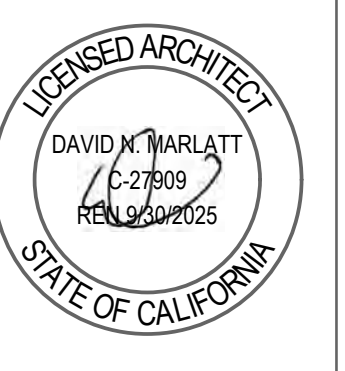


# 2018 BLAKE STREET

BERKELEY, CA



**DNM ARCHITECTURE**  
DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965  
T: 415.348.8910 • E: info@dnmarchitecture.com



BUILDING PERMIT  
**PROJECT DATA**

230301  
**2018 BLAKE STREET**  
2018 BLAKE STREET  
BERKELEY, CA 94704

APN: 55-1821-21

REVISIONS		
#	REASON	DATE
1.	PCCL 1	12/15/23
2.		
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08 / 17 / 2023

**A0.0**



## PROJECT DATA

**DESCRIPTION:** CONSTRUCT 6 STORY BUILDING CONSISTING OF 12 UNITS AND COMMON AREAS.

**LOCATION:** 2018 BLAKE STREET  
BERKELEY, CA 94704

**APN:** 55-1821-21

**LOT SIZE:** 5189 SQ.FT.

**BUILDING AREAS:** PROPOSED

GROSS FLOOR AREAS	
1st STORY	2,110 ft <sup>2</sup>
2nd STORY	2,077 ft <sup>2</sup>
3rd STORY	2,077 ft <sup>2</sup>
4th STORY	2,077 ft <sup>2</sup>
5th STORY	2,077 ft <sup>2</sup>
6th STORY	2,077 ft <sup>2</sup>
<b>TOTAL BUILDING AREA:</b>	<b>12,495 ft<sup>2</sup></b>

**UNIT AREAS**

UNIT A	452 ft <sup>2</sup>
UNIT B	1,012 ft <sup>2</sup>
UNIT C	975 ft <sup>2</sup>
UNIT D	1,012 ft <sup>2</sup>
UNIT E	975 ft <sup>2</sup>
UNIT F	1,012 ft <sup>2</sup>
UNIT G	975 ft <sup>2</sup>
UNIT H	1,012 ft <sup>2</sup>
UNIT I	975 ft <sup>2</sup>
UNIT J	1,012 ft <sup>2</sup>
UNIT K	975 ft <sup>2</sup>
UNIT L	1,012 ft <sup>2</sup>
<b>TOTAL UNITS AREA:</b>	<b>11,399 ft<sup>2</sup></b>

COMMON AREAS	
LOBBY	406 ft <sup>2</sup>
MECH.	229 ft <sup>2</sup>
ELEV.	62 ft <sup>2</sup>

**CONSTRUCTION:** TYPE IIIA OVER TYPE IA  
**ZONE:** R-4  
**OCCUPANCY:** R-2  
**NO. OF UNITS:** 12  
**NO. OF STORIES:** 6  
**FIRE ZONE:** 1  
**FLOOD ZONE:** NO  
**FIRE SPRINKLERS:** YES  
**STANDPIPE:** CLASS 1  
**PHOTOVOLTAIC:** NONE REQUIRED PER CEC EXCEPTION 1 TO SECTION 170.2(g)

## PROJECT CONTACTS

**OWNER**  
Jason Lee  
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**STRUCTURAL**  
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558 BREWSTER AVENUE REDWOOD CITY, CA 94063  
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WINSTON ENGINEERING INC  
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**ACOUSTICAL**  
JEFFREY C. IRWIN | PRINCIPAL, OMNY ACOUSTICS  
T: 628-400-6669

## DRAWING INDEX

SHT	TITLE	08/17/23	12/15/23
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A0.1	USE PERMIT CONDITIONS	X	
A0.2	USE PERMIT CONDITIONS	X	
A0.3	GENERAL AND PROJECT NOTES	X	
A0.4	POLLUTION PREVENTION	X	
A0.5	BAY FRIENDLY BASICS CHECKLIST	X	
A0.6	ACCESSIBILITY REQUIREMENTS	X	X
A0.7	FIRE & CONSTRUCTION CODE NOTES	X	X
A0.8	APPLICABLE CODES / EGRESS	X	X
A0.9	DENSITY BONUS STATEMENT	X	X
A1.0	SITE PLAN	X	X
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A1.3	1/8" REFERENCE PLANS	X	X
A1.4	ROOF PLAN	X	X
A1.5	REFLECTED CEILING PLANS	X	X
A1.6	LANDSCAPE AREA DIAGRAM	X	X
A2.0	NORTH ELEVATIONS	X	X
A2.1	WEST ELEVATION	X	X
A2.2	SOUTH ELEVATIONS	X	X
A2.3	EAST ELEVATION	X	X
A3.0	LONGITUDINAL SECTION	X	
A3.1	CROSS SECTIONS	X	X
A3.2	STAIRS SECTIONS & ENLARGED PLANS	X	X
A4.0	INTERIOR ELEVATIONS: UNIT A	X	X
A4.1	INTERIOR ELEVATIONS: UNIT B	X	X
A4.2	INTERIOR ELEVATIONS: NORTH TOWER	X	X
A4.3	INTERIOR ELEVATIONS: SOUTH TOWER	X	X
A4.4	WALL SECTIONS	X	X
A5.0	TYPICAL ASSEMBLIES	X	
A5.1	DETAILS	X	X
A5.2	DETAILS	X	X
A5.3	DETAILS	X	X
A5.4	DETAILS	X	X
A5.5	WP DETAILS	X	X
A5.6	WP DETAILS	X	X
A5.7	WINDOW FLASHING	X	
A6.0	ROOM SCHEDULE	X	X
A6.1	WINDOW SCHEDULE	X	X
A6.2	DOOR SCHEDULE	X	X
A6.3	FACADE OPENING PERCENTAGE	X	X
A7.0	UTILITIES NOTES & LEGENDS	X	X
A7.1	UTILITY PLANS	X	X
A7.2	CALGREEN CHECKLIST	X	
A7.5	CUTSHEET	X	
A7.6	CUTSHEET	X	
A7.7	CUTSHEET	X	
A7.8	CUTSHEET	X	
A8.0	CUTSHEET	X	X

CIVIL			
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C2	DRAINAGE AND STORMWATER MANAGEMENT PLAN		12/05/23
C3	EROSION CONTROL : SEDIMENTATION AND MBP'S PLAN		12/05/23
C4	SECTIONS		12/05/23
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S1.7	TYPICAL CFS ELEVATION AND CONNECTION DET	08/10/23	12/18/23
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S3.4	COURTYARD NORTH AND SOUTH ELEVATIONS	08/10/23	
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S4.3	CONCRETE WALL DETAILS	08/10/23	
S5.1	WOOD DETAILS	08/10/23	12/18/23
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S5.3	WOOD AND STEEL DETAILS	08/10/23	12/18/23
S6.1	EXT STAIR AND BRIDGE DETAILS	08/10/23	12/18/23
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S7.1	ELEVATOR ELEVATION DETAILS	08/10/23	

EB-1	EARTHBOUND SEISMIC HD SYSTEM	12/7/23
EB-2	EARTHBOUND SEISMIC HD SYSTEM	12/7/23
EB-3	EARTHBOUND SEISMIC HD SYSTEM	12/7/23
EB-4	EARTHBOUND SEISMIC HD SYSTEM	12/7/23

SHT	TITLE	08/17/23	12/15/23
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M0.1	MECHANICAL NOTES AND LEGENDS	X	X
M0.2	MECHANICAL SCHEDULES	X	
M0.3	MECHANICAL SCHEDULES	X	
M0.4	SARA CALCULATIONS	X	
M1.0	MECHANICAL FLOOR PLAN - LEVEL 1	X	X
M1.1	MECHANICAL FLOOR PLAN - LEVEL 2	X	X
M1.2	MECHANICAL FLOOR PLAN - LEVEL 3	X	X
M1.3	MECHANICAL FLOOR PLAN - LEVEL 4	X	X
M1.4	MECHANICAL FLOOR PLAN - LEVEL 5	X	X
M1.5	MECHANICAL FLOOR PLAN - LEVEL 6	X	X
M1.6	MECHANICAL ROOF PLAN	X	
M2.0	MECHANICAL DETAILS	X	
M2.1	MECHANICAL DETAILS	X	
M2.2	BROAN SMARTSENSE SYSTEM	X	
M2.3	MECHANICAL DETAILS	X	
M2.4	MECHANICAL DETAILS	X	
M3.0	MECHANICAL SPECIFICATIONS	X	
M3.1	MECHANICAL SPECIFICATIONS	X	X
M4.0	ENERGY COMPLIANCE - APARTMENTS	X	X
M4.1	ENERGY COMPLIANCE - APARTMENTS	X	X
M4.2	ENERGY COMPLIANCE - APARTMENTS	X	X
M4.3	ENERGY COMPLIANCE - APARTMENTS	X	X
M4.4	ENERGY COMPLIANCE - LOBBY	X	
M4.5	ENERGY COMPLIANCE - LOBBY	X	

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E2.2	LIGHTING	8/15/23	
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E2.4	EMERGENCY PHOTOMETRICS	8/15/23	
E2.5	EMERGENCY PHOTOMETRICS	8/15/23	
E2.6	EMERGENCY PHOTOMETRICS DETAILS	8/15/23	
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E4.2	PANEL SCHEDULE	8/15/23	
E5.0	ELECTRICAL DETAILS	8/15/23	
E5.1	ELEVATOR REQUIREMENTS	8/15/23	

PLUMBING			
P0.1	PLUMBING NOTES AND LEGENDS	X	
P0.2	PLUMBING SCHEDULES	X	
P1.0	CW & CH PLUMBING FLOOR PLAN - LEVEL 1	X	X
P1.1	CW & CH PLUMBING FLOOR PLAN - LEVEL 2	X	X
P1.2	CW & CH PLUMBING FLOOR PLAN - LEVEL 3	X	X
P1.3	CW & CH PLUMBING FLOOR PLAN - LEVEL 4	X	X
P1.4	CW & CH PLUMBING FLOOR PLAN - LEVEL 5	X	X
P1.5	CW & CH PLUMBING FLOOR PLAN - LEVEL 6	X	X
P1.6	WASTE & VENTING PLUMBING FLOOR PLAN - LEVEL 1	X	X
P1.7	WASTE & VENTING PLUMBING FLOOR PLAN - LEVEL 2	X	X
P1.8	WASTE & VENTING PLUMBING FLOOR PLAN - LEVEL 3	X	X
P1.9	WASTE & VENTING PLUMBING FLOOR PLAN - LEVEL 4	X	X
P1.10	WASTE & VENTING PLUMBING FLOOR PLAN - LEVEL 5	X	X
P1.11	WASTE & VENTING PLUMBING FLOOR PLAN - LEVEL 6	X	X
P1.12	PLUMBING ROOF PLAN	X	X
P1.13	CONDENSATE & STORM DRAIN PLUMBING FLOOR PLAN - LEVEL 1	X	X
P1.14	CONDENSATE & STORM DRAIN PLUMBING FLOOR PLAN - LEVEL 2	X	X
P1.15	CONDENSATE & STORM DRAIN PLUMBING FLOOR PLAN - LEVEL 3	X	X
P1.16	CONDENSATE & STORM DRAIN PLUMBING FLOOR PLAN - LEVEL 4	X	X
P1.17	CONDENSATE & STORM DRAIN PLUMBING FLOOR PLAN - LEVEL 5	X	X
P1.18	CONDENSATE & STORM DRAIN PLUMBING FLOOR PLAN - LEVEL 6	X	X
P1.19	SEWER & VENT ISOMETRIC - FIRST FLOOR	X	
P1.20	SEWER & VENT ISOMETRIC - SECOND FLOOR	X	
P1.21	SEWER & VENT ISOMETRIC - THIRD FLOOR	X	
P1.22	SEWER & VENT ISOMETRIC - FOURTH FLOOR	X	
P1.23	SEWER & VENT ISOMETRIC - FIFTH FLOOR	X	
P1.24	SEWER & VENT ISOMETRIC - SIXTH FLOOR	X	X
P2.0	PLUMBING DETAILS	X	
P2.1	PLUMBING DETAILS	X	
P2.2	PLUMBING DETAILS	X	

## DEFERRED PERMIT SUBMITTALS

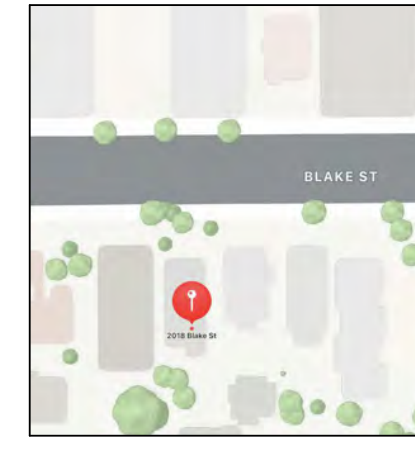
1. FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13-2022 EDITION AND NFPA 24-2019 EDITION
2. INSTALLATION OF NEW FIRE HYDRANT WITHIN 100' OF BLDG FDC
3. FIRE ALARM SYSTEM PER NFPA 72, 2022
4. ELEVATOR PERMIT
5. REMOVAL OF CURB CUT AND REPLACEMENT OF SIDEWALK PER BMC 16.04.150
6. ENCROACHMENT AND TRENCHING PERMIT(S) TO INSTALL UNDERGROUND UTILITIES IN R.O.W.

## CODE DATA

- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA GREEN BUILDING CODE (CGCB)
- 2022 CALIFORNIA PLUMBING CODES (CPC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS
- 2022 CALIFORNIA FIRE CODE (CFC)
- BERKELEY MUNICIPAL CODE (BMC)

CA FIAR HOUSING ACT

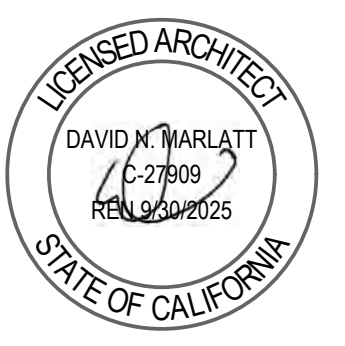
COMPLY WITH ALL LOCAL ORDINANCES AND AMENDMENTS



LOCATION



**DNM ARCHITECTURE**  
 DNM Architecture • 1A Gate 5 Road • Sausalito, CA 94965  
 T: 415.348.8910 • E: info@dnmarchitecture.com



**BUILDING PERMIT**  
**SITE PLAN**

230301  
**2018 BLAKE STREET**  
 2018 BLAKE STREET  
 BERKELEY, CA 94704

APN: 55-1821-21

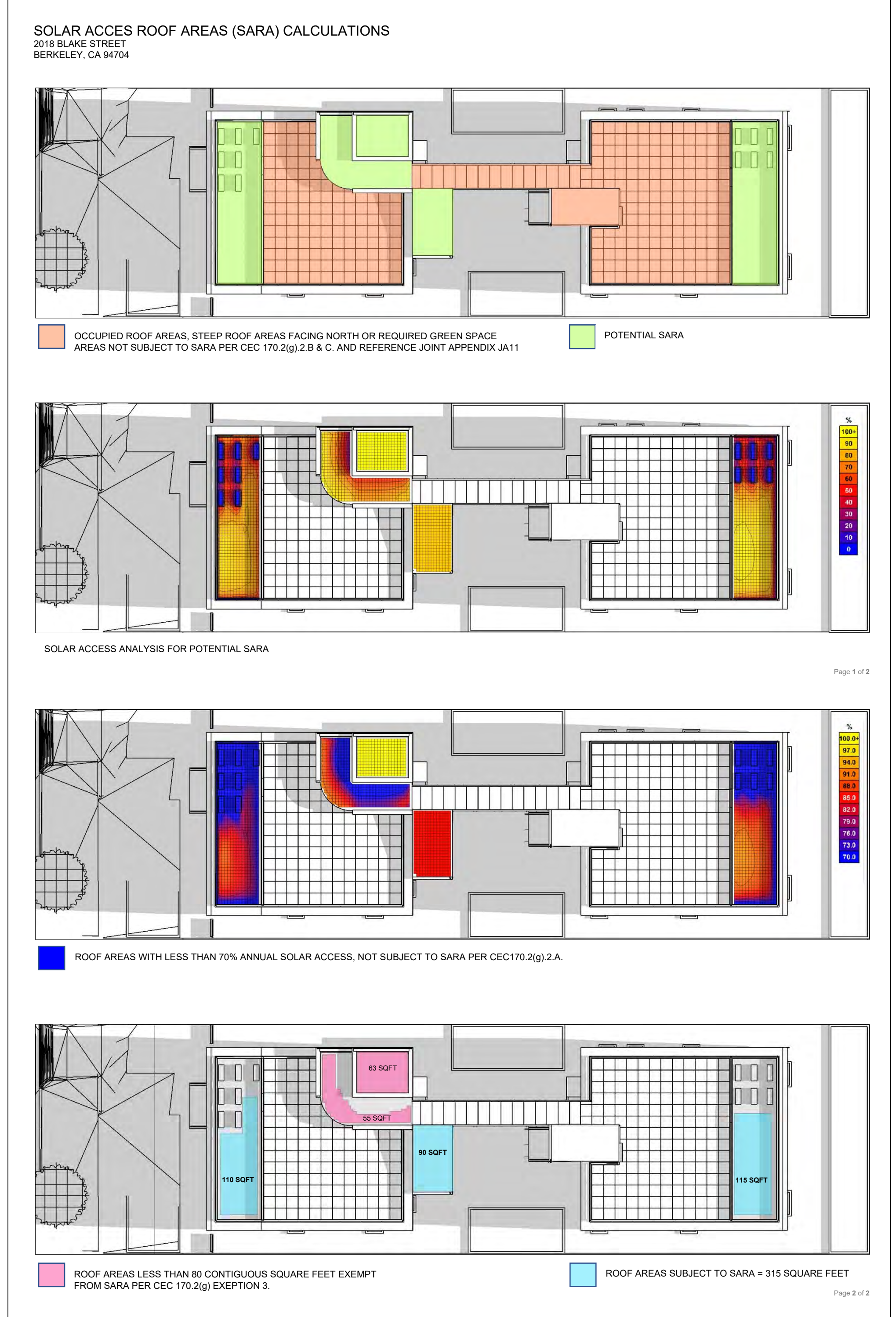
REVISIONS		
#	REASON	DATE
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08 / 17 / 2023

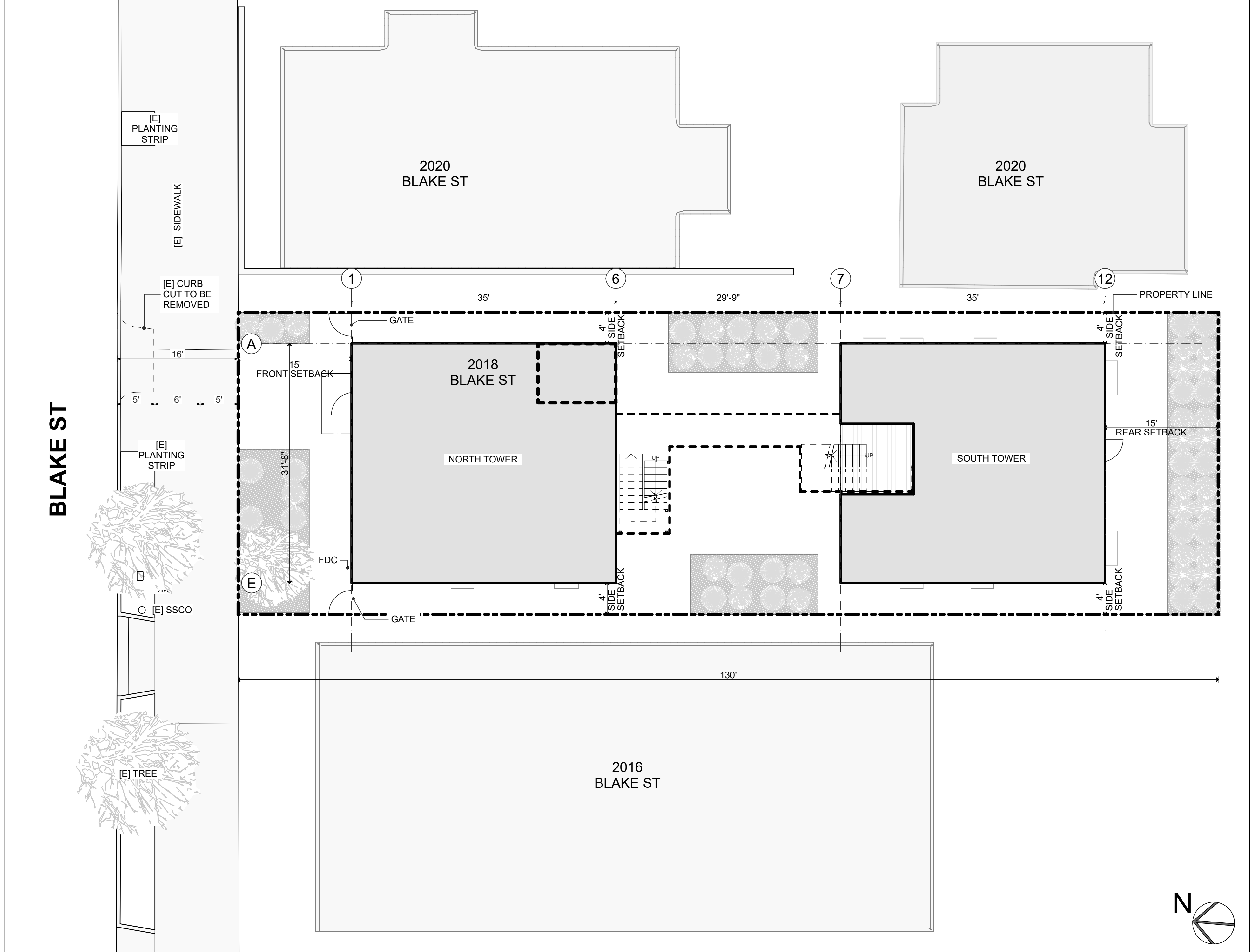
**A1.0**

**SHEET NOTES**

1. AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS.
2. AN ENGINEERING PERMIT, ISSUED BY THE PERMIT SERVICE CENTER, WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO CONSTRUCTION STAGING, RESERVED CONSTRUCTION PARKING, SIDEWALK, DRAINAGE, OR SEWER WORK. UTILITY WORK (GAS, ELECTRIC, WATER) IN THE PUBLIC RIGHT-OF-WAY REQUIRES A SEPARATE UTILITY PERMIT ISSUED BY THE ENGINEERING DIVISION. APPROVAL OF THIS BUILDING PERMIT DOES NOT AUTHORIZE WORK IN THE PUBLIC RIGHT-OF-WAY.
3. NEW SIDEWALK, CURB, AND 2" ASPHALT GRIND AND OVERLAY TO THE CENTERLINE OF THE STREET ALONG PROJECT FRONTAGE ARE REQUIRED. THE NEW SIDEWALK SHALL HAVE A MAXIMUM 2% CROSS SLOPE AND HAVE AT LEAST 6' WIDE CLEARANCE FOR PEDESTRIAN PATH OF TRAVEL. THIS WIDTH SHALL NOT INCLUDE ANY STREET FIXTURES SUCH AS POLES, SIGNS, BIKE RACKS, TREE WELLS, ETC.
4. WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL:
  1. ARE CONTINUOUSLY ACCESSIBLE
  2. HAVE MAXIMUM 1/2" CHANGES IN ELEVATION
  3. ARE MINIMUM 48" IN WIDTH
  4. HAVE MAXIMUM 1/4" PER FOOT CROSS SLOPES
  5. HAVE MAXIMUM 5% (1:20) RUNNING SLOPES
5. WHERE MORE THAN ONE EXTERIOR ROUTE OF TRAVEL IS PROVIDED, ALL ROUTES SHALL BE ACCESSIBLE.



**SARA CALCULATIONS** ②

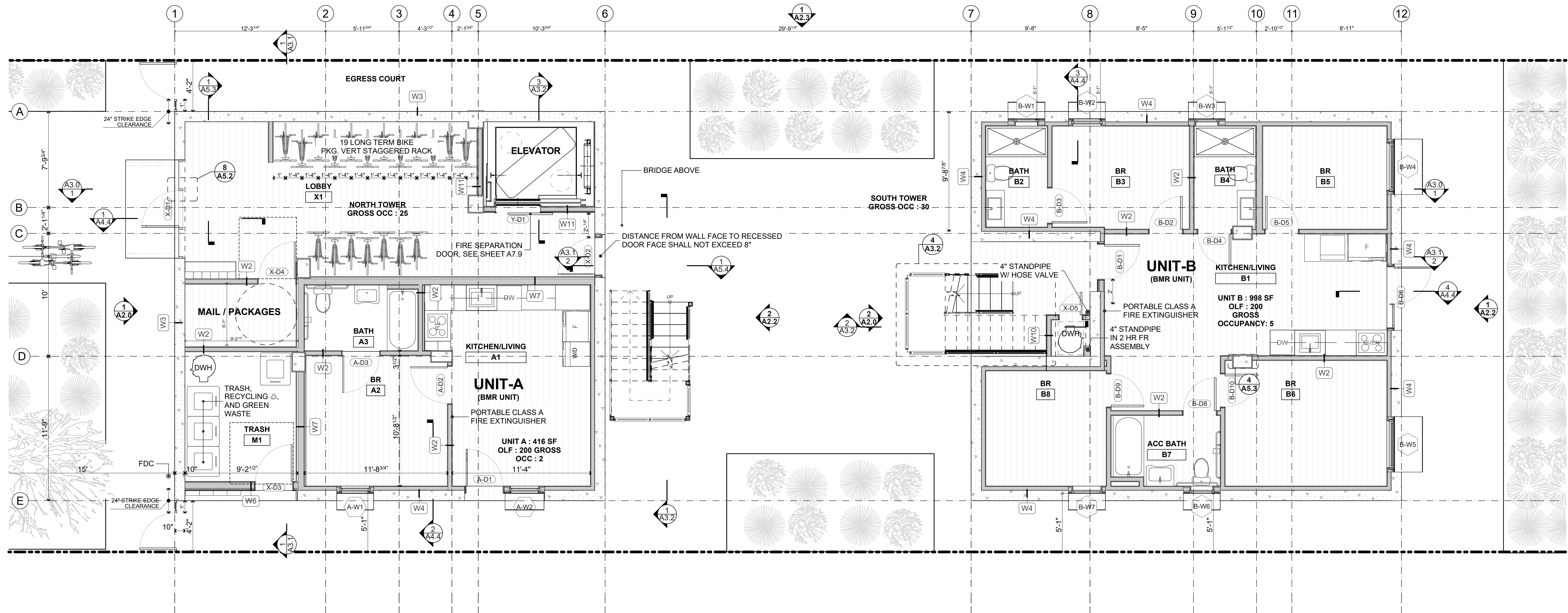


**SITE PLAN** ①  
 SCALE: 1/8" = 1'-0"

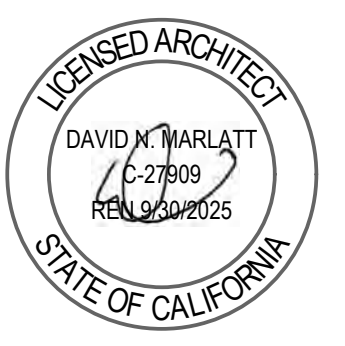
**SHEET NOTES**

1. IN ALL RESIDENTIAL UNITS (WHERE ONLY 1 COMPLYING BATHROOM IS PROVIDED) ANY ADDITIONAL BATHROOMS SHALL BE PROVIDED WITH LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS COMPLYING WITH CBC SECTION 1142 A.
2. IN ALL RESIDENTIAL UNITS (WHERE ONLY 1 COMPLYING BATHROOM IS PROVIDED) ANY ADDITIONAL BATHROOMS SHALL BE PROVIDED WITH WALL REINFORCEMENT FOR FUTURE GRAB BAR INSTALLATION AROUND THE TOILET AND SHOWER COMPLYING WITH CBC SECTIONS 1134A.6 ITEM 3 (SHOWERS) AND 1134A.7 ITEM 2 (WATER CLOSETS).
3. THE ELEVATOR MUST BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL BE NOT LESS THAN 3" IN HEIGHT AND SHALL BE PLACED INSIDE ON BOTH SIDES OF THE HOISTWAY DOOR FRAME.
4. PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED WITHIN 75' OF TRAVEL, NEAR EXITS OR ALONG EXIT PATHS.
5. THE CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF THE INSTALLED HAND-HELD PORTABLE FIRE EXTINGUISHERS SHALL BE NOT LESS THAN 4".
6. SEE SHEET A1.2 FOR ENLARGED PLAN.

LIGHT & VENTILATION CALCULATIONS - 1ST STORY					
ROOM NAME:	OCC. ROOM AREA:	REQUIRED		PROVIDED	
		LIGHT:	VENTILATION:	LIGHT:	VENTILATION:
A1	161.1 SF	12.9 SF	6.4 SF	13.7 SF	8.8 SF
A2	122.5 SF	9.8 SF	4.9 SF	10.9 SF	8.8 SF
B1	231.1 SF	18.6 SF	9.3 SF	23.7 SF	19.8 SF
B3	92.7 SF	7.4 SF	3.7 SF	10.9 SF	8.8 SF
B5	84.6 SF	6.8 SF	3.4 SF	13.3 SF	7.0 SF
B6	133.4 SF	10.7 SF	5.3 SF	13.3 SF	7.0 SF
B8	91.9 SF	7.4 SF	3.7 SF	10.9 SF	8.8 SF



**DNM ARCHITECTURE**  
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**BUILDING PERMIT**  
**1ST FLOOR PLAN**

230301  
 2018 BLAKE STREET  
 2018 BLAKE STREET  
 BERKELEY, CA 94704

APN: 55-1821-21

REVISIONS		
#	REASON	DATE
1.	PCCL 1	12/15/23
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08 / 17 / 2023

**A1.1**

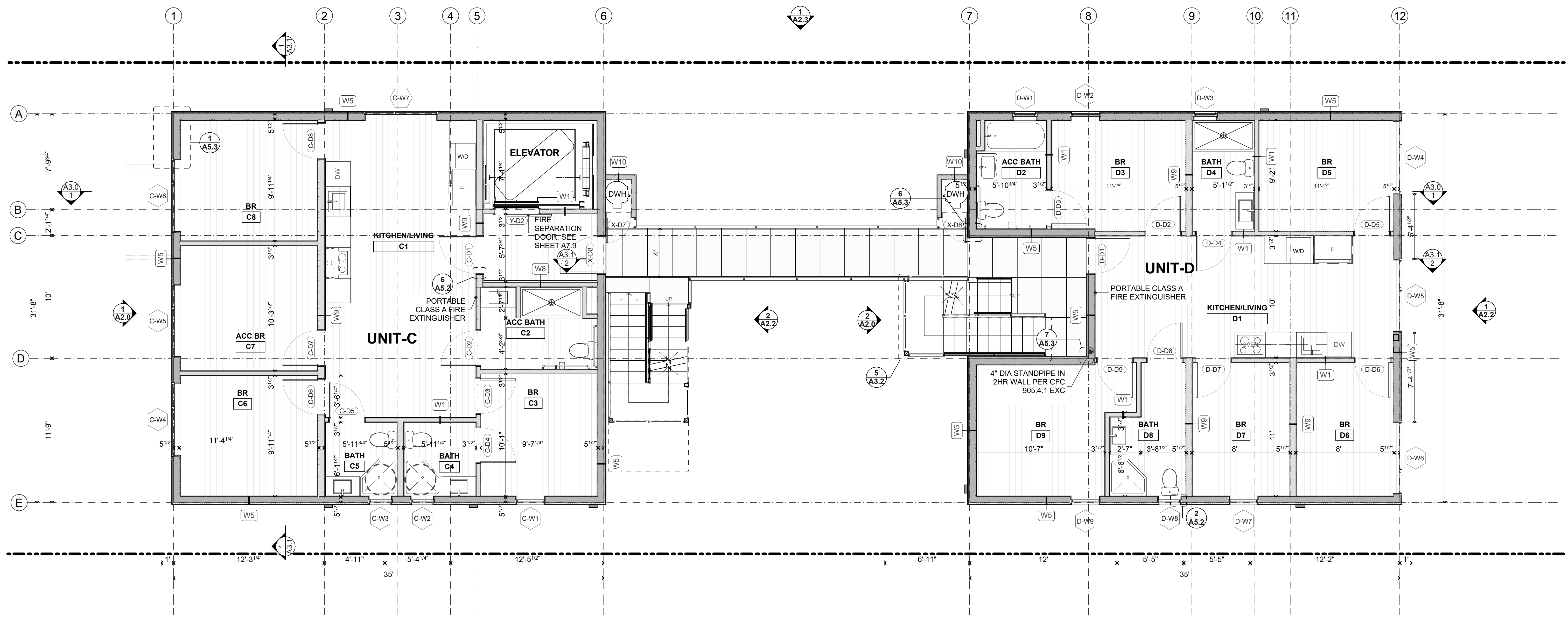
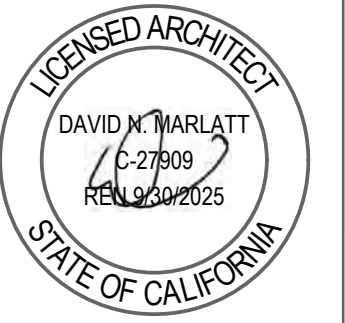
**[N] FIRST STORY**  
 SCALE: 1/4" = 1'-0"

- ### SHEET NOTES
- IN ALL RESIDENTIAL UNITS (WHERE ONLY 1 COMPLYING BATHROOM IS PROVIDED) ANY ADDITIONAL BATHROOMS SHALL BE PROVIDED WITH LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS COMPLYING WITH CBC SECTION 1142.A.
  - IN ALL RESIDENTIAL UNITS (WHERE ONLY 1 COMPLYING BATHROOM IS PROVIDED) ANY ADDITIONAL BATHROOMS SHALL BE PROVIDED WITH WALL REINFORCEMENT FOR FUTURE GRAB BAR INSTALLATION AROUND THE TOILET AND SHOWER COMPLYING WITH CBC SECTIONS 1134A.6 ITEM 3 (SHOWERS) AND 1134A.7 ITEM 2 (WATER CLOSETS).
  - THE ELEVATOR MUST BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL BE NOT LESS THAN 3" IN HEIGHT AND SHALL BE PLACED INSIDE ON BOTH SIDES OF THE HOISTWAY DOOR FRAME.
  - PORTABLE FIRE EXTINGUISHERS SHALL BE LOCATED WITHIN 75' OF TRAVEL, NEAR EXITS OR ALONG EXIT PATHS.
  - THE CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF THE INSTALLED HAND-HELD PORTABLE FIRE EXTINGUISHERS SHALL BE NOT LESS THAN 4".
  - SEE SHEET A1.2 FOR ENLARGED PLAN.

LIGHT & VENTILATION CALCULATIONS - TYP FOR 2ND-6TH STORY					
ROOM NAME:	OCC. ROOM AREA:	REQUIRED		PROVIDED	
		LIGHT:	VENTILATION:	LIGHT:	VENTILATION:
C1	257.1 SF	20.6 SF	10.3 SF	28.4 SF	10.3 SF
C3	94 SF	7.5 SF	3.8 SF	10.9 SF	8.8 SF
C6	109.3 SF	8.7 SF	4.4 SF	28.6 SF	7 SF
C7	113.7 SF	9.1 SF	4.6 SF	28.6 SF	7 SF
C8	109.3 SF	8.7 SF	4.4 SF	28.6 SF	7 SF
D1	204.0 SF	16.3 SF	8.2 SF	28.4 SF	10.3 SF
D3	97.4 SF	7.8 SF	3.9 SF	10.9 SF	8.8 SF
D5	98.3 SF	7.9 SF	3.9 SF	28.6 SF	7 SF
D6	84.4 SF	6.8 SF	3.4 SF	28.6 SF	7 SF
D7	84.4 SF	6.8 SF	3.4 SF	10.9 SF	8.8 SF
D9	121.8 SF	9.7 SF	4.9 SF	10.9 SF	8.8 SF



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BUILDING PERMIT  
**2ND - 6TH TYP FLOOR PLAN**

230301  
 2018 BLAKE STREET  
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 BERKELEY, CA 94704

APN: 55-1821-21

REVISIONS		
#	REASON	DATE
1.	PCCL 1	12/15/23
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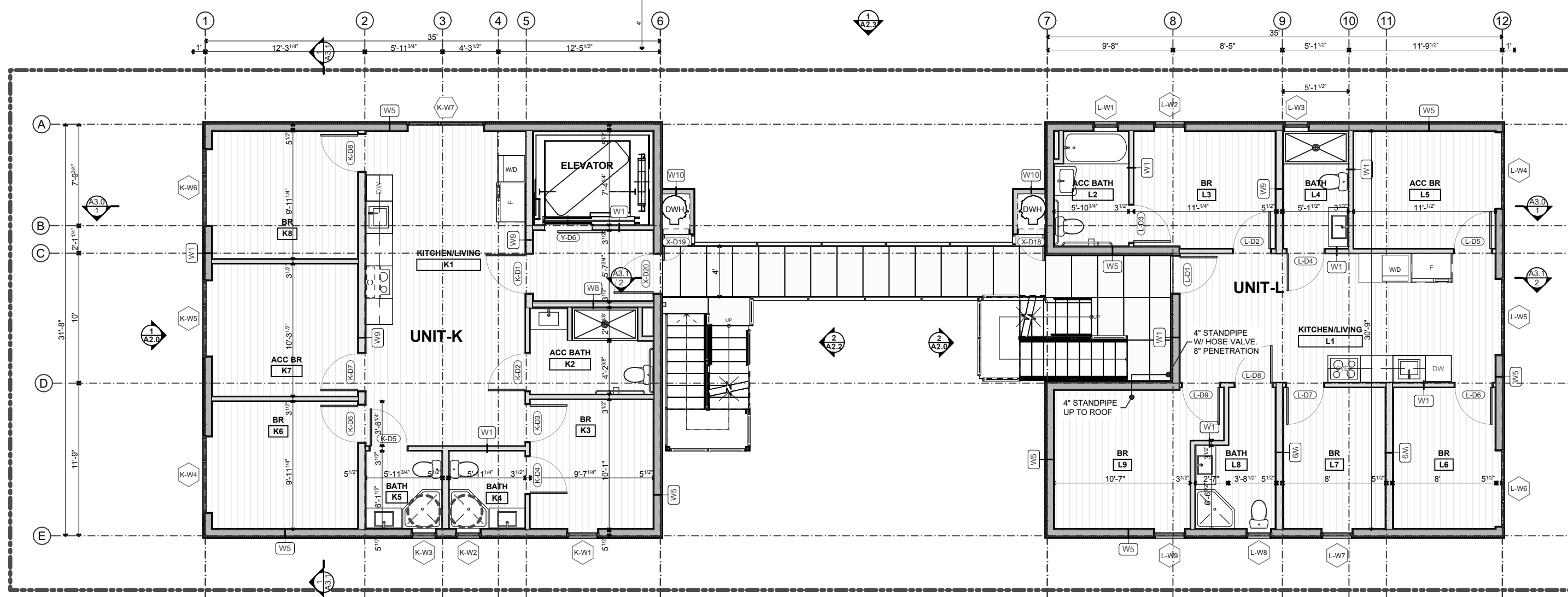
**A1.2**

[N] SECOND-SIXTH STORY

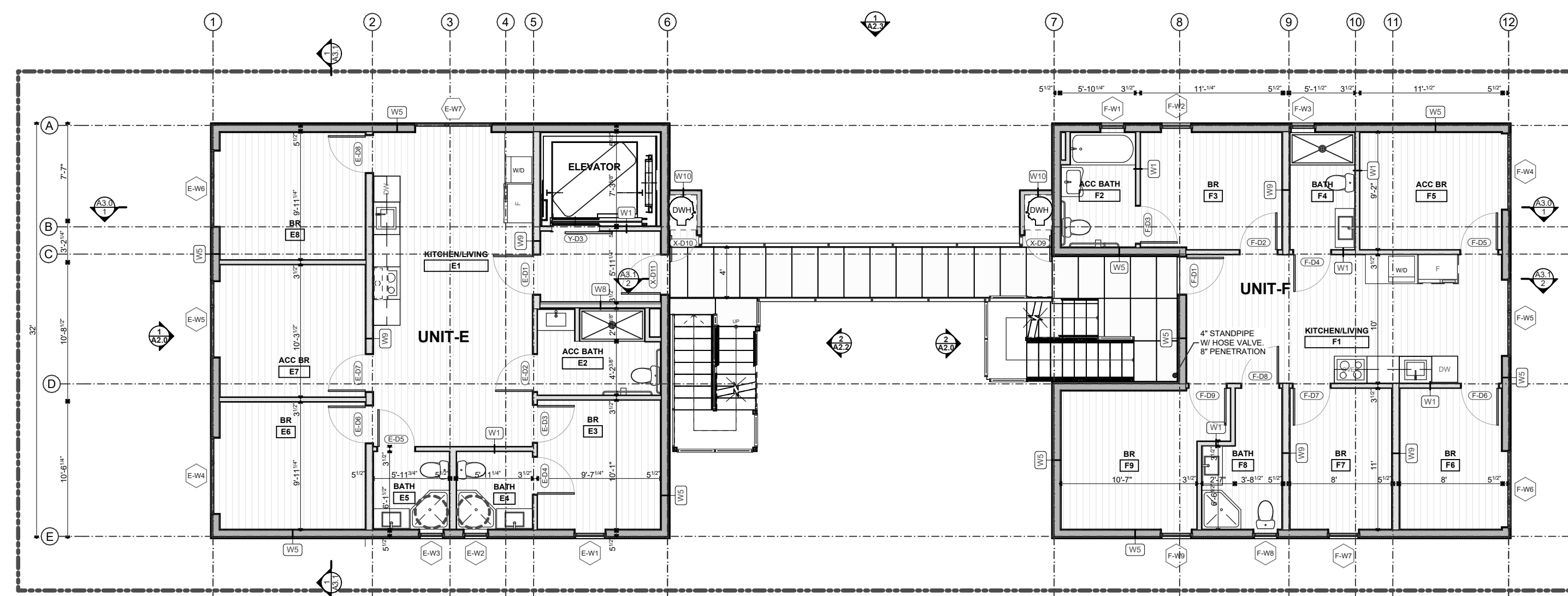
SCALE: 1/4" = 1'-0"

**SHEET NOTES**

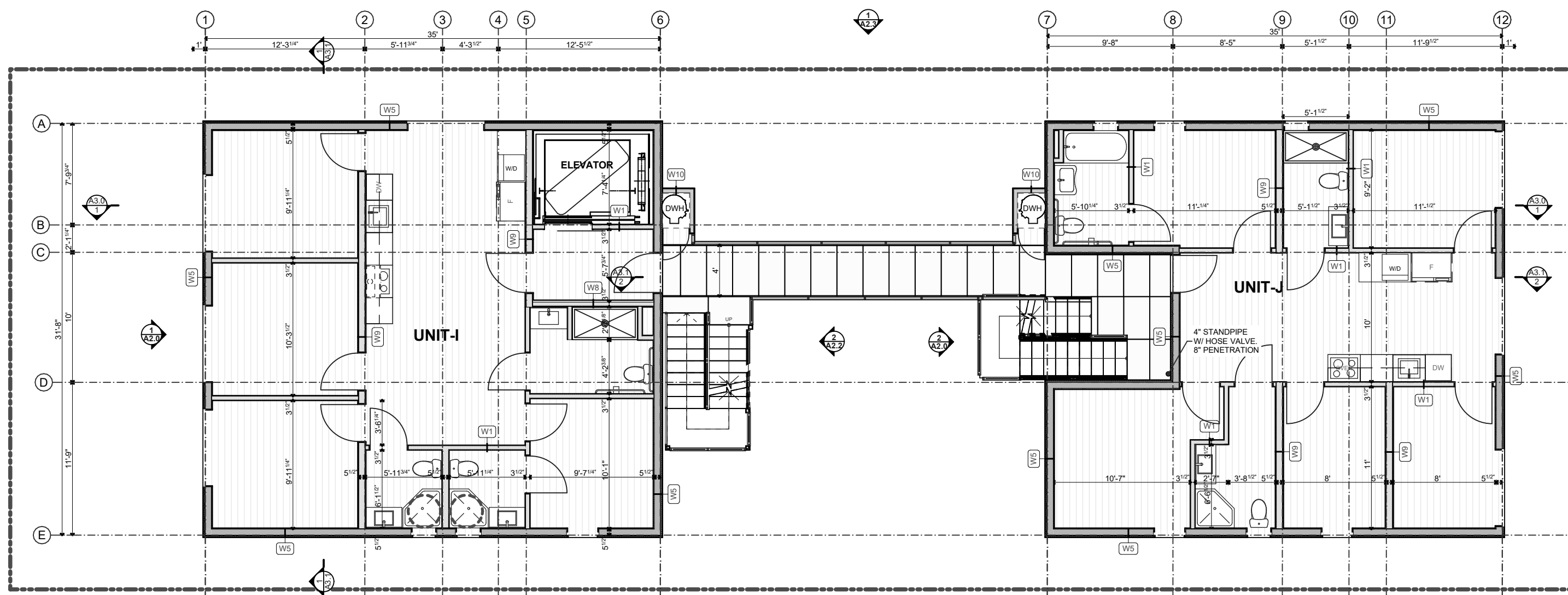
1. IN ALL RESIDENTIAL UNITS (WHERE ONLY 1 COMPLYING BATHROOM IS PROVIDED) ANY ADDITIONAL BATHROOMS SHALL BE PROVIDED WITH LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS, AND OTHER ENVIRONMENTAL CONTROLS COMPLYING WITH CBC SECTION 1142.A.
2. IN ALL RESIDENTIAL UNITS (WHERE ONLY 1 COMPLYING BATHROOM IS PROVIDED) ANY ADDITIONAL BATHROOMS SHALL BE PROVIDED WITH WALL REINFORCEMENT FOR FUTURE GRAB BAR INSTALLATION AROUND THE TOILET AND SHOWER COMPLYING WITH CBC SECTIONS 1134A.6 ITEM 3 (SHOWERS) AND 1134A.7 ITEM 2 (WATER CLOSETS).
3. THE ELEVATOR MUST BE IDENTIFIED BY THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL BE NOT LESS THAN 3" IN HEIGHT AND SHALL BE PLACED INSIDE ON BOTH SIDES OF THE HOISTWAY DOOR FRAME.
4. SEE SHEET A1.2 FOR ENLARGED PLAN.



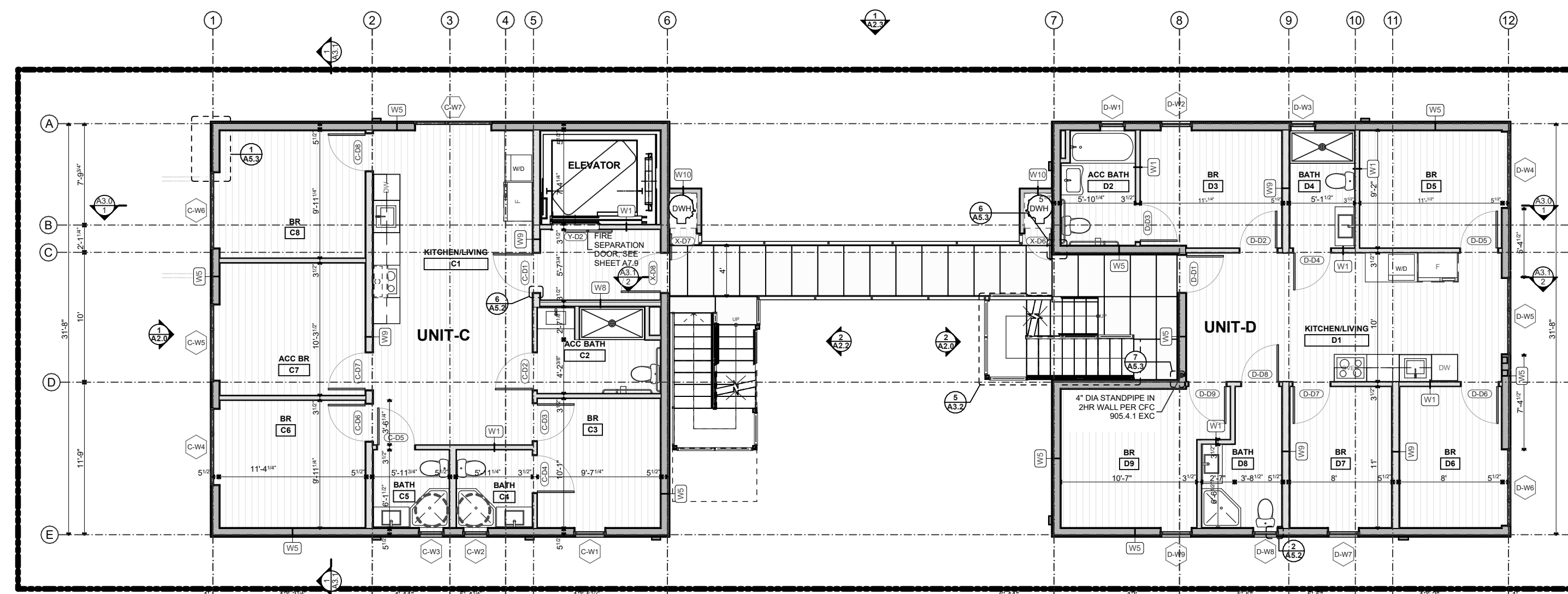
[N] SIXTH STORY 6  
 SCALE: 1/8" = 1'-0"



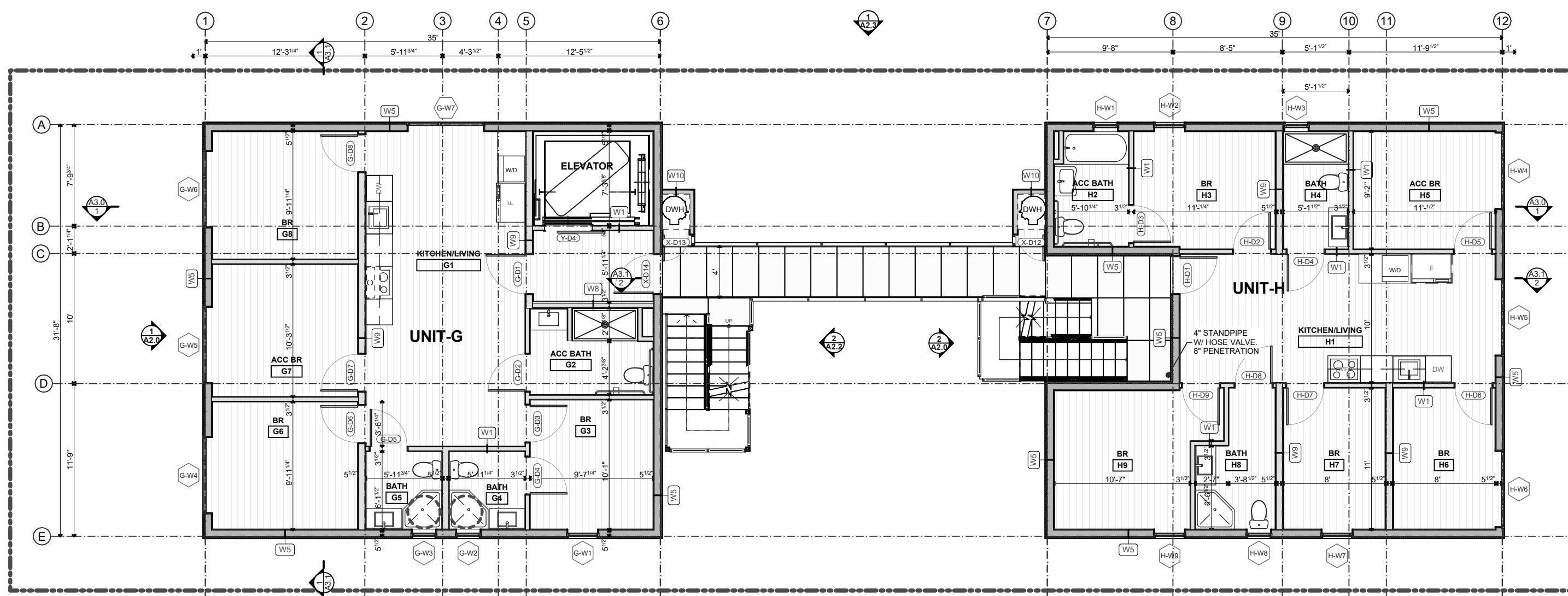
[N] THIRD STORY 3  
 SCALE: 1/8" = 1'-0"



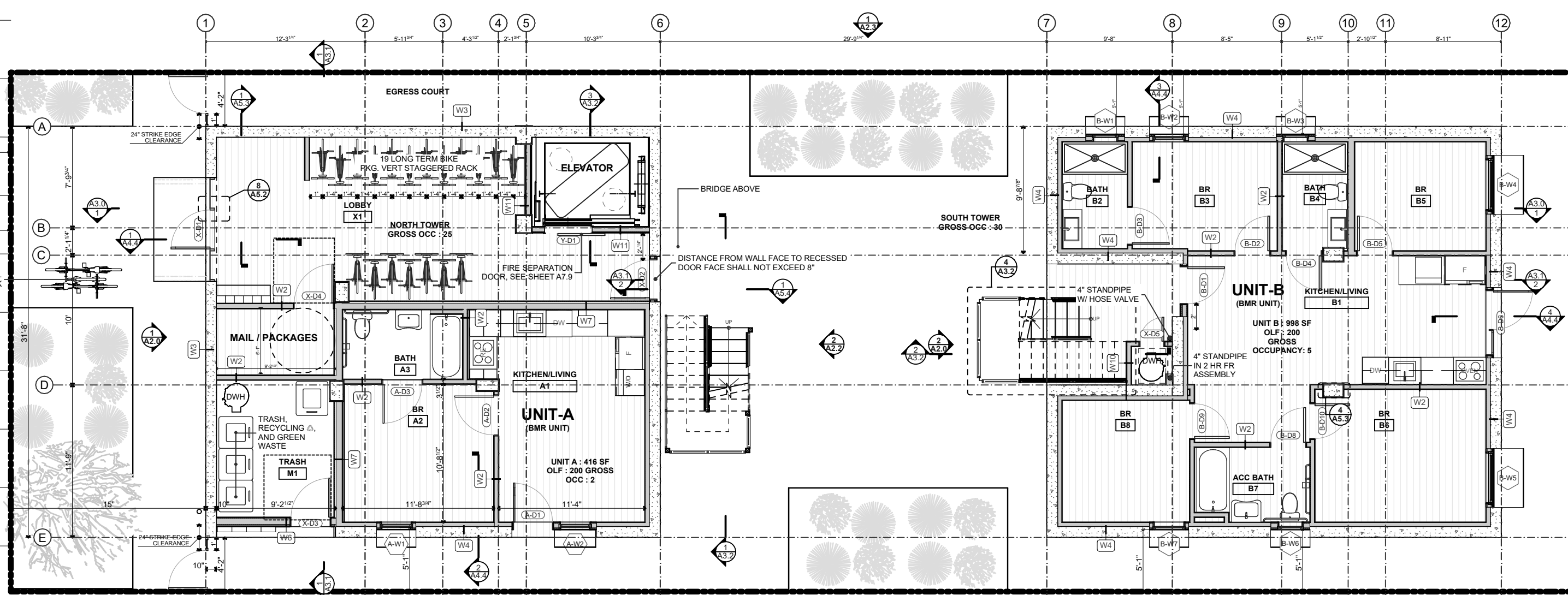
[N] FIFTH STORY 5  
 SCALE: 1/8" = 1'-0"



[N] SECOND-SIXTH STORY 2  
 SCALE: 1/8" = 1'-0"



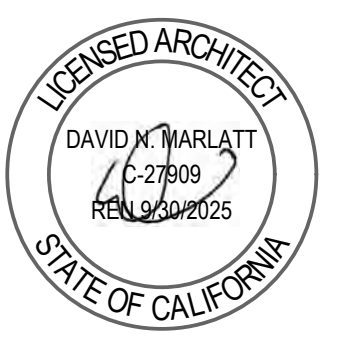
[N] FOURTH STORY 4  
 SCALE: 1/8" = 1'-0"



[N] FIRST STORY 1  
 SCALE: 1/8" = 1'-0"



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**BUILDING PERMIT**  
**1/8" REFERENCE PLANS**

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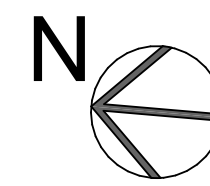
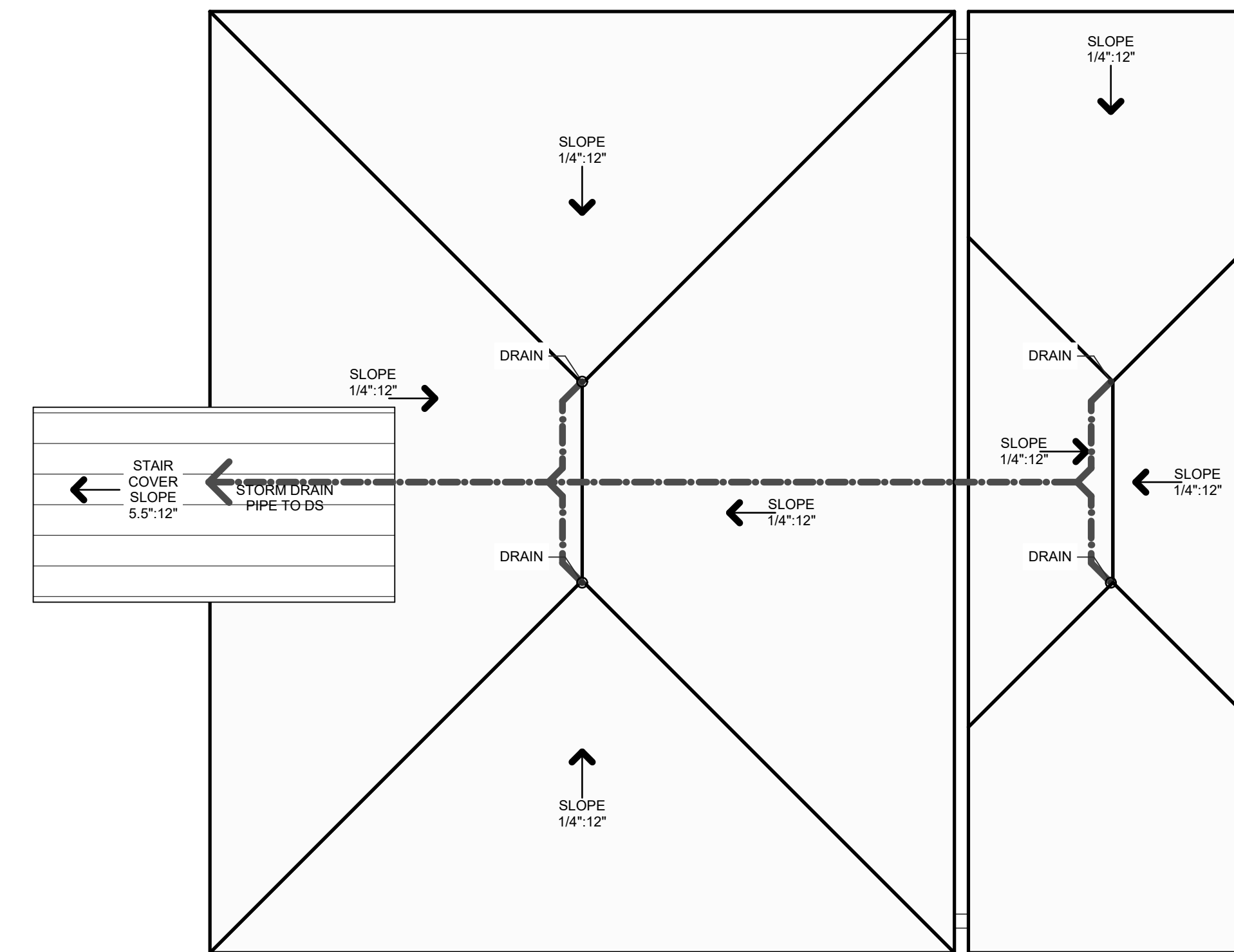
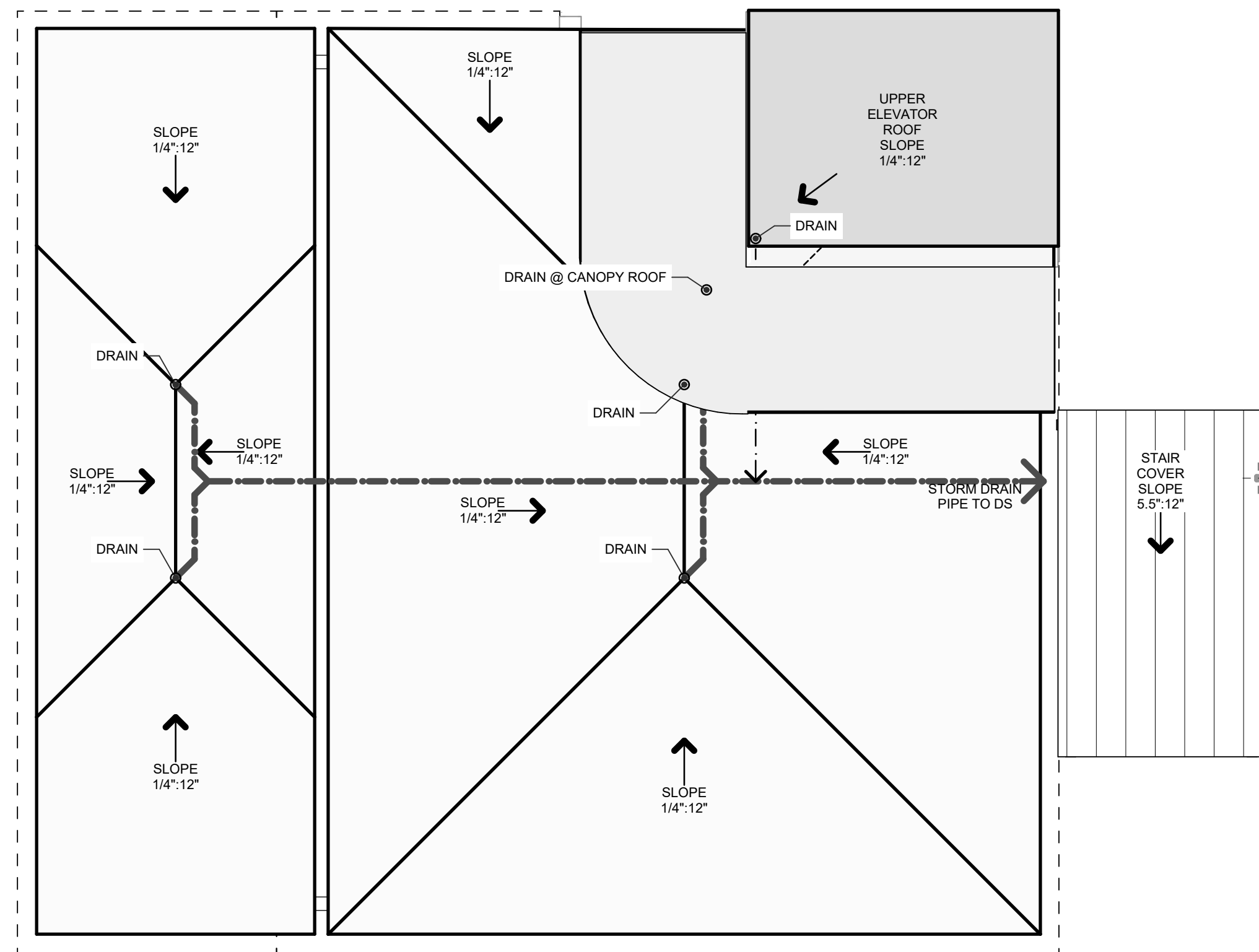
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**A1.3**

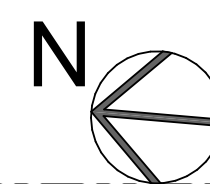
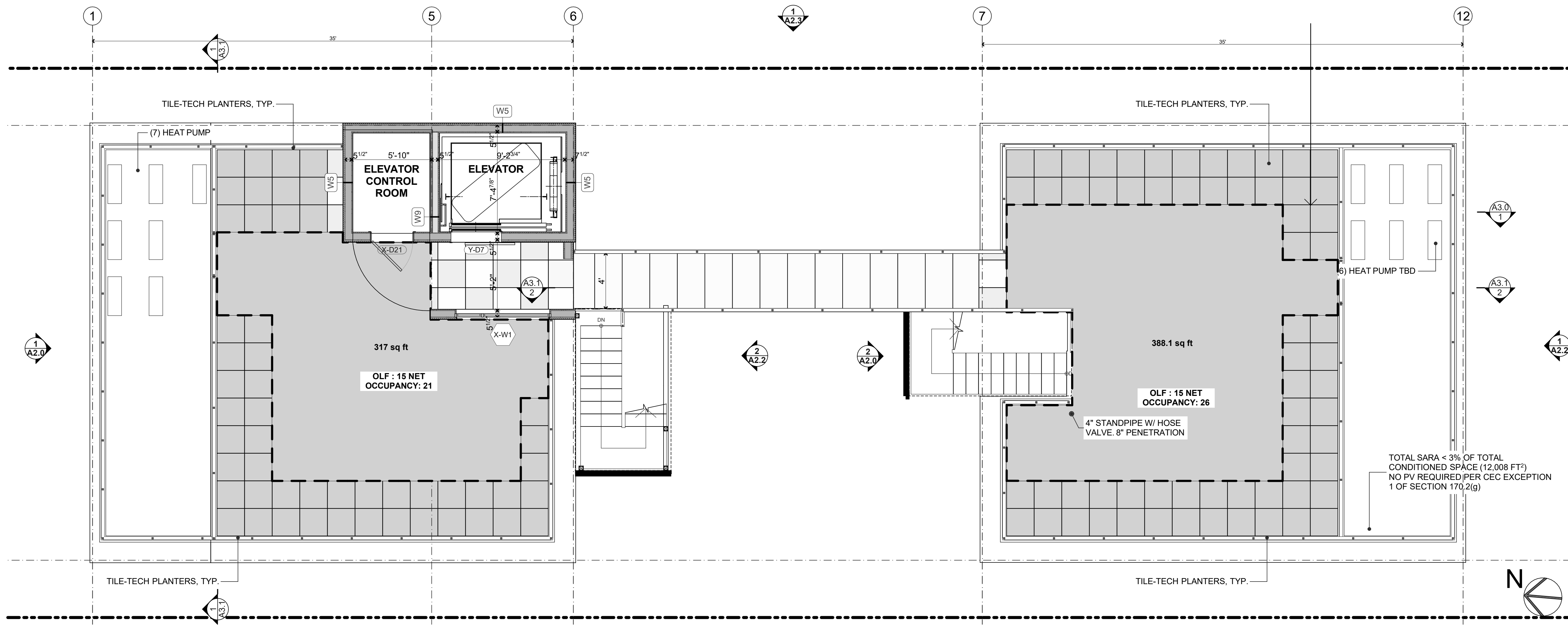
**SHEET NOTES**

1. THE ROOFING SYSTEM FOR THE LANDSCAPED ROOF SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/SPRI VF-1 STANDARD.



[N] ROOF DRAINAGE DIAGRAM 2

SCALE: 1/4" = 1'-0"

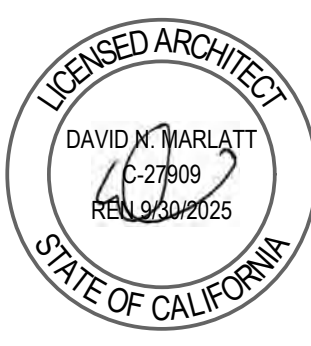


[N] ROOF 1

SCALE: 1/4" = 1'-0"



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**BUILDING PERMIT**  
**ROOF PLAN**

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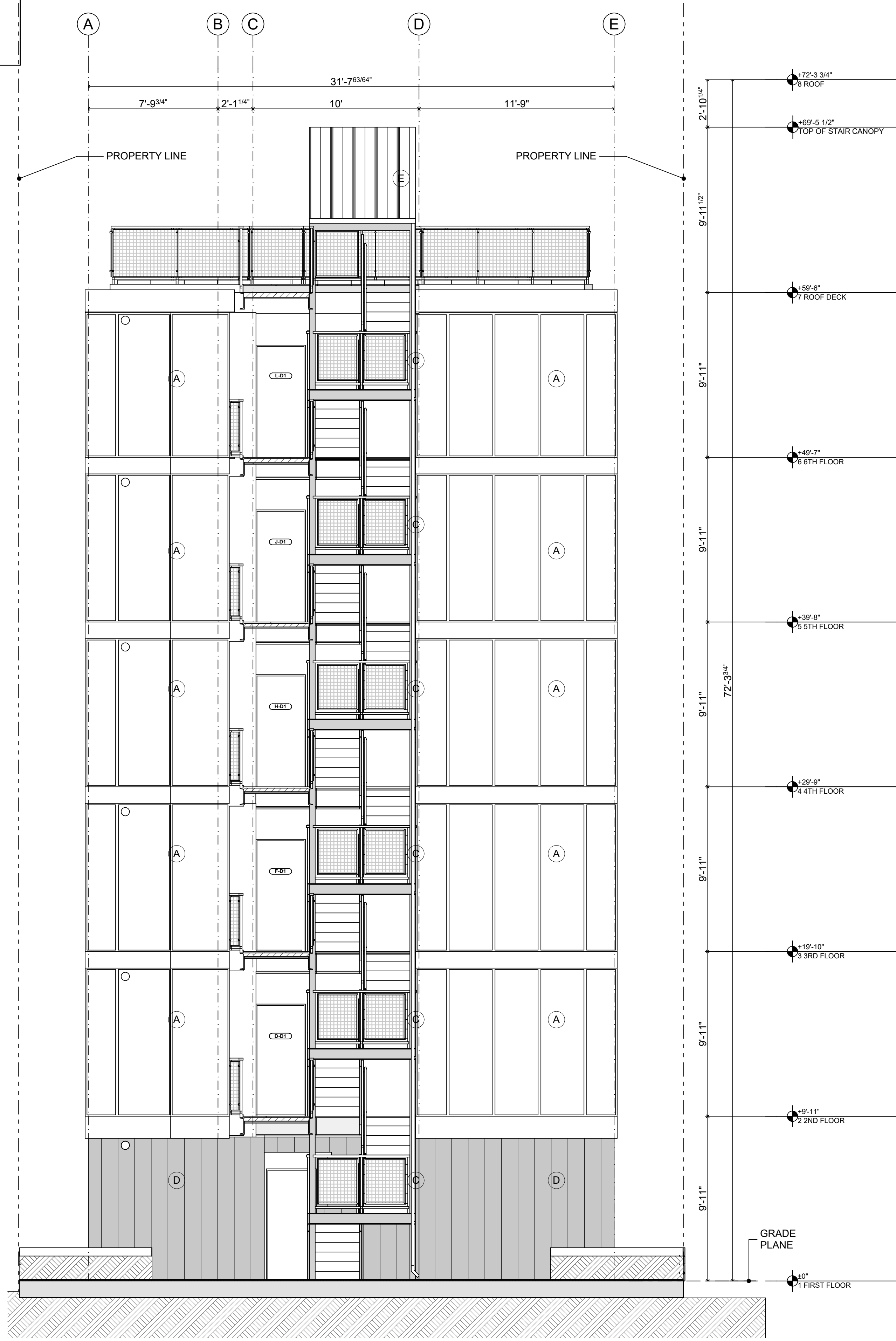
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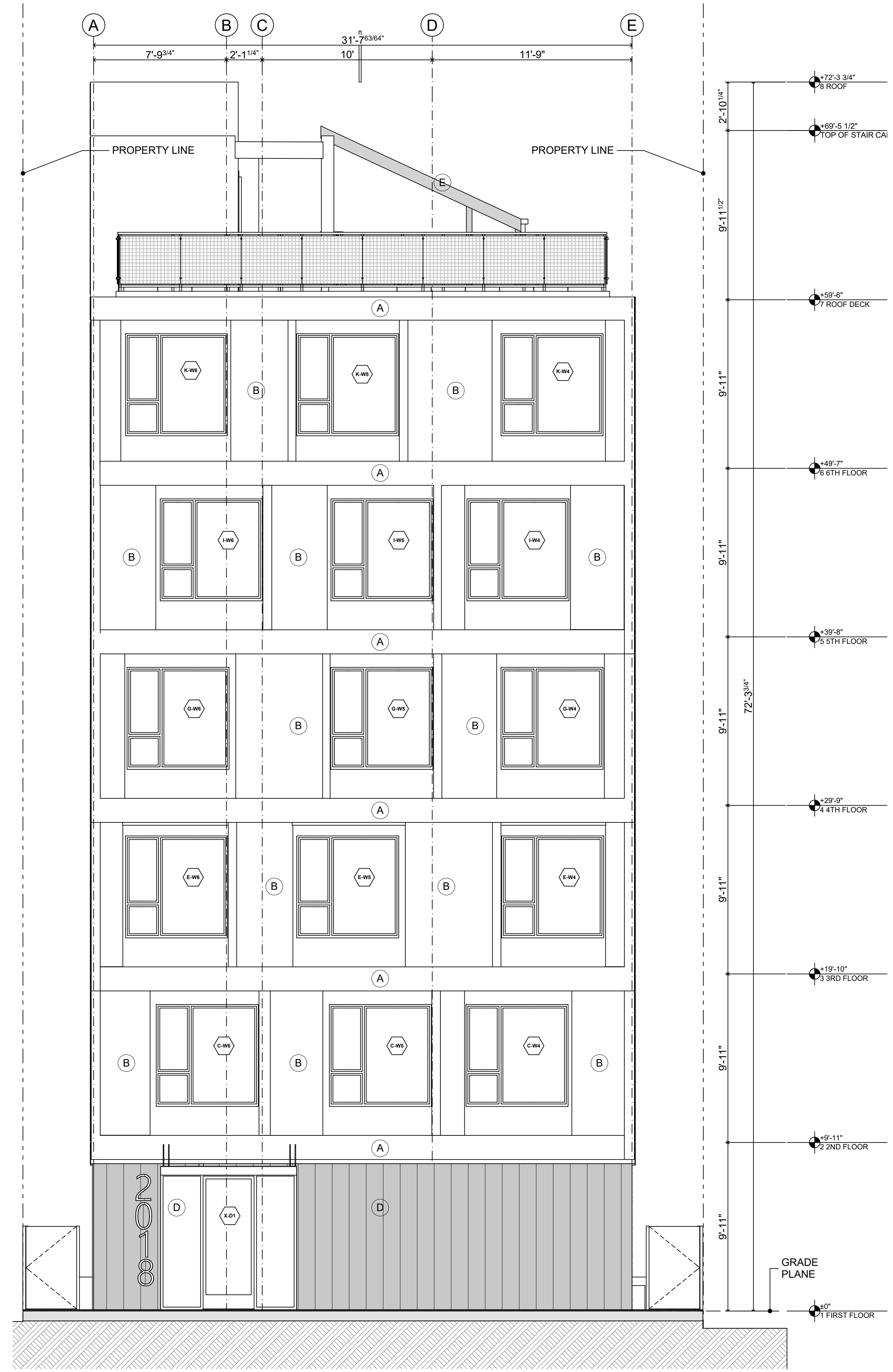
**A1.4**

**MATERIAL KEY**

- (A) HARDIE FIBER CEMENT PANEL - WHITE
- (B) HARDIE FIBER CEMENT PANEL - LIGHT GRAY
- (C) JACOBS WIRE MESH
- (D) CONCRETE FINISH
- (E) STANDING SEAM METAL ROOF



**COURTYARD NORTH ELEVATION** ②  
 SCALE: 1/4" = 1'-0"



**NORTH ELEVATION** ①  
 SCALE: 1/4" = 1'-0"



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**BUILDING PERMIT**  
**NORTH ELEVATIONS**

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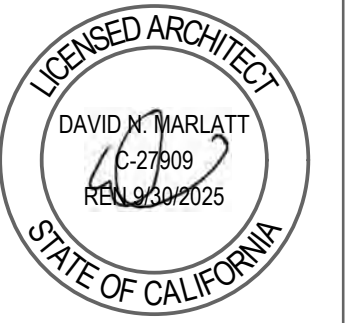
**A2.0**

**MATERIAL KEY**

- (A) HARDIE FIBER CEMENT PANEL - WHITE
- (B) HARDIE FIBER CEMENT PANEL - LIGHT GRAY
- (C) JACOBS WIRE MESH
- (D) CONCRETE FINISH
- (E) STANDING SEAM METAL ROOF
- (F) SEHIO WALL CAP



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BUILDING PERMIT  
**WEST ELEVATION**

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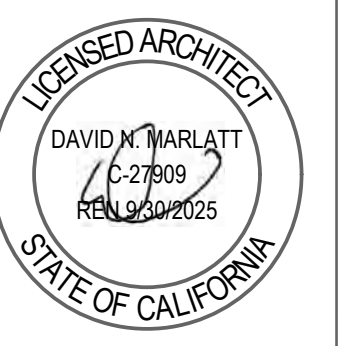
**A2.1**

**WEST ELEVATION** ①  
 SCALE: 1/4" = 1'-0"





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BUILDING PERMIT  
**SOUTH ELEVATIONS**

230301  
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APN: 55-1821-21

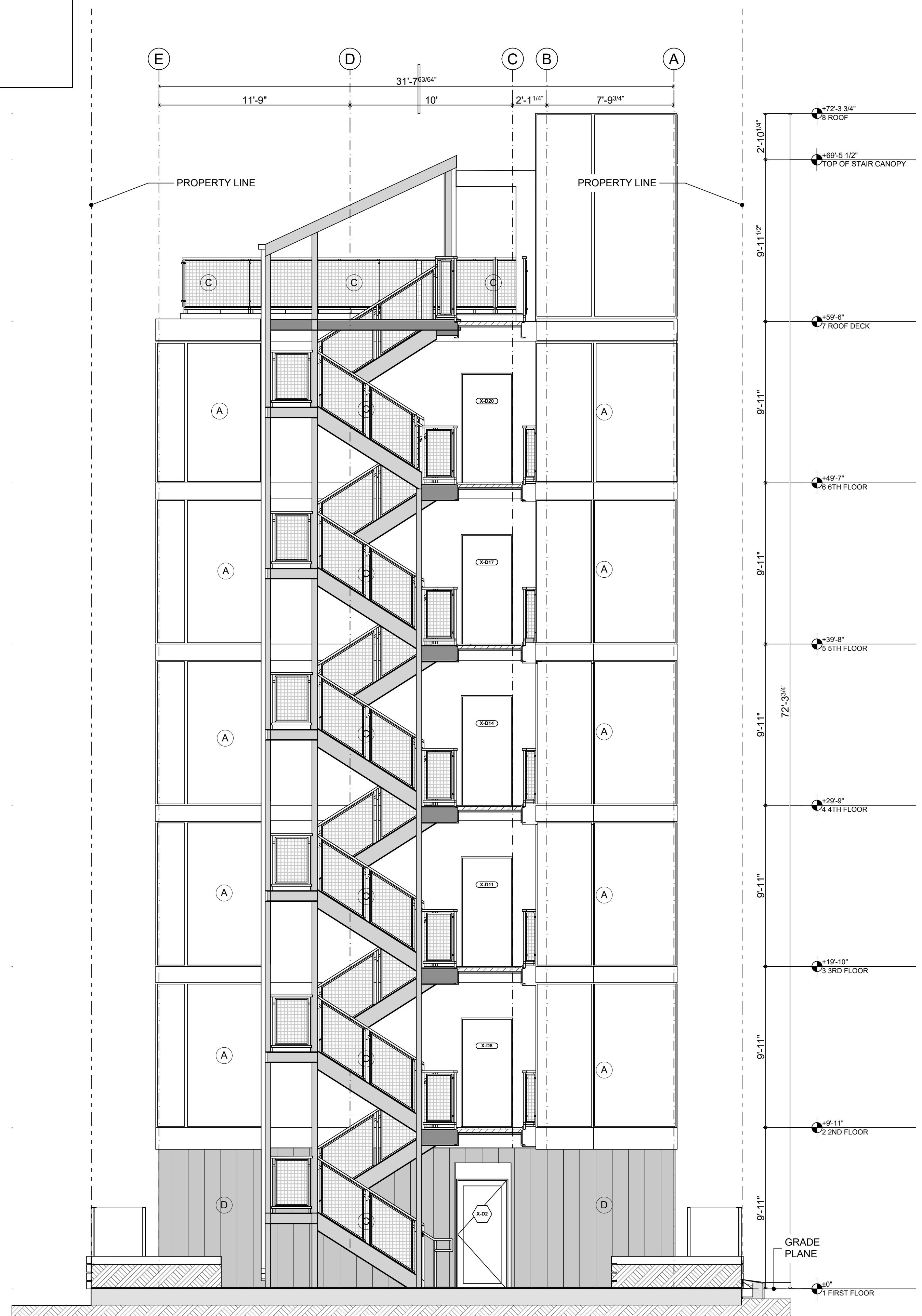
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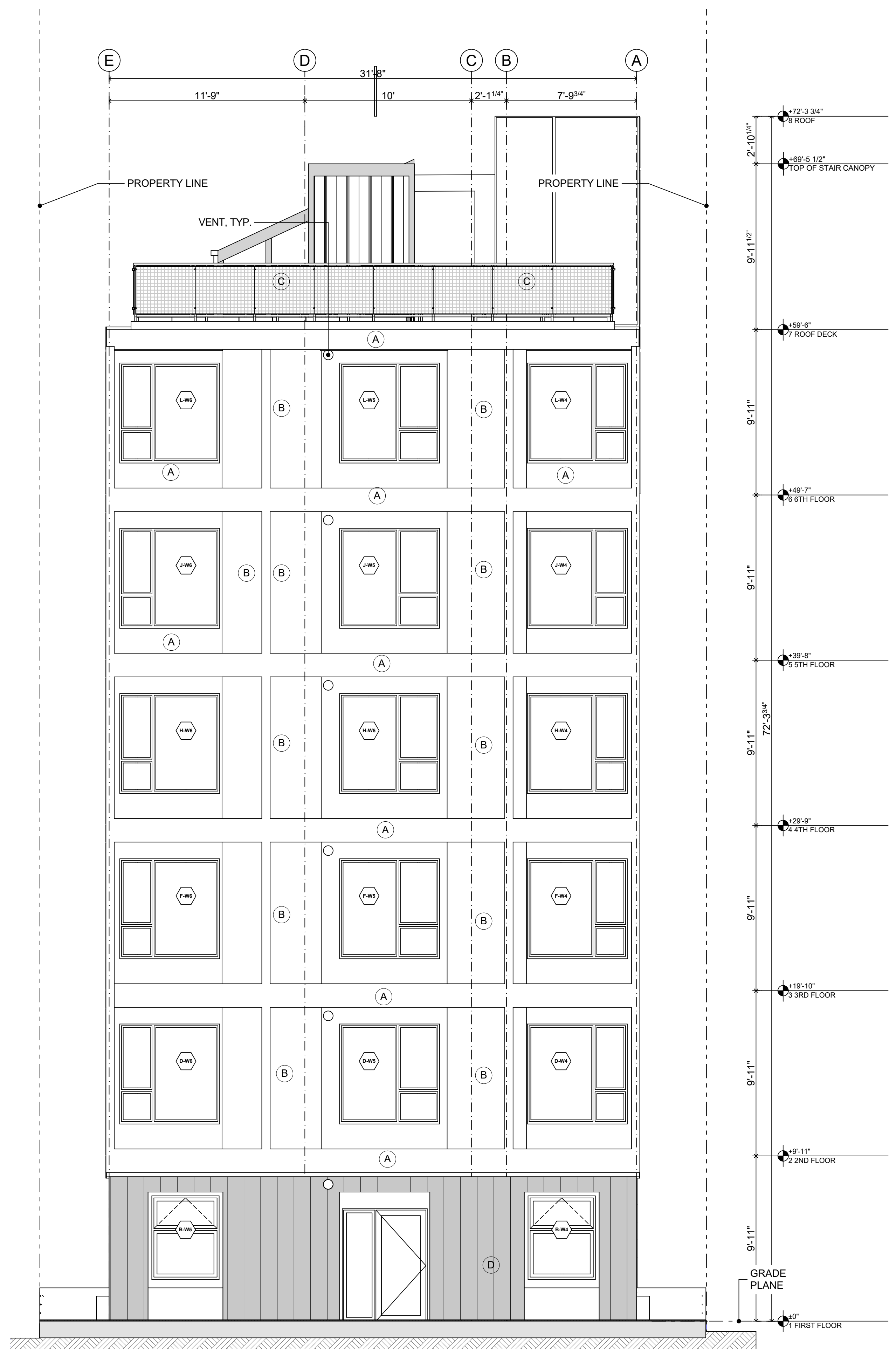
**A2.2**

**MATERIAL KEY**

(A)	HARDIE FIBER CEMENT PANEL - WHITE
(B)	HARDIE FIBER CEMENT PANEL - LIGHT GRAY
(C)	JACOBS WIRE MESH
(D)	CONCRETE FINISH
(E)	STANDING SEAM METAL ROOF



**COURTYARD SOUTH ELEVATION** ②  
 SCALE: 1/4" = 1'-0"



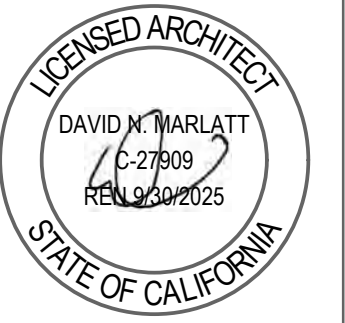
**SOUTH ELEVATION** ①  
 SCALE: 1/4" = 1'-0"

**MATERIAL KEY**

- (A) HARDIE FIBER CEMENT PANEL - WHITE
- (B) HARDIE FIBER CEMENT PANEL - LIGHT GRAY
- (C) JACOBS WIRE MESH
- (D) CONCRETE FINISH
- (E) STANDING SEAM METAL ROOF
- (F) SEHIO WALL CAP



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**BUILDING PERMIT**  
**EAST ELEVATION**

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**A2.3**

**EAST ELEVATION** ①  
 SCALE: 1/4" = 1'-0"