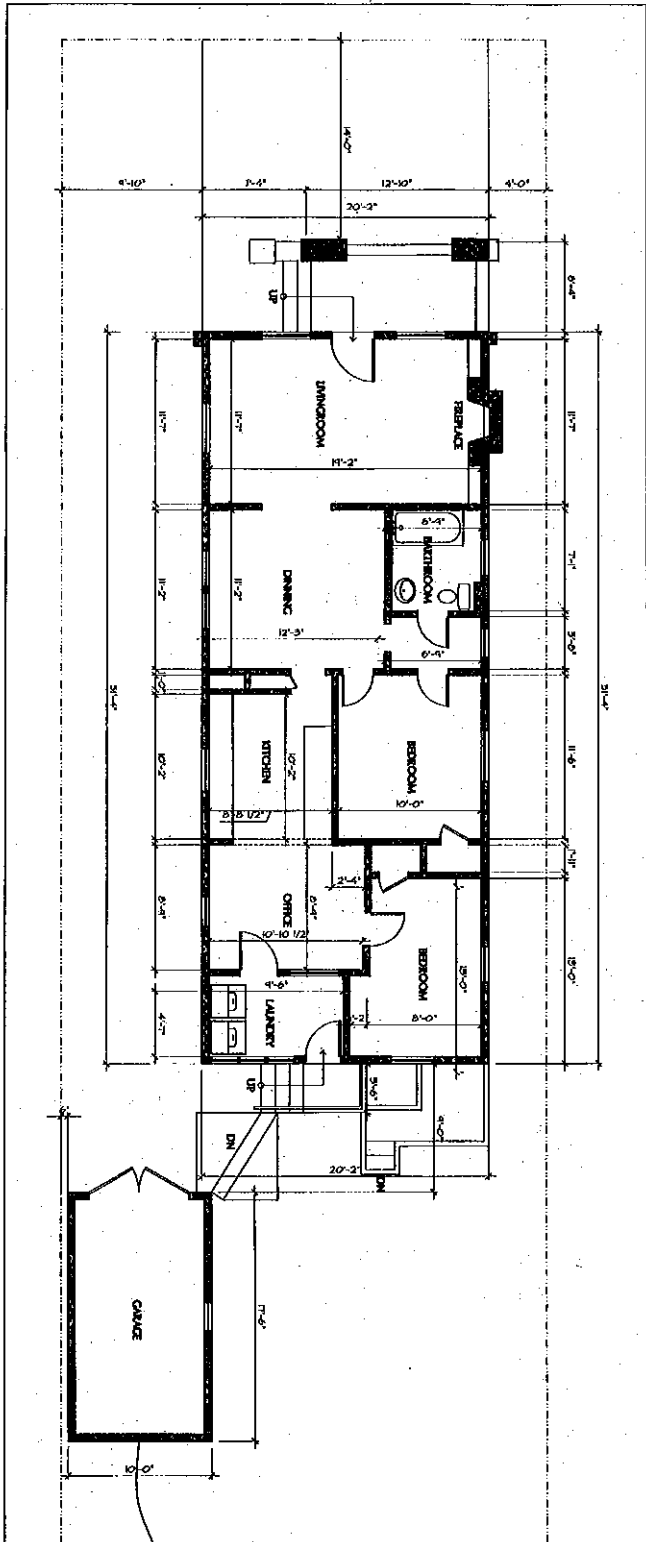
SITE PLAN
EXISTING &
PROPOSED

WILSON/PANCOAST
RESIDENCE
8719 CAROLLA AVE.
BERKELEY, CA 94708
CALL 879-620-8248

PANCOAST
CONSTRUCTION

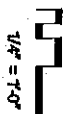
704 BOWMAN AVE
SUITE 100
BERKELEY, CA 94704
CALL 879-620-8248
WWW.PANCOAST.COM

Starez Design
 ERNANDO SUAREZ
 200 HILL ST
 BERKELEY, CA 94704
 415-863-8888



1 FLOOR PLAN
EXISTING CONDITIONS

1/8" = 1'-0"



APPROVED PLAN
 FOR D. SANDERSON 2/28/13
 DATE
 PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 SUP. Conditions Attached

- PLAN LEGEND:**
- ===== EXISTING WALL OR PARTITION
 - NEW 2 X 8 FRAMED NEW WALL
 - ===== (R) WALLS TO BE REMOVED
 - ===== EXISTING WINDOW
 - ===== NEW WINDOW
 - NO NEW
 - (D) EXISTING
 - DOOR SCHEDULE NEW
 - WINDOW SCHEDULE NEW

Suarez Design
 FERNANDO SUAREZ
 EXISTING SERVICES-CAO
 1515 CALLE 15
 CAROLINA, NC 27513
 919-487-9900



PANCOAST CONSTRUCTION
 TRIN SORIANO AVE
 SERRATELLO CA 94708
 CAR 925-830-8466
 FAX 925-830-8222
 WWW.PANCOAST.COM

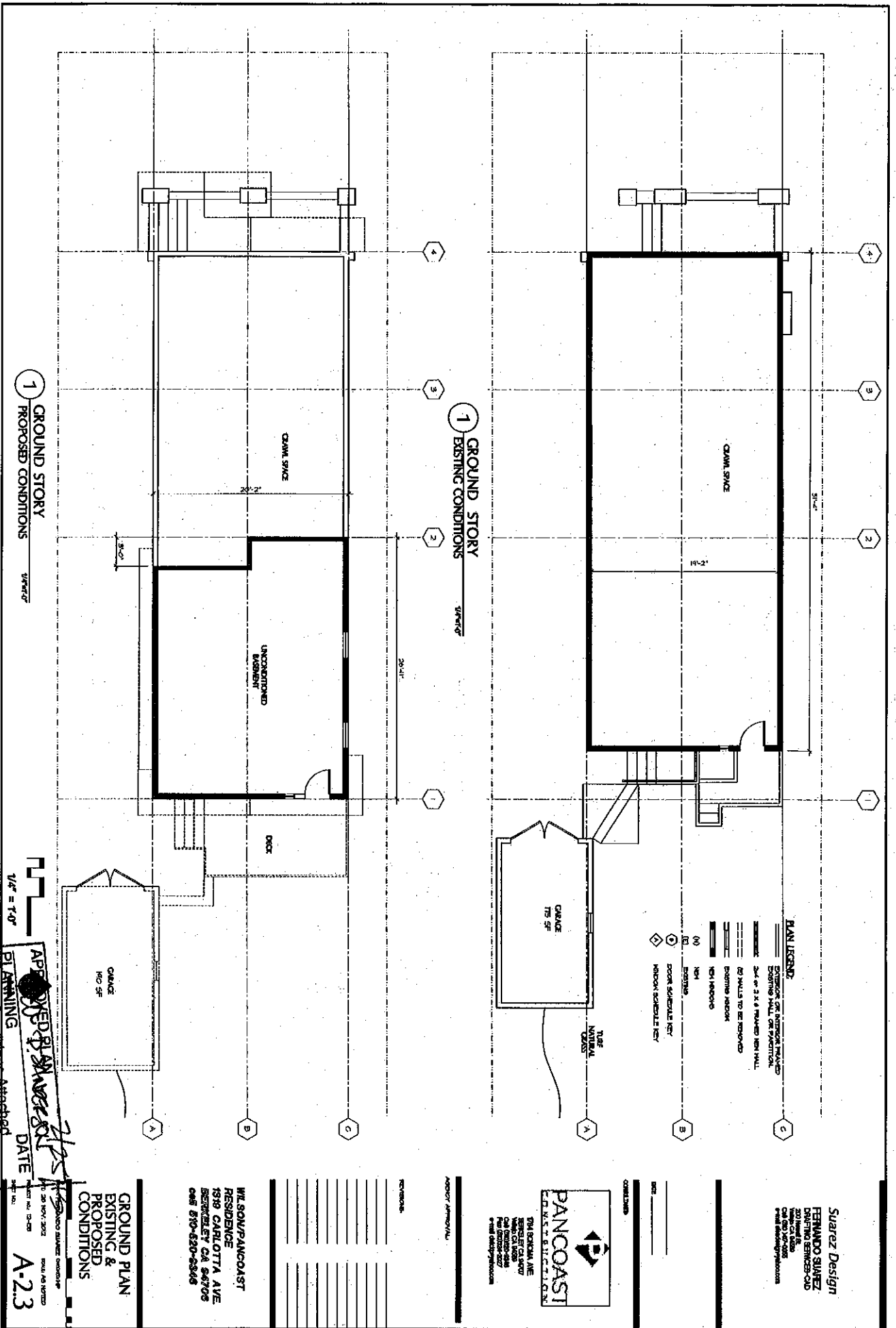
ARCHITECT APPROVAL

REVISIONS

WILSON/PANCOAST
 RESIDENCE
 1515 CAROLINA AVE
 SERRATELLO CA 94708
 415 510-630-8346

FLOOR PLAN
 EXISTING
 CONDITIONS

DATE: 28 NOV 2012
 PROJECT NO: 13-212
 SHEET NO: A-2.1



FAN LEGEND
 EXISTING OR INTERIOR FINISHED
 EXISTING HALL OR PARTITION
 2x4 or 2x6 FINISHED NON HALL
 TO WALLS TO BE REMOVED
 EXISTING WINDOW
 NEW WINDOW
 (N) NEW
 (B) BROWNE
 DOOR SCHEDULE NEW
 WINDOW SCHEDULE NEW
 TUBE NATURAL
 DASH

Suarez Design
FERNANDO SUAREZ
 DESIGNER
 200 HIGHLAND AVE
 SUITE 100
 CAROLINA, CA 94705
 TEL: 925-438-1100
 FAX: 925-438-1101



PANCOAST CONSULTING
 701 BENTON AVE
 SUITE 100
 CAROLINA, CA 94705
 TEL: 925-438-1100
 FAX: 925-438-1101

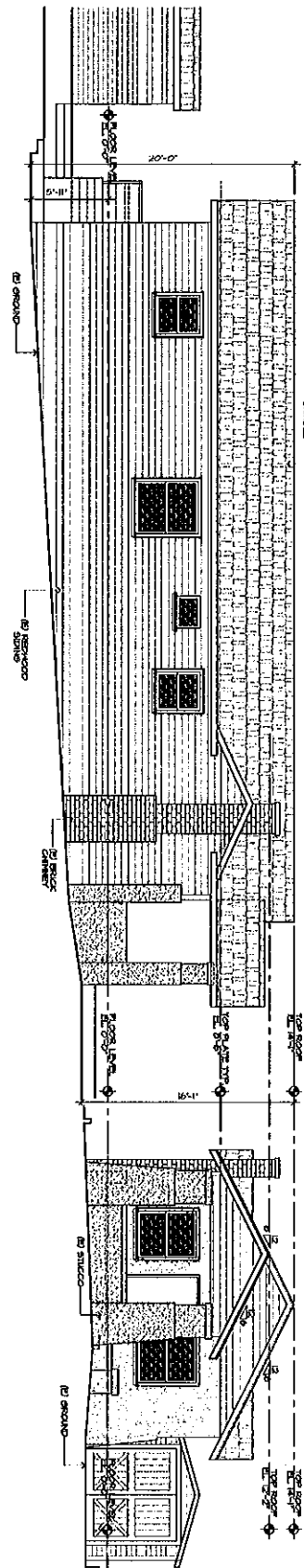
APPROVED BY: *[Signature]*
DATE: *[Date]*

- BY:** *[Signature]*
- D.R. Conditions Attached
 - A.U.P. Conditions Attached
 - U.P. Conditions Attached

GROUND PLAN
 EXISTING &
 PROPOSED
 CONDITIONS
A-2.3

EXISTING FRONT PORCH ELEVATION

EXISTING FRONT PORCH ELEVATION



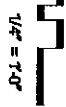
4 SIDE ELEVATION
EXISTING NORTH



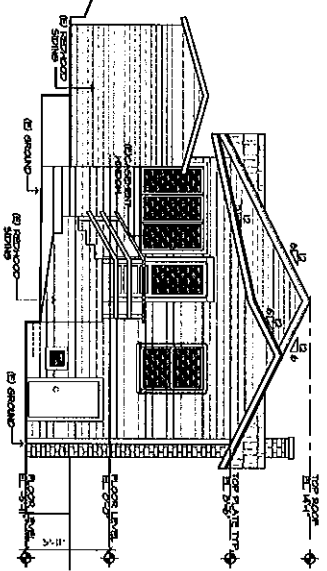
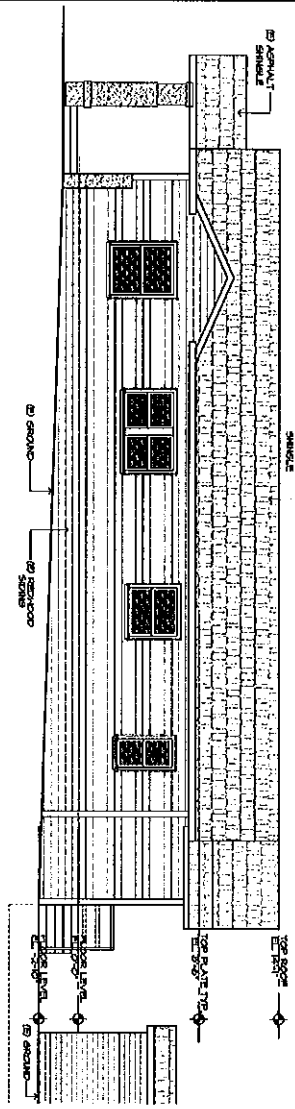
2 FRONT ELEVATION
EXISTING WEST



3 SIDE ELEVATION
EXISTING SOUTH



1 REAR ELEVATION
EXISTING EAST



Suarez Design
FERNANDO SUAREZ
200 HAWK RD
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DINA SERRANA, INC.
10000 WILSON AVENUE
SUITE 100
COSTA MESA, CA 92626
TEL: 714-440-1111
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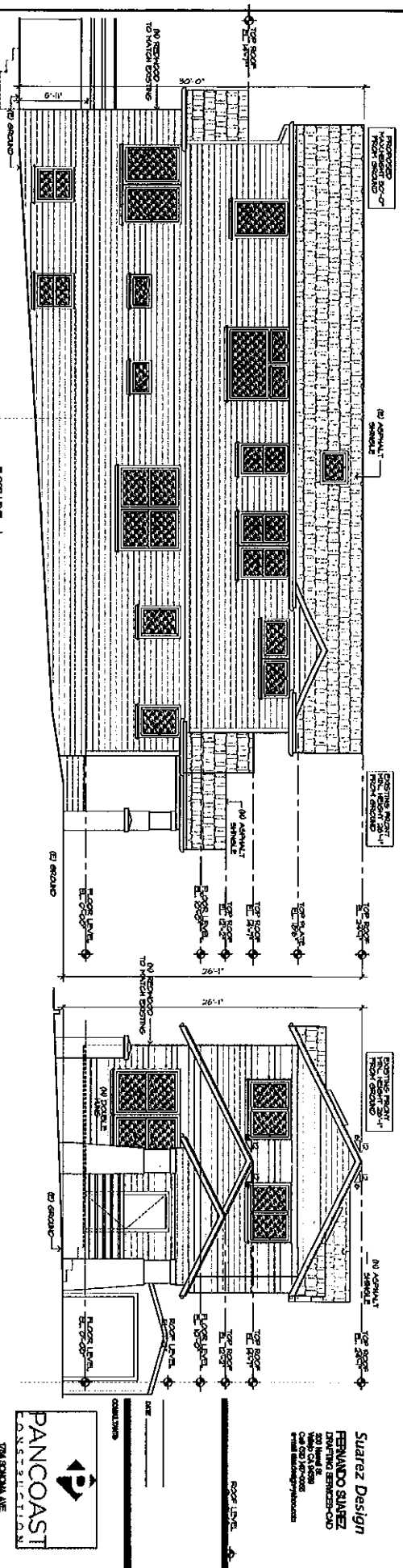
ARCHITECT APPROVAL

WILSON/PANCOAST
RESIDENCE
1318 CAROLITA AVE
BERMUDA BEACH, CA 94705
CELL: 678-622-9235

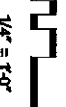
EXISTING
ELEVATIONS

DATE: 12/2/12
APPROVED BY: [Signature]
DATE: 12/2/12
PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

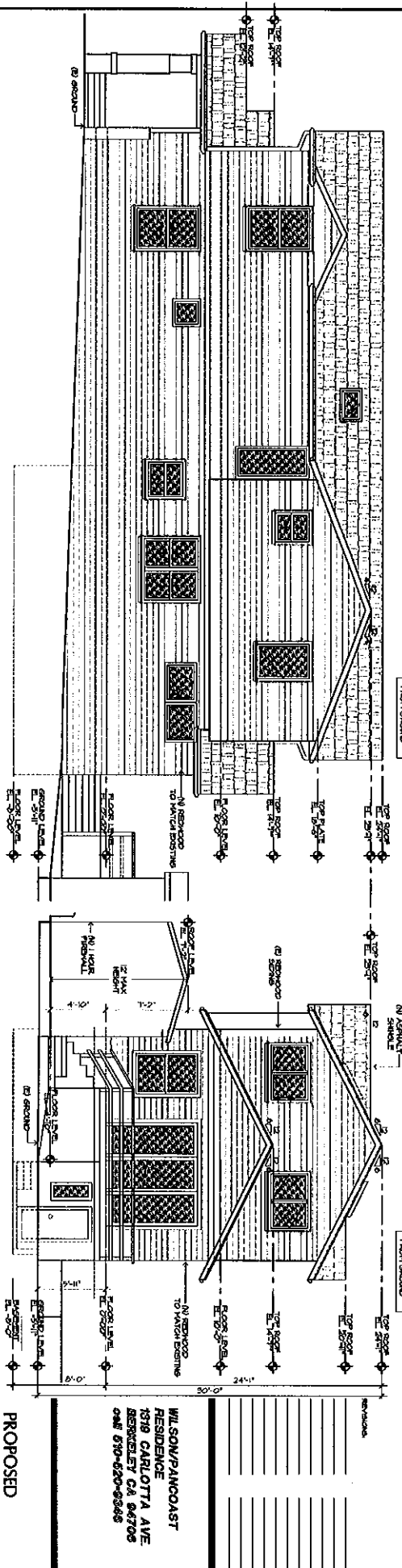
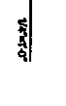
NO. 20 NOV. 2012
PROJECT NO. 0428
SHEET NO. A-3.1



4 SIDE ELEVATION
PROPOSED NORTH



2 FRONT ELEVATION
PROPOSED WEST



3 SIDE ELEVATION
PROPOSED SOUTH



1 REAR ELEVATION
PROPOSED EAST



PLANNING
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

DATE: 12-21-10
 APPROVED BY: [Signature]

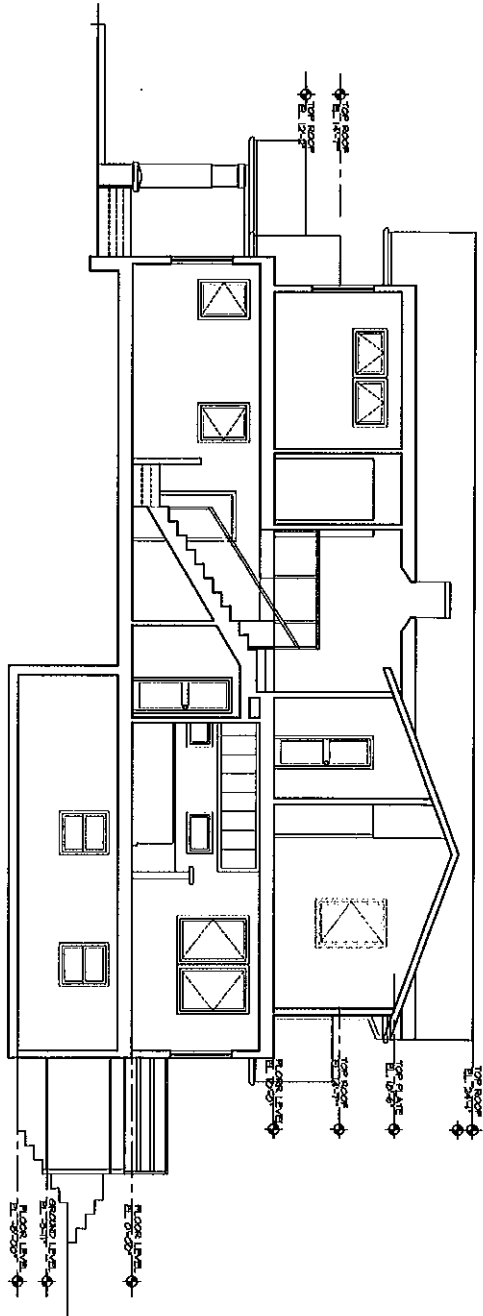
PROPOSED ELEVATIONS
 A-32

WILSON/PANCOAST
 RESIDENCE
 1318 CAROLTA AVE
 BERKELEY CA 94705
 (415) 835-9345



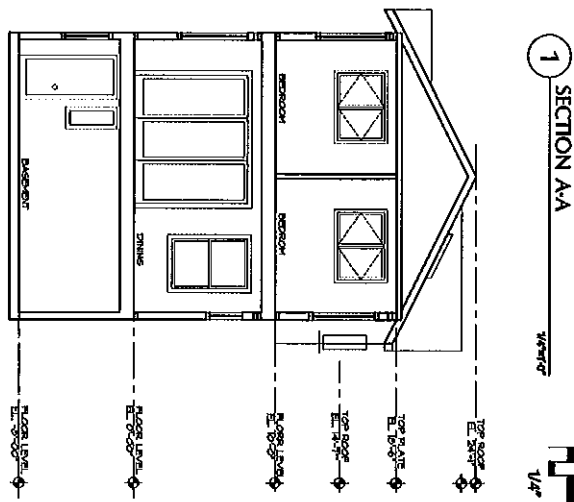
TINA SOKOLA, AIA
 SENIOR CLERK
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 DRAWING ENGINEER-OLD
 200 HUNTER ST
 SAN FRANCISCO CA 94102
 (415) 398-7700
 fernando@suarezdesign.com



WINDOW SCHEDULE

NO.	DESCRIPTION	TYPE	FINISH	REMARKS
1	12\"/>			



SECTION B-B

APPROVED PLAN
 DATE: 2/24/14
 PLANNING Conditions Attached
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

PROPOSED SECTION
 DATE: 20 NOV 2013
 SCALE: AS NOTED
A-3.33

WILSON/PANCOAST
 RESIDENCE
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