



Planning and Development Department
Land Use Planning Division

A D M I N I S T R A T I V E U S E P E R M I T

CITY OF BERKELEY ZONING ORDINANCE
Berkeley Municipal Code, Title 23

AUP #12-20000127

Property Address:

2135 PRINCE STREET

Permittee Name:

GEOFFREY HOLTON

Use and/or Construction Permitted: to enlarge an existing 1,331 sq. ft. single family residence (excluding ground floor storage and garage) by raising the existing structure 3' to create 1,577 sq. ft. of habitable living space to the ground floor and reconfiguring the upper level by removing 169 sq. ft. of floor area for a new interior stair opening, infilling 110 sq. ft. area of an existing notch and existing open porch at the southeast corner of the second floor, adding a 30 sq. ft. projecting bay on the east façade, and adding a 26 sq. ft. projecting bay on the west façade (new upper level will be 1,328 sq. ft.), resulting in a new 2,905 sq. ft. residence, increasing the average height from 20'11" to 23'11", vertically extending the non-conforming front and side yard setbacks of 11'6" and 1'5" where 20' and 4' are required, and to allow a 451 sq. ft. detached Accessory Dwelling Unit 5'9" from the rear property line (where 20' is required) with tandem parking pursuant to:

- Section 23D.28.070.C to construct a residential addition exceeding 14' in height;
- Section 23C.04.070.B to vertically extend a non-conforming front and side yard setback of 11'6" and 1'5" where 20' and 4' are required; and
- Section 23D.28.030.E.3 to reduce the required rear yard setback for an Accessory Dwelling Unit to 5'9" where 20' is required;
- Section 23D.28.040.F to allow the off-street parking requirement for an Accessory Dwelling Unit to be satisfied with tandem parking.

FINDINGS, CONDITIONS AND APPROVED PLANS ATTACHED

Following the expiration of the mandatory appeal period set forth in Section 23B.28.040 of the Berkeley Municipal Code, with no timely appeal being filed, the Administrative Use Permit described herein has been duly granted by the Zoning Officer on January 8, 2013.

Attest: Terry Blount
Terry Blount, AICP, Principal Planner
For Debbie Sanderson, Zoning Officer

January 8, 2013
Effective Date

ATTACHMENT 1

FINDINGS AND CONDITIONS

DECEMBER 5, 2012

2135 Prince Street

Administrative Use Permit #12-20000127

To enlarge an existing 1,331 sq. ft. single family residence (excluding ground floor storage and garage) by raising the existing structure 3' to create 1,577 sq. ft. of habitable living space to the ground floor and reconfiguring the upper level by removing 169 sq. ft. of floor area for a new interior stair opening, infilling 110 sq. ft. area of an existing notch and existing open porch at the southeast corner of the second floor, adding a 30 sq. ft. projecting bay on the east façade, and adding a 26 sq. ft. projecting bay on the west façade (new upper level will be 1,328 sq. ft.), resulting in a new 2,905 sq. ft. residence, increasing the average height from 20'11" to 23'11", vertically extending the non-conforming front and side yard setbacks of 11'6" and 1'5" where 20' and 4' are required, and to allow a 451 sq. ft. detached Accessory Dwelling Unit 5'9" from the rear property line (where 20' is required) with tandem parking.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15301 and 15303(a) and (e) of the CEQA Guidelines ("Existing Facilities") and ("New Construction or Conversion of Small Structures"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project will not affect any historical resource.

FINDINGS FOR APPROVAL

2. As required by Section 23B.28.050.A of the Zoning Ordinance, the project, under the circumstances of this particular case existing at the time at which the application is granted, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:

Addition over 14' in height

- As required by Section 23D.28.030 (Uses Permitted) and 090 (Findings), the raising of the existing structure 3', which has an existing average height of 20'11" and a proposed average height of 23'11", for the purpose of creating 1,577 sq. ft. of habitable living space to the ground floor, which currently has a ceiling height over 6', may exceed fourteen feet in average height because it does not create significant impacts to sunlight, air or views, and is found to be non-detrimental and permissible for the following reasons:
 1. Sunlight – The existing average height at 2135 Prince Street is 20'11" and the proposed average height is 23'11". Because of the existing mass existing shadows occur only at the property to the west at 2131 and 2131 B Prince. The addition may cast new shadows, however, the shadowing may occur for a few hours in the morning during the fall and winter months. For these reasons, this loss is found to be non-detrimental because the loss of sunlight will occur only for a small portion of the day.
 2. Air - Because the proposal involves raising the existing structure 3' to create habitable living space in the existing basement and the property meets or exceeds the district standards for minimum rear, and east side yard setbacks, it is expected to provide adequate spatial separations between the abutting developments and is not expected to impact air circulation to the neighboring properties.
 3. Views – The proposed addition is not expected to significantly block the adjacent neighbors' views of any significant features. The proposed addition will not exceed the full height limit allowed in the R-2 District and will not exceed the maximum number of stories allowed; and
 4. Privacy – The proposed addition includes new windows at the east (right) and north (rear) elevations for bedrooms, however, because of the approximately 9' and approximately 75' distance between the structure at 2135 Prince Street and the neighboring properties at 2137 Prince and 2134 Essex Streets, respectively, the proposed addition is not expected to create any privacy impacts to the immediate neighbors.
- As required under Section 23C.04.070.B.1 (Expansions of Non-conforming Buildings and Structures), the 3' vertical extension of the non-conforming south facing façade which has an existing and proposed 10'9" front yard setback (where 20' is required), and the non-conforming west facing façade which has an existing and proposed 1'5" side yard setback (where 4' is required), does not

further encroach into the required setbacks or exceed the height limit in the R-2 District.

Accessory Dwelling Unit

- As required by Section 23D.28.040 (Development Standards for Accessory Dwelling Units), the 451 sq. ft. Accessory Dwelling Unit which involves meeting the off-street parking requirement with tandem parking is permissible because:
 1. The gross floor area of the Accessory Dwelling Unit is 451 sq. ft. which is less than 25% of the floor area of the main house, after lifting the main dwelling 3' to create habitable space, and is more than 300 sq. ft., but less than 640 sq. ft. (Sections 23D.28.040.B.1 and B.2). This permit is conditioned to require that the building permit for the construction of the ground floor habitable space be completed prior to submittal of the building permit for the construction of the detached Accessory Dwelling Unit (see Condition #12 below);
 2. The Accessory Dwelling Unit is accessible from a roadway that meets the fire apparatus access road requirements (Section 23D.28.040.B.4);
 3. This permit is conditioned (see Condition #13 below) to restrict the Accessory Dwelling Unit from being sold independently of the main house, mandating that the owner shall reside in either the main dwelling or the Accessory Dwelling Unit (Sections 23D.28.040.B.3 and B.5);
 4. The subject lot is 5,250 sq. ft. (Section 23D.28.040.E.1);
 5. The Accessory Dwelling Unit is 12' in height, one-story, and is located more than 4' from the rear and side setbacks (Sections 23D.28.040.E2 and E.3);
- The proposed 451 sq. ft. Accessory Dwelling Unit within the rear yard, setback 5'9" where 20' is required, does not create significant impacts to sunlight, air, or views, and is found to be non-detrimental and permissible for the following reasons:
 1. The proposed Accessory Dwelling Unit will have a proposed height of 12' which is allowable and is not expected to impact the direct sunlight experienced by adjacent properties;
 2. There is enough building separation between the proposed Accessory Dwelling Unit and neighboring properties to mitigate detriment; and
 3. The proposed Accessory Dwelling Unit is not expected to significantly block the adjacent neighbor's views of any significant features.
- The reduced rear yard setback for the Accessory Dwelling Unit in a detached accessory building is found favorable because it maximizes the development potential on the subject lot, while maintaining the required open space.
- Per Sections 23D.28.040.F (Special Provisions) and 23D.28.090.D (Findings), the use of tandem parking to fulfill the required off-street parking requirement is permissible because:

1. To provide two non-tandem off-street parking spaces would reduce the required open space on the lot, remove landscaped open space, and be detrimental to the enjoyment of the residents on the property;
 2. Condition of Approval #13 requires that the owner of the property reside in either the main dwelling or the Accessory Dwelling Unit, therefore the owner will be available on-site to ensure that the tandem parking is utilized; and
 3. The City's Traffic Engineer has approved the location of the tandem parking space.
- As required by Section 23D.16.070 (Development Standards) this project is permissible because the subject property satisfies the development standards for lot coverage, maximum residential density, maximum building height; and rear and east side setbacks.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Zoning Officer, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

8. Exercise and Lapse of Permits (Section 23B.56.100)

- A. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- C. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

9. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS IMPOSED BY THE ZONING OFFICER

Pursuant to BMC 23B.28.050.D, the Zoning Officer attaches the following additional conditions to this Permit:

Prior to Submittal of Any Building Permit:

- 10.** The applicant shall provide the project planner with the name and telephone number of the individual empowered to manage construction noise from the project. The individual's name, telephone number, and responsibility for noise management shall be posted at the project site for the duration of construction in a location easily visible to the public. The individual shall record all noise complaints received and actions taken in response, and submit written reports of such complaints and actions to the project planner on a weekly basis. **Individual Responsible for Noise Management:**

Name: _____ Phone: _____

- 11.** The applicant and all persons associated with the project are hereby notified that a Transportation Management Permit (TMP) would be required under any of the following circumstances:

- Alterations, closures, or blockages to sidewalks or pedestrian paths

- Alterations, closures, or blockages to vehicle travel lanes (including bicycle lanes)
- Storage of building materials, dumpsters, debris anywhere in the public ROW
- Provision of exclusive contractor parking on-street
- Significant truck activity.

Contact the Permit Service Center (PSC) at 2120 Milvia Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Public Works Traffic Engineering (981-6400) reviews all submitted TMP requests.

The TMP may include designation of a specific truck haul route. Meter heads (if in the construction area) shall be removed only by City staff. Contact the site inspector 72 hours in advance of required removal so arrangements can be made.

Prior to Submittal of Any Building Permit for the Accessory Dwelling Unit

12. Construction for the residential addition to create ground floor 1,577 sq. ft. of habitable space must be completed prior to submittal of the building permit for the construction of the Accessory Dwelling Unit.

Prior to Issuance of Any Building Permit:

13. All owners of record of the subject property shall sign and record with the Alameda County Clerk-Recorder a "Notice of Limitation on Use of Property" (available from Land Use Planning Division) and provide a recorded copy thereof to the project planner. This Notice of Limitation shall prohibit the Accessory Dwelling Unit from being sold independently of the main house, mandating that the owner shall not subdivide the land or air rights to enable sale or transfer of the accessory dwelling unit, that the owner shall reside in either the main dwelling or the accessory dwelling unit, and that one (1) on-site tandem parking space shall be provided for the resident(s) of the accessory dwelling unit for the life of the unit. This limitation may not be revised or removed from this property without the prior written permission of the Zoning Officer of the City of Berkeley.
14. The applicant shall file an "Address Assignment Request Application" with the Permit Service Center (2120 Milvia Street) for any address change or new address associated with this Use Permit. The new address(es) shall be assigned prior to issuance of a building permit.

During Construction:

15. Construction activity shall be limited to between the hours of 8:00 a.m. and 6:00 p.m. on Monday through Friday, and between 9:00 a.m. and noon on Saturday. No construction-related activity shall occur on Sunday or on any Federal Holiday.

16. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.
17. Subject to approval of the Public Works Department, the applicant shall repair any damage to public streets and/or sidewalks by construction vehicles traveling to or from the project site.
18. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter in thickness and secured to the ground.
19. All active construction areas shall be watered at least twice daily, and all piles of debris, soil, sand or other loose materials shall be watered or covered.
20. Trucks hauling debris, soil, sand, or other loose materials shall be covered or required to maintain at least two feet of board.
21. Public streets shall be swept (preferably with water sweepers) of all visible soil material carried from the site.
22. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way.
23. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
24. Any construction during the wet season shall require submittal of a soils report with appropriate measures to minimize erosion and landslides, and the developer shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.

Prior to Issuance of Occupancy Permit or Final Inspection:

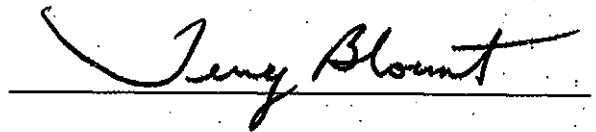
25. All construction at the subject property shall substantially conform to the approved Use Permit drawings or to modifications approved by the Zoning Officer.
26. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **OCTOBER 24, 2012**.

At All Times (Operation):

- 27. All exterior lighting shall be shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.

- 28. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

- 29. Noise and exterior lighting shall be controlled so as to prevent verified complaints from the surrounding neighborhood.



Terry Blount, Principal Planner for
Debra Sanderson, Zoning Officer



Prepared by: Pamela Johnson

PLANNING APPLICATION

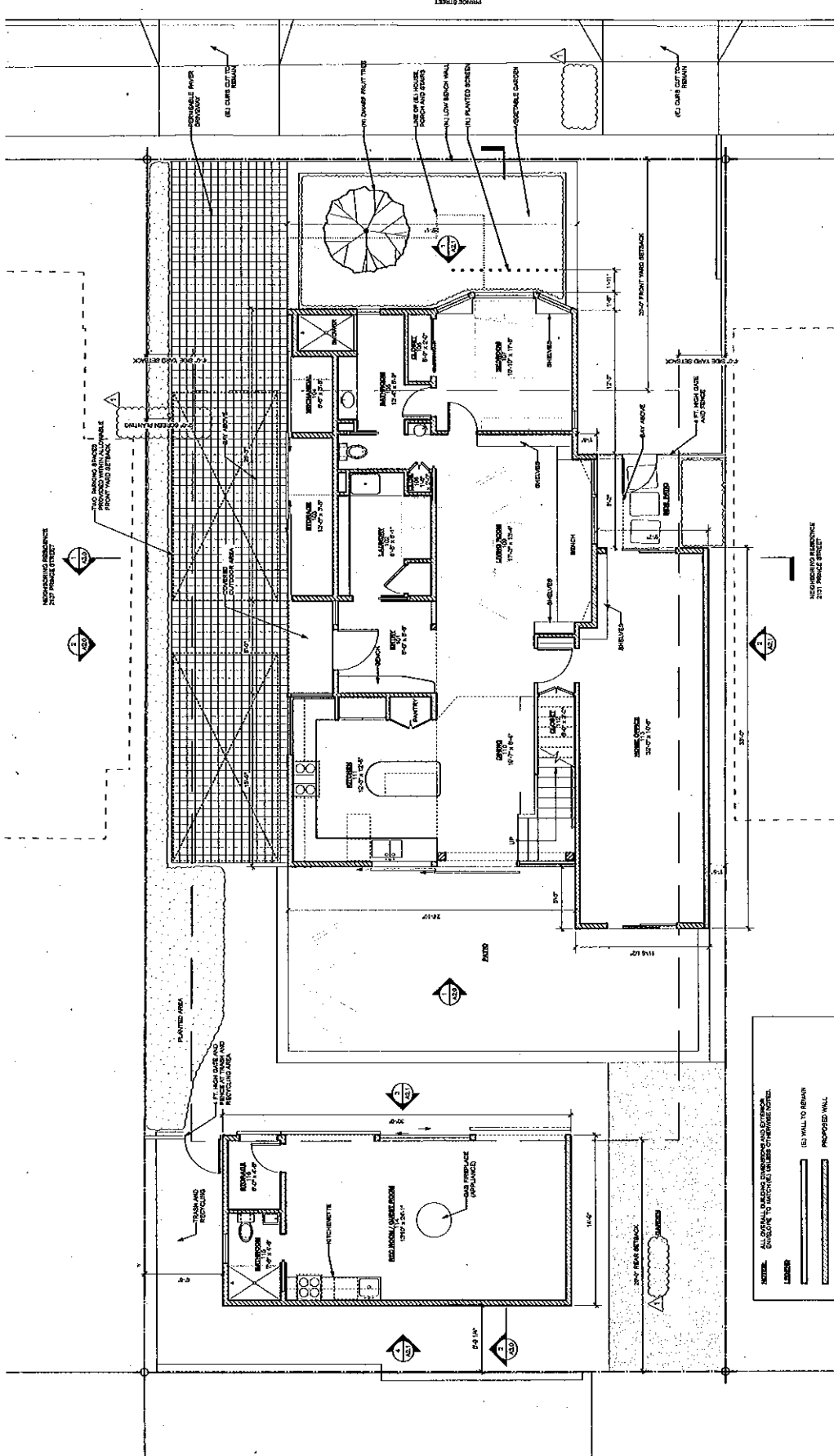
CLIENT: WEIL-DWYER
 PROJECT NO: 100-077-02
 SHEET NO: A1.0
 SUBMITTAL DATE: 06/07/12
 REVISIONS:

PLANNING APPROVED
 COMMUNITY DEVELOPMENT DEPARTMENT

SHEET NO.

A1.0

APPROVED PLAN
Demolition Plan 12/14/2012
 PLANNING DATE
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached



NOTE: ALL WALLS TO BE REMOVED OR DEMOLISHED SHALL BE SHOWN WITH DASHED LINES. ALL WALLS TO BE REPAIRED SHALL BE SHOWN WITH SOLID LINES. ALL WALLS TO BE ADDED SHALL BE SHOWN WITH DOTTED LINES. ALL WALLS TO BE REPAIRED SHALL BE SHOWN WITH SOLID LINES. ALL WALLS TO BE ADDED SHALL BE SHOWN WITH DOTTED LINES.

LINE TYPE	DESCRIPTION
(D) WALL TO REMOVE	REMOVE EXISTING WALL
(S) WALL TO REPAIR	REPAIR EXISTING WALL
(D) WALL TO ADD	PROPOSED NEW WALL
(S) WALL TO ADD	PROPOSED NEW WINDOW AND DOOR
(D) WALL TO ADD	PROPOSED NEW WINDOW AND DOOR
(S) WALL TO ADD	PROPOSED NEW WINDOW AND DOOR
(D) WALL TO ADD	PROPOSED NEW WINDOW AND DOOR
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(D) WALL TO ADD	PROPOSED NEW WINDOW AND DOOR
(S) WALL TO ADD	PROPOSED NEW WINDOW AND DOOR
(D) WALL TO ADD	PROPOSED NEW WINDOW AND DOOR
(S) WALL TO ADD	PROPOSED NEW WINDOW AND DOOR

SCALE: 1/4" = 1'-0"

PROPOSED LOWER FLOOR PLAN



2135 PRINCE STREET

WEIL-DWYER RESIDENCE

2135 PRINCE STREET, BERKELEY, CA 94705
APN 62-1585-4



GEORFFREY HOLTON & ASSOCIATES
320 19th Street, Suite 202
Berkeley, CA 94712
Tel: 916.833.0202
http://www.geoffrey.com

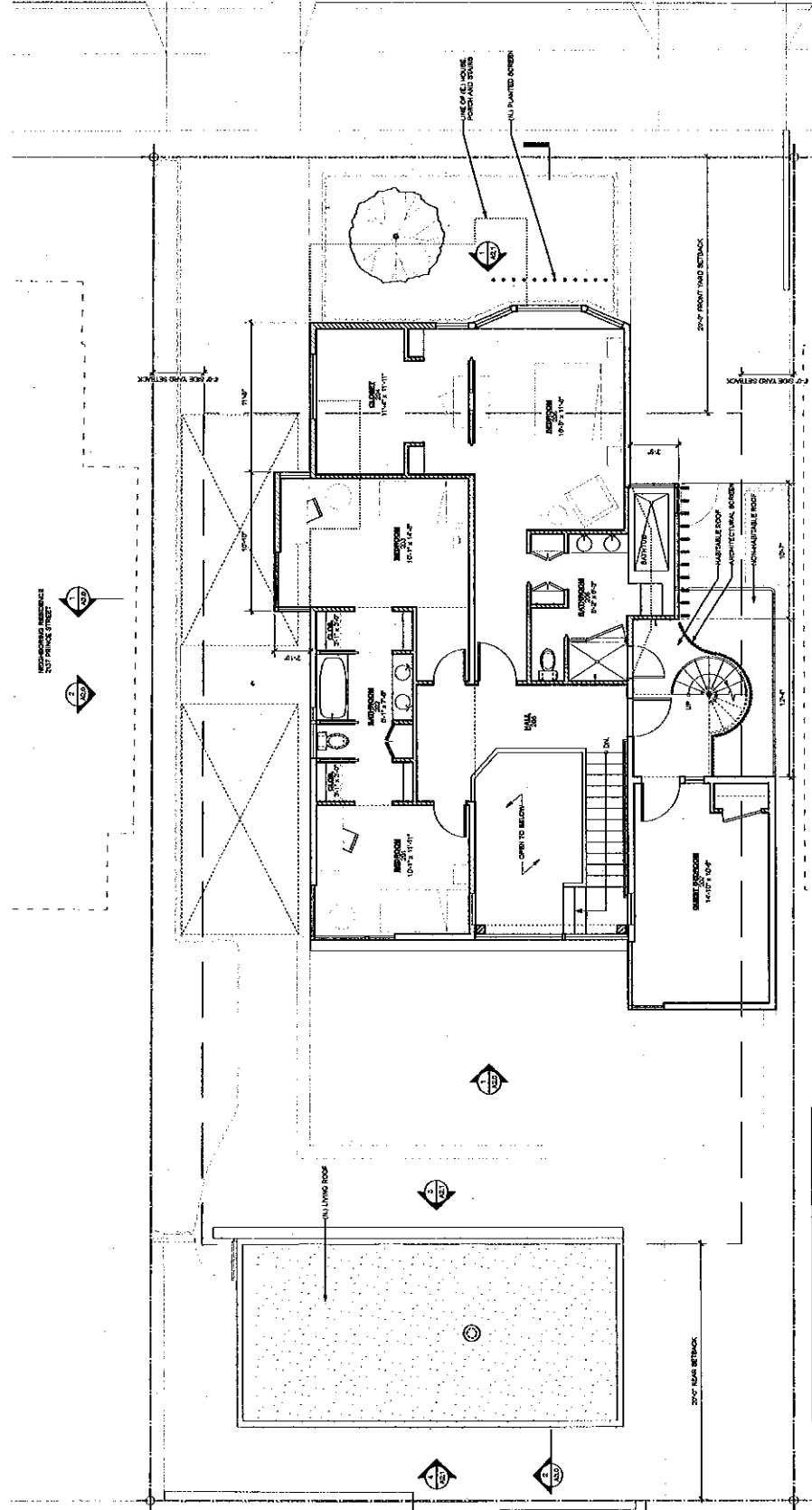
PLANNING APPLICATION

CURRENT REBID DATE: 10/17/12
SUBMITTAL DATE: 09/27/12
REVISIONS:

PLANNING APPLICATION
RECEIVED
DATE: 10/17/12

SHEET NO. **A1.1**

APPROVED PLAN
Approved 10/14/2012
PLANNING DATE
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached



NOTES: ALL ORIGINAL BUILDING DIMENSIONS AND FOOTPRINTS SHOWN TO MATCH EXISTING OR PREVIOUS RECORDS.

EXISTING	1/8" WALL TO REMAIN
PROPOSED WALL	PROPOSED WALL
PROPOSED 1/2" WOOD WALL	PROPOSED 1/2" WOOD WALL
LINE OF EXISTING HOUSE, PORCH AND STAIRS	LINE OF EXISTING HOUSE, PORCH AND STAIRS
PROPERTY LINE	PROPERTY LINE
ASBESTOS UPPER LEVEL	1,000 SF

PROPOSED UPPER FLOOR PLAN

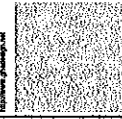
SCALE: 1/8" = 1'-0"

WEIL-DWYER RESIDENCE

2135 PRINCE STREET, BERKELEY, CA 94705
APN 52-1585-4



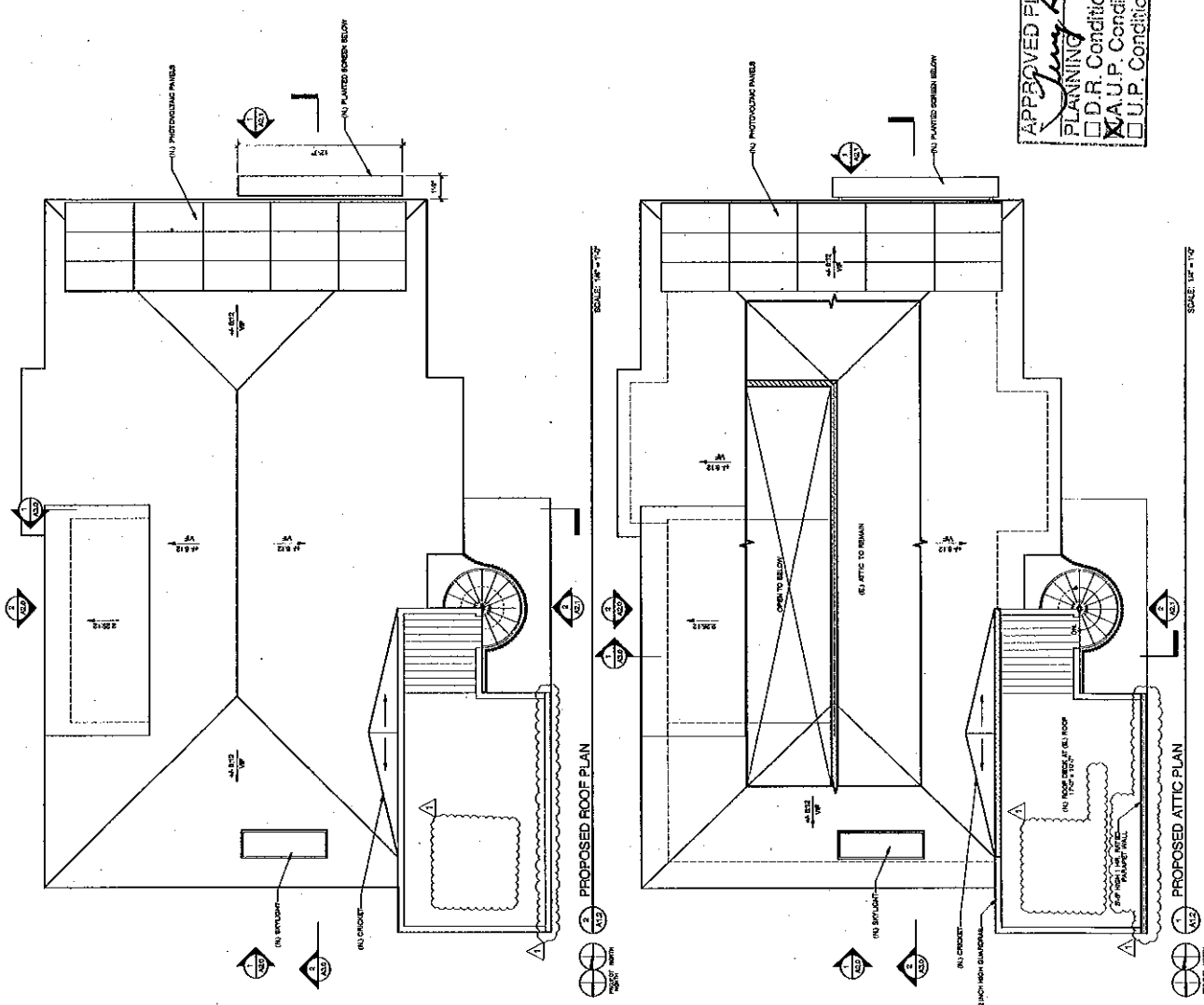
GEOFFREY HOLTON & ASSOCIATES
2000 SHAW BLVD., SUITE 200
SAN FRANCISCO, CA 94115
415.774.2200
www.geoffreyholton.com



PLANNING APPLICATION
CURRENT DATE: 09/17/12
SUBMITTAL DATE: 09/20/12
REVISIONS:

APPROVED PLAN
Date: 9/17/2012
DATE: 9/17/2012
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

SHEET NO. **A1.2**



PROPOSED ROOF PLAN

PROPOSED ATTIC PLAN

NOTES: ALL DIMENSIONS UNLESS OTHERWISE NOTED

LEGEND:

(---)	EXIST. WALL TO REMAIN
(---)	PROPOSED WALL
(---)	PROPOSED 1/2" INS. RGT TO WALL
(---)	LINE OF RE-ROOF, PORCH AND STAIRS
(---)	PROPERTY LINE

SCALE: 1/8" = 1'-0"

WEIL-DWYER RESIDENCE

2135 PRINCE STREET, BERKELEY, CA 94705
 APN 52-1885-4



GHA
 GEOFFREY HOLTON
 & ASSOCIATES

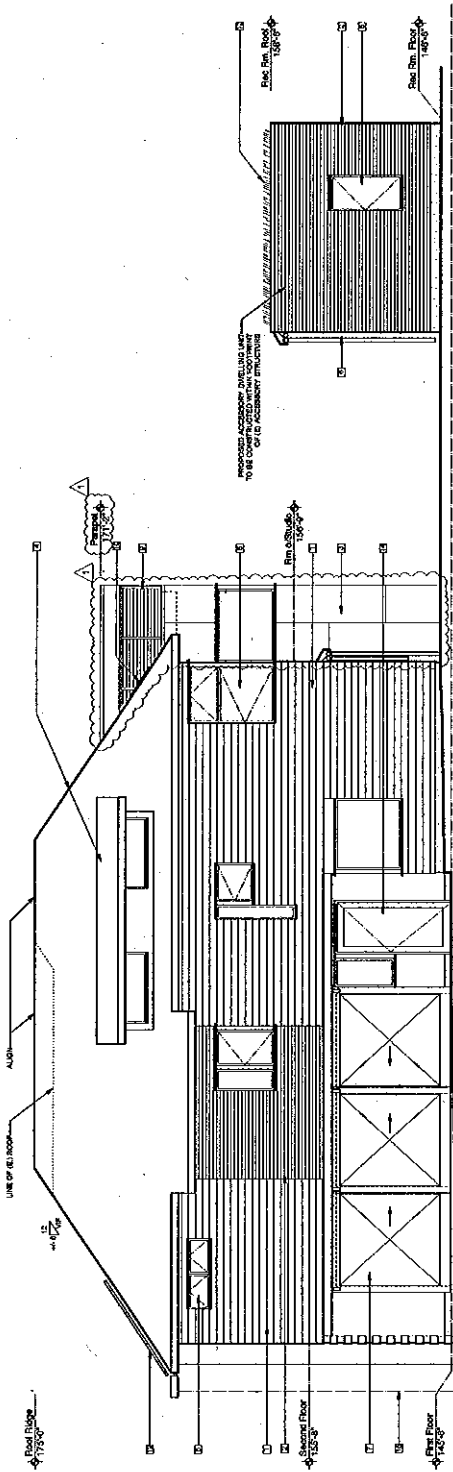
STATE OF CALIFORNIA
 COUNTY OF ALAMEDA
 PROJECT NO. 2017102
 DATE: 10/17/12

PLANNING APPLICATION

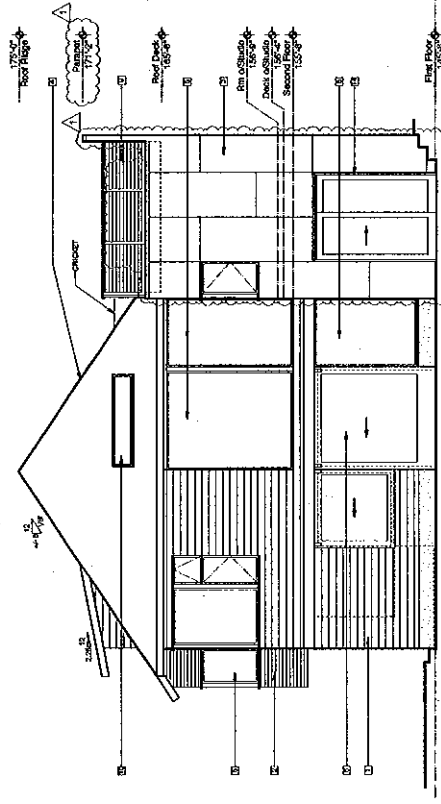
DATE: 12/14/2012
 DESIGNER: GHA
 SUBMITTER: WEIL DWYER RESIDENCE

PLANNING APPLICATION NO. _____
 DATE: _____
 COMMENTS: _____

SHEET NO. **A2.0**



PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION

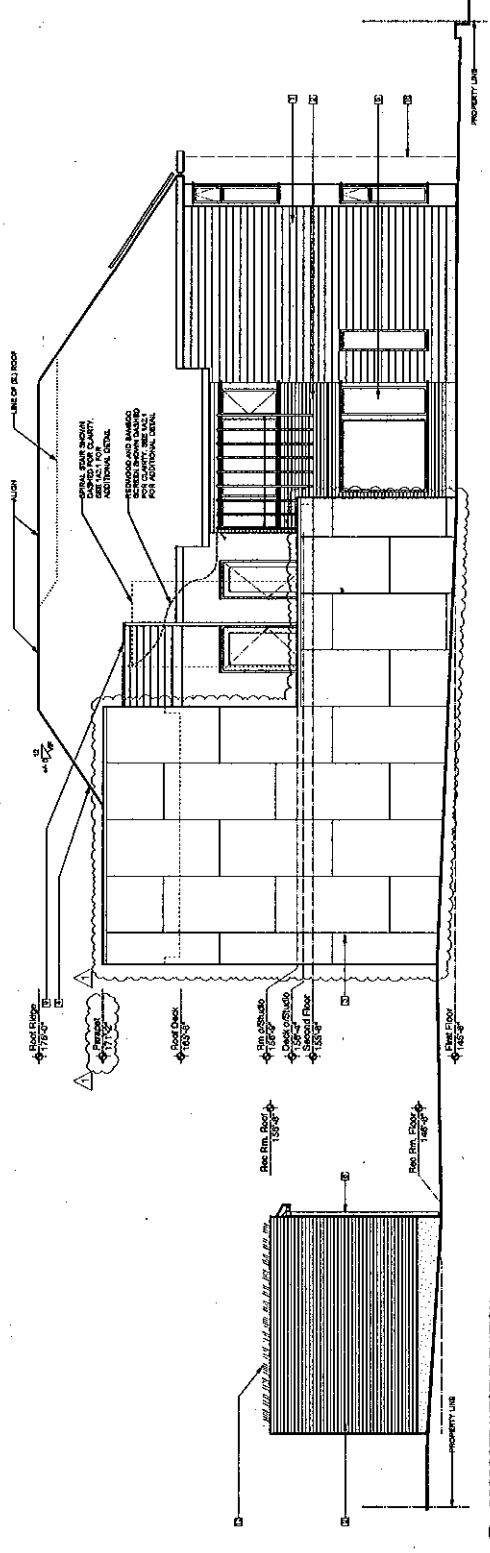


EXTERIOR MATERIALS	
1	RED OAK TRIM (RENDERING PAINTED)
2	CORRUGATED METAL ROOFING (STEEL SIDING)
3	WOOD SHUTTERS (PAINTED OR STAINED)
4	ALUMINUM CLAD WINDOW
5	WOOD AND SLATE (ROLLING BARRI DOOR)
6	METAL CLAD (ROLLING BARRI DOOR)
7	RENDERING AND BAMBOO SCREEN
8	ALUMINUM CLAD WINDOW (WOOD GRIP SWELL)
9	ALUMINUM CLAD WINDOW (WOOD GRIP)
10	STEEL SPOKE STEW
11	PHOTOVOLTAIC PANELS
12	LIVING ROOF
13	ALUMINUM CLAD WINDOW
14	STAINLESS STEEL CHAIR PLANTING SCREEN

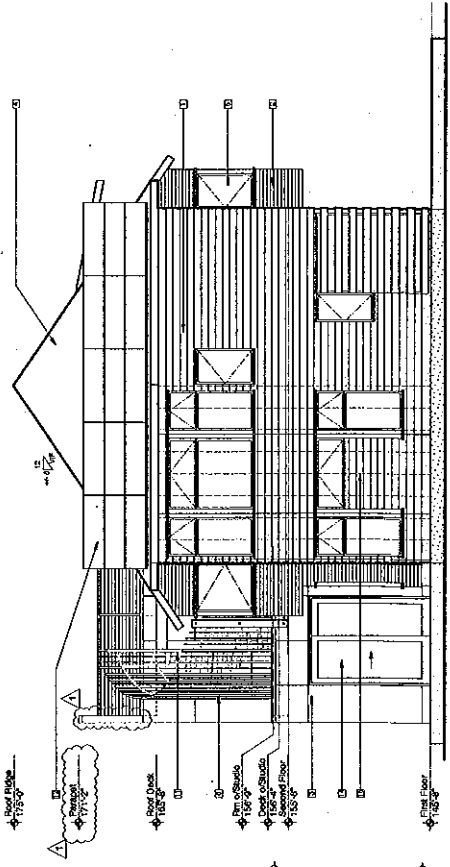
APPROVED PLAN
 [Signature]
 DATE: 12/14/2012

PLANNING APPLICATION
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached

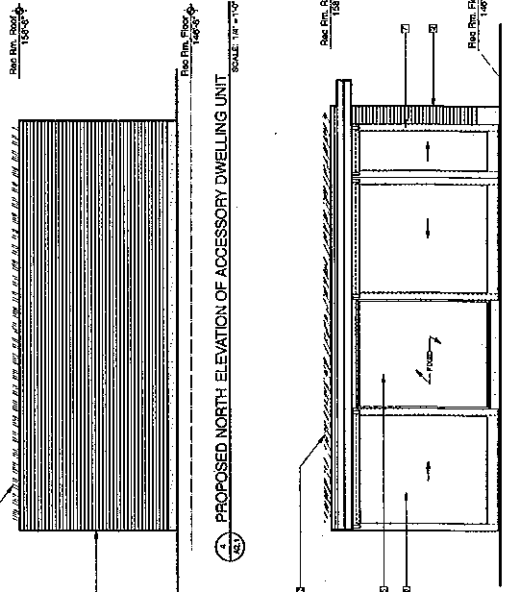
APPROVED PLAN
Dwyer Holton 12/14/2017
 PLANNING DATE
 D.R. Conditions Attached
 C.U.P. Conditions Attached
 O.U.P. Conditions Attached



2 PROPOSED WEST ELEVATION
 SCALE: 1/8" = 1'-0"



1 PROPOSED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



3 PROPOSED NORTH ELEVATION OF ACCESSORY DWELLING UNIT
 SCALE: 1/8" = 1'-0"

- EXTERIOR MATERIALS**
- 1 GL. ON FL. FR. REDWOOD SIDING, UNPAINTED
 - 2 COMPOSITE ENHANCED STEEL, BEAMS
 - 3 INTERLOCKING PANEL SIDING, UNPAINTED OR PAINTED
 - 4 CLUSTY GRAY BRICK, BRIDGE ROOF
 - 5 ALUMINUM CLAD WOOD WINDOW
 - 6 WOOD AND GLASS FOLDING BATH DOOR
 - 7 METAL CLAD FOLDING BATH DOOR
 - 8 REDWOOD AND BAMBINO WRENCH
 - 9 QUARTZITE TILE, WOOD GRAY, W/FL. WOOD GRAY, W/FL.
 - 10 ALUMINUM CLAD WOOD ENTRY DOOR
 - 11 STEEL SPIRAL STAIR
 - 12 PHOTO CLAD ANGLE
 - 13 UNPAINTED ROOF
 - 14 ALUMINUM CLAD WOOD DOOR
 - 15 STAINLESS STEEL CHAIR PLANTING SCREEN

WEL-DWYER RESIDENCE

2135 PRINCE STREET, BERKELEY, CA 94705
 APN 52-1585-4



GOTFREY HOLTON & ASSOCIATES

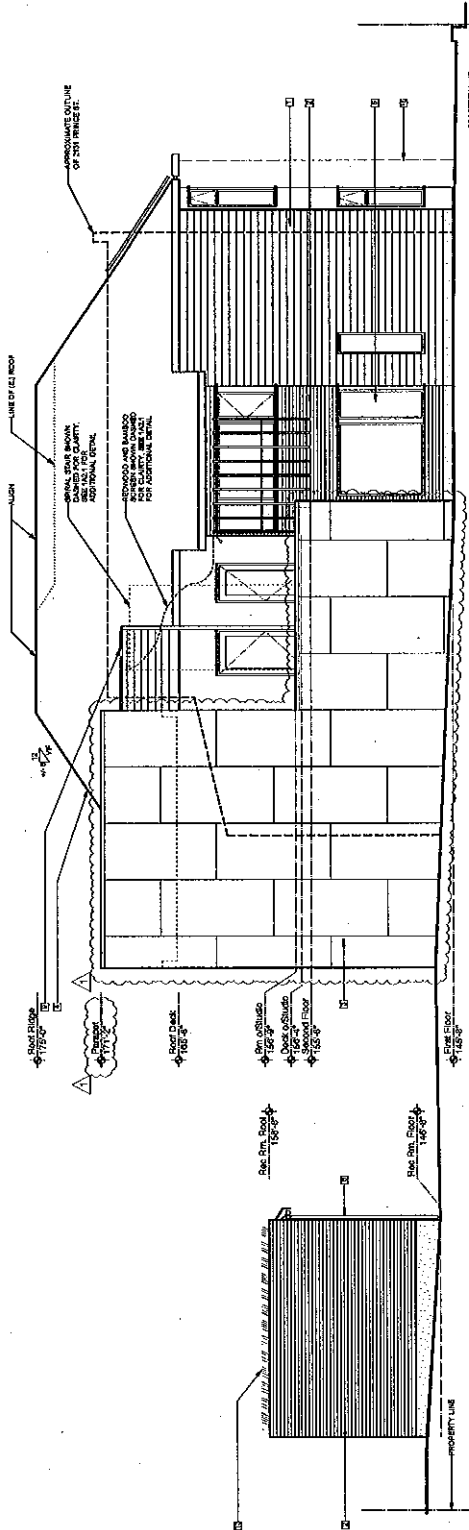
2135 PRINCE STREET, SUITE 212
 BERKELEY, CA 94705
 TEL: 415.841.1000
 FAX: 415.841.1001

PLANNING APPLICATION

PROJECT NO. 12/14/2012
 INITIAL DATE 02/27/12
 INITIAL DATE 02/27/12
 REVISIONS

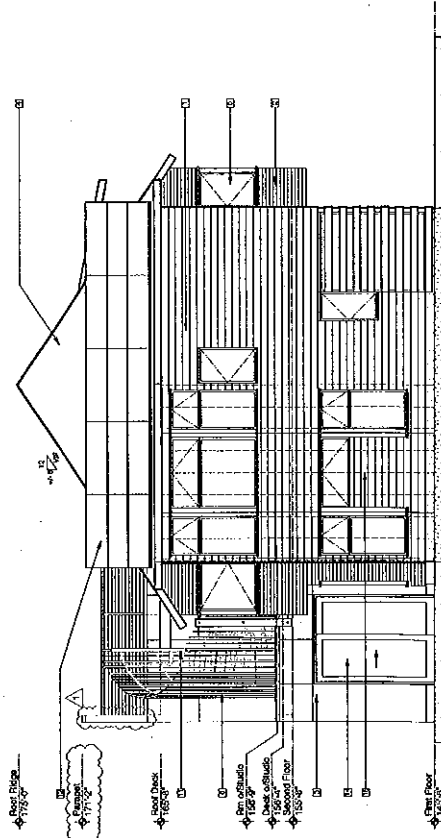
PLANNING APPLICATION
 RESIDENTIAL UNIT 02/27/12

SHEET NO. A2.1

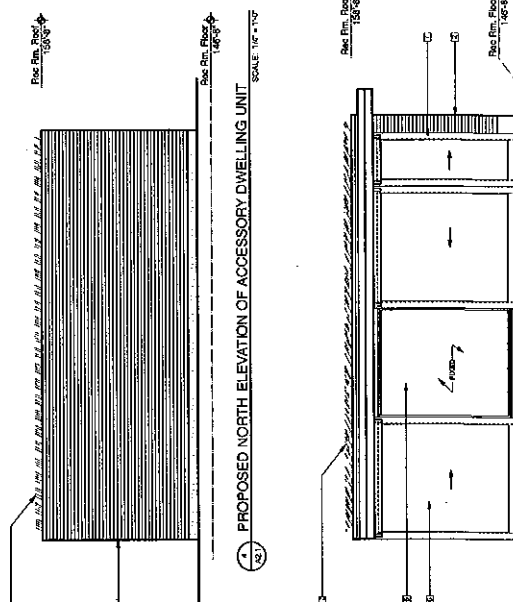


2 PROPOSED WEST ELEVATION SCALE: 1/4" = 1'-0"

APPROVED PLAN
June 2012
 DATE
 PLANNING CONDITIONS ATTACHED
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached



3 PROPOSED SOUTH ELEVATION SCALE: 1/4" = 1'-0"



4 PROPOSED NORTH ELEVATION OF ACCESSORY DWELLING UNIT SCALE: 1/4" = 1'-0"

- EXTERIOR MATERIALS**
- 1) 1/2" OR 3/4" REDWOOD BEING PAINTED
 - 2) COMBUSTIBLE UNPAINTED STEEL ROOF
 - 3) UNPAINTED ALUMINUM SIDING
 - 4) UNPAINTED ALUMINUM SIDING
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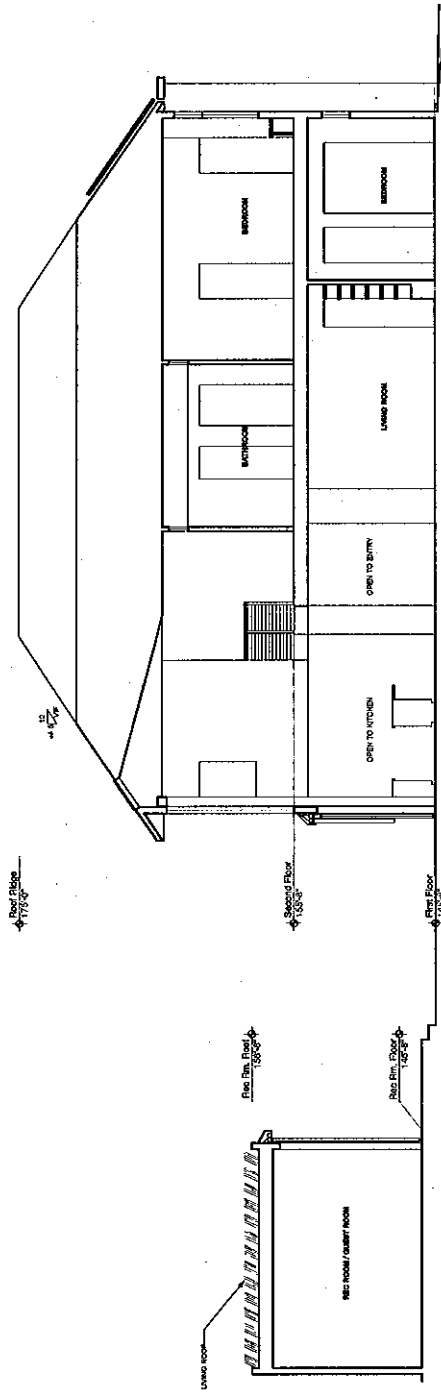
5 PROPOSED SOUTH ELEVATION OF ACCESSORY DWELLING UNIT SCALE: 1/4" = 1'-0"



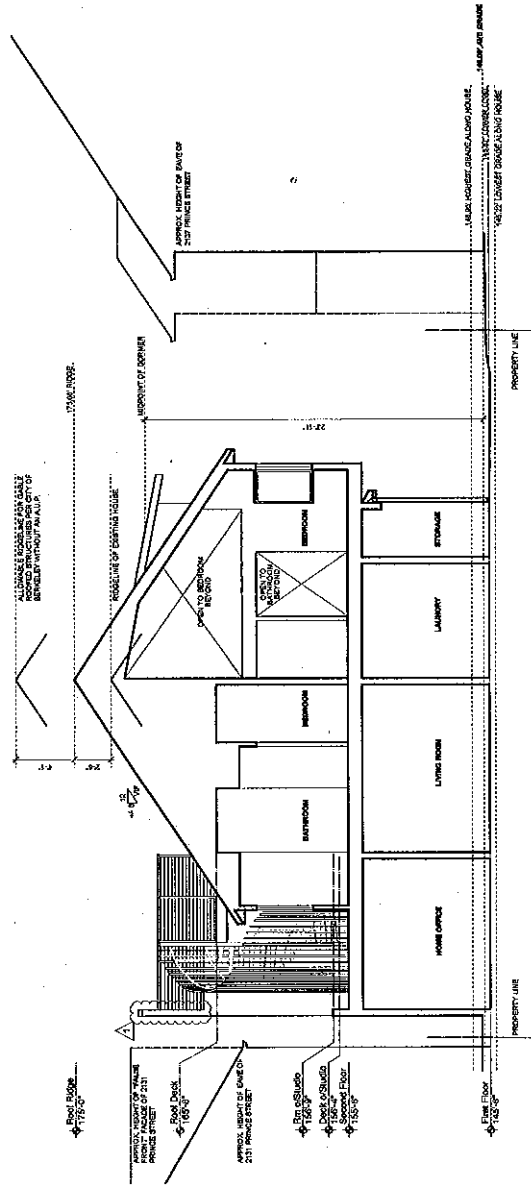
PLANNING APPLICATION
SUBMIT DATE: 10/17/12
INITIAL DATE: 02/20/13
REVISIONS:
DATE: 10/17/12

PLANNING APPLICATION SHEET NO. A3.0

APPROVED PLAN
Jung *12/14/2012*
PLANNING DATE
 D.R. Conditions Attached
 A.U.P. Conditions Attached
 U.P. Conditions Attached



2 PROPOSED SECTION SCALE: 1/8" = 1'-0"



1 PROPOSED SECTION - SHOWING BUILDING HEIGHT CALCULATION SCALE: 1/8" = 1'-0"