



Planning and Development Department  
Land Use Planning Division

# A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE  
Berkeley Municipal Code, Title 23

**AUP #12-20000120**

Property Address: **2936 PINE AVENUE**

Permittee Name: **JAMES WALBRIDGE, TEKTON  
ARCHITECTURE**

Use and/or Construction Permitted: to remodel a portion of a building 13' 10" from the rear property line (where 20' is required) pursuant to:

- Section 23C.04.070.B to alter a portion of a building that encroaches into a required yard.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on February 14, 2013.

Attest: Terry Blount  
Terry Blount, AICP, Principal Planner  
For Debbie Sanderson, Zoning Officer

February 14, 2013  
Effective Date

# ATTACHMENT 1

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## FINDINGS AND CONDITIONS

JANUARY 24, 2013

### 2936 Pine Avenue

#### Administrative Use Permit #12-20000120

To remodel a portion of a building 13' 10" from the rear property line (where 20' is required).

#### CEQA FINDINGS

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1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 of the CEQA Guidelines ("Existing Facilities"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

#### FINDINGS FOR APPROVAL

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2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
  - The remodel of the dwelling at this location will bring the building into greater conformance as a rear deck will be removed. The remodel does not involve an addition greater than 14' in average height, and is located within the same building footprint.
3. As required by Section 23C.04.070, the alteration of the building within the setback will not further encroach into the required rear yard and maintains the 13' 10" existing setback.

## **STANDARD CONDITIONS**

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The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

### **1. Conditions Shall be Printed on Plans**

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

### **2. Applicant Responsible for Compliance with Conditions**

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

### **3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)**

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

### **4. Modification of Permits (Section 23B.56.020)**

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

### **5. Plans and Representations Become Conditions (Section 23B.56.030)**

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

### **6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)**

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

**7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)**

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

**8. Exercise and Lapse of Permits (Section 23B.56.100)**

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

**9. Indemnification Agreement**

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

**ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER**

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

**Prior to Submittal of Any Building Permit:**

- 10.** The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

- 11.** The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths

- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

**Prior to Issuance of Any Building Permit:**

12. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.

**During Construction:**

13. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.
14. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
15. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
16. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
17. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
18. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
19. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.

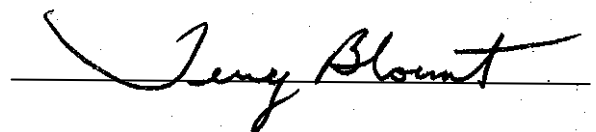
20. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
21. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
22. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

**Prior to Issuance of Occupancy Permit or Final Inspection:**

23. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
24. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **DECEMBER 4, 2012**.

**At All Times (Operation):**

25. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
26. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
27. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood.



Terry Blount, Principal Planner for  
Debra Sanderson, Zoning Officer



Prepared by: Claudine Asbagh

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# SHEET INDEX

- A-1 COVER SHEET/PROJ. INFO.
- A-2 SITE/NEIGHBOR SIGNATURES
- A-3 EXISTING PLAN
- A-4 PROPOSED PLAN
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- A-7 ELEVATIONS

APPROVED PLAN  
 PLANNING DATE  
 D.P. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached

# PROJECT TEAM

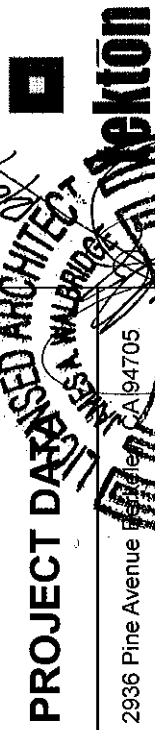
**OWNER:**  
 John Marx & Beth Anderson  
 2936 Pine Avenue  
 Berkeley, CA 94705

**ARCHITECT:**  
 Tekton Architecture  
 771 Clementina Street  
 San Francisco, CA 94103  
 ph: 415.863.2232  
 fax: 415.863.2236  
 CA license # C-25448

RECEIVED  
 DEC 4 2012  
 LAND USE PLANNING

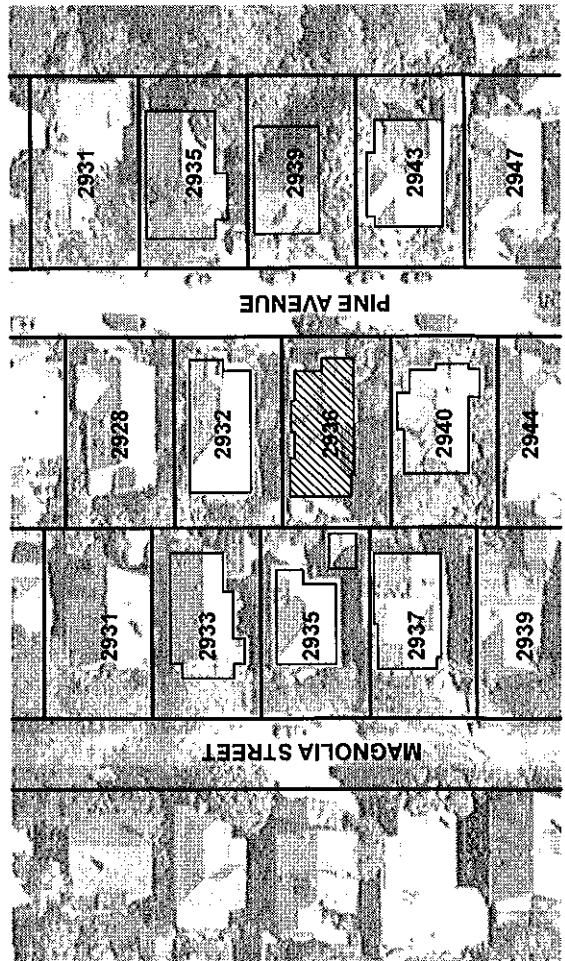
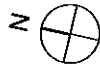
# PROJECT DATA

2936 Pine Avenue Berkeley, CA 94705  
 APN# 052 156511400  
 Zoning: R-1  
 No. of Stories: 1  
 Applicable Codes: 2010 CRC, 2010 CBC, 2010 Plumbing, 2010 Electrical, 2010 Mechanical, 2010 California Title 24, 2010 CALGreen



# VICINITY MAP

SCALE: 1" = 50'-0"



# PROJECT SCOPE

Kitchen, bath and office remodel to existing residence. Remove (e) rear yard deck. No changes to exterior footprint. No new floor area. Replace and raise flat roof at rear of residence to match current height of existing ceiling and existing eave line

**FLOOR AREA CALCULATIONS:**

<b>CONDITIONED FLOOR AREA:</b>	1320.0 sq ft
existing	1320.0 sq ft
proposed	
<b>LOT DATA:</b>	3600.0 sq ft
Lot 45' x 80'	40.0%
Allowable lot coverage	
<b>EXISTING LOT COVERAGE:</b>	1320.0 sq ft
conditioned floor area	72.0 sq ft
covered front porch	130 sq ft
covered rear deck + stairs	1522 = 42.3%
Lot coverage SF	
<b>PROPOSED LOT COVERAGE:</b>	1320.0 sq ft
conditioned floor area	72.0 sq ft
covered front porch	1392 = 38.7%
Lot coverage SF	

**Anderson/Marx Residence**  
 2936 Pine Avenue  
 Berkeley, CA 94705

**DATE** 09/14/2012  
**REVISION** AUP submittal  
 12/03/2012 AUP revisions

**AUP Submittal**

cover sheet

SCALE

**A-1**





**tektion**

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 telephone 415.863.2282 fax 415.863.2286  
 info@tektionarchitecture.com

JOB NUMBER: 2012.09

ARCHITECT:

**Anderson/Mark  
 Residence**

**2936 Pine Avenue  
 Berkeley, CA 94705**

DATE **REVISION**  
 09/14/2012 AUP submittal  
 12/03/2012 AUP revisions

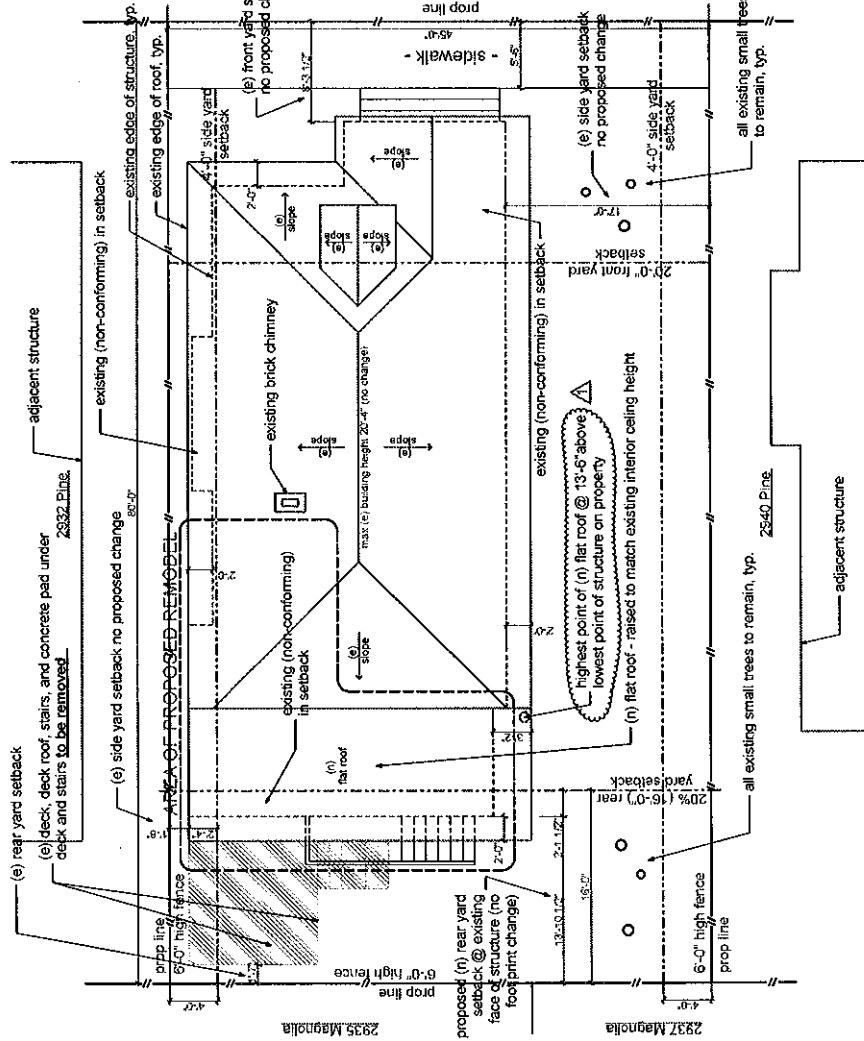
**AUP submittal**

site/neighborhood signatures

SCALE 1" = 10'-0"

**A-2**

APPROVED PLAN  
*July 1st 2012 1-22-303*  
 PLANNING DATE  
 D.R. Conditions Attached  
 A.U.P. Conditions Attached  
 S.I. Conditions Attached



**1 SITE/ROOF PLAN @ 2936 PINE AVENUE**

<b>EXISTING LOT COVERAGE:</b>	1320.0 sq ft	conditioned floor area	1320.0 sq ft
	72.0 sq ft	covered front porch	72.0 sq ft
	130 sq ft	covered rear deck + stairs	130 sq ft
<b>Lot coverage SF</b>	1522 = 42.3%	<b>Lot coverage SF</b>	1392 = 38.7%

Name (Printed)	Signature	Address	Renter or Owner	Date	Have no Objections	Have Objections (please state briefly)	Have no comment

**Neighborhood Signatures:**  
 I have reviewed plans for a kitchen, bath and office remodel to existing residence. Remove (e) rear yard deck. No changes to exterior footprint. No new floor area. Replace and raise flat roof at rear of residence to match current height of existing ceiling and existing eave line at 2936 Pine Avenue Berkeley CA



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**JOB NUMBER:** 2012.09

**ARCHITECT:**

**Anderson/Marx  
Residence**

**2936 Pine Avenue  
Berkeley, CA 94705**

**DATE** 09/14/2012  
**REVISION** AUP submittal  
12/03/2012 AUP revisions

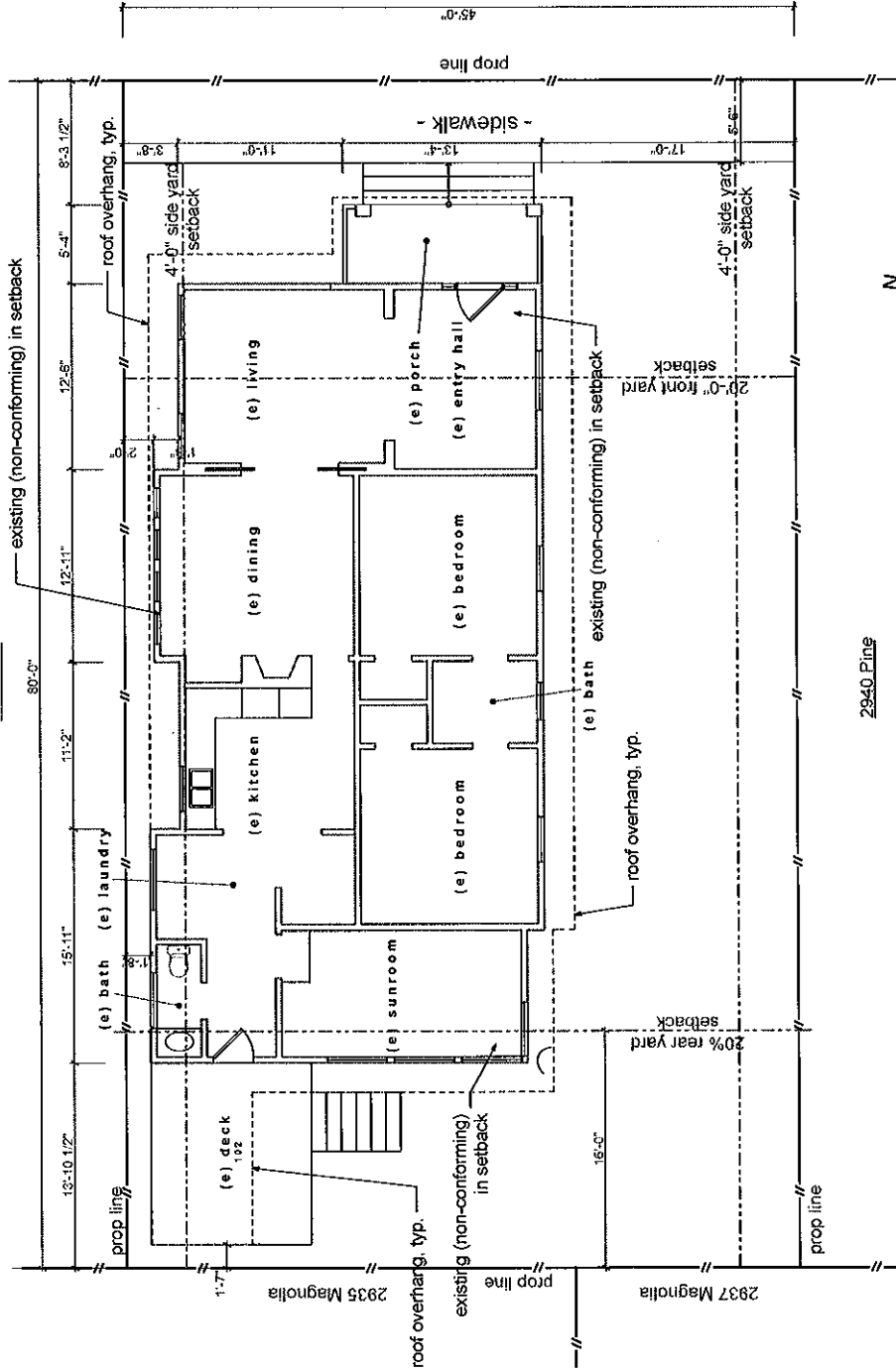
**AUP submittal**

existing plans

SCALE 1/8" = 1'-0"

**A-3**

APPROVED PLAN  
*July Blount 1-27-2013*  
PLANNING DATE  
 O.C. Conditions Attached  
 A.U.P. Conditions Attached  
2932 Pine



2940 Pine

**1** EXISTING FLOOR PLAN @ 2936 PINE AVENUE



# tekton

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JOB NUMBER: 2012.09

ARCHITECT:

**Anderson/Marx  
Residence**  
2936 Pine Avenue  
Berkeley, CA 94705

DATE REVISION  
09/14/2012 AUP submittal  
12/03/2012 AUP revisions

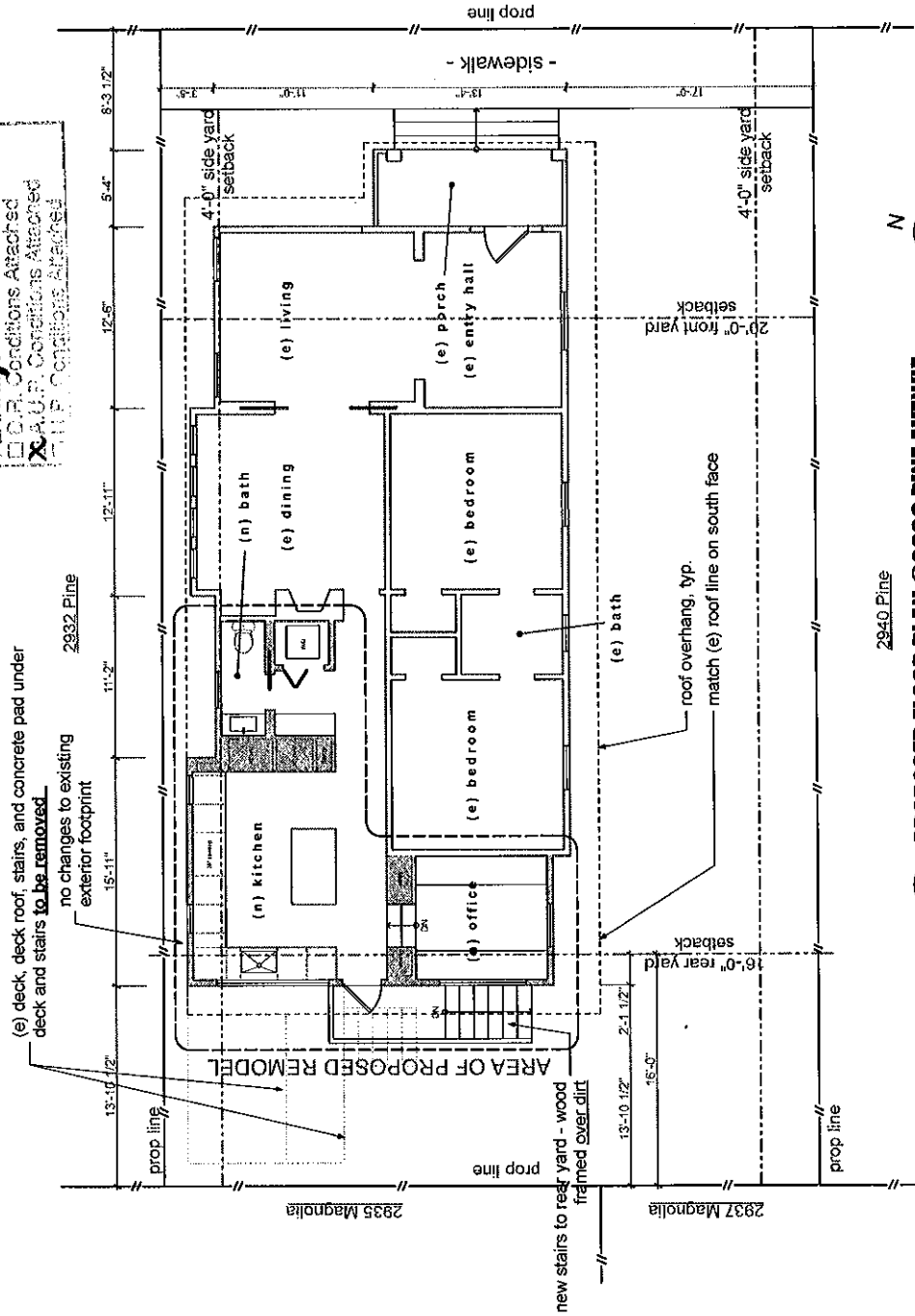
AUP submittal

proposed plan

SCALE: 1/8" = 1'-0"

# A-4

APPROVED PLAN  
*Janet Hunt 10/20/12*  
PLANNING DATE  
[ ] All Conditions Attached  
[X] AUP Conditions Attached  
[ ] All Conditions Attached





# tekton

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JOB NUMBER: 2012.09

ARCHITECT:

## Anderson/Marx Residence

### 2936 Pine Avenue Berkeley, CA 94705

DATE: 09/14/2012  
REVISION: AUP submittal  
12/03/2012 AUP revisions

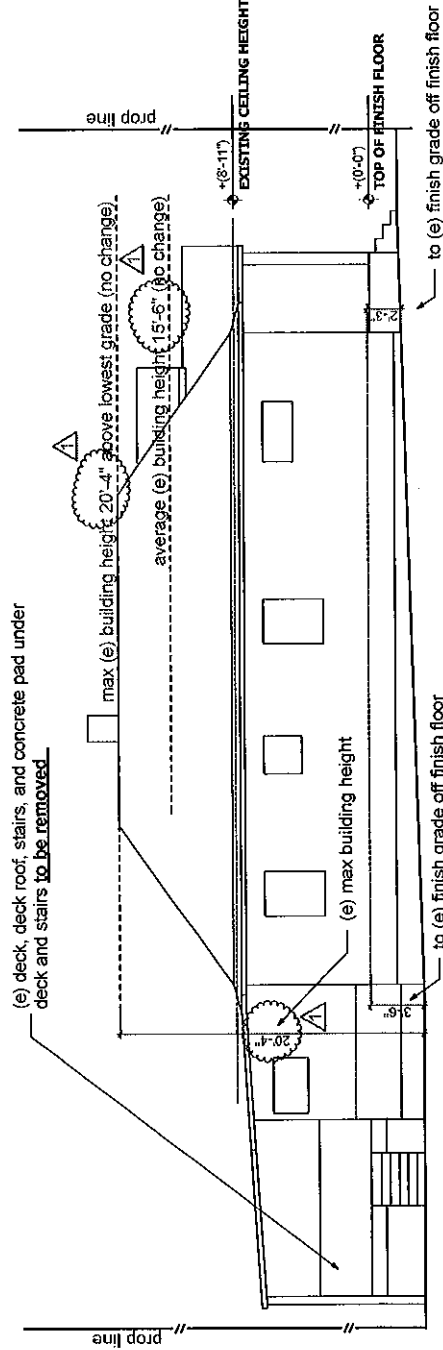
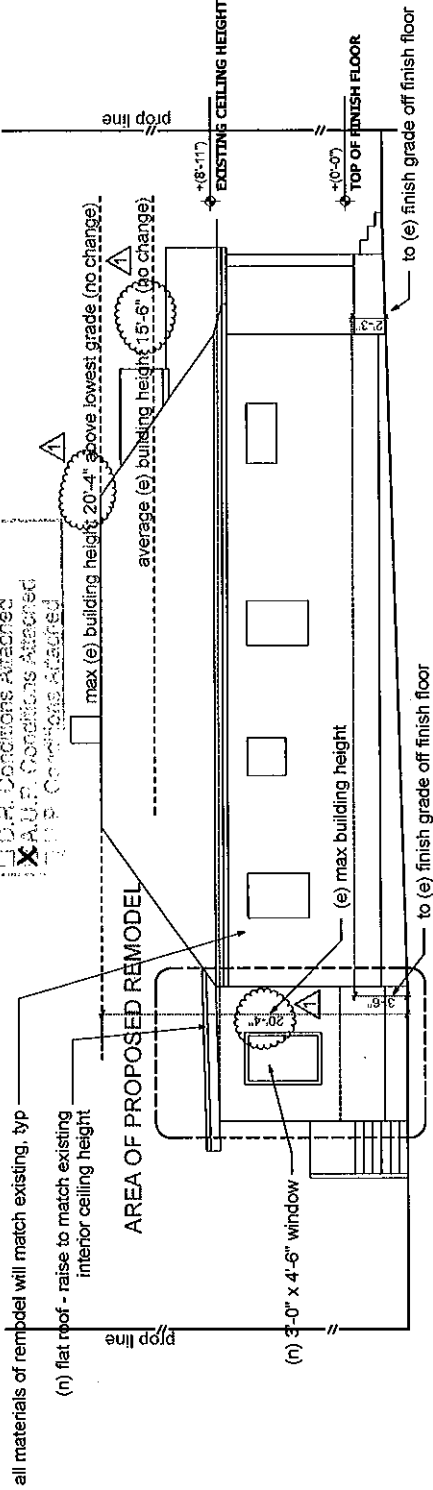
**AUP Submittal**

elevations

SCALE: 1/8" = 1'-0"

# A-5

APPROVED PLAN  
*July Slant 1-22-2013*  
PLANNING DATE  
 All Conditions Attached  
 A.U.P. Conditions Attached  
All Conditions Attached



APPROVED PLAN  
*Judy Blount* 1-22-2013  
 PLANNING DATE  
 ALL P.2 Conditions Attached  
 X AUP Conditions Attached  
 OUP Conditions Attached



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 info@tektonarchitecture.com  
**JOB NUMBER: 2012.09**  
**ARCHITECT:**

**Anderson/Marx  
 Residence**  
**2936 Pine Avenue  
 Berkeley, CA 94705**

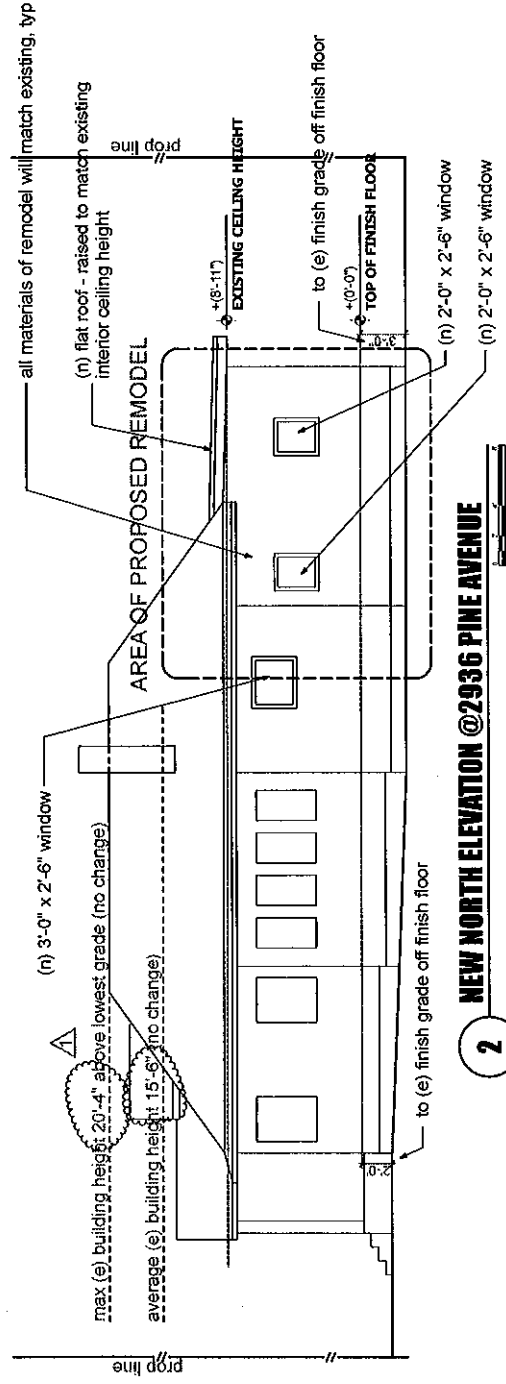
**DATE** 09/14/2012  
**REVISION** AUP submittal  
 12/03/2012 AUP revisions

**AUP submittal**

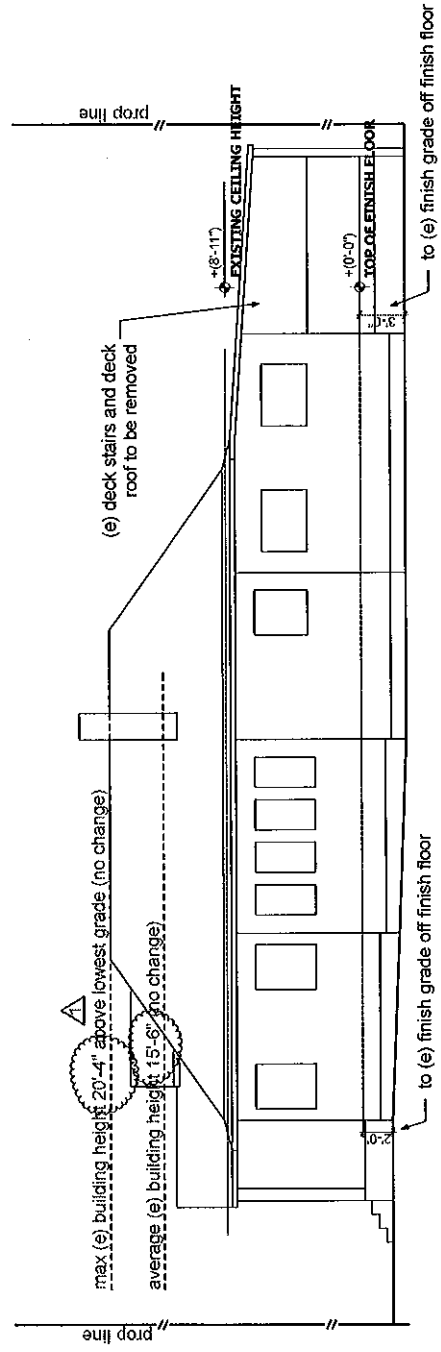
**elevations**

**SCALE** 1/8" = 1'-0"

**A-6**



**2 NEW NORTH ELEVATION @ 2936 PINE AVENUE**



**1 EXISTING NORTH ELEVATION @ 2936 PINE AVENUE**



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**JOB NUMBER:** 2012.09

**ARCHITECT:**

**Anderson/Marx  
Residence**

**2936 Pine Avenue  
Berkeley, CA 94705**

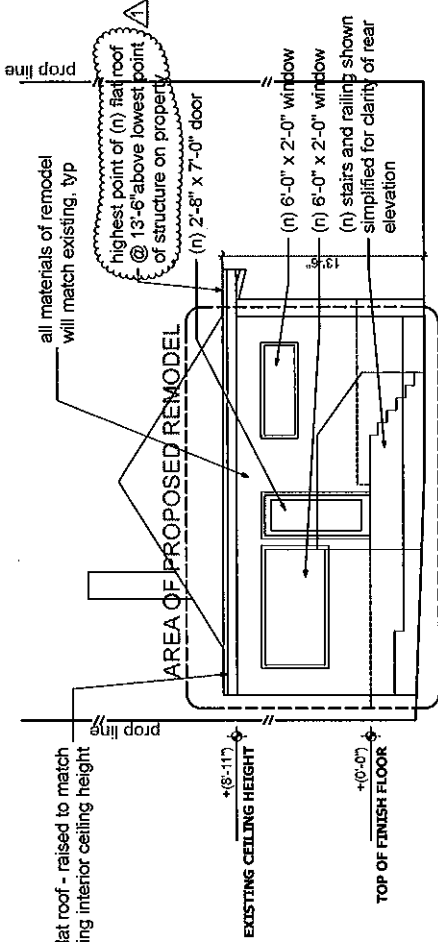
**DATE** 09/14/2012  
**REVISION** AUP submittal  
12/03/2012 AUP revisions

**AUP submittal**

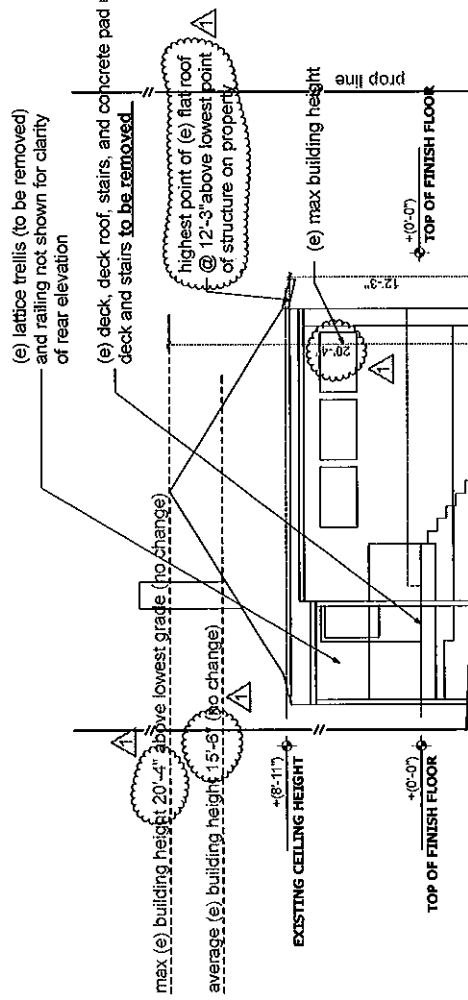
**iterations**

**SCALE:** 1/8" = 1'-0"

**A-7**



**2 NEW WEST ELEVATION @2936 PINE AVENUE**



**1 EXISTING WEST ELEVATION @2936 PINE AVENUE**

APPROVED PLAN  
*Jimmy Blount* 12/23/12  
 PLANNING DATE  
 D.P. Conditions Attached  
 A.U.P. Conditions Attached  
 U.P. Conditions Attached