



Office of the City Manager

INFORMATION CALENDAR

March 21, 2023

To: Honorable Mayor and Members of the City Council
From: Dee Williams-Ridley, City Manager
Submitted by: Jordan Klein, Director, Planning and Development Department
Subject: LPO NOD: 1325 Arch Street/#LMSAP2022-0013

INTRODUCTION

The attached Landmarks Preservation Commission Notice of Decision (NOD) is presented to the Mayor and City Council pursuant to Berkeley Municipal Code/Landmarks Preservation Ordinance (BMC/LPO) Section 3.24.240.A, which requires that “a copy of the Notice of Decision shall be filed with the City Clerk and the City Clerk shall present said copy to the City Council at its next regular meeting.”

CURRENT SITUATION AND ITS EFFECTS

The Landmark Preservation Commission (LPC/Commission) has approved a Structural Alteration Permit (SAP) for the subject City Landmark property. This action is subject to a 15-day appeal period, which began on March 7, 2023.

BACKGROUND

BMC/LPO Section 3.24.300 allows City Council to review any action of the Landmarks Preservation Commission in granting or denying a Structural Alteration Permit. For Council to review the decision on its merits, Council must appeal the Notice of Decision. To do so, a Council member must move this Information Item to Action and then move to set the matter for hearing on its own. Such action must be taken within 15 days of the mailing of the Notice of Decision, or by March 21, 2023. Such certification to Council shall stay all proceedings in the same manner as the filing of an appeal.

If the Council chooses to appeal the action of the Commission, then a public hearing will be set. The Council must then rule on the designation within 30 days of closing the hearing, otherwise the decision of the Commission is automatically deemed affirmed.

Unless the Council wishes to review the determination of the Commission and make its own decision, the attached NOD is deemed received and filed.

ENVIRONMENTAL SUSTAINABILITY & CLIMATE IMPACTS

Landmark designation provides opportunities for the adaptive re-use and rehabilitation of historic resources within the City. The rehabilitation of these resources, rather than their removal, achieves construction and demolition waste diversion, and promotes investment in existing urban centers.

POSSIBLE FUTURE ACTION

The Council may choose to appeal the decision, in which case it would conduct a public hearing at a future date.

FISCAL IMPACTS OF POSSIBLE FUTURE ACTION

There are no known fiscal impacts associated with this action.

CONTACT PERSON

Fatema Crane, Principal Planner, Planning and Development, 510-981-7410

Attachments:

1: Notice of Decision – #LMSAP2022-0013/1325 Arch Street



L A N D M A R K S
P R E S E R V A T I O N
C O M M I S S I O N

Notice of Decision

DATE OF BOARD DECISION: January 5, 2023
DATE NOTICE MAILED: March 6, 2023
APPEAL PERIOD EXPIRATION: March 21, 2023
EFFECTIVE DATE OF PERMIT (Barring Appeal or Certification): March 22, 2023¹

1325 Arch – The Schneider/Kroeber House

#LMSAP2022-0013 to demolish a detached garage in the front yard of a City Landmark property, to construct a new garage with a roof deck; to complete landscape improvements that include new retaining walls, a trellis and gates, and to install a hot tub in the rear yard.

The Landmarks Preservation Commission of the City of Berkeley, after conducting a public hearing, **APPROVED** the following request:

- **Structural Alteration Permit**

APPLICANT: Kristen Sidell, Sidell Pakravan Architects

ZONING DISTRICT: Single Family Residential, Hillside Overlay (R-1/H)

¹ Pursuant to BMC Chapter 3.24, the City Council may “certify” any decision of the LPC for review, which has the same effect as an appeal. In most cases, the Council must certify the LPC decision during the 14-day appeal period. However, pursuant to BMC Section 1.04.070, if any portion of the appeal period falls within a Council recess, the deadline for Council certification is suspended until the first Council meeting after the recess, plus the number of days of the appeal period that occurred during the recess, minus one day. If there is no appeal or certification, the Use Permit becomes effective the day after the certification deadline has passed.

LANDMARKS PRESERVATION COMMISSION
NOTICE OF DECISION
Permit #LMSAP2022-0013
1325 Arch Street
March 6, 2023
Page 2 of 5

ENVIRONMENTAL REVIEW STATUS: Categorically exempt under the California Environmental Quality Act Guidelines, Section 15331 (historical Resource Restoration and Rehabilitation).

The application materials for this project are available online at:
<https://permits.cityofberkeley.info/CitizenAccess/Default.aspx>

FINDINGS FOR FINAL ACTION AND APPROVED PLANS ARE ATTACHED TO THIS NOTICE

COMMISSION VOTE: 8-0-0-1

YES: ADAMS, CRANDALL, ENCHILL, FINACOM, LINVILL, MONTGOMERY,
SCHWARTZ, TWU

NO:

ABSTAIN:

ABSENT: LEUSCHNER

TO APPEAL THIS DECISION (see Section 3.24.300 of the Berkeley Municipal Code):

To appeal a decision of the Landmarks Preservation Commission to the City Council you must:

1. Submit a letter clearly and concisely setting forth the grounds for the appeal to the City Clerk, located at 2180 Milvia Street, 1st Floor, Berkeley. The City Clerk's telephone number is (510) 981-6900.
 - a. Pursuant to BMC Section 3.24.300.A, an appeal may be taken to the City Council by the application of the owners of the property or their authorized agents, or by the application of at least fifty residents of the City aggrieved or affected by any determination of the commission made under the provisions of Chapter 3.24.
2. Submit the required fee (checks and money orders must be payable to 'City of Berkeley'):
 - a. The basic fee for persons other than the applicant is \$500. This fee may be reduced to \$100 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less. Signatures collected per the filing requirement in BMC Section 3.24.300.A may be counted towards qualifying for the reduced fee, so long as the signers are qualified. The individual filing the appeal must clearly denote which signatures are to be counted towards qualifying for the reduced fee.

LANDMARKS PRESERVATION COMMISSION
NOTICE OF DECISION
Permit #LMSAP2022-0013
1325 Arch Street
March 6, 2023
Page 3 of 5

- b. The fee for appeals of affordable housing projects (defined as projects which provide 50 percent or more affordable units for households earning 80% or less of Area Median Income) is \$500, which may not be reduced.
- c. The fee for all appeals by Applicants is \$2500.
- 3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown above (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the permit will be final on the first business day following expiration of the appeal period.

NOTICE CONCERNING YOUR LEGAL RIGHTS:

If you object to this decision, the following requirements and restrictions apply:

- 1. If you challenge this decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Landmarks Preservation Commission at, or prior to, the public hearing.
- 2. You must appeal to the City Council within fifteen (15) days after the Notice of Decision of the action of the Landmarks Preservation Commission is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
- 3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
- 4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
- 5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must include the following information:
 - A. That this belief is a basis of your appeal.
 - B. Why you believe that the decision or condition constitutes a "taking" of property as set

LANDMARKS PRESERVATION COMMISSION
NOTICE OF DECISION
Permit #LMSAP2022-0013
1325 Arch Street
March 6, 2023
Page 4 of 5

forth above.

- C. All evidence and argument in support of your belief that the decision or condition constitutes a “taking” as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

PUBLIC COMMENT:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City’s electronic records, which are accessible through the City’s website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

FURTHER INFORMATION:

Questions about the project should be directed to the project planner, Fatema Crane at (510) 981-7413 or fcrane@cityofberkeley.info. All project application materials, including full-size plans, may be viewed at the Permit Service Center (Zoning Counter), 1947 Center Street, 3rd Fl., during regular business hours.

ATTACHMENTS:

1. Findings for Final Action
2. Project Plans, received **DECEMBER 21, 2022**



ATTEST:

Fatema Crane, Secretary
Landmarks Preservation Commission

LANDMARKS PRESERVATION COMMISSION
NOTICE OF DECISION
Permit #LMSAP2022-0013
1325 Arch Street
March 6, 2023
Page 5 of 5

cc: City Clerk
Applicant: Kristen Sidell, Sidell Pakravan Architects, 2445 Sixth Street, Berkeley, CA 94710
Property Owner: Golden Bear, LLC #166, 1400 Shattuck Ave. #12, Berkeley, CA 94709

DRAFT Findings and Conditions

1325 Arch Street – The Schneider/Kroeber House

Structural Alteration Permit #LMSAP2022-0013

To demolish a detached garage in the front yard of a City Landmark property, and to construct a new garage with a roof deck; to complete landscape improvements that include new retaining walls, a trellis and gates; and to install a hot tub in the rear yard.

CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 153331 of the CEQA Guidelines (“Historic Resource Restoration/Rehabilitation”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, and (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5.

SECRETARY OF THE INTERIOR’S STANDARDS FINDINGS

Regarding the Secretary of the Interior’s Standards for Rehabilitation, the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

1. The subject property features a single-family residence designed by Bernard Maybeck. The use of the property would continue, unchanged, with this project.
2. The project will retain the historic character of the property and will avoid extensive removal of distinctive materials and the alteration of features that characterize the property.
3. This property will continue to be recognized as a physical record of its time, place, and use as a result of the approved project. None of the proposed alterations are found to create a false sense of historical development. The new garage structure will not mimic the Maybeck design of the main building; its contemporary style will not result in a false sense of historical development.

4. No changes to this property that have acquired historic significance in their own right, such as the 1933 addition to the main building, would be impacted by this project.
5. Distinctive materials, features, finishes, and construction techniques, or examples of craftsmanship that characterize this property, such as the unfinished exterior wood features of the main building and rhyolite stone retaining walls, will be retained and preserved with this project.
6. As conditioned herein, if deteriorated historic features will be affected by this request, then they would be repaired or replaced to match the materials, design, and finishes of the original items.
7. Chemical or physical treatments are not anticipated; however, if they are appropriate, they will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials are prohibited by the Conditions herein.
8. The project site is not known to have the potential to yield subsurface resources; the scope of proposed excavation is limited and not likely to disturb such resources if they exist. Nevertheless, as conditioned herein, actions to preserve and protect unexpected discoveries during project construction are required
9. The proposed new work is designed with complimentary, high-quality materials in simplified, contemporary style employing colors and finishes that harmonize with the historic design elements of the building. Owing to these aspects, new work will be sufficiently differentiated from the historic design.
10. If the proposed garage and landscape improvements were removed in the future, they would not permanently impair the integrity or essential form of the main building.

LANDMARK PRESERVATION ORDINANCE FINDINGS

1. As required by Section 3.24.260 of the Landmarks Preservation Ordinance, the Commission finds that the proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve and enhance the characteristics and features specified in the designation for this property, because:
 - A. The proposed project will not adversely affect the architectural design of the City LM Schneider/Kroeber House because the historic building is excluded from the project scope. The general placement and spatial arrangements of the property will be retained where the new construction will be located in the same general footprint and building envelope as the existing structures. The removal of historic materials, such as the rhyolite stone retaining walls, will be minimized to the greatest extent possible.
 - B. The special character and historic value of this City Landmark property lay in its direct associations with the renowned architect Bernard Maybeck, the anthropologist Albert Kroeber and his wife, author Theodora Kroeber, and their daughter, the acclaimed writer Ursula Le Guin; the proposed work would not impair these associations.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Landmarks Preservation Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Permit, under the title 'Structural Alteration Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Plans and Representations Become Conditions

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

3. Subject to All Applicable Laws and Regulations

The approved construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to installation, the applicant shall obtain Use Permit approval in accordance with BMC Section 23C.17 (Wireless Telecommunication). Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

4. Exercise and Lapse of Permits

- B. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- A. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has:
 - (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

5. Indemnification Agreement

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn,

set aside, stay or otherwise rescind any or all approvals granted in connection with the project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

6. Halt Work/Unanticipated Discovery of Tribal Cultural Resources. In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.
7. Archaeological Resources (Ongoing throughout demolition, grading, and/or construction). Pursuant to CEQA Guidelines Section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:
 - A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
 - B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
 - C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
 - D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
 - E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.

8. Human Remains (Ongoing throughout demolition, grading, and/or construction). In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to CEQA Guidelines Section 15064.5 (e)(1) . If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to Health and Safety Code Section 7050.5(c), and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.
9. Paleontological Resources (Ongoing throughout demolition, grading, and/or construction). In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.

ADDITIONAL CONDITIONS

The following additional conditions are attached to this Permit:

10. **CITY PERMITS**. This Structural Alteration Permit (SAP) approval is contingent upon approval of the requisite Use Permit and Public Work Permits for the project scope.
11. **PLANS COMPLIANCE**. Construction and building permit plans shall substantially conform to the SAP project plans dated/received December 21, 2022
12. **REPAIR AND REPLACEMENT OF CHARACTER-DEFINING FEATURES**. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
13. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
14. Rhyolite rocks shall be salvaged from demolished portions of the historic retaining wall and used or incorporated in proposed new retaining walls on site, to the extent possible.

15. **COLORS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit color and materials information for review and approval by Landmarks staff, in coordination with the LPC Chair as needed.
16. **DETAILS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit window, door, base, and trim details for review and approval by the Landmarks plan checker.
17. **ROOF EQUIPMENT.** Any roof equipment shall be shown to scale on the architectural drawings of the building permit set of drawings in both plan and elevation, in order to determine if additional screening and SAP may be required.
18. **LIGHTING.** Prior to Landmarks plan checker sign-off of the building permit set of drawings, the applicant shall submit lighting details showing all existing and proposed site and building lighting. Exterior lighting shall be downcast and not cause glare on the public right-of-way and adjacent parcels.
19. **LANDSCAPE PLANS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit a Landscape plan including the number, location, and species of all proposed plantings, and which existing plantings shall be removed. The applicant shall provide irrigation for all landscaped areas or provide drought tolerant plant palette. This shall be called out on Landscape building permit drawings.
20. **LANDSCAPE IRRIGATION.** The applicant shall provide irrigation for all landscaped areas. This shall be called out on Landscape building permit drawings.
21. **CURB CUTS** All curbs and curb cuts shall be constructed per the standards and specifications of the Public Works Department. Curb cuts no longer utilized shall be restored per the Public Works Department specifications.
22. The applicant shall be responsible for identifying and securing all applicable permits from the Building and Safety Division and all other affected City divisions/departments prior to the start of work.
23. The applicant is responsible for complying with all the above conditions. Failure to comply with any condition could result in construction work being stopped, issuance of citations, as well as further review by the Landmarks staff, which may modify or impose additional conditions, or revoke approval.
24. All building permit drawings and subsequent construction shall substantially conform to the approved plans as outlined in Condition #1. Any modifications must be reviewed by the Landmarks plan checker to determine whether the modification requires approval.
25. The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any

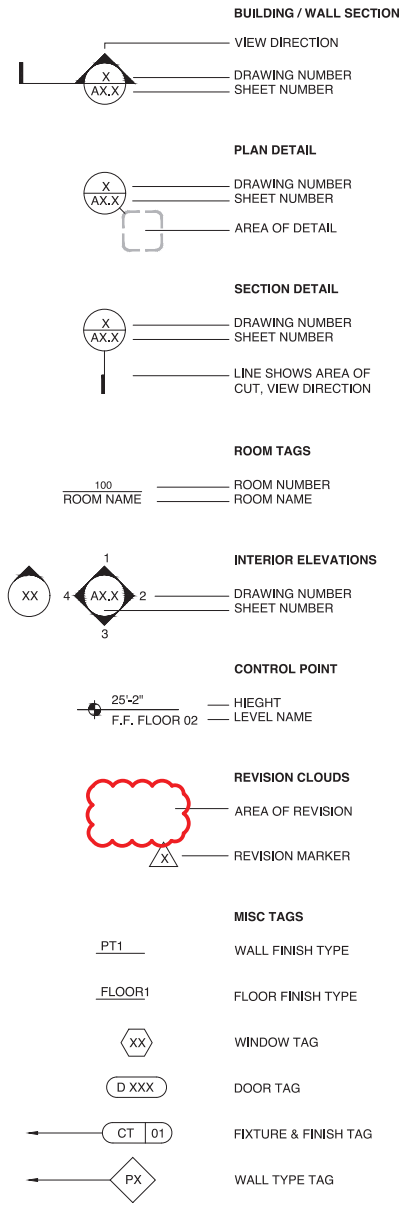
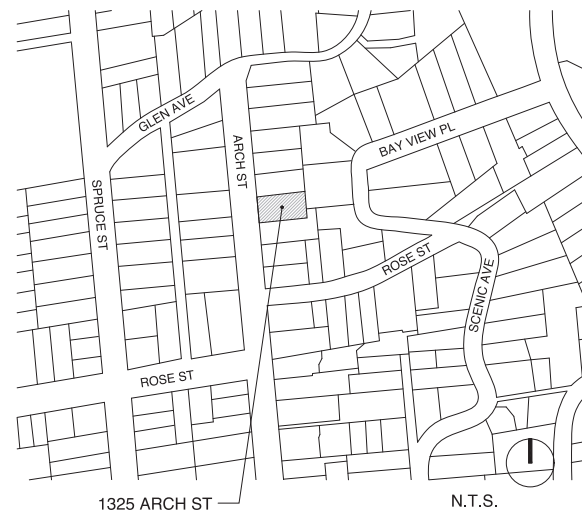
legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.



ABBREVIATIONS

ADJ. ADJUSTABLE	MFG. MANUFACTURER	MANUFACTURING
A.F.F. ABOVE FINISHED FLOOR	MFR. MANUFACTURER	MANUFACTURER
ALT. ALTERNATE	MIN. MINIMUM	MINIMUM
APPROX. APPROXIMATE	MISC. MISCELLANEOUS	MISCELLANEOUS
ARCH. ARCHITECTURAL	MTD. MOUNTED	MOUNTED
	MTL. METAL	METAL
BLDG. BUILDING	(N) NEW	NEW
BLDG. STD. BUILDING STANDARD	N.L.C. NOT IN CONTRACT	NOT IN CONTRACT
B.O. BOTTOM OF	N.T.S. NOT TO SCALE	NOT TO SCALE
BTM. BOTTOM		
BTWN. BETWEEN		
CLG. CEILING	O.A. OVERALL	OVERALL
CLG. HT. CEILING HEIGHT	O.C. ON CENTER	ON CENTER
CLR. CLEAR	OPNG. OPENING	OPENING
COL. COLUMN	OPP. OPPOSITE	OPPOSITE
CONC. CONCRETE	PART. PARTITION	PARTITION
CONST. CONSTRUCTION	PLYWD. PLYWOOD	PLYWOOD
CONT. CONTINUOUS	POL. POLISHED	POLISHED
	P.P. POWER POLE	POWER POLE
	PTD. PAINTED	PAINTED
DET. DETAIL	R. RADIUS	RADIUS
DIA. DIAMETER	RD. ROUND	ROUND
DIAG. DIAGONAL	RECT. RECTANGULAR	RECTANGULAR
DIM. DIMENSION	REF. REFERENCE	REFERENCE
DWG. DRAWING	REINF. REINFORCED	REINFORCED
(E) EXISTING	RELOC. RELOCATE OR RELOCATED	RELOCATE OR RELOCATED
EA. EACH	REQ. REQUIRED	REQUIRED
ELEV. ELEVATION	REV. REVISION	REVISION
ELEC. ELECTRICAL	R.O. ROUGH OPENING	ROUGH OPENING
ENGR. ENGINEER		
EQ. EQUAL	SECT. SECTION	SECTION
EXT. EXTERIOR	SIM. SIMILAR	SIMILAR
	SPECS. SPECIFICATIONS	SPECIFICATIONS
FIN. FINISH	S.S. STAINLESS STEEL	STAINLESS STEEL
FLR. FLOOR	S.S.D. SEE STRUCTURAL DRAWINGS	SEE STRUCTURAL DRAWINGS
F.O. FIELD OPENING	STD. STANDARD	STANDARD
F.V. FIELD VERIFY	STL. STEEL	STEEL
	STRUCT. STRUCTURAL	STRUCTURAL
GA. GAUGE	SUSP. SUSPENDED	SUSPENDED
H.B. HOSE BIBB		
HDW. HARDWARE	T.&G. TONGUE & GROOVE	TONGUE & GROOVE
HP. HIGH POINT	T.O. TOP OF	TOP OF
HORIZ. HORIZONTAL	TYP. TYPICAL	TYPICAL
HR. HOUR		
HT. HEIGHT	U.N.O. UNLESS NOTED OTHERWISE	UNLESS NOTED OTHERWISE
INSUL. INSULATION	VERT. VERTICAL	VERTICAL
INT. INTERIOR	V.I.F. VERIFY IN FIELD	VERIFY IN FIELD
J.B. JUNCTION BOX	WD. WOOD	WOOD
	W.P. WATERPROOF	WATERPROOF
MATL. MATERIAL		
MAX. MAXIMUM		
MECH. MECHANICAL		

VICINITY MAP



PROJECT DIRECTORY

OWNER Golden Bear LLC 1325 Arch St Berkeley, CA 94708	CONTRACTOR Jetton Construction Contact: Kevin Wuertz kevin@jettonconstruction.com
ARCHITECT Kristen Sidell Sidell Pakravan Architects 2445 Sixth Street Berkeley, CA 94710 510 984 0904 info@sidellpakravan.com	STRUCTURAL ENGINEER Erik Garcia Garcia Structural Design erik@garciastructural.com
	LANDSCAPE ARCHITECT Jessica James Arterra Landscape Architects jessicaj@arterrasf.com

PROJECT DATA

BUILDING ADDRESS	1325 ARCH ST BERKELEY, CA 94708
PROJECT DESCRIPTION	DEMOLISH (E) GARAGE & ROOF DECK IN POOR REPAIR. REMOVE CITY TREE. REMOVE 3704 CUBIC FT OF SOIL. BUILD (N) GARAGE & ROOF DECK. REPLACE (E) UNEVEN STEPS. REPLACE ENTRY GATE AND TRELIS. (N) HOT TUB, (N) LANDSCAPING.
PARCEL NUMBER	060 246502700
ZONING	R-1H
SETBACKS	FRONT: 20'-0" REAR: 20'-0" SIDES: 4'-0"
LOT AREA	6600 SF
BLDG FOOTPRINT	(E) PRIMARY: 1826 SF
GARAGE FOOTPRINT	(E) GARAGE: 185 SF (N) GARAGE: 555 SF (GARAGE INCREASE BY 370 SF)
FLOOR AREA	(E) ATTIC (NOT DRAWN) 395 SF (E) SECOND LEVEL 1579 SF (E) FIRST LEVEL 1463 SF (E) BASEMENT LEVEL 1566 SF (E) TOTAL 5003 SF (NO CHANGE)
LOT COVERAGE	MAX ALLOWABLE: 40% EXISTING: 30.7% PROPOSED: 36.5% (INCREASE BY 5.8%)
MAX HEIGHT FOR ACCESSORY STRUCTURE	MAX ALLOWABLE: 10'-0" (WITHIN 4' OF PROP. LINE) EXISTING: 12'-0" (WITHIN 4' OF PROP. LINE) PROPOSED: 10'-0" (WITHIN 4' OF PROP. LINE)
OCCUPANCY	SINGLE FAMILY RESIDENTIAL
CONSTRUCTION TYPE	V-B, UNSPRINKLERED
FIRE ZONE	2, VERY HIGH
LANDMARK STATUS	BERKELEY LANDMARK #341
HISTORIC PROPERTY NAME	SCHNEIDER-KROEBER HOUSE

DRAWING INDEX

ARCHITECTURAL	
A0.01	COVER SHEET AND PROJECT INFORMATION
A0.02	TABULATION SHEET
A0.03	SURVEY
A0.04	LOT COVERAGE DIAGRAM
A1.00	EXISTING SITE PLAN
A1.01	PROPOSED SITE PLAN
A1.02	EXISTING GARAGE PLANS
A1.03	PROPOSED GARAGE PLAN
A1.04	PROPOSED GARAGE ROOF PLAN
A1.05	PROPOSED GARAGE RCP
A2.00	EXISTING ELEVATIONS
A2.01	PROPOSED ELEVATIONS
A3.00	SECTIONS
A5.00	EXISTING MATERIALS PHOTOS
A5.01	PROPOSED MATERIAL

LANDSCAPE

L0.0	LANDSCAPE PLAN-PROPERTY
L0.1	PLANTING PLAN - ROW
L0.2	PLANTING PLAN - PROPERTY
L0.3	PLANTING PLAN - ROW & PLANT LIST
L0.4	IRRIGATION PLAN - PROPERTY
L0.5	IRRIGATION PLAN - ROW & IRRIGATION NOTES
L0.7	CONCEPTUAL GRADING PLAN
L0.8	SECTION ELEVATION
L0.11	PLANTING DETAILS
L0.12	PLANTING DETAILS
L0.13	PLANTING DETAILS
L0.14	PLANTING DETAILS

sidellpakravan.com
info@sidellpakravan.com

ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.

DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

LAND USE PLANNING RECEIVED DECEMBER 21, 2022

ARCH ST
1325 ARCH STREET
BERKELEY, CA, 94708

SHEET TITLE
COVER SHEET AND PROJECT INFORMATION

A0.01
SHEET NO.

GARAGE

MAIN HOUSE



PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704
Tel: 510.981.7410 TDD: 510.981.6903 Email: Planning@CityofBerkeley.info

TABULATION FORM

Project Address: 1325 Arch St, Berkeley, CA 94708 Date: 09/28/2022

Applicant's Name: Sidell Pakravan Architects

Zoning District: R1-H

Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	Existing	Proposed	Permitted/ Required ¹
Units, Parking Spaces & Bedrooms			
Number of Dwelling Units (#)	1	1	1
Number of Parking Spaces (#)	1	1	1
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)	n/a	n/a	n/a
Yards and Height			
Front Yard Setback (Feet)	0'	0'*	50% of lot depth
Side Yard Setbacks: (facing property)			
Left: (Feet)	0'	4'-7"	4'-0" within 75' of front lot line
Right: (Feet)	49'-7"	33'-10"	4'-0" within 75' of front lot line
Rear Yard Setback (Feet)	92'-0"	84'-6"	n/a
Building Height* (# Stories)	1	1	1
Average* (Feet)	4'-10"	5'-0"	12'-0" for Accessory at Hillside
Maximum* (Feet)	9'-8"	14'-0"	10'-0" less than 4' from the lot line
Areas			
Lot Area (Square-Feet)	6600 sf	6600 sf	n/a
Gross Floor Area* (Square-Feet)			
Total Area Covered by All Floors	185 sf	555 sf	n/a
Building Footprint* (Square-Feet)	Refer to Main House Tabulation Form	Refer to Main House Tabulation Form	Refer to Main House Tabulation Form
Total of All Structures			
Lot Coverage* Residential districts only (Building Footprint/Lot Area) (%)	Refer to Main House Tabulation Form	Refer to Main House Tabulation Form	Refer to Main House Tabulation Form
Useable Open Space* (Square-Feet)	Refer to Main House Tabulation Form	Refer to Main House Tabulation Form	Refer to Main House Tabulation Form
Floor Area Ratio* Non-Residential districts only (Except ES-R)			

*See Glossary – [BMC Chapter 23.502](#).

Revised: 12/21

¹ See development standards for the Zoning District, per the Berkeley Municipal Code, Chapters [23.202](#) and [23.204](#)
g:\landuse\forms & instructions\land use planning forms\word files\forms_zoning project application\december 2021- bzo related\zoning project application_tabulation form.docx



PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704
Tel: 510.981.7410 TDD: 510.981.6903 Email: Planning@CityofBerkeley.info

TABULATION FORM

Project Address: 1325 Arch St, Berkeley, CA 94708 Date: 09/28/2022

Applicant's Name: Sidell Pakravan Architects

Zoning District: R1-H

Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	Existing	Proposed	Permitted/ Required ¹
Units, Parking Spaces & Bedrooms			
Number of Dwelling Units (#)	1	1	1
Number of Parking Spaces (#)	1	1	1
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)	5	5	n/a
Yards and Height			
Front Yard Setback (Feet)	32'-9"	32'-9"	20'-0"
Side Yard Setbacks: (facing property)			
Left: (Feet)	4'-0"	4'-0"	4'-0"
Right: (Feet)	18'-0"	18'-0"	4'-0"
Rear Yard Setback (Feet)	10'-11"	10'-11"	20'-0"
Building Height* (# Stories)	3	3	3
Average* (Feet)	27'-0"	27'-0"	28'-0"
Maximum* (Feet)	34'-0"	34'-0"	28'-0", 35'-0" w/ AUP
Areas			
Lot Area (Square-Feet)	6600 sf	6600	n/a
Gross Floor Area* (Square-Feet)			
Total Area Covered by All Floors	5003 sf	5003	n/a
Building Footprint* (Square-Feet)	2025 sf	2418 sf	2640 sf
Total of All Structures			
Lot Coverage* Residential districts only (Building Footprint/Lot Area) (%)	30.7%	36.5%	40%
Useable Open Space* (Square-Feet)	3740 sf	-	400 sf min.
Floor Area Ratio* Non-Residential districts only (Except ES-R)			

*See Glossary – [BMC Chapter 23.502](#).

Revised: 12/21

¹ See development standards for the Zoning District, per the Berkeley Municipal Code, Chapters [23.202](#) and [23.204](#)
g:\landuse\forms & instructions\land use planning forms\word files\forms_zoning project application\december 2021- bzo related\zoning project application_tabulation form.docx

DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

PROJECT NO. 21020 DRAWN PJ, CYJ CHECKED KMS

ARCH ST

1325 ARCH STREET
BERKELEY, CA, 94708

SHEET TITLE
TABULATION SHEET

* AT GRADE/SIDEWALK LEVEL, THE PROPOSED GARAGE ABUTS THE FRONT PROPERTY LINE. AT THE ROOF LEVEL, THE PLANTER STEPS BACK FROM THE PROPERTY LINE 4'-0".

NOTES
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
 THE AREA OF THE SURVEYED LOT IS 6,600± SQUARE FEET / 0.15± ACRES

UTILITY NOTE
 ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

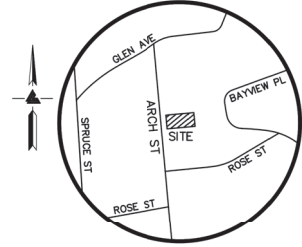
BENCHMARK
 CITY OF BERKELEY BENCHMARK BENCHMARK B0726
 1/2"Ø IRON PIN CITY WELL MONUMENT IN THE STREET AT 1323 ARCH ST. CUT SQUARE ON THE TOP BACK OF THE NORTH CURB AT THE EAST CURB RETURN AT THE NORTHEAST CORNER OF THE ARCH ST/ROSE ST (TO THE EAST) INTERSECTION. CUT SQUARE ON TOP OF THE EAST CURB AT THE NORTH SIDE OF THE DRIVEWAY TO 1303 ARCH ST. ELEVATION = 388.53' (CITY OF BERKELEY DATUM)

TREE NOTE
 TREE SIZE, TYPE AND DRIP LINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

EASEMENT NOTE
 EASEMENTS SHOWN PER HOMEOWNER'S POLICY OF TITLE INSURANCE ISSUED BY CHICAGO TITLE INSURANCE COMPANY, POLICY NO. FWAC-5842000882, DATED SEPTEMBER 14, 2020

FEMA FLOOD NOTE
 PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)
 FLOOD INSURANCE RATE MAP No.: 06001C0019G
 EFFECTIVE DATE: AUGUST 3, 2009

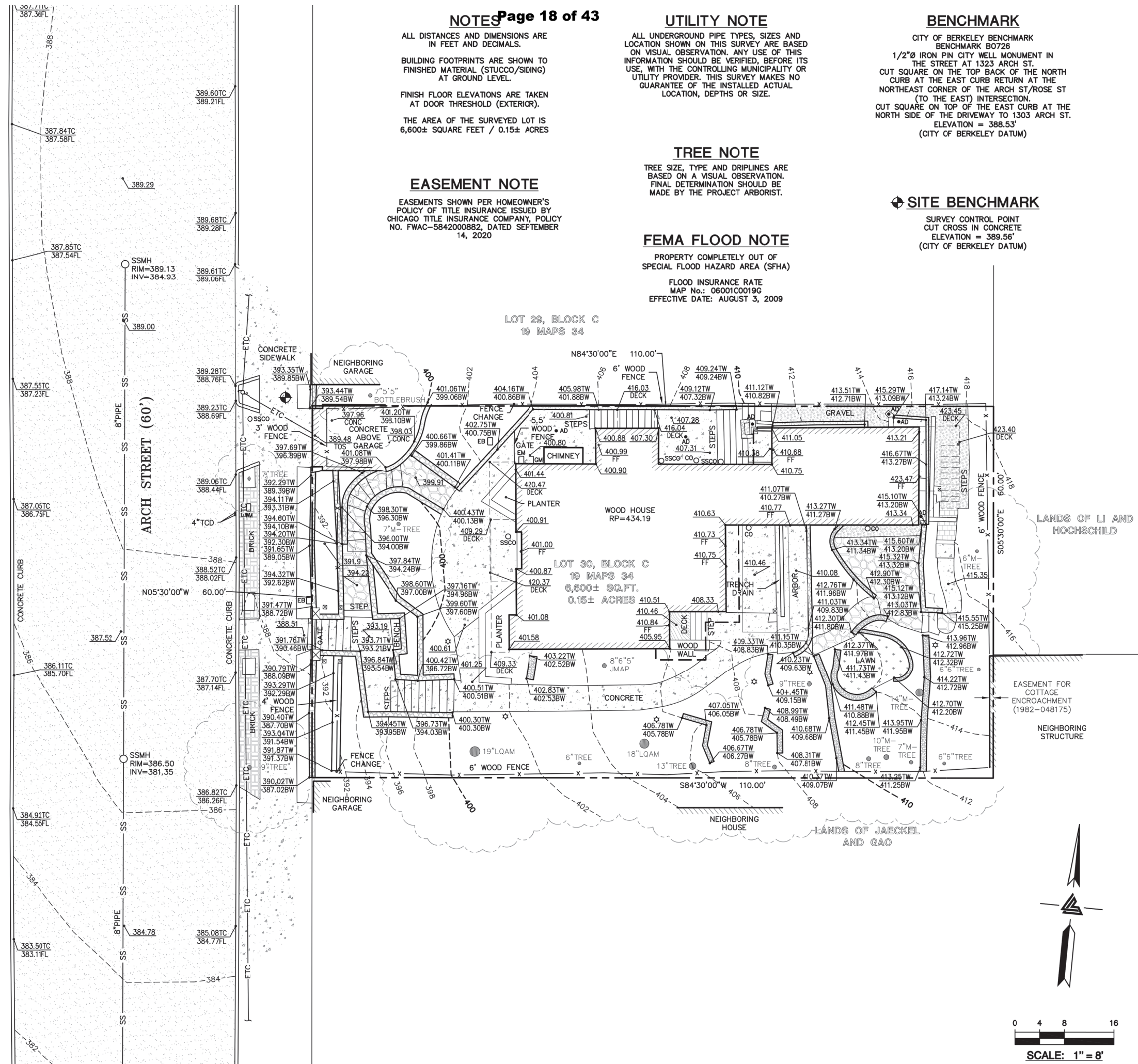
SITE BENCHMARK
 SURVEY CONTROL POINT CUT CROSS IN CONCRETE ELEVATION = 389.56' (CITY OF BERKELEY DATUM)



VICINITY MAP
NO SCALE

LEGEND AND NOTES

---	BOUNDARY LINE
---	BUILDING OVERHANG LINE
ETC	ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
x	FENCE LINE
---	RETAINING WALL (CONCRETE)
---	RETAINING WALL (ROCK)
---	RETAINING WALL (STONE)
SS	SANITARY SEWER LINE
AD	AREA DRAIN
⊕	BENCHMARK
BW	BOTTOM RETAINING WALL
CO	CLEAN-OUT BOX
EB	ELECTRICAL BOX
EM	ELECTRICAL METER
FF	FINISH FLOOR
FL	FLOW LINE
GM	GAS METER
INV	INVERT
JMAP	JAPANESE MAPLE
⊕	JOINT POLE
LQAM	LIQUID AMBER
M-	MULTI-TRUNK TREE
⊕	PILLAR/POST
RP	ROOF PEAK
SSCO	SANITARY SEWER CLEAN-OUT
SSMH	SANITARY SEWER MAINTENANCE HOLE
☆	STREET LIGHT
TCD	THRU-CURB DRAIN
TC	TOP OF CURB
TW	TOP OF RETAINING WALL
TOS	TOP OF SLAB
WM	WATER METER
xxx	SPOTGRADE
ASPHALT	ASPHALT
BRICK	BRICK
CONCRETE	CONCRETE
GRAVEL	GRAVEL
LAWN	LAWN
STONE	STONE
WOOD	WOOD



SIDELL PAKRAVAN ARCHITECTS

sidellpakravan.com
info@sidellpakravan.com

ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.

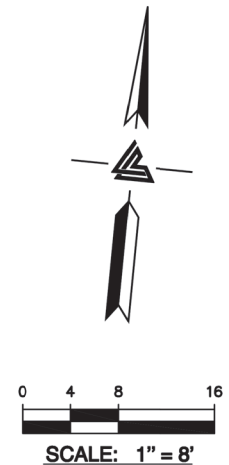
DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

PROJECT NO. 21020
 DRAWN P.J. CYJ
 CHECKED KMS

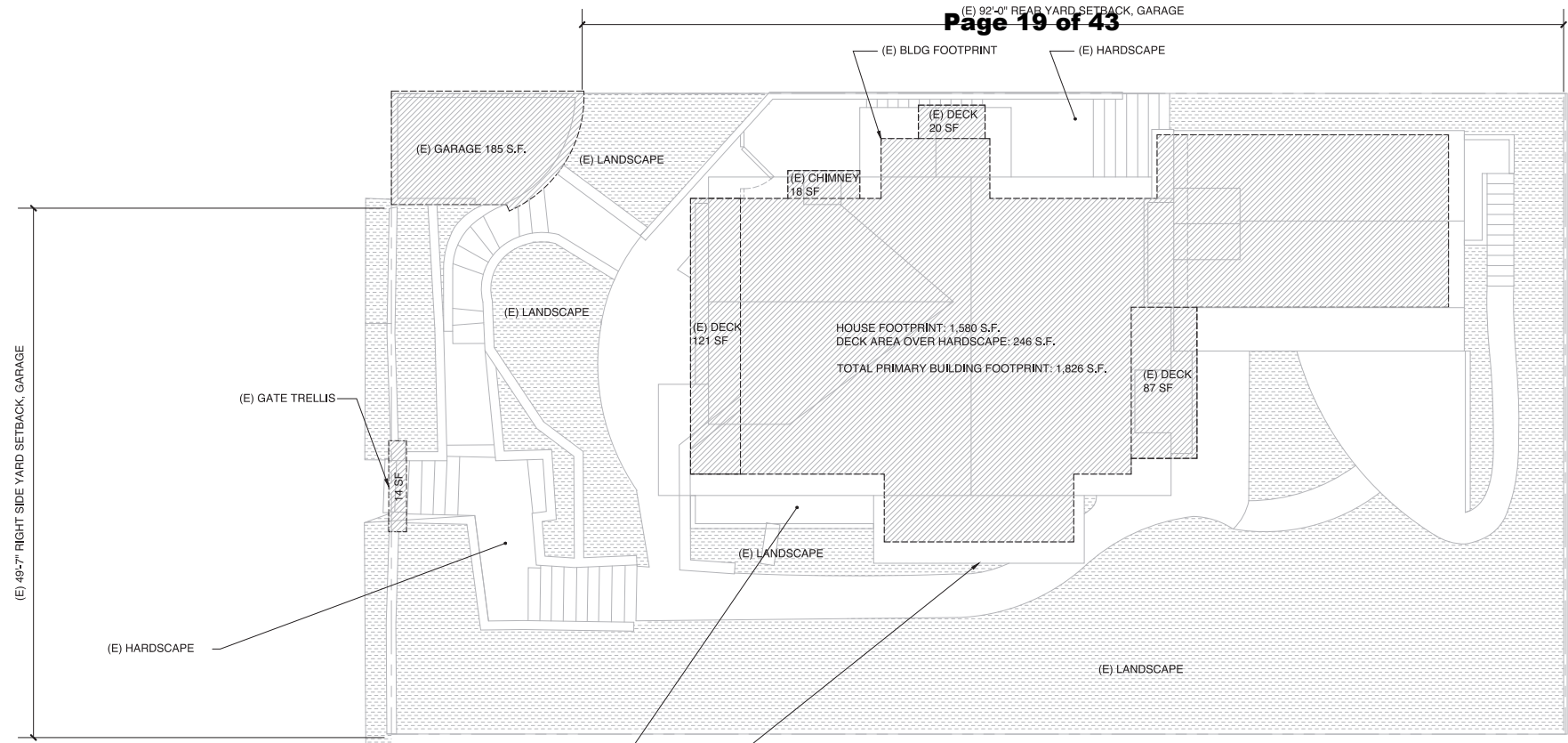
ARCH ST

1325 ARCH STREET
BERKELEY, CA, 94708

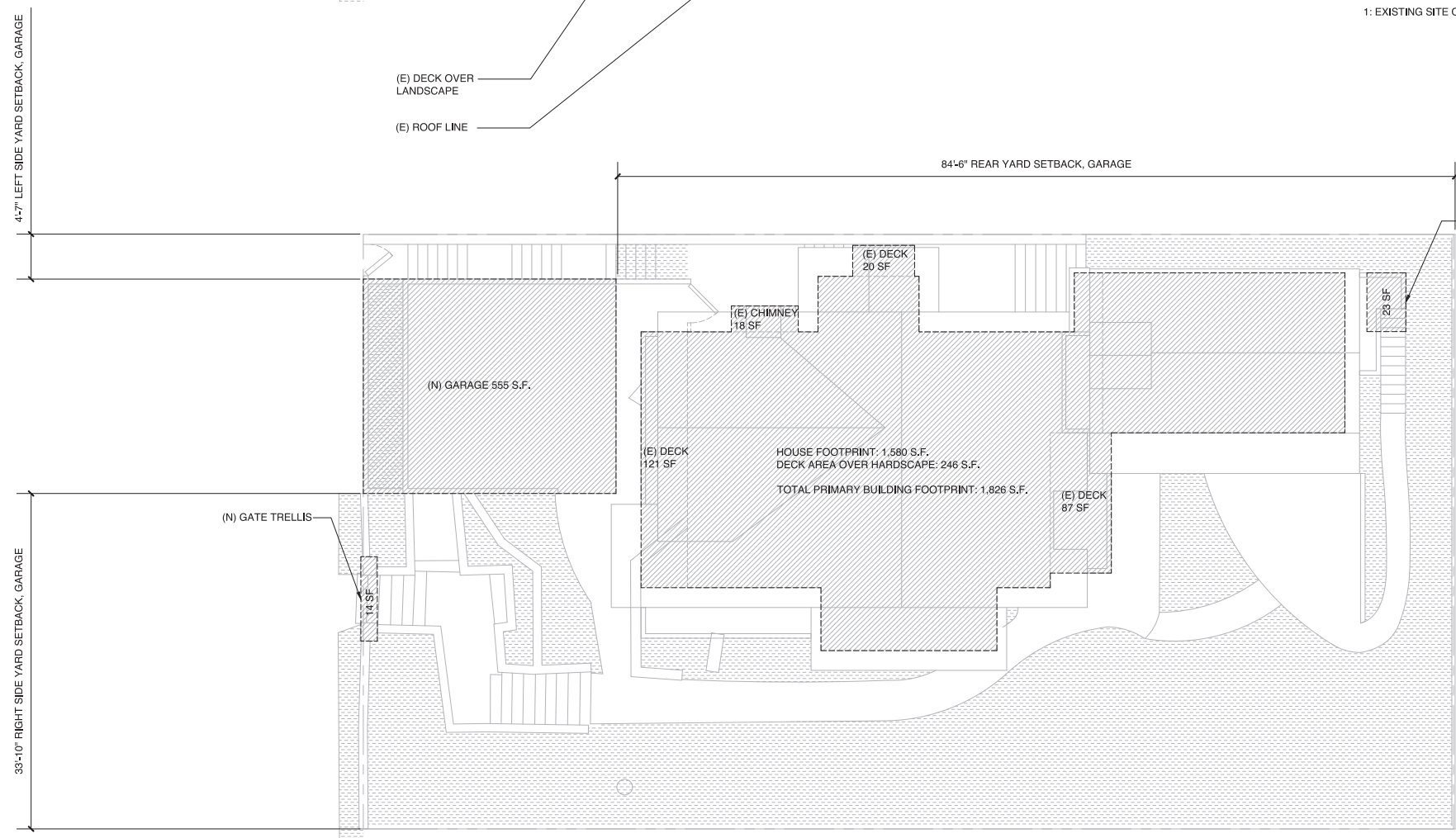
SHEET TITLE
SURVEY



A0.03
SHEET NO.



HOUSE FOOTPRINT:	1,580 S.F.
DECK AREA OVER HARDSCAPE:	246 S.F.
TOTAL PRIMARY BUILDING FOOTPRINT:	1,826 S.F.
(E) GARAGE FOOTPRINT:	185 S.F.
(E) GATE TRELLIS:	14 S.F.
TOTAL LOT COVERAGE AREA:	2,025 S.F.
EXISTING LOT COVERAGE:	30.7%



HOUSE FOOTPRINT:	1,580 S.F.
DECK AREA OVER HARDSCAPE:	246 S.F.
TOTAL PRIMARY BUILDING FOOTPRINT:	1,826 S.F.
(N) GARAGE FOOTPRINT:	555 S.F.
(N) GATE TRELLIS:	14 S.F.
(N) SPA EQUIPMENT ENCLOSURE:	23 S.F.
TOTAL LOT COVERAGE AREA:	2,418 S.F.
PROPOSED LOT COVERAGE:	36.5%



LEGEND

SYMBOL	TYPE
	LOT COVERAGE AREA

SIDELL PAKRAVAN ARCHITECTS
 sidellpakravan.com
 info@sidellpakravan.com

ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.

DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

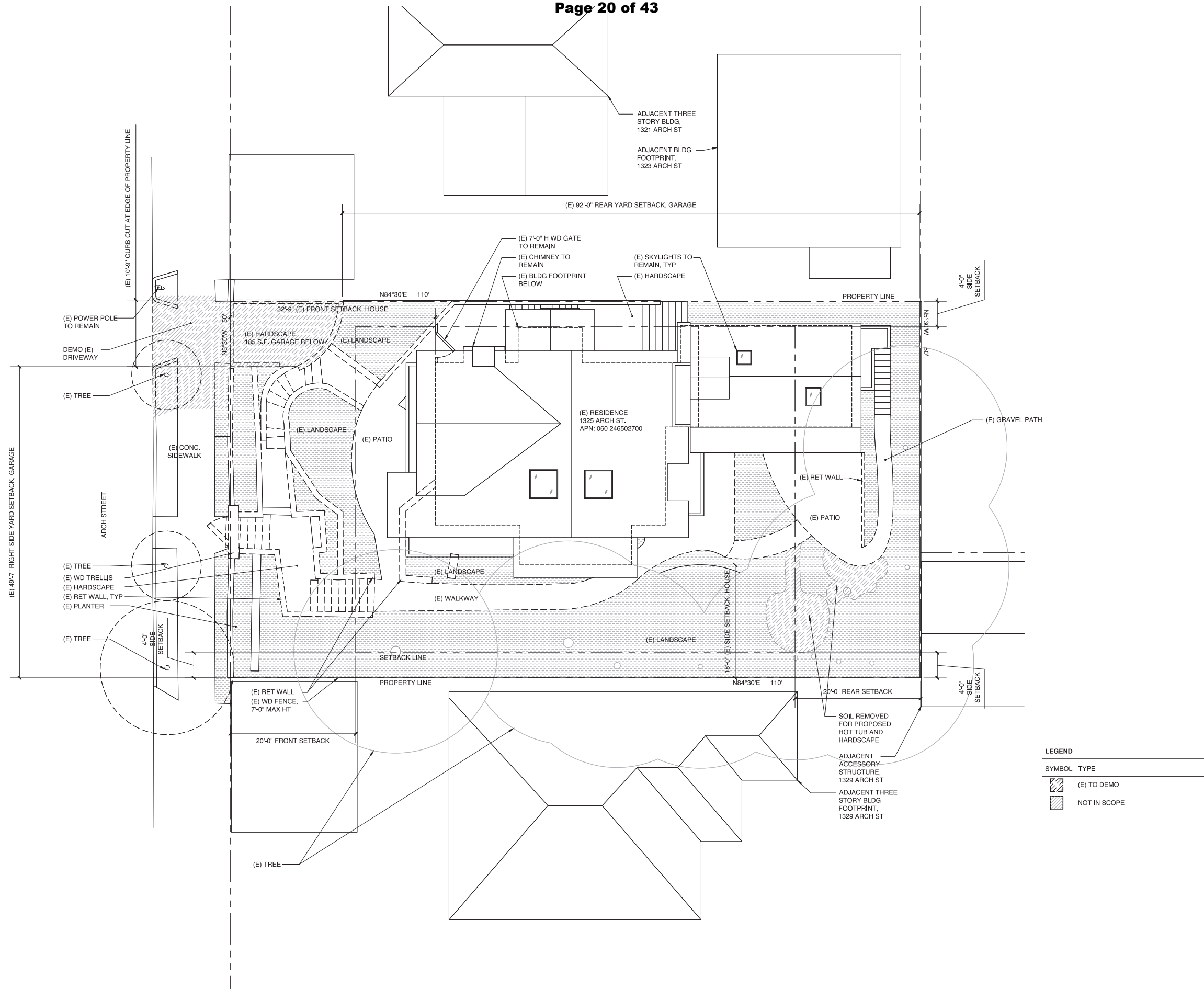
PROJECT NO. 21020	DRAWN P.J. CYJ	CHECKED KMS
-------------------	----------------	-------------

ARCH ST

1325 ARCH STREET
 BERKELEY, CA, 94708

SHEET TITLE
LOT COVERAGE DIAGRAM

A0.04
 SHEET NO.



LEGEND

SYMBOL	TYPE
	(E) TO DEMO
	NOT IN SCOPE

SIDELL PAKRAVAN ARCHITECTS
sidellpakravan.com
info@sidellpakravan.com
ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.

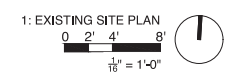
DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

PROJECT NO. 21020 DRAWN P.J. CYJ CHECKED KMS

ARCH ST

1325 ARCH STREET
BERKELEY, CA, 94708

SHEET TITLE
EXISTING SITE AND LANDSCAPE PLAN



A1.00

SHEET NO.

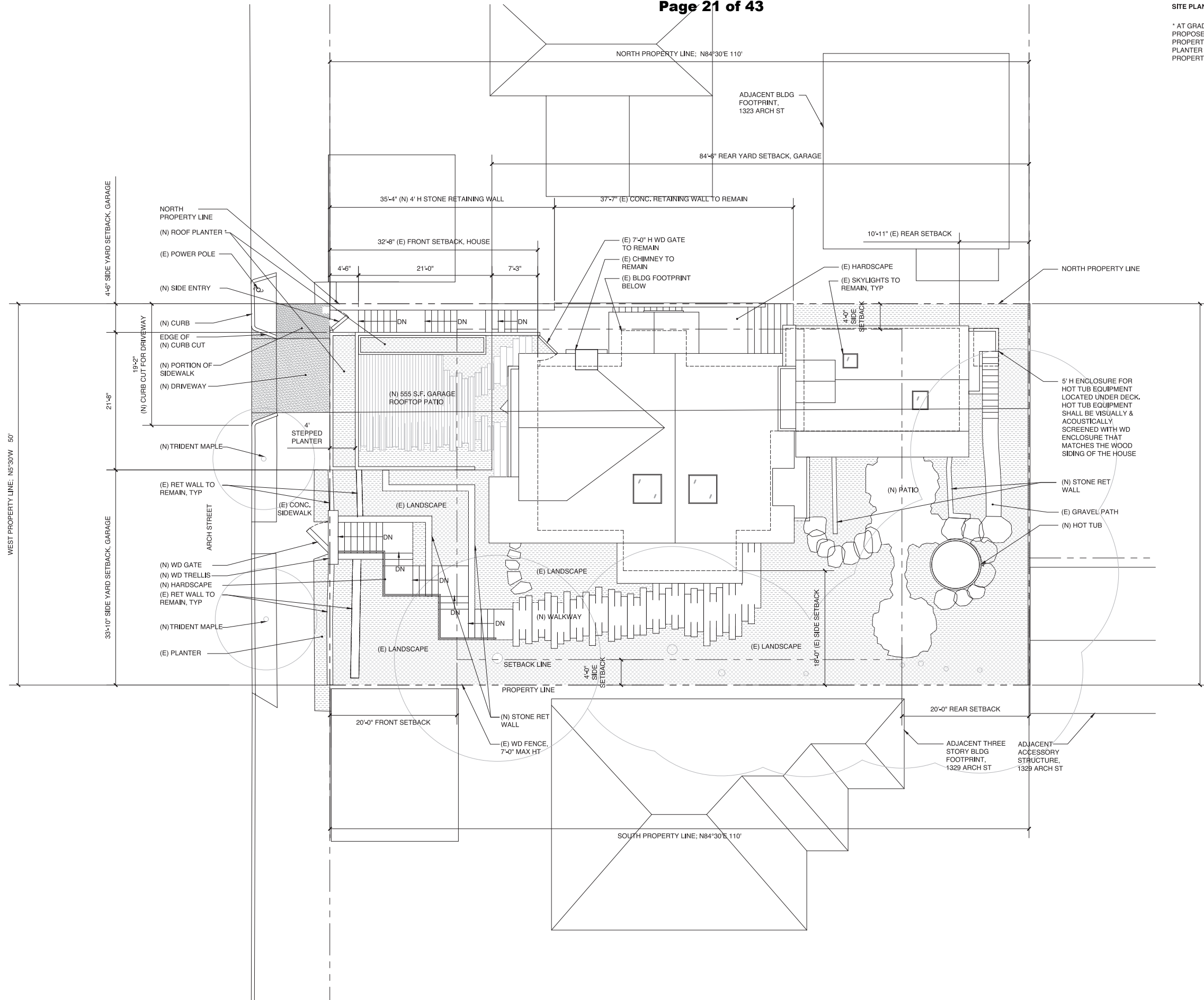
SITE PLAN NOTES

* AT GRADE/SIDEWALK LEVEL, THE PROPOSED GARAGE ABUTS THE FRONT PROPERTY LINE. AT THE ROOF LEVEL, THE PLANTER STEPS BACK FROM THE PROPERTY LINE 4'-0".

SIDELL PAKRAVAN ARCHITECTS

sidellpakravan.com
info@sidellpakravan.com

ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.



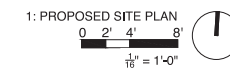
DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

PROJECT NO.	DRAWN	CHECKED
21020	PJ, CYJ	KMS

ARCH ST

1325 ARCH STREET
BERKELEY, CA, 94708

SHEET TITLE
PROPOSED SITE AND
LANDSCAPE PLAN



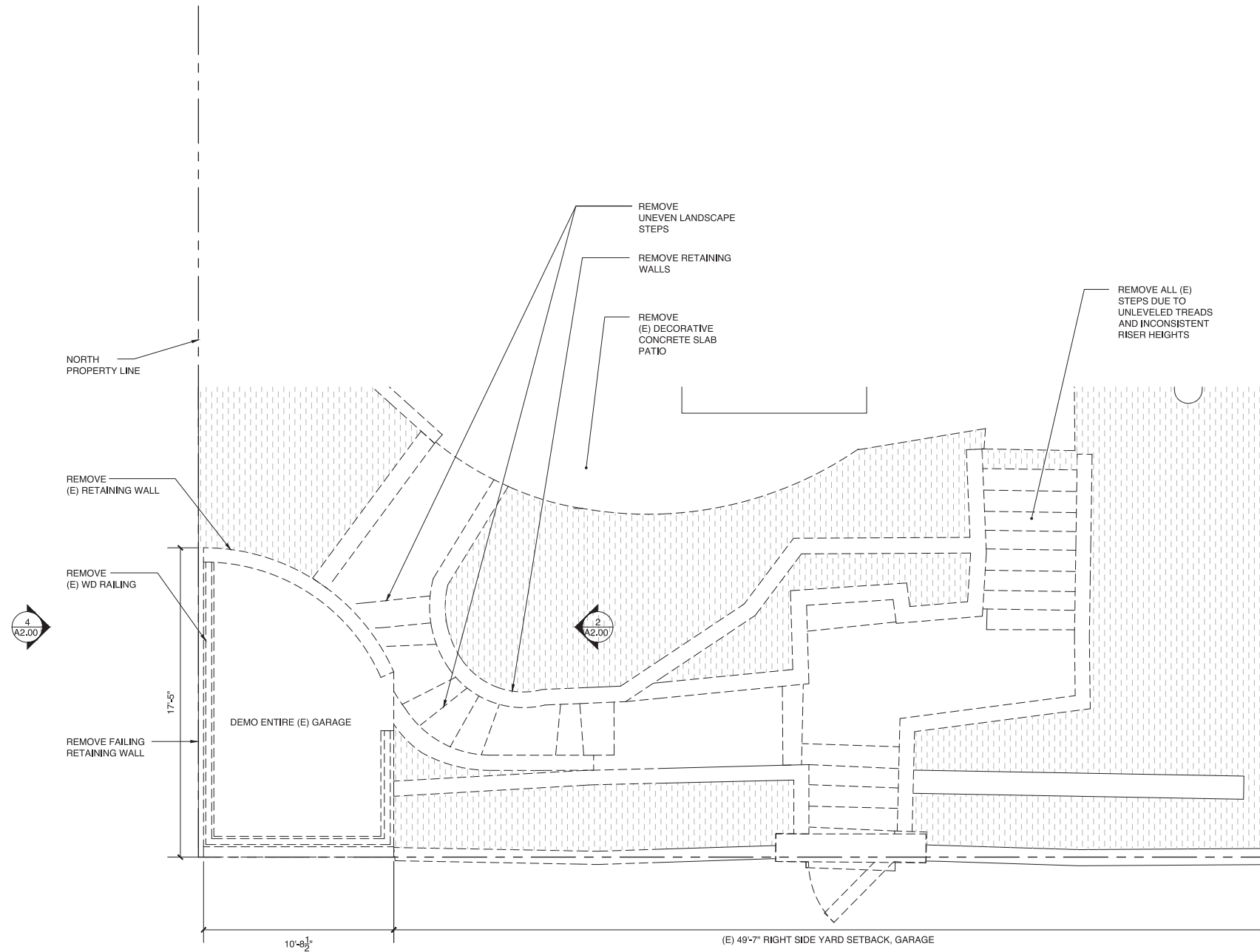
A1.01
SHEET NO.

NOTES:
 1. DEMOLISH ENTIRETY OF EXISTING GARAGE INCLUDING WALLS, ROOF, AND SLAB.

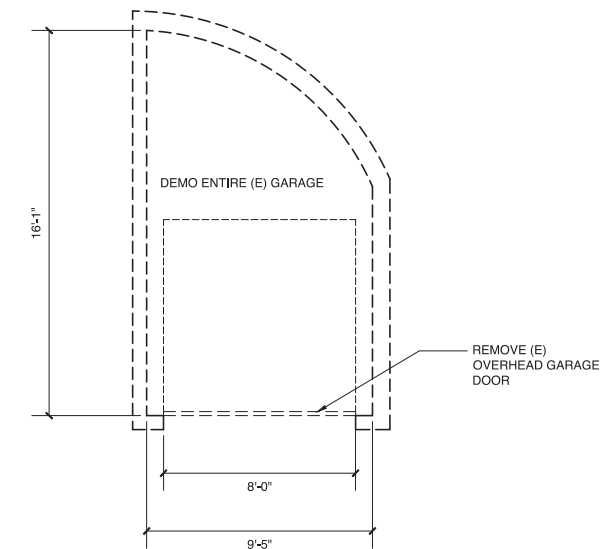
SIDELL PAKRAVAN ARCHITECTS

sidellpakravan.com
 info@sidellpakravan.com

ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.



1: (E) DEMO GARAGE ROOF PLAN
 0 1' 2' 4'
 3/8" = 1'-0"



2: (E) DEMO GARAGE FLOOR PLAN
 0 1' 2' 4'
 3/8" = 1'-0"

LEGEND

SYMBOL	TYPE
	(E) TO DEMO
	(E) WALLS

DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

PROJECT NO. 21020 DRAWN P.J. CYJ CHECKED KMS

ARCH ST

1325 ARCH STREET
 BERKELEY, CA, 94708

SHEET TITLE
EXISTING GARAGE PLANS

A1.02
 SHEET NO.

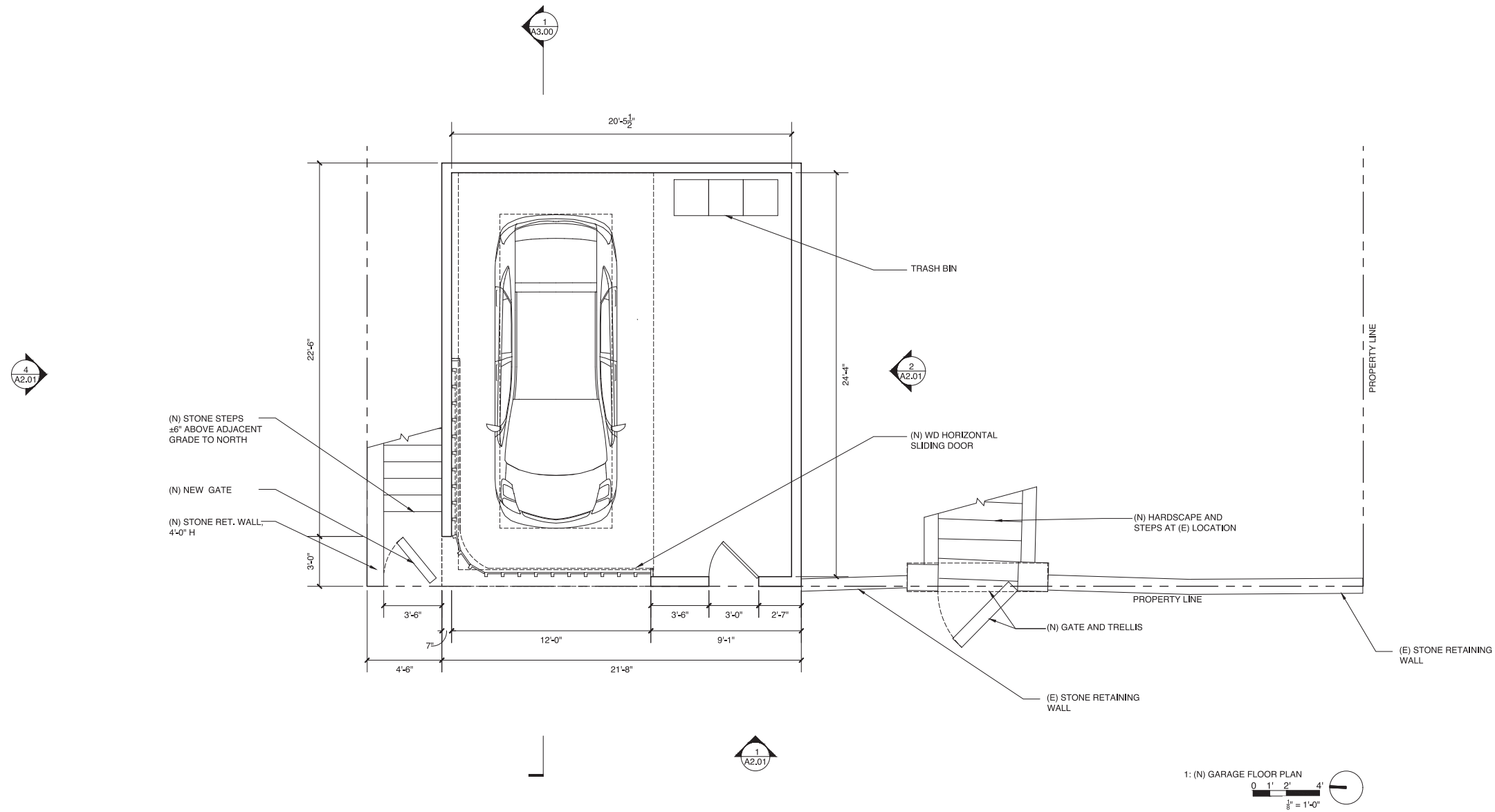
NOTES:

AT GRADE/SIDEWALK LEVEL, THE PROPOSED GARAGE ABUTS THE FRONT PROPERTY LINE. AT THE ROOF LEVEL, THE PLANTER STEPS BACK FROM THE PROPERTY LINE 4'-0".

SIDELL PAKRAVAN ARCHITECTS

sidellpakravan.com
info@sidellpakravan.com

ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.



LEGEND

SYMBOL	TYPE
	(N) WALLS

DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

PROJECT NO.	DRAWN	CHECKED
21020	P.J. CYJ	KMS

ARCH ST

1325 ARCH STREET
BERKELEY, CA, 94708

SHEET TITLE
PROPOSED GARAGE
PLANS

A1.03
SHEET NO.

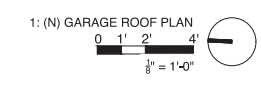
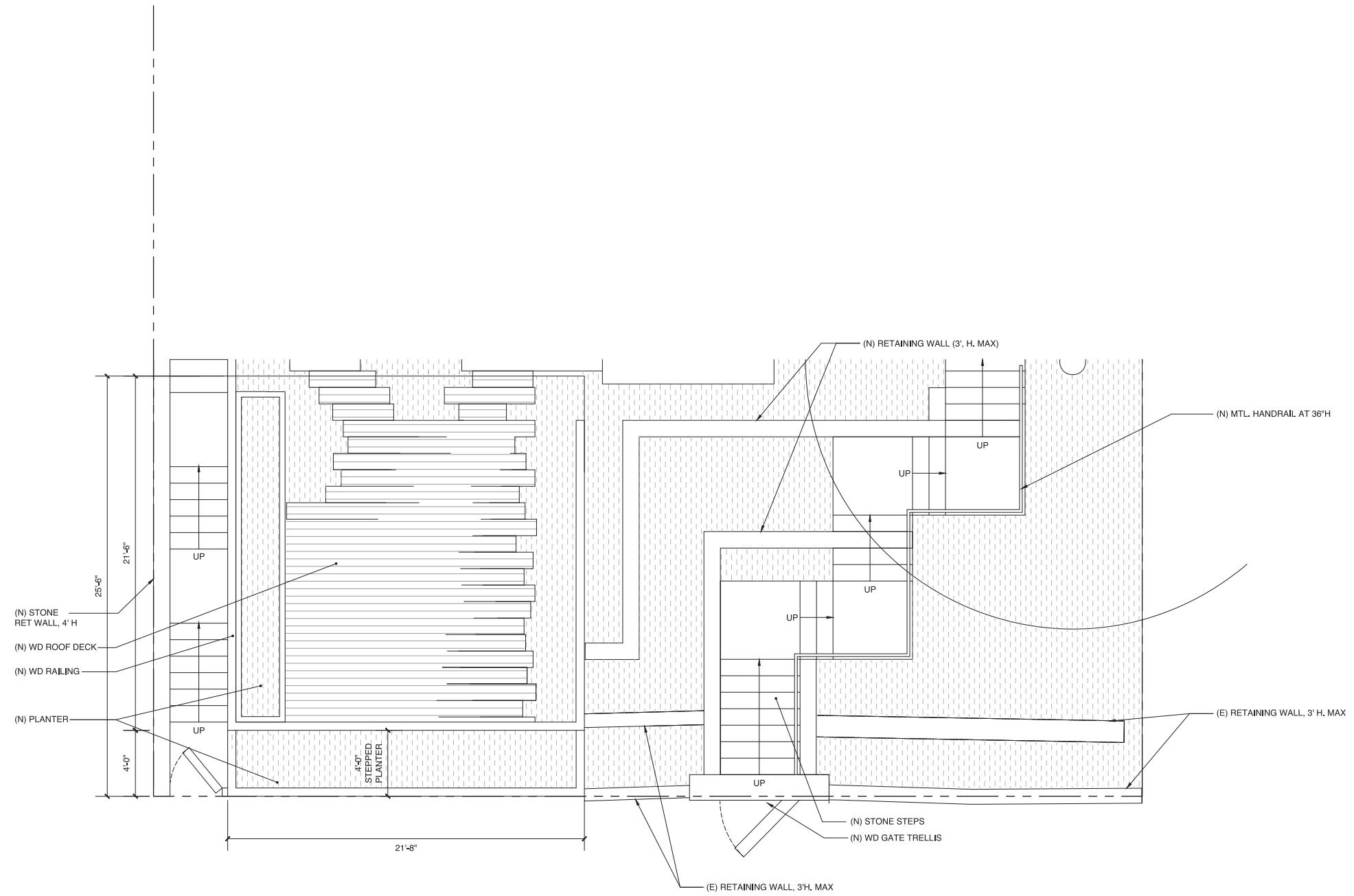
NOTES:

AT GRADE/SIDEWALK LEVEL, THE PROPOSED GARAGE ABUTS THE FRONT PROPERTY LINE. AT THE ROOF LEVEL, THE PLANTER STEPS BACK FROM THE PROPERTY LINE 4'-0".

SIDELL PAKRAVAN ARCHITECTS

sidellpakravan.com
info@sidellpakravan.com

ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.



DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

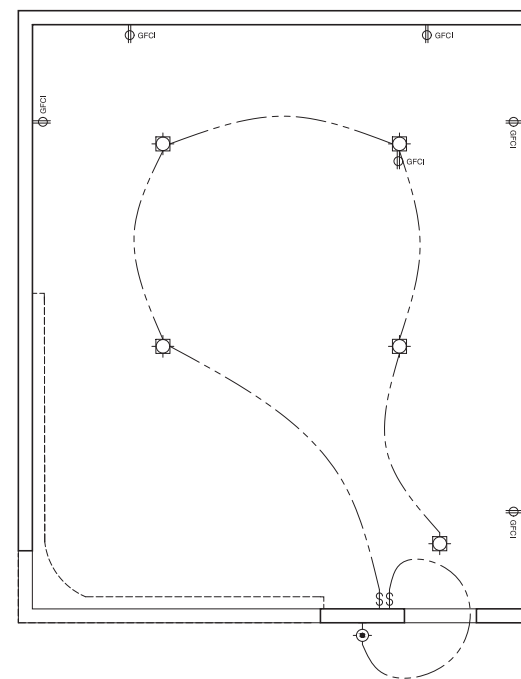
PROJECT NO.	DRAWN	CHECKED
21020	PJ, CYJ	KMS

ARCH ST

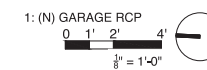
1325 ARCH STREET
BERKELEY, CA, 94708

SHEET TITLE
PROPOSED GARAGE PLANS

A1.04
SHEET NO.



ALL EXTERIOR LIGHTING
WILL BE SHIELDED TO
MINIMIZE GLARE AND LIGHT
POLLUTION.



DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

PROJECT NO.	DRAWN	CHECKED
21020	PJ, CYJ	KMS

ARCH ST

1325 ARCH STREET
BERKELEY, CA, 94708

SHEET TITLE
**PROPOSED GARAGE
RCP**

A1.05

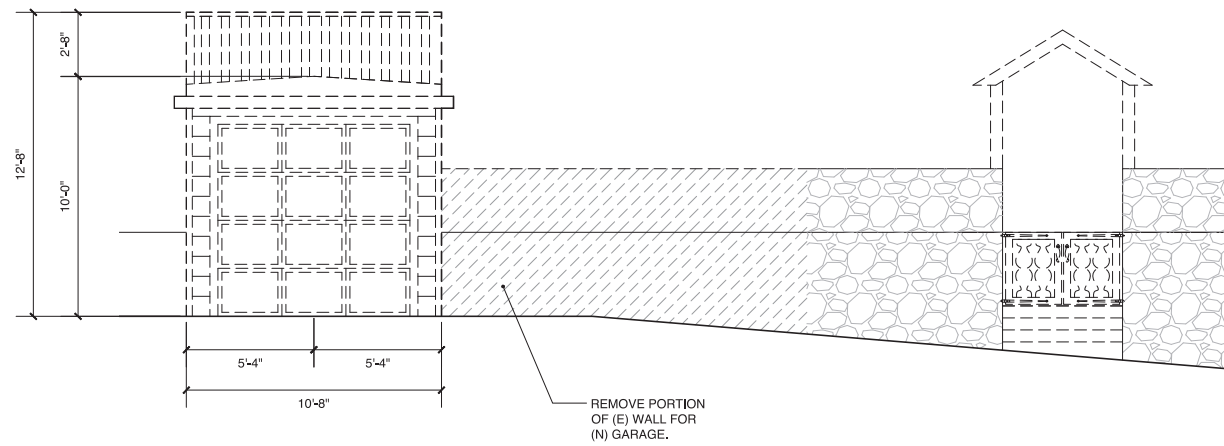
SHEET NO.

NOTES
DEMOLISH EXISTING GARAGE IN ITS ENTIRETY.

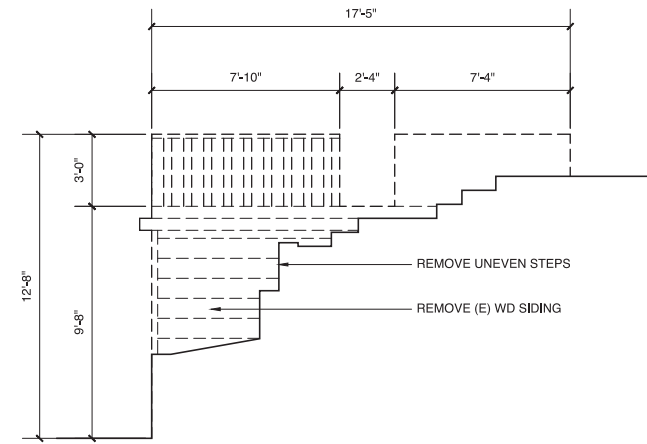
**SIDELL PAKRAVAN
ARCHITECTS**

sidellpakravan.com
info@sidellpakravan.com

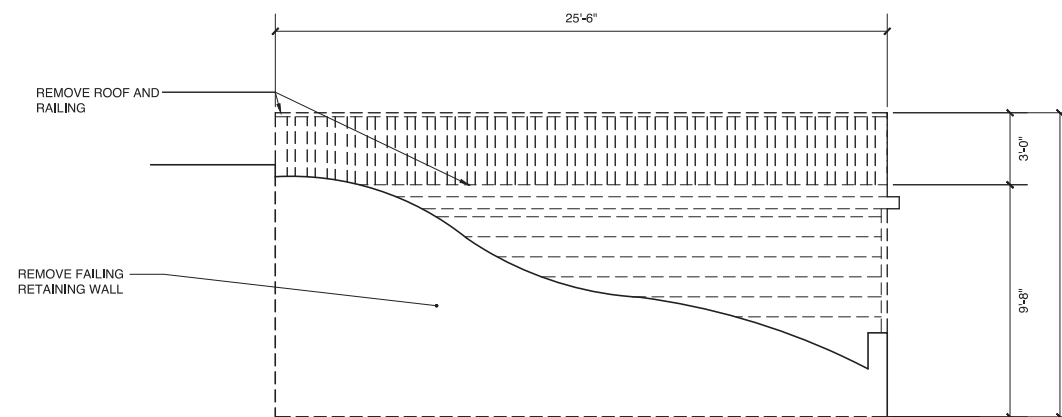
ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED
WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.



1: (E) WEST ELEVATION GARAGE
0 1' 2' 4'
1/8" = 1'-0"



2: (E) SOUTH ELEVATION GARAGE
0 1' 2' 4'
1/8" = 1'-0"



4: (E) NORTH ELEVATION GARAGE
0 1' 2' 4'
1/8" = 1'-0"

DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

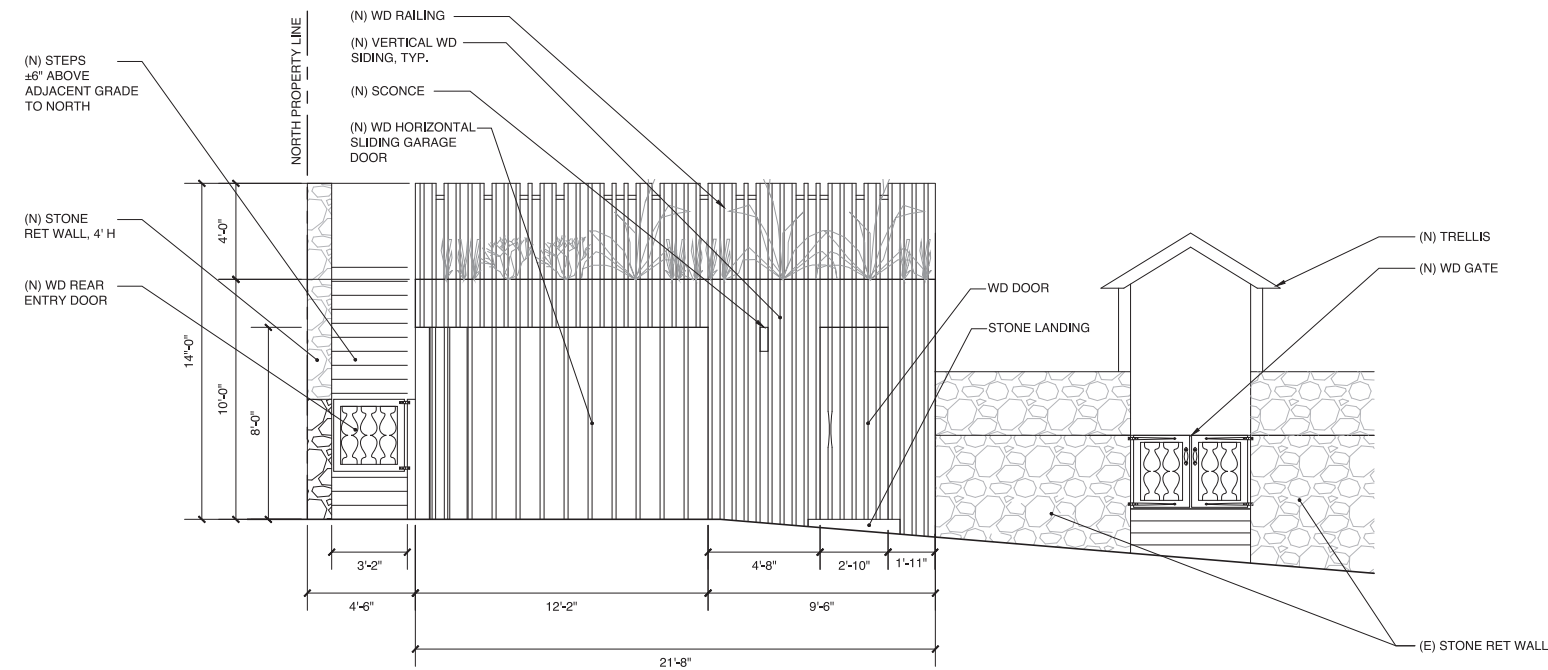
PROJECT NO.	DRAWN	CHECKED
21020	PJ, CYJ	KMS

ARCH ST

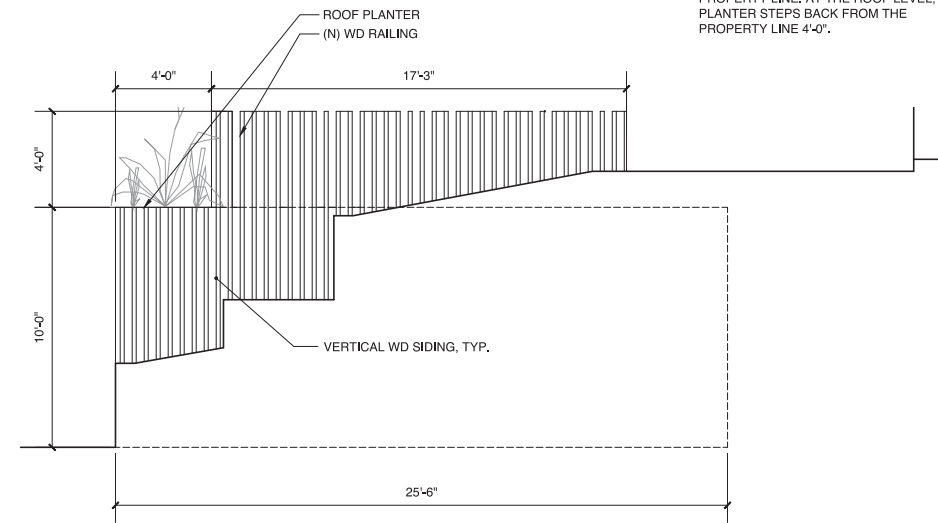
1325 ARCH STREET
BERKELEY, CA, 94708

SHEET TITLE
**(E)/ DEMO
ELEVATIONS**

A2.00
SHEET NO.

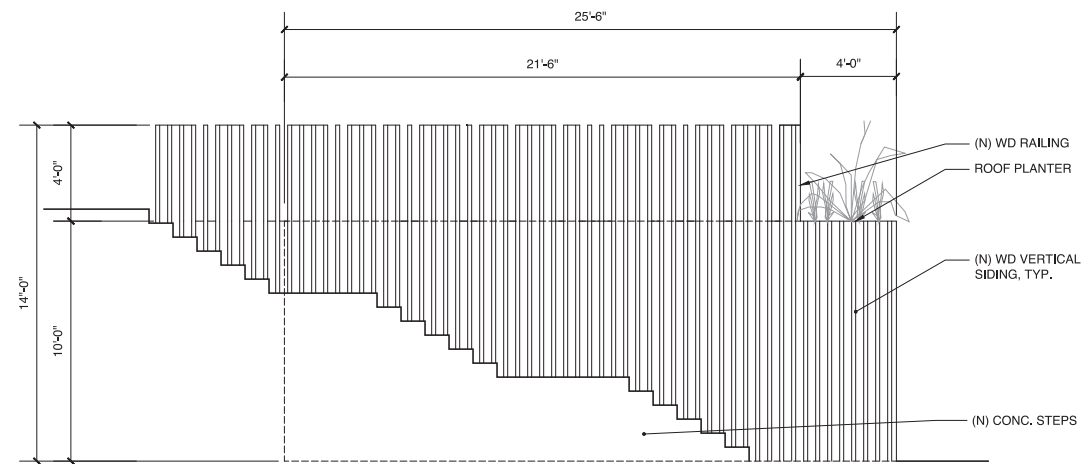


1: (N) WEST ELEVATION GARAGE
 0 1' 2' 4'
 $\frac{1}{8}'' = 1'-0''$



2: (N) SOUTH ELEVATION GARAGE
 0 1' 2' 4'
 $\frac{1}{8}'' = 1'-0''$

NOTES:
 AT GRADE/SIDEWALK LEVEL, THE PROPOSED GARAGE ABUTS THE FRONT PROPERTY LINE. AT THE ROOF LEVEL, THE PLANTER STEPS BACK FROM THE PROPERTY LINE 4'-0".



4: (N) NORTH ELEVATION GARAGE
 0 1' 2' 4'
 $\frac{1}{8}'' = 1'-0''$

SIDELL PAKRAVAN ARCHITECTS

sidellpakravan.com
 info@sidellpakravan.com

ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.

DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

PROJECT NO.	DRAWN	CHECKED
21020	PJ, CYJ	KMS

ARCH ST

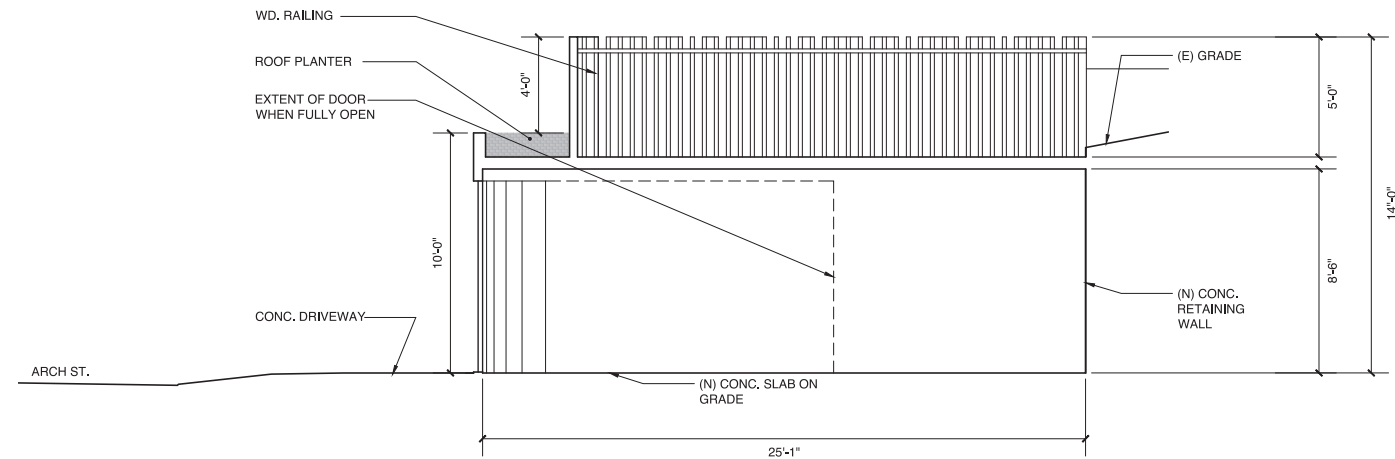
1325 ARCH STREET
 BERKELEY, CA, 94708

SHEET TITLE
PROPOSED ELEVATIONS

A2.01
 SHEET NO.

NOTES:

AT GRADE/SIDEWALK LEVEL, THE PROPOSED GARAGE ABUTS THE FRONT PROPERTY LINE. AT THE ROOF LEVEL, THE PLANTER STEPS BACK FROM THE PROPERTY LINE 4'-0".



1: PROPOSED GARAGE SECTION
0 1' 2' 4'
3/8" = 1'-0"

DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

PROJECT NO. 21020 DRAWN P.J. CYJ CHECKED KMS

ARCH ST

1325 ARCH STREET
BERKELEY, CA, 94708

SHEET TITLE
(N) SECTIONS

A3.00
SHEET NO.

SIDELL PAKRAVAN ARCHITECTS

sidellpakravan.com
info@sidellpakravan.com

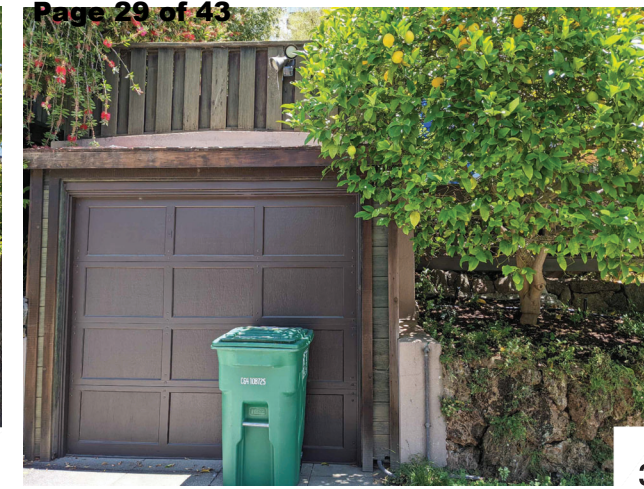
ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.



1



2



3



4



5



6



7



8



9



10



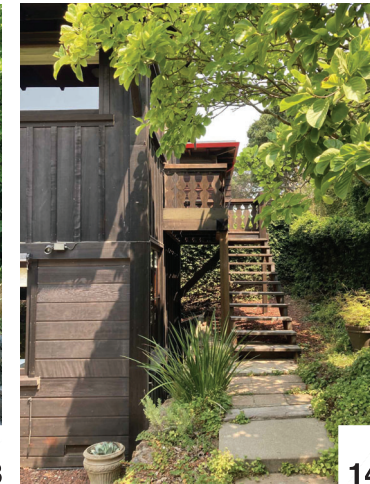
11



12



13



14

1325 ARCH EXISTING

1. FRONT ELEVATION
2. GARAGE FRONT (NOT MAYBECK STRUCTURE)
3. GARAGE FRONT (NOT MAYBECK STRUCTURE)
4. MAIN HOUSE
5. FRONT YARD RETAINING WALL AND BENCH
6. FRONT YARD STEPS NEXT TO GARAGE DECK
7. FRONT YARD RETAINING WALL
8. FRONT YARD CONCRETE PATIO AND GARAGE DECK
9. GARAGE DECK
10. WALKWAY FROM MAIN HOUSE TO FRONT YARD
11. MAIN HOUSE
12. MAIN HOUSE SIDING
13. BACKYARD PATIO AND RETAINING WALL
14. BACKYARD WOOD STEPS TO UPPER LEVEL

DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

PROJECT NO.	DRAWN	CHECKED
21020	PJ, CYJ	KMS

ARCH ST

1325 ARCH STREET
BERKELEY, CA, 94708

SHEET TITLE
**EXISTING MATERIALS
PHOTOS**

OTHER HOUSES DESIGNED BY
BERNARD MAYBECK

15. GUY HYDE CHICK HOUSE EXTERIOR
16. MAYBECK STUDIO EXTERIOR
17. MAYBECK HOUSE



15



16

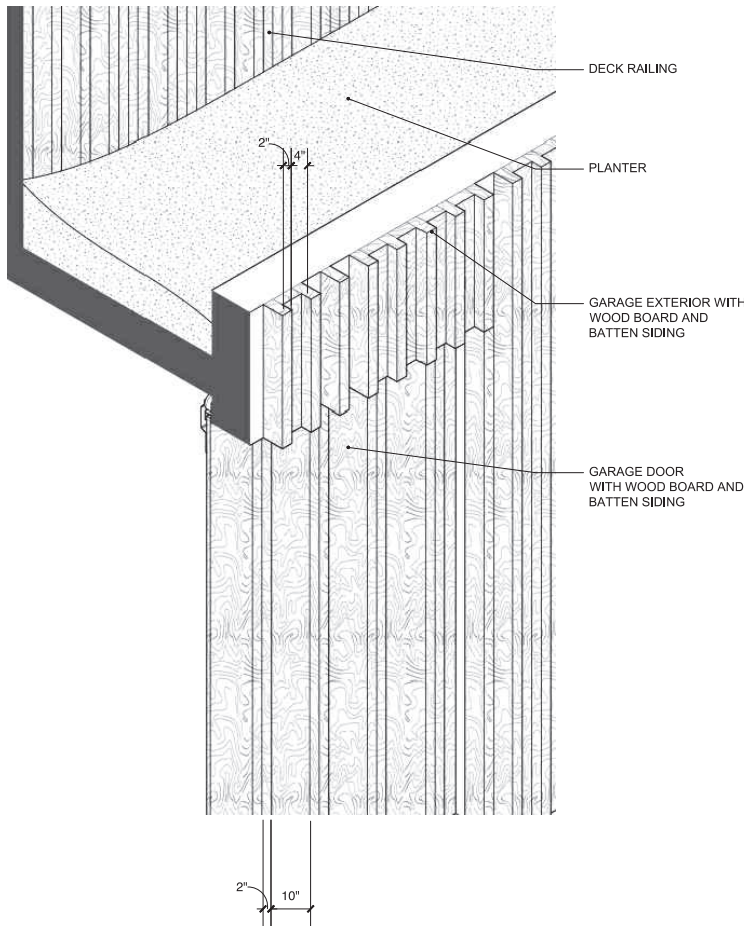


17

A5.00

SHEET NO.

GARAGE EXTERIOR MATERIAL



PROPOSED GARAGE FROM THE STREET

SIDELL PAKRAVAN ARCHITECTS

sidellpakravan.com
info@sidellpakravan.com

ANY UNAUTHORIZED USE OF THESE DOCUMENTS IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. COPYRIGHT 2022.

DATE	ISSUE
08.09.2021	LPC
10.29.2021	LPC REVISION
05.03.2022	LPC 02
07.29.2022	LPC 03 GARAGE

PROJECT NO.	DRAWN	CHECKED
21020	PJ, CYJ	KMS

ARCH ST

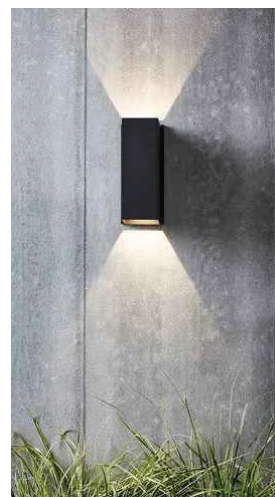
1325 ARCH STREET
BERKELEY, CA, 94708

SHEET TITLE
PROPOSED
MATERIAL

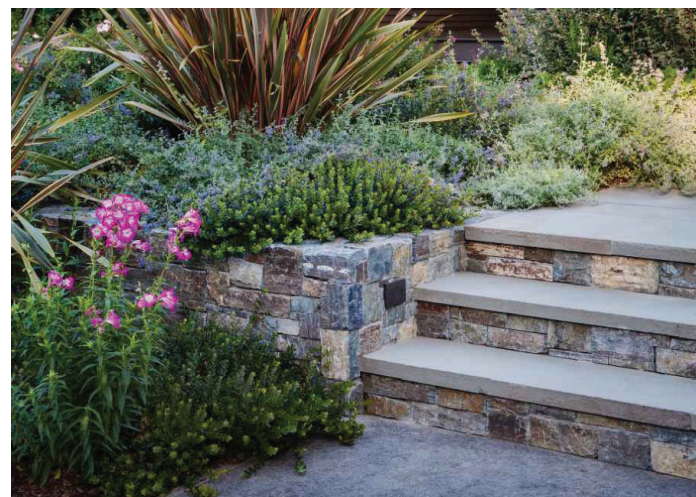
A5.01
SHEET NO.



GARAGE WOOD SIDING TO MATCH COLOR AND SPECIES OF WOOD OF THE MAIN HOUSE



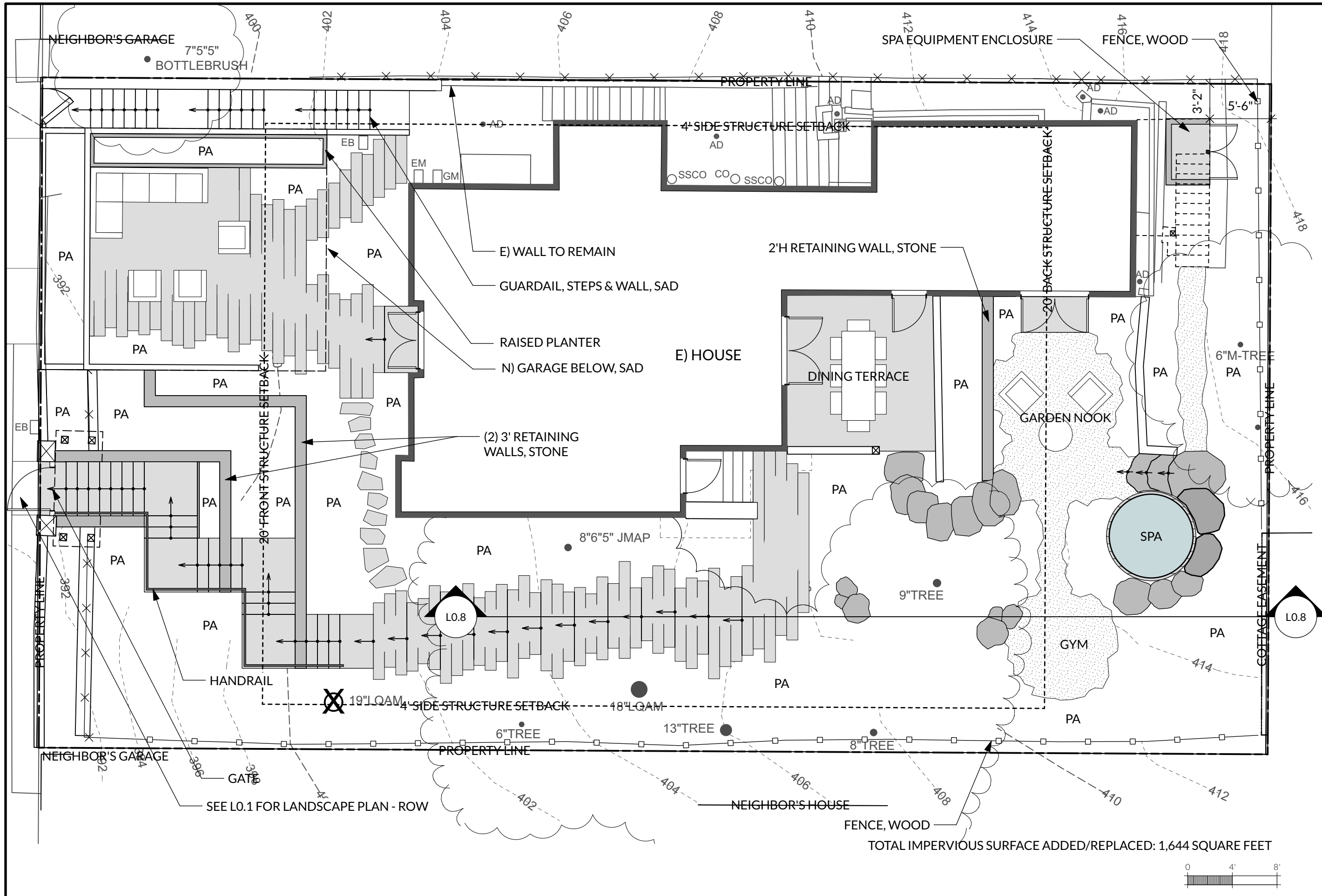
SHAPE AND STYLE OF GARAGE LIGHTING TO COMPLEMENT GARAGE WOOD SIDING



PROPOSED RETAINING WALLS TO BE BUILT WITH MCGREGOR LAKE STONE



HOT TUB EQUIPMENT ENCLOSURE TO MATCH THE WOOD BOARD AND BATTEN SIDING OF THE MAIN HOUSE



ARTERRA
 LANDSCAPE ARCHITECTS
 88 MISSOURI SAN FRANCISCO 94107
 T: 415.861.3100 W: arterrasf.com



ARCH STREET RESIDENCE

1325 ARCH STREET
 BERKELEY, CALIFORNIA
 APN: 060-2465-027-00

DATE:	ISSUE:
09.30.2022	AUP SET
09.30.2022	LPC 03 SET

SCALE: 1/8" = 1'0"

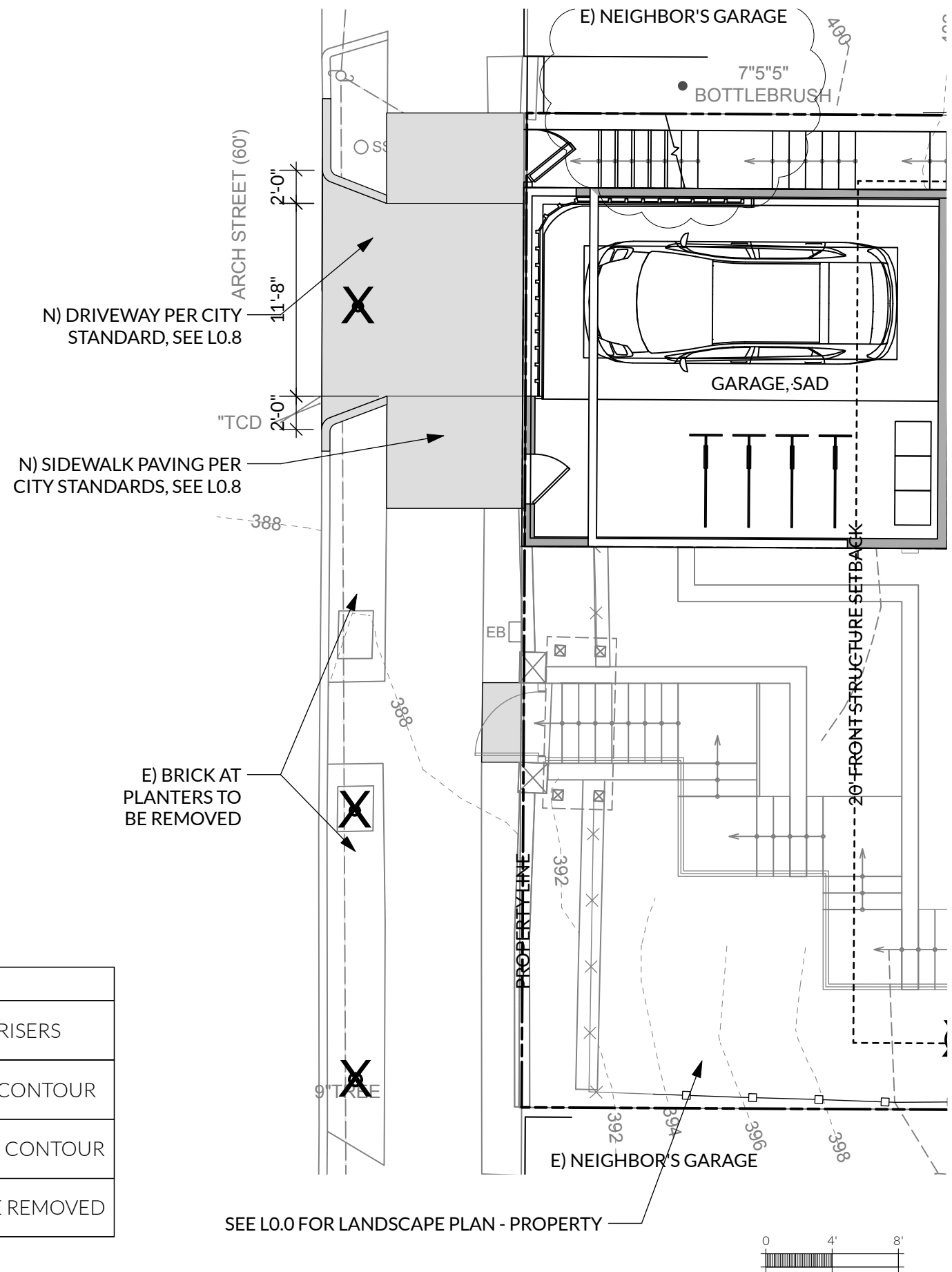


LANDSCAPE PLAN - PROPERTY

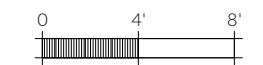
L0.0

TOTAL IMPERVIOUS SURFACE ADDED/REPLACED: 1,644 SQUARE FEET

SYMBOL LEGEND	
DN —●●●→	STAIR RISERS
- - - 120	EXISTING CONTOUR
— 125	PROPOSED CONTOUR
X	TREE TO BE REMOVED



SEE L0.0 FOR LANDSCAPE PLAN - PROPERTY



ARTERRA
 LANDSCAPE ARCHITECTS
 88 MISSOURI SAN FRANCISCO 94107
 T: 415.861.3100 W: arterrasf.com



ARCH STREET RESIDENCE
 1325 ARCH STREET
 BERKELEY, CALIFORNIA
 APN: 060-2465-027-00

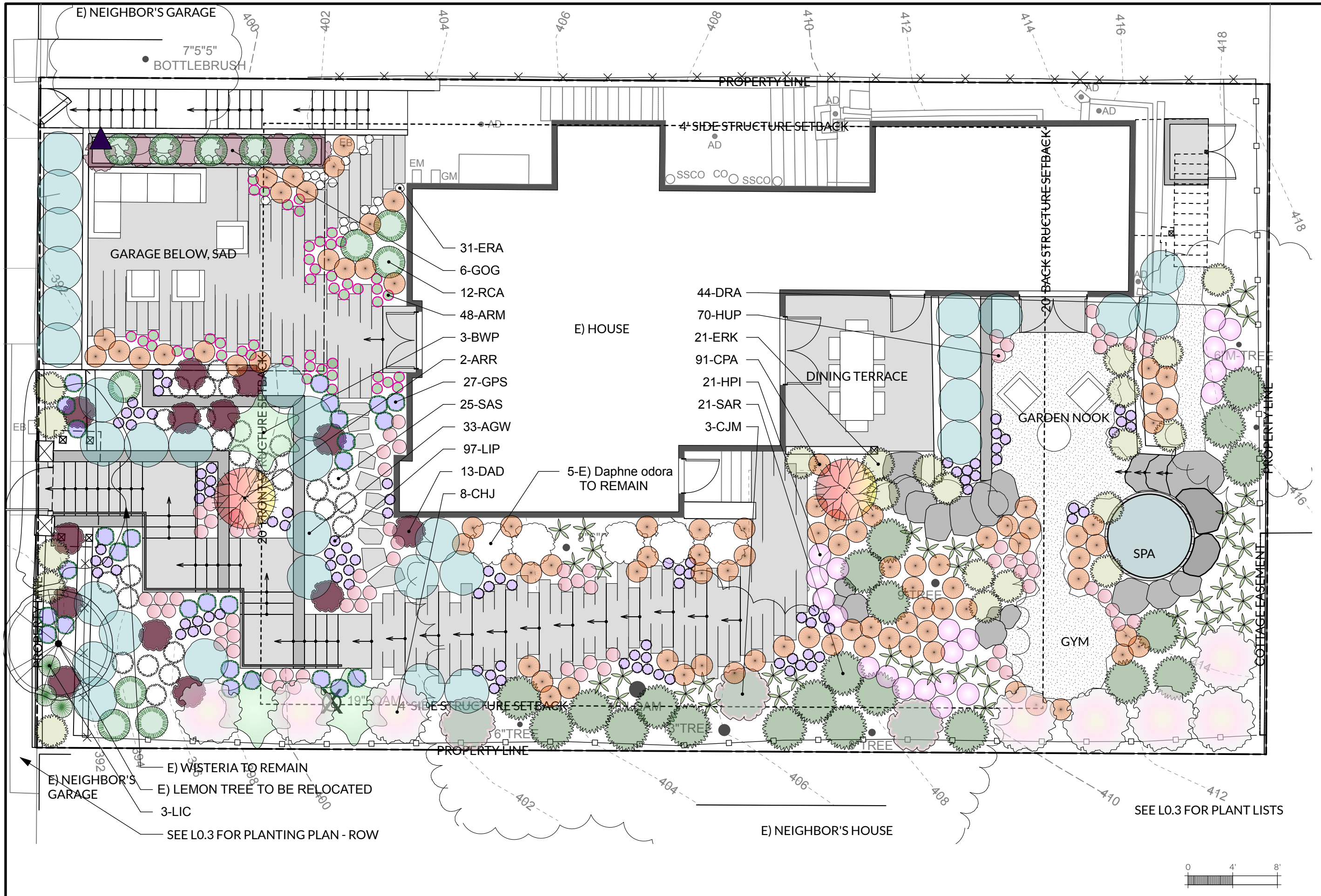
DATE:	ISSUE:
09.30.2022	AUP SET
09.30.2022	LPC 03 SET

SCALE: 1/8" = 1'0"



PLANTING PLAN - ROW

L0.1



ARTERRA
 LANDSCAPE ARCHITECTS
 88 MISSOURI, SAN FRANCISCO 94107
 T: 415.861.3100 W: arterrarf.com



ARCH STREET RESIDENCE

1325 ARCH STREET
 BERKELEY, CALIFORNIA
 APN: 060-2465-027-00

DATE:	ISSUE:
09.30.2022	AUP SET
09.30.2022	LPC 03 SET

SCALE: 1/8" = 1'0"



PLANTING PLAN - PROPERTY

L0.2

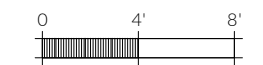
SEE L0.3 FOR PLANT LISTS

Plant List - Property							
Qty	ID	Botanical Name	Common Name	Mature Height	Mature Width	Scheduled Size	Features
Trees							
2	ARR	Acer palmatum 'Dissectum Atropurpureum'	Red Ribbonleaf Japanese Maple	6 - 8 ft	6 - 8 ft	24" Box	Specimen, Unusual Foliage, Dwarf
Shrubs							
33	AGW	Abelia x grandiflora 'Prostrata'	Prostrate White Abelia	1 - 2 ft	4 - 5 ft	5 Gal	Evergreen, Fall Color, Fragrant
3	BWP	Buddleja davidii 'White Profusion'	White Profusion Butterfly Bush	6 - 8 ft	5 - 7 ft	5 GAL	Fragrant; Wildlife
3	CJM	Camellia japonica 'Magnoliaeflora'	Magnoliaeflora Camellia	6 - 8 ft	6 - 8 ft	15 Gal	Evergreen; Showy; Winter Flowering
8	CHJ	Camellia sasanqua 'Hana Jiman'	Hana Jiman Camellia	8 - 12 ft	8 - 12 ft	15 Gal	Evergreen; Specimen; Showy; Fall Flowering
21	SAR	Sarcococca ruscifolia	Fragrant Sweet Box	3 - 5 ft	3 - 4 ft	5 Gal	Evergreen; Fragrant; Drought Tolerant
Perennials							
48	ARM	Armeria maritima	Sea Pink, Thrift Seapink	<= 12 in	<= 12 in	1 Gal	Flowers
13	DAD	Dahlia 'Dreamer'	Dreamer Dahlia	3 ft	2 ft	1 Gal	Showy;
44	DRA	Dryopteris arguta	California Wood Fern	18 - 24 in	18 - 24 in	1 Gal	Evergreen; Low Maintenance; Shade Garden; Unusual Foliage;
21	ERK	Erigeron karvinskianus	Santa Barbara Daisy	1 - 2 ft	2 - 3 ft	1 Gal	Low Maintenance; Drought Tolerant
31	ERA	Erodium reichardii 'Album'	White Heron's Bill	<= 12 in	<= 12 in	1 Gal	Unusual Foliage; Drought Tolerant
27	GPS	Geranium phaeum 'Samobor'	Samobor Cranesbill	1 - 3 ft	1 - 3 ft	1 Gal	Showy; Low Maintenance;
6	GOG	Gomphrena globosa 'Fireworks'	Fireworks Globe Amaranth	1 - 2 ft	3 ft	1 Gal	Showy; Drought Tolerant
21	HPI	Helleborus 'Peppermint Ice'	Peppermint Ice Hellebore	2 ft	2 ft	1 Gal	Evergreen; Showy; Unusual Foliage; Shade Garden; Winter Flowering
70	HUP	Heuchera 'Paris'	Paris Coral Bells	12 - 18 in	12 - 18 in	1 Gal	Evergreen; Showy; Low Maintenance; Wildlife; Drought Tolerant
3	LIC	Libertia chilensis	Satin Flower	2 - 3 ft	2 - 3 ft	1 Gal	Evergreen; Drought Tolerant; Low Maintenance
97	LIP	Linaria purpurea	Toadflax	3 ft.	1 ft	1 Gal	Showy; Drought Tolerant
12	RCA	Rhodocoma capensis	Cape Restio	4 - 6 ft	2 - 4	5 Gal	Evergreen; Unusual Foliage; Drought Tolerant
25	SAS	Scabiosa atropurpurea 'Snowmaiden'	Snowmaiden	3 ft	2 ft	1 Gal	Showy; Wildlife
Ornamental Grasses							
91	CPA	Carex pansa	California Meadow Sedge	1 - 2 ft	1 - 2 ft	1 Gal	Low Maintenance

Plant List - ROW							
Qty	ID	Botanical Name	Common Name	Mature Height	Mature Width	Scheduled Size	Features
Trees							
2	ACB	Acer buergerianum	Trident Maple	15 - 35 ft	12 - 20 ft	24" Box	Fall Color, Specimen; Low Root Damage Potential
Perennials							
11	ERK	Erigeron karvinskianus	Santa Barbara Daisy	1 - 2 ft	2 - 3 ft	1 Gal	Low Maintenance; Drought Tolerant
13	GPS	Geranium phaeum 'Samobor'	Samobor Cranesbill	1 - 3 ft	1 - 3 ft	1 Gal	Showy; Low Maintenance;
35	LIC	Libertia chilensis	Satin Flower	2 - 3 ft	2 - 3 ft	1 Gal	Evergreen; Drought Tolerant; Low Maintenance



SEE L0.2 FOR PLANTING PLAN - PROPERTY



ARTERRA
 LANDSCAPE ARCHITECTS
 88 MISSOURI, SAN FRANCISCO 94107
 T: 415.861.3100 W: arterrastf.com



ARCH STREET RESIDENCE
 1325 ARCH STREET
 BERKELEY, CALIFORNIA
 APN: 060-2465-027-00

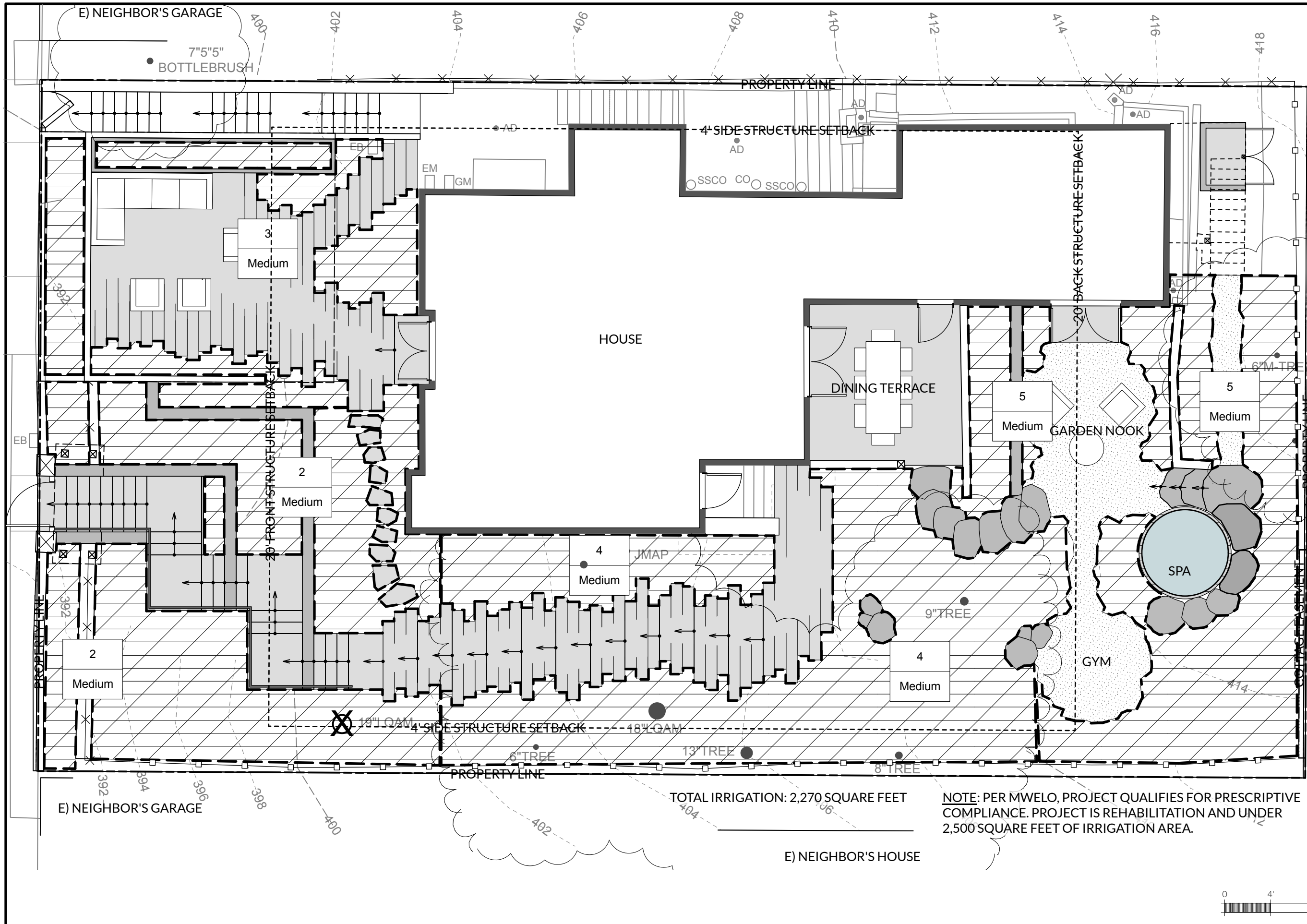
DATE:	ISSUE:
09.30.2022	AUP SET
09.30.2022	LPC 03 SET

SCALE: 1/8" = 1'0"



PLANTING PLAN -
 ROW
 & PLANT LIST

L0.3



TOTAL IRRIGATION: 2,270 SQUARE FEET

NOTE: PER MWEO, PROJECT QUALIFIES FOR PRESCRIPTIVE COMPLIANCE. PROJECT IS REHABILITATION AND UNDER 2,500 SQUARE FEET OF IRRIGATION AREA.

ARTERRA
 LANDSCAPE ARCHITECTS
 88 MISSOURI SAN FRANCISCO 94107
 T: 415.861.3100 W: arterrarf.com



ARCH STREET RESIDENCE
 1325 ARCH STREET
 BERKELEY, CALIFORNIA
 APN: 060-2465-027-00

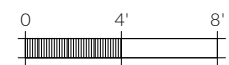
DATE:	ISSUE:
09.30.2022	AUP SET
09.30.2022	LPC 03 SET

SCALE: 1/8" = 1'0"



IRRIGATION PLAN - PROPERTY

L0.4



SECTION 1: POINT OF CONNECTION COMPONENTS

ORDER OF COMPONENTS:

1. MANUAL SHUT-OFF VALVE (GATE VALVE OR BALL VALVE)
2. REDUCED PRESSURE BACKFLOW PREVENTER
3. IRRIGATION-ONLY WATER METER OR FLOW METER
4. FLOW SENSOR

SECTION 3: PIPE SIZING

1. FOR SPRINKLER ZONES WITH A FLOW BETWEEN 0GPM AND 8 GPM, 3/4" SCHEDULE 40 PVC MINIMUM PIPE SIZE.
2. FOR SPRINKLER ZONES WITH A FLOW BETWEEN 8 GPM AND 12 GPM, 1" SCHEDULE 40 PVC MINIMUM PIPE SIZE.
3. FOR ALL ZONES LARGER THAN 12 GPM, CONSULT WITH LA.

SECTION 2: COMPONENT SCHEDULE

BACKFLOW PREVENTER

FEBCO #825Y-1" or approved equal

CONTROL VALVES

TORO Remote Control Valve, TPV Series

MAIN LINES

1120 SCH.40 PVC Solvent weld pipe with SCH 40 PVC solvent

WELD FITTINGS

18" Cover, min.

LATERAL LINES

1120-200 PSI PVC solvent weld pipe with SCH 40 PVC solvent

WELD FITTINGS

12" cover, min.

SLEEVES

1120- CLASS 200 PVC plastic pipe. 24" cover, min.

CONTROLLER

HUNTER ACC2 with SOLAR SYNC. Mount in accessible are for landscape maintenance crew.

WEATHER SENSOR SENSOR

HUNTER SOLAR SYNC mounted on SW side of property

SPRAY HEADS

HUNTER PRO SPRAY or RAINBIRD SAM PRS. Min 6" pop up in turf, 12" pop up in shrub areas.

VALVE BOXES

CARSON, black plastic

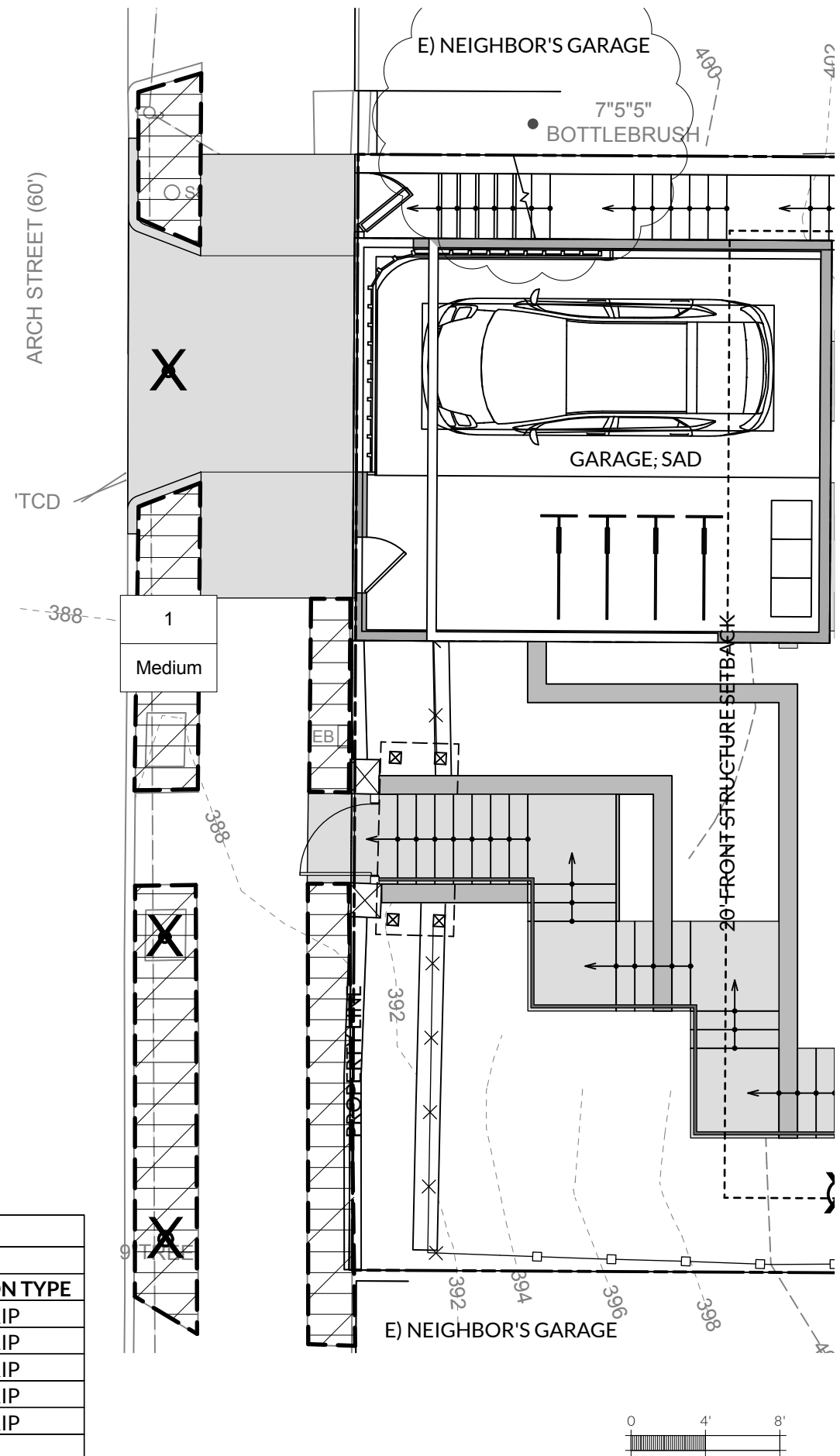
HOSE BIB

CHAMPION or BUCKNER with vacuum breaker

GATE VALVE

NIBCO, (line size)

IRRIGATION ZONE LEGEND				
HYDROZONE	PLANT TYPE	SUN EXPOSURE	WATER NEEDS	IRRIGATION TYPE
ZONE 1	MIXED PERENNIAL, TREES	SUN	MED	IN LINE DRIP
ZONE 2	MIXED PERENNIAL	SUN	MED	IN LINE DRIP
ZONE 3	MIXED PERENNIAL	SUN	MED	IN LINE DRIP
ZONE 4	MIXED PERENNIAL, TREES	SHADE	MED	IN LINE DRIP
ZONE 5	MIXED PERENNIAL, TREES	PART SUN	MED	IN LINE DRIP



ARTERRA
 LANDSCAPE ARCHITECTS
 88 MISSOURI SAN FRANCISCO 94107
 T: 415.861.3100 W: arterrast.com



ARCH STREET RESIDENCE
 1325 ARCH STREET
 BERKELEY, CALIFORNIA
 APN: 060-2465-027-00

DATE:	ISSUE:
09.30.2022	AUP SET
09.30.2022	LPC 03 SET

SCALE: 1/8" = 1'0"



IRRIGATION PLAN -
 ROW
 & IRRIGATION NOTES

L0.5

SECTION 3: DRIP SYSTEM SCHEDULE - EMITTERLINE TUBING

IN-LINE EMITTER TUBING
NETAFIM TECHLINE CV

IN-LINE FILTER
TORO DRIP ZONE KIT WITH REMOTE CONTROL VALVE, WYE FILTER WITH 150 MESH SCREEN AND 30 PSI PRESSURE REGULATOR/ KBI PVC BALL VALVE OR SIMILAR. IF SITE STATIC PRESSURE IS LESS THAN 30 PSI, DO NOT INSTALL A PRESSURE REGULATOR ON DRIP ZONES.

NETAFIM GRID SPECIFICATIONS
EMITTER FLOW, EMITTER SPACING AND GRID ROW SPACING BASED ON SOIL TYPE OF SITE:

Soil Type	Emitter Flow	Emitter Spacing	Row Spacing	Application Rate
Coarse Sand	0.9 gph	12"	16"	1.11 in/hr
Sand	0.6 gph	12"	16"	0.73 in/hr
Sandy Loam	0.6 gph	12"	16"	0.73 in/hr
Loam	0.4 gph	18"	18"	0.30 in/hr
Clay Loam	0.4 gph	18"	18"	0.30 in/hr
Clay	0.4 gph	18"	18"	0.30 in/hr
Clay	0.26 gph	18"	18"	0.19 in/hr

SECTION 6: DRIP SYSTEM SCHEDULE - POINT SOURCE EMITTERS

THE RECOMMENDED DRIP METHOD IS EMITTER LINE TUBING GRIDS, AS SHOWN ABOVE. WHEN USING INDIVIDUAL EMITTERS, USE THE FOLLOWING SCHEDULE:

Container size	# of .5 gph Emitters	Total Flow	Configuration
4"	1 Emitter	.5 gph	On root ball
1 gallon	2 Emitters	1 gph	Opposite sides of root ball
2 gallon	2 Emitters	1 gph	Evenly around root ball
5 gallon	4 Emitters	2 gph	Evenly around root ball
15 gallon	5 Emitters	2.5 gph	Evenly around root ball
24" Box	10 Emitters	5 gph	Concentric rings
36" Box	18 Emitters	9 gph	Concentric rings
48" Box	27 Emitters	13.5 gph	Concentric rings

SECTION 4: DRIP SYSTEM NOTES

- LOCATE IN-LINE FILTER, PRESSURE REGULATOR AND VALVE IN VALVE BOXES.
- FOR DRIP ZONES WITH A FLOW OF LESS THAN 4 GPM, ½" POLYETHYLENE TUBING MAY BE LEAD ALL THE WAY FROM THE VALVE TO THE DRIP ZONE.
- FOR DRIP ZONES WITH A FLOW BETWEEN 4 GPM AND 8 GPM, ¾" SCHEDULE 40 PVC SHALL RUN FROM THE VALVE TO THE BEGINNING OF THE ZONE.
- FOR DRIP ZONES WITH A FLOW BETWEEN 8 GPM AND 12 GPM, 1" SCHEDULE 40 PVC SHALL BE RUN FROM THE VALVE TO THE BEGINNING OF THE ZONE.
- LOCATE EMITTER DISCHARGE WITHIN THE WATERING BASIN OF EACH PLANT. SEE PLANTING PLAN FOR EXACT LOCATION AND SIZE OF PLANTS TO DETERMINE LOCATION OF EMITTERS. SECURE ABOVE GRADE EMITTER LINES TO FINISH GRADE WITH PLASTIC OR METAL STAPLES.
- INSTALL ONE MANUAL FLUSH VALVE FOR EACH DRIP SUB-ZONE ON THE EXHAUST HEADER AT THE HYDRAULIC OPPOSITE END FROM THE SUPPLY HEADER.
- INSTALL ONE DRIP ZONE FLOW INDICATOR WITHIN 3 FEET OF THE FLUSH VALVE FOR EACH ZONE.
- IF ¼" INCH TUBING IS USED, INSTALL E.O.V.C. BUG CAPS AND TUBING STAKES AT THE DISCHARGE ENDS BY 'SALCO'. ¼" TUBING LENGTHS TO BE NO GREATER THAN SIX FEET.
- IN-LINE EMITTER TUBING SHALL BE INSTALLED AS A CLOSED LOOP GRID SYSTEM. ALL DRIP GRIDS SHALL BE SITUATED ON THE CONTOUR OF SLOPES AND NOT PERPENDICULAR TO THE SLOPE. INSTALL TUBING ON TOP OF FINISH GRADE AND UNDER MULCH. ENSURE THAT EACH PLANT HAS AN EMITTER ON ITS ROOT BALL TO ESTABLISH IT.
- POINT SOURCE DRIP (BUTTON EMITTERS, FLAG EMITTERS, SHRUBBLERS, AND VARI-SPRAYS) SHALL BE AVOIDED, IF POSSIBLE. INSTALL AN INLINE GRID IN ALL PLANTED AREAS.

SECTION 8: PRESSURE AND FLOW RECORDING

- CONTRACTOR SHALL MAINTAIN A SET OF 'AS-BUILT' DRAWINGS THROUGHOUT THE CONSTRUCTION AND PREPARE AND DELIVER A LEGIBLE COPY OF THE PLAN TO THE LA/OWNER UPON COMPLETION OF THE WORK AND BEFORE FINAL PAYMENT. THE IRRIGATION PLAN SHALL INDICATE LOCATIONS OF ALL UNDERGROUND PIPES, LOCATION OF SLEEVES, LOCATION OF VALVES AND ANY OTHER INFORMATION NECESSARY FOR LONG-TERM MAINTENANCE OF THE SYSTEM. ONE LAMINATED PLAN COPY AND ONE LAMINATED VALVE ZONE SCHEDULE MUST BE PLACED AT THE IRRIGATION CONTROLLER.
- CONTRACTOR SHALL INCLUDE BASE FLOW READING IN GALLONS PER MINUTE FOR EACH VALVE ZONE ON THE AS-BUILT IRRIGATION DRAWING.
- CONTRACTOR SHALL NOTE THE STATIC PRESSURE ON THE AS-BUILT IRRIGATION DRAWING.
- CONTRACTOR TO PROVIDE ONE IRRIGATION BINDER TO THE LA/OWNERS, AT FINAL WALK THROUGH. BINDER TO INCLUDE AS-BUILT IRRIGATION DRAWING, VALVE MAP, MANUFACTURER'S OPERATING INSTRUCTIONS AND WARRANTY AND REPAIR INFORMATION.
- CONTRACTOR TO PROVIDE AN IRRIGATION AUDIT REPORT (ALL PROJECTS UNDER 2500SF CAN BE CONDUCTED BY THE INSTALLING CONTRACTOR. FOR ALL PROJECTS OVER 2500 SF, A QUALIFIED CLIA IRRIGATION AUDITOR MUST BE HIRED.)

ARTERRA
LANDSCAPE ARCHITECTS
88 MISSOURI SAN FRANCISCO 94107
T: 415.861.3100 W: arterrastf.com



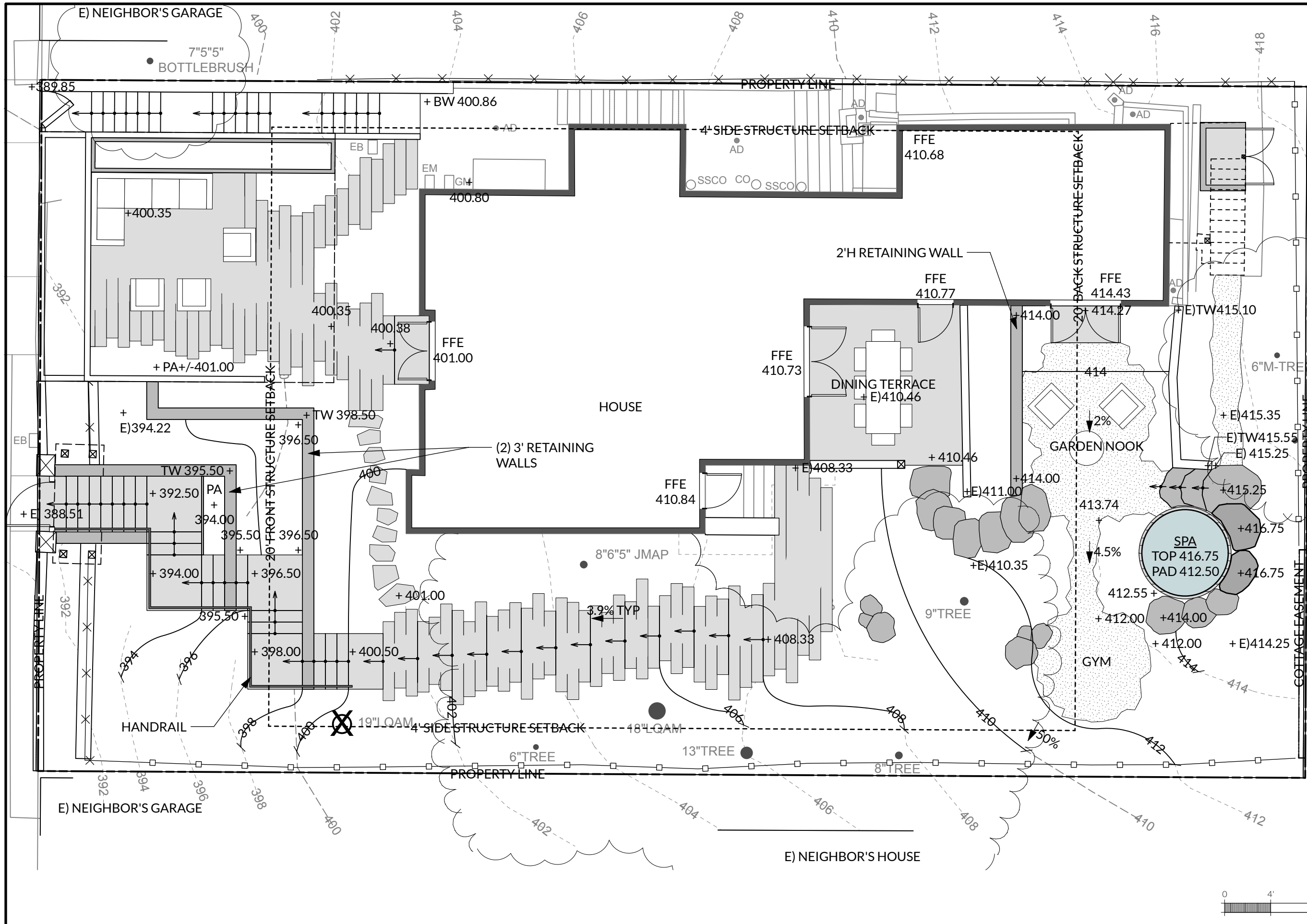
ARCH STREET RESIDENCE
1325 ARCH STREET
BERKELEY, CALIFORNIA
APN: 060-2465-027-00

DATE:	ISSUE:
09.30.2022	AUP SET
09.30.2022	LPC 03 SET

SCALE:

IRRIGATION NOTES

L0.6



ARTERRA
 LANDSCAPE ARCHITECTS
 88 MISSOURI SAN FRANCISCO 94107
 T: 415.861.3100 W: arterrasf.com



ARCH STREET RESIDENCE
 1325 ARCH STREET
 BERKELEY, CALIFORNIA
 APN: 060-2465-027-00

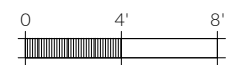
DATE:	ISSUE:
09.30.2022	AUP SET
09.30.2022	LPC 03 SET

SCALE: 1/8" = 1'0"



CONCEPTUAL
 GRADING PLAN

L0.7





ARCH STREET RESIDENCE

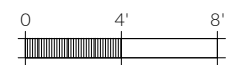
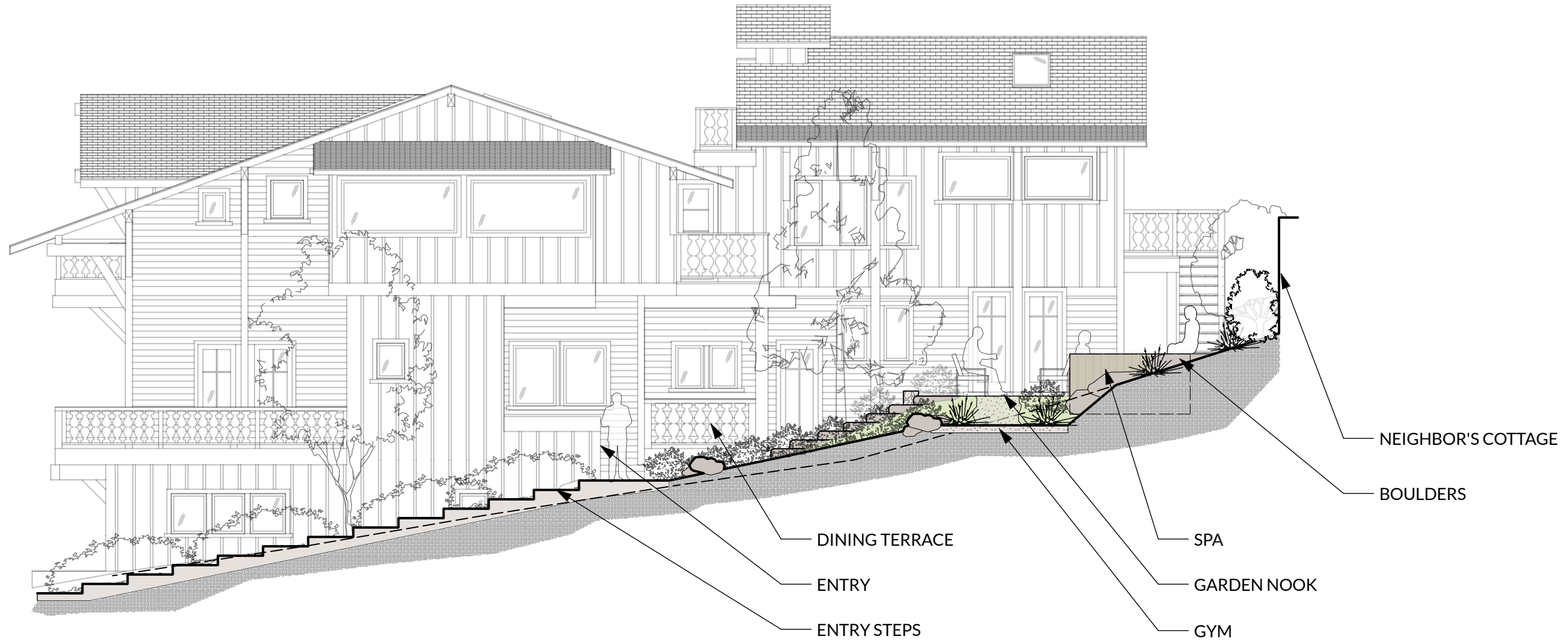
1325 ARCH STREET
 BERKELEY, CALIFORNIA
 APN: 060-2465-027-00

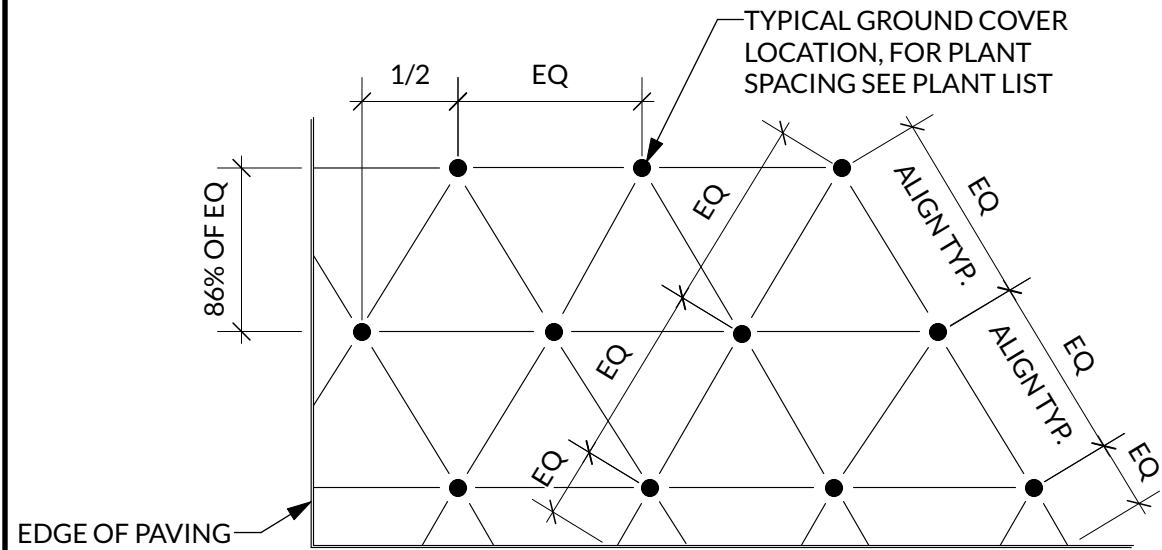
DATE:	ISSUE:
09.30.2022	LPC 03 SET

SCALE: 1/8" = 1'0"

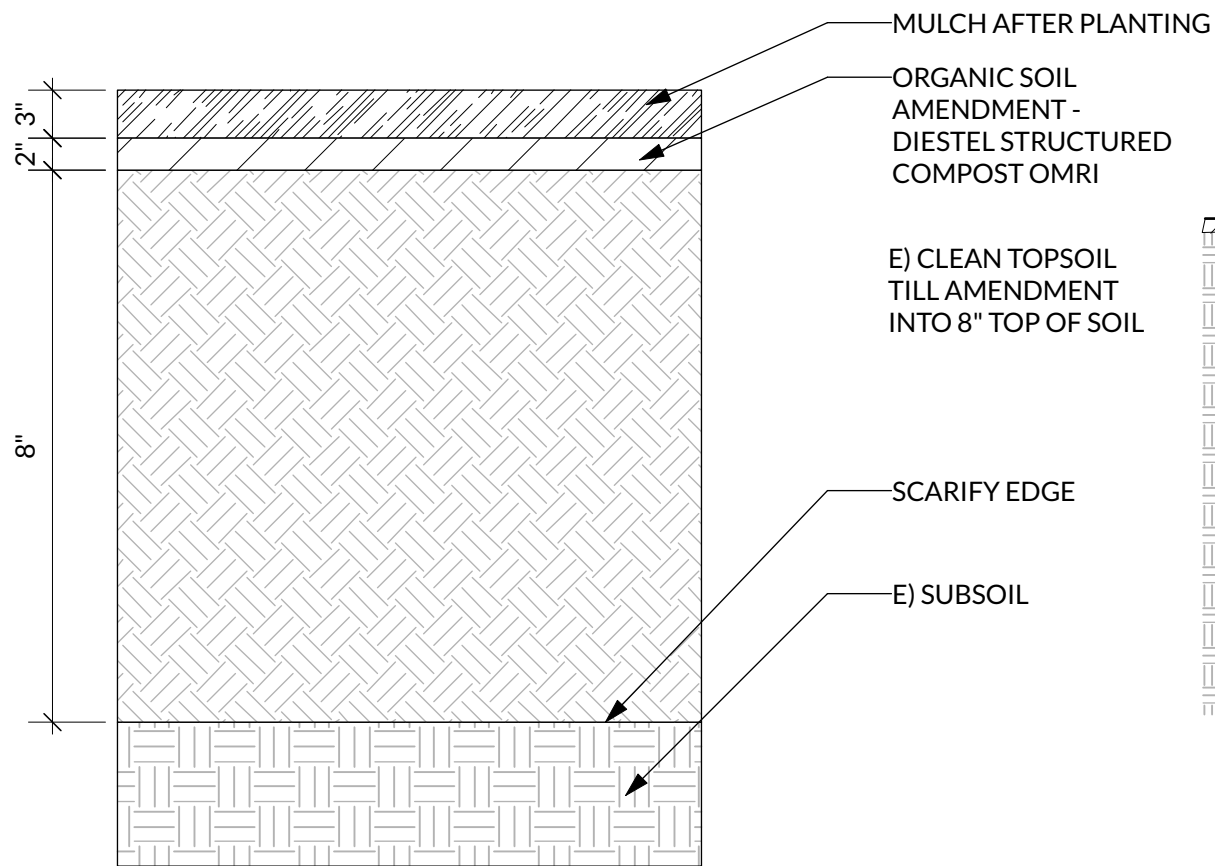
SECTION-ELEVATION

L0.8

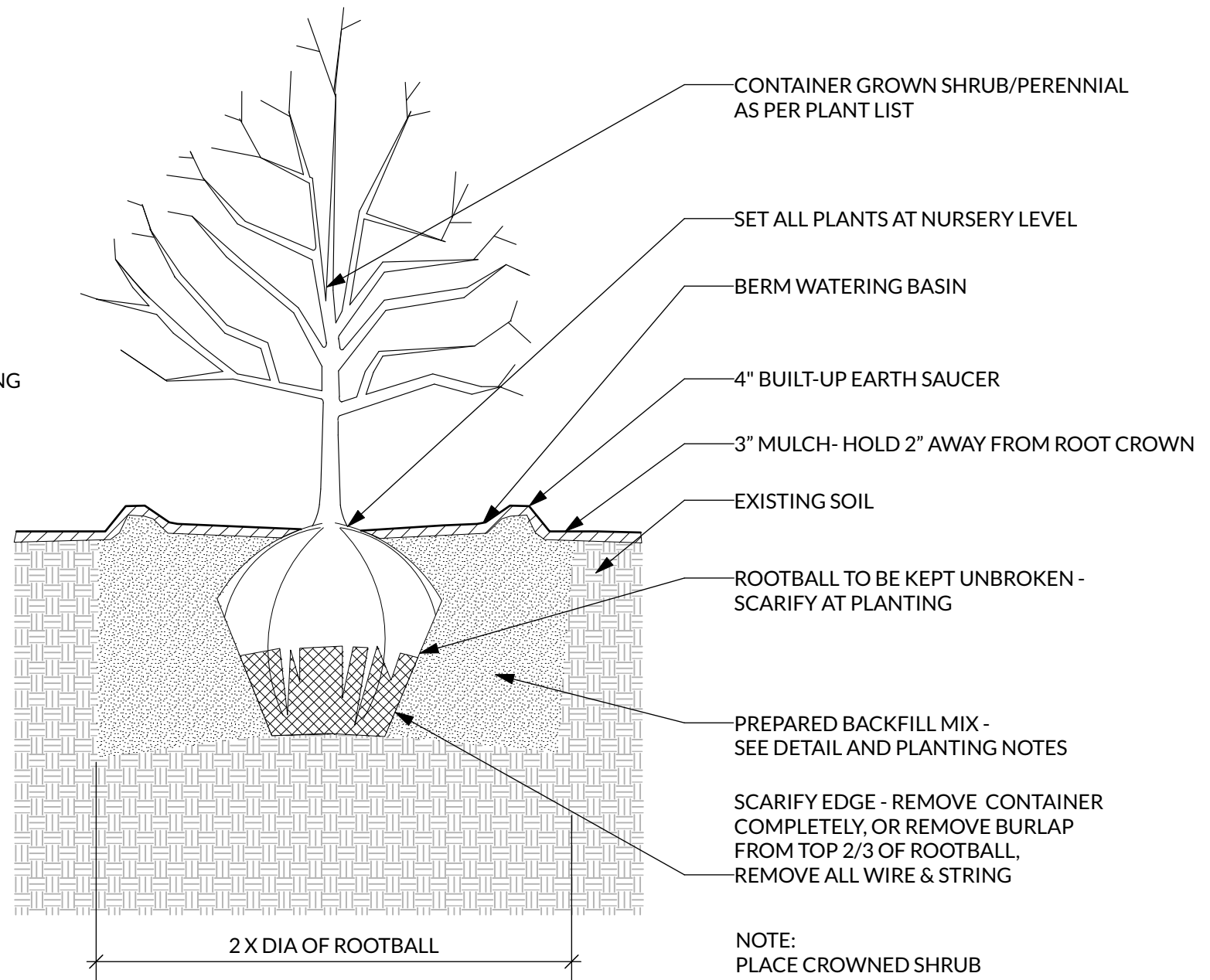




3 TYPICAL GROUND COVER SPACING
L0.11 Scale: 1" = 1'-0"



2 TYP SOIL DETAIL
L0.11 Scale: 1" = 1'-0"



1 SHRUB PLANTING DETAIL
L0.11 NTS

ARTERRA
LANDSCAPE ARCHITECTS
88 MISSOURI SAN FRANCISCO 94107
T: 415.861.3100 W: arterrastf.com



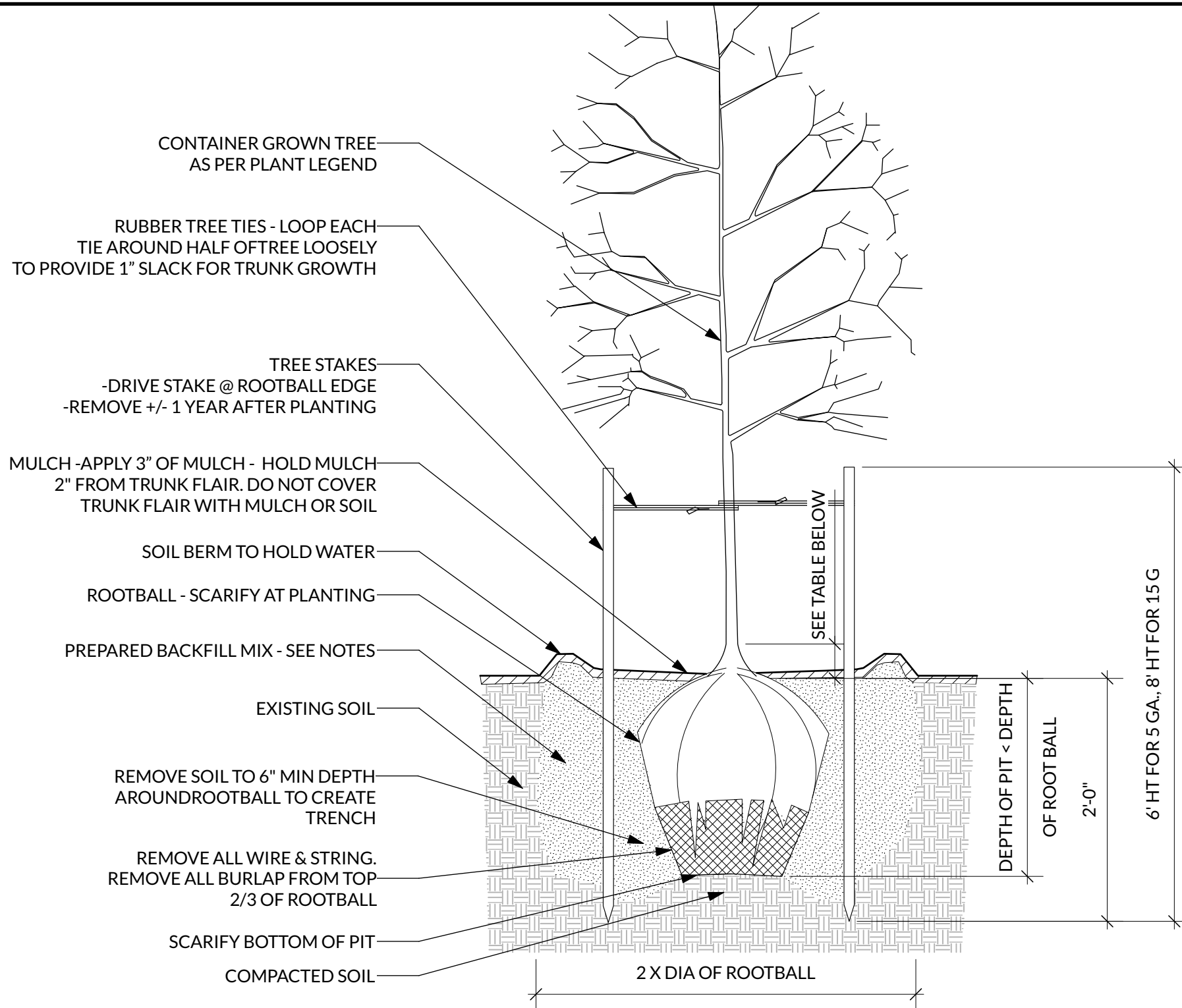
ARCH STREET RESIDENCE
1325 ARCH STREET
BERKELEY, CALIFORNIA
APN: 060-2465-027-00

DATE:	ISSUE:
09.30.2022	LPC 03 SET

SCALE: AS NOTED

PLANTING DETAILS

L0.11



NOTE:
SHAPE SOIL SURFACE TO PROVIDE 3' DIAMETER WATERING RING.

TABLE:

SIZE OF TREE	DISTANCE BOTTOM OF TRUNK FLAIR SITS ABOVE FINISH GRADE
15 GAL	6" HIGH MIN.
24" BOX	9" HIGH MIN.
36"-60" BOX	1'-0" HIGH MIN.

-CONFIRM FINAL HEIGHT WITH L.A.

ARTERRA
LANDSCAPE ARCHITECTS
88 MISSOURI SAN FRANCISCO 94107
T: 415.861.3100 W: artterra.com



ARCH STREET RESIDENCE

1325 ARCH STREET
BERKELEY, CALIFORNIA
APN: 060-2465-027-00

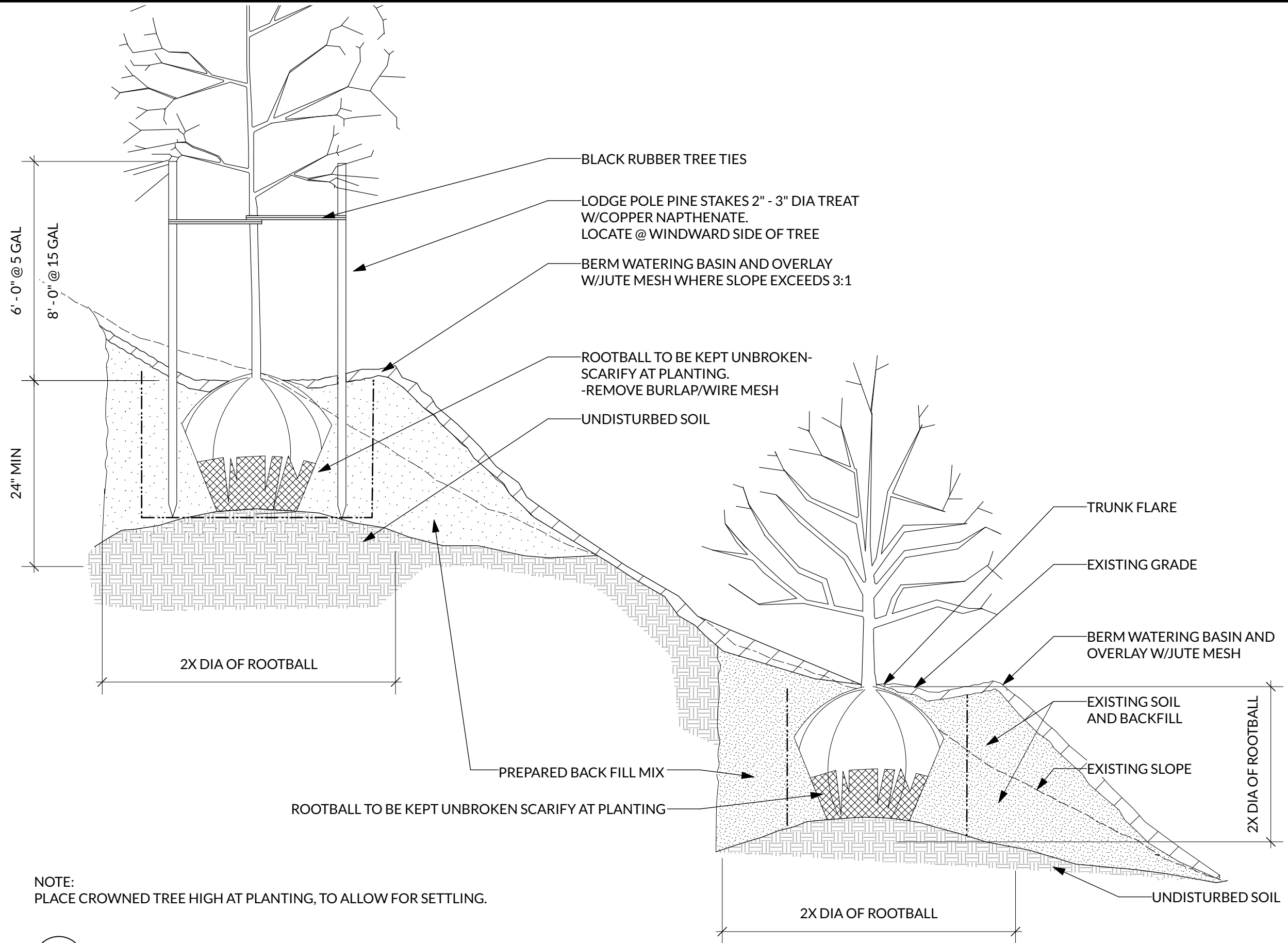
DATE: 09.30.2022 ISSUE: LPC 03 SET

SCALE: AS NOTED

PLANTING DETAILS

L0.12

1 TREE PLANTING DETAIL
L0.12 NTS



NOTE:
PLACE CROWNED TREE HIGH AT PLANTING, TO ALLOW FOR SETTLING.

1 SLOPE PLANTING DETAIL
LO.13 NTS

ARTERRA
LANDSCAPE ARCHITECTS
88 MISSOURI SAN FRANCISCO 94107
T: 415.861.3100 W: artterra.com



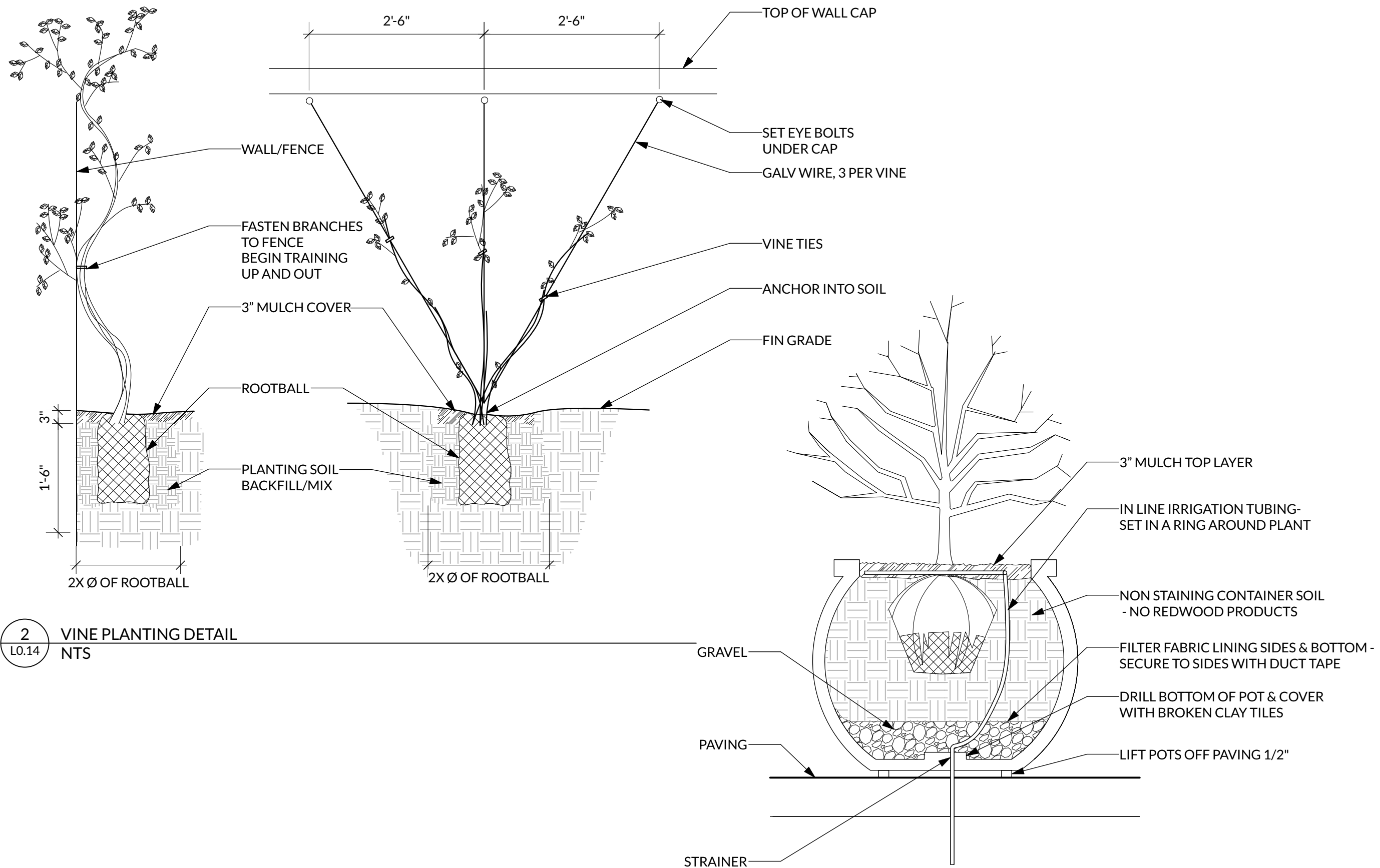
ARCH STREET RESIDENCE
1325 ARCH STREET
BERKELEY, CALIFORNIA
APN: 060-2465-027-00

DATE:	ISSUE:
09.30.2022	LPC 03 SET

SCALE: AS NOTED

PLANTING DETAILS

L0.13



2 VINE PLANTING DETAIL
L0.14 NTS

1 PLANTING POT DETAIL
L0.14 NTS

ARTERRA
LANDSCAPE ARCHITECTS
88 MISSOURI SAN FRANCISCO 94107
T: 415.861.3100 W: artterra.com



ARCH STREET RESIDENCE
1325 ARCH STREET
BERKELEY, CALIFORNIA
APN: 060-2465-027-00

DATE:	ISSUE:
09.30.2022	LPC 03 SET

SCALE: AS NOTED

PLANTING DETAILS

L0.14

