



Office of the City Manager

INFORMATION CALENDAR
July 26, 2022

To: Honorable Mayor and Members of the City Council
From: Dee Williams-Ridley, City Manager
Submitted by: Jordan Klein, Director, Planning and Development Department
Subject: LPO NOD: 8 Greenwood Common/#LMSAP2022-0002

INTRODUCTION

The attached Landmarks Preservation Commission Notice of Decision (NOD) is presented to the Mayor and City Council pursuant to Berkeley Municipal Code/Landmarks Preservation Ordinance (BMC/LPO) Section 3.24.240.A, which requires that “a copy of the Notice of Decision shall be filed with the City Clerk and the City Clerk shall present said copy to the City Council at its next regular meeting.”

CURRENT SITUATION AND ITS EFFECTS

The Landmark Preservation Commission (LPC/Commission) has approved a Structural Alteration Permit (SAP) for the subject City Landmark property. This action is subject to a 15-day appeal period, which began on July 11, 2022.

BACKGROUND

BMC/LPO Section 3.24.300 allows City Council to review any action of the Landmarks Preservation Commission in granting or denying a Structural Alteration Permit. For Council to review the decision on its merits, Council must appeal the Notice of Decision. To do so, a Council member must move this Information Item to Action and then move to set the matter for hearing on its own. Such action must be taken within 15 days of the mailing of the Notice of Decision, or by July 26, 2022. Such certification to Council shall stay all proceedings in the same manner as the filing of an appeal.

If the Council chooses to appeal the action of the Commission, then a public hearing will be set. The Council must then rule on the designation within 30 days of closing the hearing, otherwise the decision of the Commission is automatically deemed affirmed.

Unless the Council wishes to review the determination of the Commission and make its own decision, the attached NOD is deemed received and filed.

ENVIRONMENTAL SUSTAINABILITY & CLIMATE IMPACTS

Landmark designation provides opportunities for the adaptive re-use and rehabilitation of historic resources within the City. The rehabilitation of these resources, rather than their removal, achieves construction and demolition waste diversion, and promotes investment in existing urban centers.

POSSIBLE FUTURE ACTION

The Council may choose to appeal the decision, in which case it would conduct a public hearing at a future date.

FISCAL IMPACTS OF POSSIBLE FUTURE ACTION

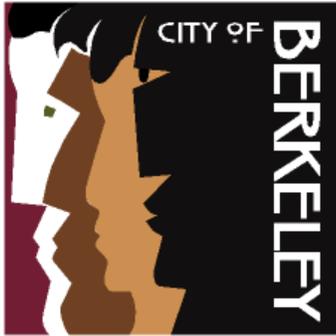
There are no known fiscal impacts associated with this action.

CONTACT PERSON

Fatema Crane, Senior Planner, Planning and Development Department, 510-981-7410

Attachments:

1: Notice of Decision – #LMSAP2022-0002 for 8 Greenwood Common



L A N D M A R K S
P R E S E R V A T I O N
C O M M I S S I O N
NOTICE OF DECISION

DATE OF BOARD DECISION: May 5, 2022
DATE NOTICE MAILED: July 11, 2022
APPEAL PERIOD EXPIRATION: July 26, 2022
EFFECTIVE DATE OF PERMIT (Barring Appeal): July 27, 2022¹

8 Greenwood Common

Structural Alteration Permit (#LMSAP2021-0002) to complete limited exterior alteration a single-family residence included in the City Landmark Greenwood Common.

The Landmarks Preservation Commission of the City of Berkeley, after conducting a public hearing, **APPROVED** the following permit:

PERMITS REQUIRED:

- Structural Alteration Permit

APPLICANT: Kerstin Fischer, Fischer Architecture, 2984 San Pablo Ave., Berkeley, CA

ZONING DISTRICT: Single Family Residential, Hillside Overlay (R-1/H)

ENVIRONMENTAL REVIEW STATUS: Categorically exempt pursuant to Section 15331 of the CEQA Guidelines (Historical Resource Restoration and Rehabilitation).

The Application materials for this project are available online at:

<http://www.cityofberkeley.info/zoningapplications>

¹ Pursuant to BMC Section 1.04.070, if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day. Pursuant to BMC Section 3.24.190, the City Council may “certify” any decision of the LPC for review, within fifteen days from the mailing of the NOD. Such certification shall stay all proceedings in the same manner as the filing of a notice of appeal.

LANDMARKS PRESERVATION COMMISSION
NOTICE OF DECISION
#LMSAP2022-0002
8 Greenwood Common
July 11, 2022
Page 2 of 4

FINDINGS, CONDITIONS AND APPROVED PLANS ARE ATTACHED TO THIS NOTICE

COMMISSION VOTE: 7-0-0-1 (one vacancy)

YES: ADAMS, CRANDALL, ENCHILL, FINACOM, LEUSCHNER, SCHWARTZ, TWU
NO: [NONE]
ABSTAIN: [NONE]
ABSENT: MONTGOMERY

TO APPEAL THIS DECISION (see Section 3.24.300 of the Berkeley Municipal Code)

An appeal may be taken to the City Council by the City Council on its own motion, by motion of the Planning Commission, by motion of the Civic Art Commission, by the verified application of the owners of the property or their authorized agents, or by the verified application of at least fifty residents of the City aggrieved or affected by any determination of the commission made under the provisions of this chapter.

Such appeal shall be taken by filing a written notice of appeal with the City Clerk within fifteen days after the mailing of the notice of the decision of the commission. The notice of appeal shall clearly and concisely set forth the grounds upon which the appeal is based. If the appeal is taken by an owner of the property affected, or an authorized agent, the notice of appeal shall be filed in duplicate and the City Clerk shall immediately forward one copy to the secretary of the commission. If the appeal is taken by someone other than an owner of affected property or an authorized agent, the notice of appeal shall be filed in triplicate and the City Clerk shall immediately forward one copy to the owner or authorized agent of the affected property and one copy to the secretary of the commission. Within ten days after the filing of a notice of appeal, the secretary of the commission shall transmit to the City Council a copy of the application, a copy of the notice of appeal and a written statement setting forth the reasons for the commission's decision, and shall make available to the council, at the time the matter is considered by the council, all other papers constituting the record upon which the action appealed from was taken.

The City Clerk is located at 2180 Milvia Street, 1st Floor, Berkeley. The City Clerk's facsimile number is (510) 981-6901. The City Clerk's telephone number is (510) 981-6900.

An appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown above (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

The required fee is as follows (checks and money orders must be payable to "City of Berkeley"):

- a. The basic fee for persons other than the applicant is \$500. This fee may be

LANDMARKS PRESERVATION COMMISSION
NOTICE OF DECISION
#LMSAP2022-0002
8 Greenwood Common
July 11, 2022
Page 3 of 4

reduced to \$100 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less.

- b. The fee for appeals of affordable housing projects (defined as projects which provide 50 percent or more affordable units for households earning 80% or less of Area Median Income) is \$500, which may not be reduced.
- c. The fee for all appeals by Applicants is \$2,500.

STRUCTURAL ALTERATION PERMIT ISSUANCE:

If no appeal is received, the Structural Alteration Permit will be issued on the first business day following expiration of the appeal period, and the project may proceed at that time. Information about the Building Permit process can be found at the following link:

<http://www.ci.berkeley.ca.us/permitservicecenter/>.

NOTICE CONCERNING YOUR LEGAL RIGHTS:

If you object to this decision, the following requirements and restrictions apply:

1. If you challenge this decision in court, you may be limited to raising only those issues you or someone else raised in a public hearing and/or written correspondence during the proceedings related to this permit.
2. You must appeal to the City Council within fifteen (15) days after the Notice of Decision of the action of the Landmarks Preservation Commission is mailed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a “taking” of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must include the following information:
 - A. That this belief is a basis of your appeal.

LANDMARKS PRESERVATION COMMISSION
NOTICE OF DECISION
#LMSAP2022-0002
8 Greenwood Common
July 11, 2022
Page 4 of 4

- B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
- C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

PUBLIC COMMENT:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

FURTHER INFORMATION:

Questions about the project should be directed to the project planner, Fatema Crane, at (510) 981-7413 or fcrane@cityofberkeley.info. All project application materials, including full-size plans, may be viewed at the Permit Service Center (Zoning counter), 1947 Center Street, between 8 a.m. and 4 p.m., Monday through Thursday.

ATTACHMENTS:

-
- 1. Findings and Conditions
 - 2. Project Plans, revised **MARCH 1 & MAY 5, 2022**

ATTEST:



Fatema Crane, Senior Planner
Secretary to the Landmarks Preservation Commission

cc: City Clerk
Applicant: Kerstin Fischer, Fischer Architecture, 2984 San Pablo Ave., Berkeley, CA
Property Owner: Cindy & Rory Reid, 8 Greenwood Common, Berkeley, CA

ATTACHMENT 1, PART 2
FINDINGS AND CONDITIONS

8 Greenwood Common – Greenwood Common

Structural Alteration Permit #LMSAP2022-0002

Structural Alteration Permit #LMSAP2022-0002 to make limited exterior alterations to a residential property in the Hillside neighborhood.

FINDINGS REQUIRED UNDER CEQA

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines (“Historic Resource Restoration/Rehabilitation”). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, and (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5.

FINDINGS RELATED TO THE SECRETARY OF THE INTERIOR’S STANDARDS

Regarding the Secretary of the Interior’s Standards for Rehabilitation, the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

1. The property will continue to be used as a residence, consistent with its historic use.
2. The scope of proposed work is limited to window and door replacement, and removal and in-fill of exterior building materials will match the existing historic features and materials. The project would not remove any significant features of the building design or alter its distinctive architectural character.
3. This property does not feature changes that have acquired significance in their own right, and, therefore, it cannot affect such features.
4. The approved alterations to the building are limited in scope, would replace and in-fill exterior building materials, and would not impair any distinctive materials, features, finishes, and construction techniques, or examples of craftsmanship that characterize this property.
5. Has conditioned herein, if deteriorated historic features will be affected by this request, then they would be repaired or replaced to match the materials, design, and finishes of the original items.

6. The applicant does not propose chemical or physical treatments. However, standard conditions of Structural Alteration Permit approval would require any chemical or physical treatments to be undertaken using the gentlest means possible.
7. The project does not have the potential to affect any archaeological resources because the applicant proposes no excavation.
8. The proposed new windows and doors feature a selection of style and materials that are compatible with the historic building design. These new elements are more contemporary than the features to be removed and, yet, are similarly understated in style and tone (color). They are found to be sufficiently differentiated and compatible.
9. If the proposed improvements were removed, they would not permanently impair the integrity or essential form of the subject building or collective Common.

FINDINGS REQUIRED UNDER LANDMARK PRESERVATION ORDINANCE

1. As required by Section 3.24.260 of the Landmarks Preservation Ordinance, the Commission finds that proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve and enhance the characteristics and features specified in the designation for this property. Specifically:
 - A. The character-defining exterior features of this Third Bay Tradition residential property include its overall building massing, low-pitched shed roof, horizontal wood siding, use of natural materials and understated detailing. These features would be retained and unaffected by the proposed alteration of the window/door configuration.
 - B. The special character of the subject property may lie in its relationship to the other properties in the Common where they form a collective representation of Third Bay Tradition architectural and landscape design. The proposed door and window alterations at 8 Greenwood Common are limited in their scope and location, and would not be readily visible from the public right-of-way along Greenwood Terrace, or from within the Common owing to their location on the southside of the subject building and behind an existing perimeter fence.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Landmarks Preservation Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Permit, under the title 'Structural Alteration Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Plans and Representations Become Conditions

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

3. Subject to All Applicable Laws and Regulations

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Zoning Adjustments Board or Zoning Officer, Building and Safety Division, Public Works Department and other affected City divisions and departments.

4. Exercise and Lapse of Permits (Section 23.404.060.C)

- A. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- B. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

5. Indemnification Agreement

The applicant shall hold the City of Berkeley and its officers harmless in the event of any legal action related to the granting of this Permit, shall cooperate with the City in defense of such action, and shall indemnify the City for any award of damages or attorneys fees that may result.

ADDITIONAL CONDITIONS

The following additional conditions are attached to this Permit:

6. The proposed project is approved as shown on the drawings dated “received March 1, 2022,” and “May 5, 2022.”
7. No changes shall be made to these approved plans without prior approval.
8. This Structural Alteration Permit approval is contingent upon use permit approval.
9. **Repair and replacement of character-defining features.** Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
10. **COLORS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit color and materials information for review and approval by Landmarks staff, in coordination with the LPC Chair as needed.
11. **CLEAR GLASS.** All glass is assumed to be clear glass. Any proposed glass that is not clear glass, or includes signage, shall be indicated on all drawings, and shall be reviewed for approval by Landmarks staff.
12. **DETAILS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit window, door, base, and trim details for review and approval by the Landmarks plan checker.
13. **ROOF EQUIPMENT.** Any above ground or roof equipment, such as transformer(s), utilities, fire apparatus, air conditioning units, compressors, etc. shall be shown to scale on the architectural drawings of the building permit set of drawings in both plan and elevation, in order to determine if additional screening and SAP may be required.
14. **LIGHTING** Prior to Landmarks plan checker sign-off of the building permit set of drawings, the applicant shall submit lighting details showing all existing and proposed site and building lighting. Exterior lighting shall be downcast and not cause glare on the public right-of-way and adjacent parcels.
15. **LANDSCAPE PLANS** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit a Landscape plan including the number, location, and species of all proposed plantings, and which existing plantings shall be removed. The applicant shall provide irrigation for all landscaped areas or provide drought tolerant plant palette. This shall be called out on Landscape building permit drawings.
16. The applicant shall be responsible for identifying and securing all applicable permits from the Building and Safety Division and all other affected City divisions/departments prior to the start of work.

17. The applicant is responsible for complying with all the above conditions. Failure to comply with any condition could result in construction work being stopped, issuance of citations, as well as further review by the Landmarks staff, which may modify or impose additional conditions, or revoke approval.
18. All building permit drawings and subsequent construction shall substantially conform to the approved plans as outlined in Condition #1. Any modifications must be reviewed by the Landmarks plan checker to determine whether the modification requires approval.
19. The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

GENERAL NOTES

1. **EXAMINATION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE IMMEDIATELY BY THE CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE SHALL AT SUCH TIME ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS WORK. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA EXPENSE TO WHICH HE MAY BE DUE BECAUSE OF FAILURE OR NEGLIGENCE ON HIS PART TO MAKE SUCH EXAMINATIONS. ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.**

2. **ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.**

3. **WHERE REFERENCED IN NOTES, ARCHITECT SHALL BE FISCHER ARCHITECTURE, OWNER SHALL BE CINDY AND RORY REID.**

4. **CONTRACTOR SHALL PROVIDE ARCHITECT AND OWNER WITH A COMPLETE COST BREAKDOWN AND SCHEDULE OF CONSTRUCTION FOR THIS PROJECT PRIOR TO COMMENCEMENT OF WORK.**

5. **CONTRACTOR SHALL PROTECT NEW MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC AS REQUIRED DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED. CONTRACTOR SHALL COORDINATE TEMPORARY BARRICADES WITH ARCHITECT AND / OR OWNER PRIOR TO COMMENCEMENT OF WORK.**

6. **ALL CONSTRUCTION WORK, IS TO COMPLY WITH THE 2016 CALIFORNIA BUILDING, RESIDENTIAL, MECHANICAL, ELECTRICAL, PLUMBING, ENERGY, HISTORICAL, EXISTING AND GREEN BUILDING STANDARDS CODE AS AMENDED BY THE CITY OF BERKELEY, AND AS APPLICABLE. (CAC 1-2016(a)) ALL WORK SHALL BE DONE IN A THOROUGH, WORKMANLIKE MANNER AND EQUAL TO THE BEST STANDARDS OF THE PRACTICE.**

7. **ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURERS REQUIREMENTS. WORK REQUIRED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, ETC., NECESSARY TO COMPLETE THIS PROJECT. ALL MATERIALS SHALL BE NEW AND UNUSED, UNLESS SPECIFICALLY NOTED, AND BE OF A QUALITY ACCEPTABLE BY INDUSTRY STANDARDS.**

8. **THE USE OF THE WORD "PROVIDE" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH ITEM SHALL BE FURNISHED, INSTALLED, AND CONNECTED WHERE SO REQUIRED, EXCEPT AS NOTED.**

9. **THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE LETTER IN WHICH THEY WERE DRAWN.**

10. **THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.**

11. **THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN INTENT AND GENERAL TYPE OF CONSTRUCTION DESIRED.**

12. **DETAILS SHOWN ARE TYPICAL U.O.N. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.**

13. **ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE STATE FIRE MARSHAL, THE SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY, AND ANY APPLICABLE STATE OR LOCAL LAWS AND ORDINANCE. NOTHING ON THESE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. ANY QUESTIONS REGARDING INSTALLATIONS SHALL BE BROUGHT TO THE ARCHITECT FOR CLARIFICATION.**

14. **INSTALL BATT INSULATION BETWEEN STUDS AND JOISTS AT ALL EXTERIOR WALLS, CEILINGS, AND FLOORS WHERE EXPOSED.**

15. **ALL DIMENSIONS ON CONSTRUCTION DRAWINGS ARE TO FACE OF FINISH UNLESS NOTED AS BEING TO FACE OF FRAMES OR TO BOTTOM OF FINISHED CEILING OR TOP OF FINISHED FLOOR IN INTERIOR ELEVATIONS UNLESS OTHERWISE NOTED.**

16. **ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT. CONTRACTOR SHALL NOT SCALE DRAWINGS. QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ANY START OF WORK.**

17. **WINDOW AND DOOR SIZES ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.**

18. NOT USED.

19. NOT USED.

20. **SEALANT, CAULKING, AND FLASHING, ETC., LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.**

21. **PROVIDE SOLID WOOD BACKING FOR ALL SURFACE MOUNTED ACCESSORIES.**

22. **ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS IN DESIGN, INSTALLATION AND MATERIAL FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF COMPLETION.**

23. **ALL MATERIALS FOR USE ON THE PROJECT SHALL BE STORED WITHIN THE PROJECT SITE.**

24. **CONTRACTOR SHALL PERSONALLY SUPERVISE AND DIRECT THE WORK OR SHALL KEEP A COMPETENT EMPLOYEE, AUTHORIZED TO RECEIVE INSTRUCTIONS AND ACT ON THE CONTRACTOR'S BEHALF, CONTINUOUSLY ON SITE DURING WORKING HOURS.**

25. **ALL QUESTIONS REGARDING PROJECT EITHER DURING BIDDING PHASE OR DURING CONSTRUCTION SHALL BE DIRECTED TO THE ARCHITECT IN WRITING BY EMAIL OR FAX: andrew@fischerarchitecture.com**

26. **DEMOLITION:** THE CONTRACTOR SHALL ENTIRELY DEMOLISH AND REMOVE FROM SITE ANY STRUCTURE OR PORTION THEREOF, OR SITE FEATURE INDICATED TO BE REMOVED.

27. **SALVAGE & RECYCLING:** ALL ITEMS DEEMED SALVAGEABLE OR RECYCLABLE BY THE OWNER WILL EITHER HAVE BEEN INDICATED ON THE DRAWINGS, REMOVED PRIOR TO THE START OF DEMOLITION, OR WILL BE DIRECTED BY THE OWNER TO BE STORED BY THE CONTRACTOR AND SHALL REMAIN THE PROPERTY OF THE OWNER. ITEMS TO BE RELOCATED WILL HAVE BEEN INDICATED ON THE DRAWINGS. REFER TO CITY RECYCLING AND SALVAGING REQUIREMENTS ON FOLLOWING PAGES.

28. **DESIGN BUILD:** ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK SHALL BE DESIGN BUILD BASED ON THE INFORMATION PROVIDED IN THE CONSTRUCTION DOCUMENTS.

29. Contractor shall submit a list of paints, primers, sealants, caulking, and adhesives installed within the interior of the building. List to include material type (per CALGreen tables 4.504.1 and 4.504.3) manufacturer name, model name/number, VOC amount, and CALGreen VOC not to exceed limit per product. *

30. **PROJECT CLOSEOUT:**

A. **CONTRACTOR SHALL REVIEW PROJECT WITH ARCHITECT AND/OR OWNER TO ENSURE THAT ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS HAVE BEEN FOLLOWED.**

B. **CONTRACTOR SHALL OBTAIN ALL REQUIRED CERTIFICATES AND NOTICES.**

C. **ALL WORK PERFORMED SHALL BE CLEAN AND READY FOR USE.**

D. **UPON SUBSTANTIAL COMPLETION, THE ARCHITECT SHALL, AT THE CONTRACTOR'S WRITTEN REQUEST, COMPILER A PROJECT PUNCH LIST NOTING ANY CORRECTIONS OR OMISSIONS. ARCHITECT'S ACCEPTANCE WILL BE CAUSE FOR FINAL PAYMENT, UNLESS SPECIFICALLY DETERMINED OTHERWISE BY OWNER.**

PROJECT DESCRIPTION

Remodel of existing detached Studio building.

Exterior alterations include replacing one window on the east elevation, removing an existing window and existing door on the south elevation and adding new multi-panel folding doors, adding one venting skylight in the existing roof, locating a new heat pump on the site, addition of a new concrete landing, and repair of the existing wooden fence.

Interior alterations include creating a bathroom and kitchenette, new electrical and HVAC, new finishes.

PROJECT INFORMATION

Project Address: 8 Greenwood Common
Berkeley, CA 94708

APN: 058 224400211

Zoning District: R-1H

Construction Type: V-B

Occupancy Type: R-3

Parking Spaces: 1 covered

Number of Stories: 1 (residence); 1 (studio)

House:

Front Yard Setback: 20' required; 21'-0" existing

Side Yard Setback: 4' required; 4'-5" existing (north)/

11'-1" existing (south)

Rear Yard Setback: 20' required, 8'-5" existing

Studio/Carport:

Front Yard Setback: 6'-1" existing

Side Yard Setback: 0" existing (north)

Building Height: 8'-9" existing (12' max allowed)

Lot Area: 4800 sf

Gross Floor Area-existing: 1565 sf (residence); 251 sf (studio) = 1816 gsf total

Gross Floor Area-proposed: 1565 sf (residence); 251 sf (studio) = 1816 gsf total
[no change]

Applicable Codes: 2019 CBC, CRC, CEC, CPC, CMC, CFC

Fire Zone/WUI: 2/Yes

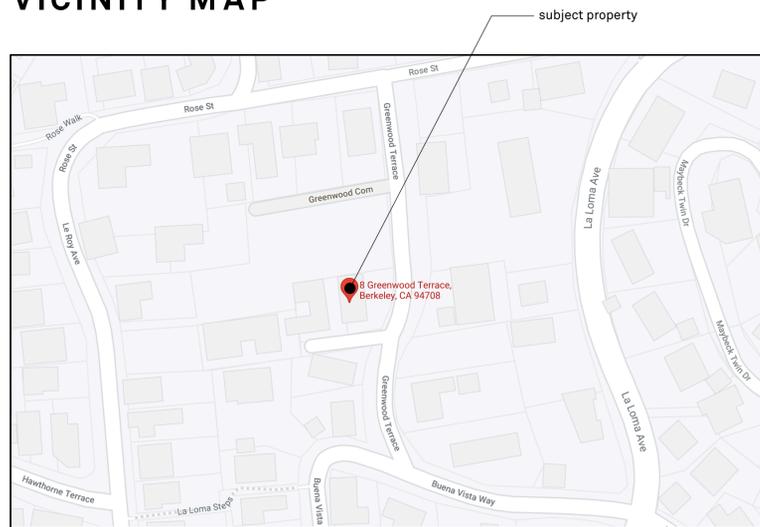
Sprinkler System: No

Fire Alarm System: No

ADJACENT NEIGHBOR OUTREACH

Name	Address	Renter/ Owner	Date	Have no objections	Comments
Red Koeth	1 Greenwood Common	owner	4 Feb 2022	NO objection	
Nancy and James Russell Gardner Nugent	2 Greenwood Common	owner	1/30/22	NO OBJECTION	
Katinka Wyle	3 Greenwood Common	owner	2 Feb/22	NO objection	
SP Master	4 Greenwood Common	owner	5 Feb 22	NO objection	
	7 Greenwood Common			NO RESPONSE	
Mosko Spin Marcus von Eschel	9 Greenwood Common	owners	1/30/22	NO objection	
DAN & KATE FUNK DeFunk	10 Greenwood Common	owner	1/29/22	NO OBJECTION	
	1459 Greenwood Terrace			NO RESPONSE	
Tina/ Dennis Echeverry	1471 Greenwood Terrace	owner	2/16/22	no objection	
Matt White/ Sarah Holtzman	1476 Greenwood Terrace	owner	2/14/22	no objection	

VICINITY MAP



SYMBOLS/ ABBREVIATIONS

	Exterior Elevation / Section Cut	ga	gauge
	Detail Key	galv	galvanized
	Room Name / Number	gyp. bd.	gypsum board
	Door Number	hr	hour
	Window Number	ht	height
	Elevation Marker	max	maximum
adj	adjustable	mech	mechanical
af.f.	above finished floor	manuf	manufacturer
blkg	blocking	min	minimum
CL	center line	mtl	metal
clng	ceiling	min	minimum
clr	clear	mtl	metal
dim	dimension	NIC	not in contract
DN	down	NTS	not to scale
dtl	detail	(n)	new
dwg	drawing(s)	o.c.	on center
ea	each	opp	opposite
el	elevation (height)	o/	over
elect	electrical	PL	property line
elevs	elevation (drawings)	ply	plywood
eq	equal	ptd	painted
(e)	existing	r	radius
ext	exterior	req'd	required
f.b.o.	furnished by owner	r.o.	rough opening
f.f.	finished floor	s.s.d.	see structural drawings
fluor	fluorescent	s.c.d.	see civil drawings
		s.l.d.	see landscape drawings
		sim	similar
		st. stl.	stainless steel
		st.	steel
		std	standard
		(t)	tempered glass
		t.b.d.	to be determined
		thru	through
		t.o.	top of
		typ.	typical
		ver	verify
		v.i.f.	verify in field
		w.o.	where occurs
		u.o.n.	unless otherwise noted
		UP	up

PROJECT TEAM

OWNER
Cindy and Rory Reid
8 Greenwood Common
Berkeley, CA 94708

ARCHITECT
Fischer Architecture
2984 San Pablo Avenue
Berkeley, CA 94702
tel. 510.204.9250
Kerstin Fischer, Principal
Andrew Fischer, Principal

STRUCTURAL ENGINEER
Berkeley Structural Design
1411 Glendale Avenue
Berkeley, CA 94708
tel. 510.981.1053
Bill Lynch, Principal

GENERAL CONTRACTOR
Olson Brothers, Inc.
706 Rincon Road
El Sobrante, CA 94803
tel 510.375.9211
Gordon Olson, President

SHEET INDEX

Architectural Drawings

- A0.1 Project Data / Site Plan
- A1.0 Existing Floor Plan Proposed Demolition
- A1.1 Existing Elevations Proposed Demolition
- A1.2 Existing Elevations Proposed Demolition
- A2.0 Proposed Floor Plan
- A3.0 Proposed Elevations
- A3.1 Proposed Elevations

FISCHER ARCHITECTURE

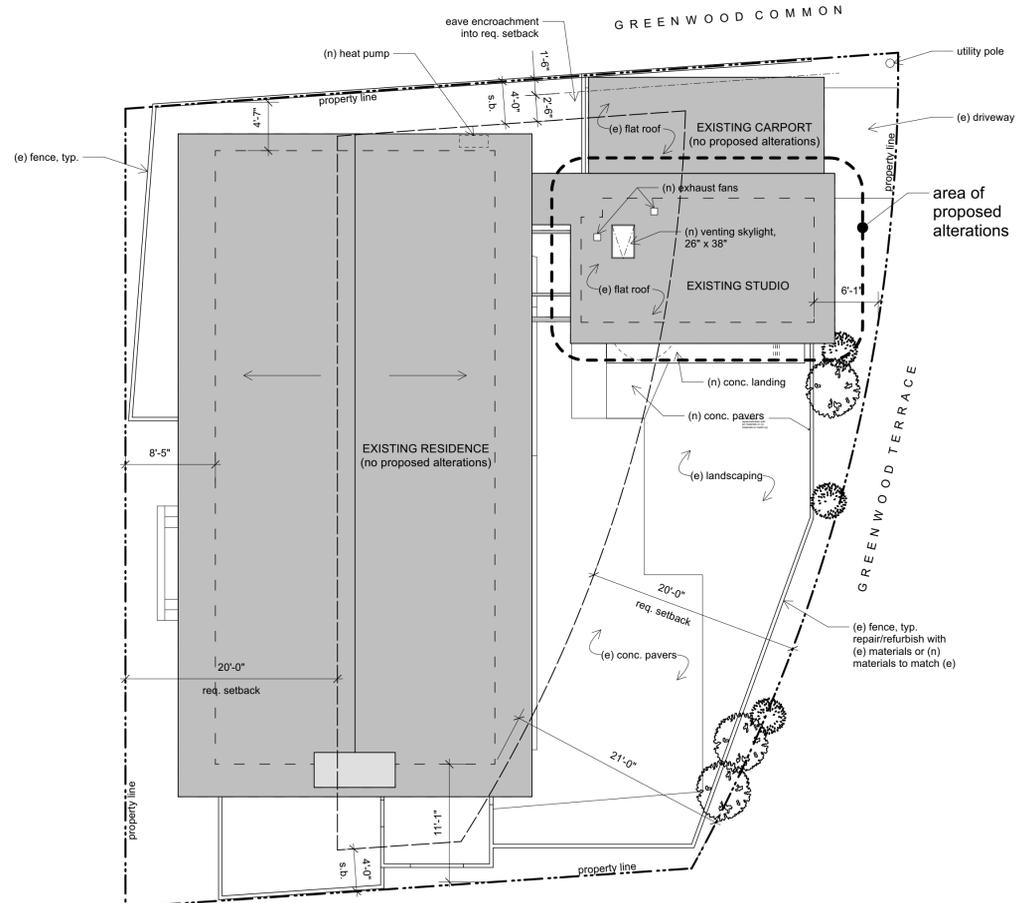
tel 510.204.9250 | fischerarchitecture.com
2984 San Pablo Ave, Berkeley, CA 94702

REID RESIDENCE
8 GREENWOOD COMMON
BERKELEY, CA 94708
APN: 058 224400211

REV.	DATE	ISSUE	DRWN.
	1.29.22	AUP / SAP Submittal	KF

DESCRIPTION
PROJECT DATA & INFORMATION
SITE PLAN

SHEET



SITE/ROOF PLAN

SCALE: 1/8" = 1'-0"

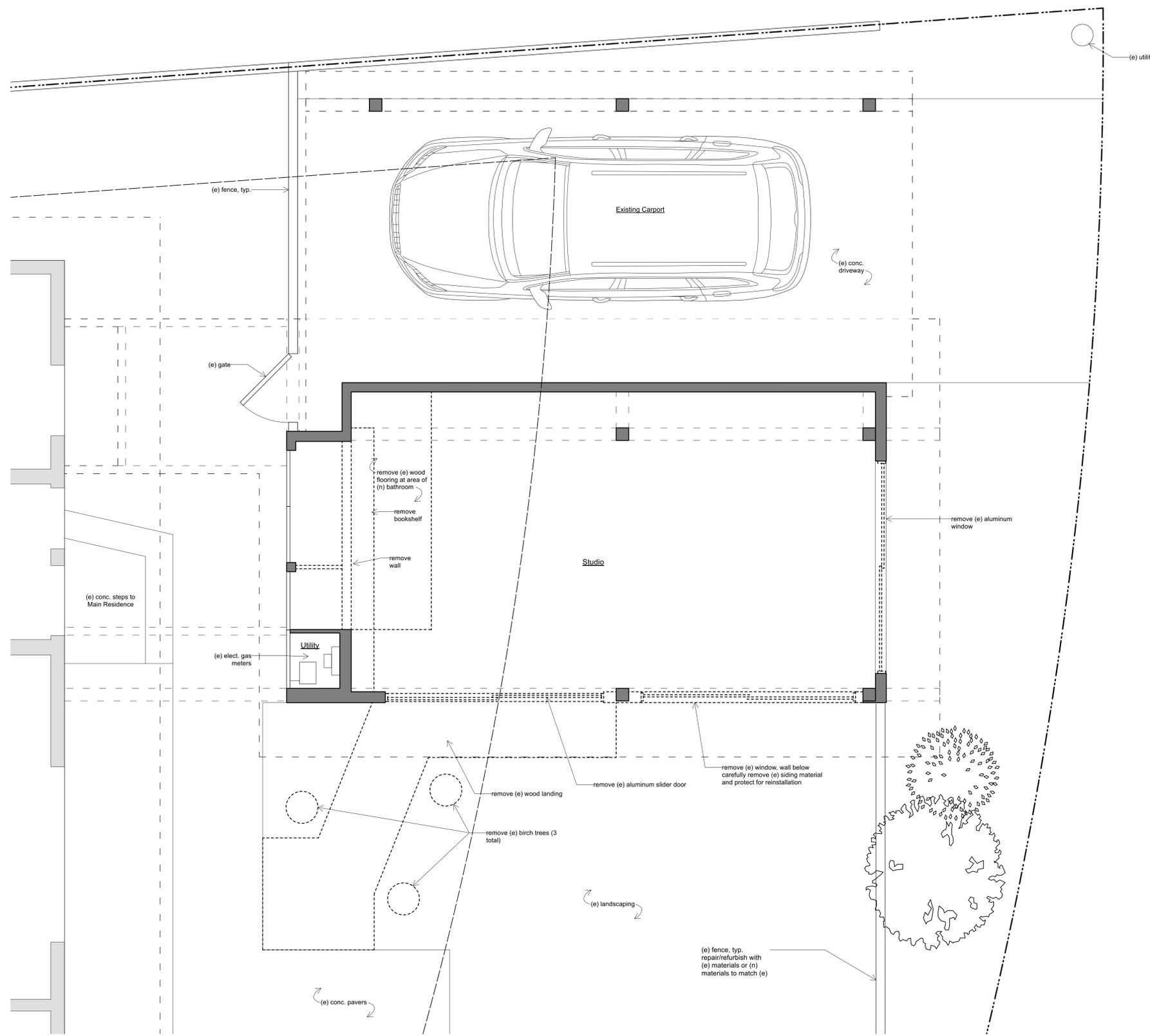
A0.1

LEGEND

- Existing Wall, Fence, or Fixture to be Removed
- Existing Wall to Remain

NOTES:

1.--



FISCHER ARCHITECTURE

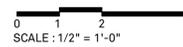
tel 510.204.9250 | fischerarchitecture.com
2984 San Pablo Ave, Berkeley, CA 94702

REID RESIDENCE
8 GREENWOOD COMMON
BERKELEY, CA 94708
APN: 058 224400211

REV.	DATE	ISSUE	DRWN.
1.	1.29.22	AUP / SAP Submittal	KF

DESCRIPTION
EXISTING FLOOR PLAN PROPOSED DEMOLITION

1. EXISTING FLOOR PLAN PROPOSED DEMOLITION
SCALE: 1/2" = 1'-0"



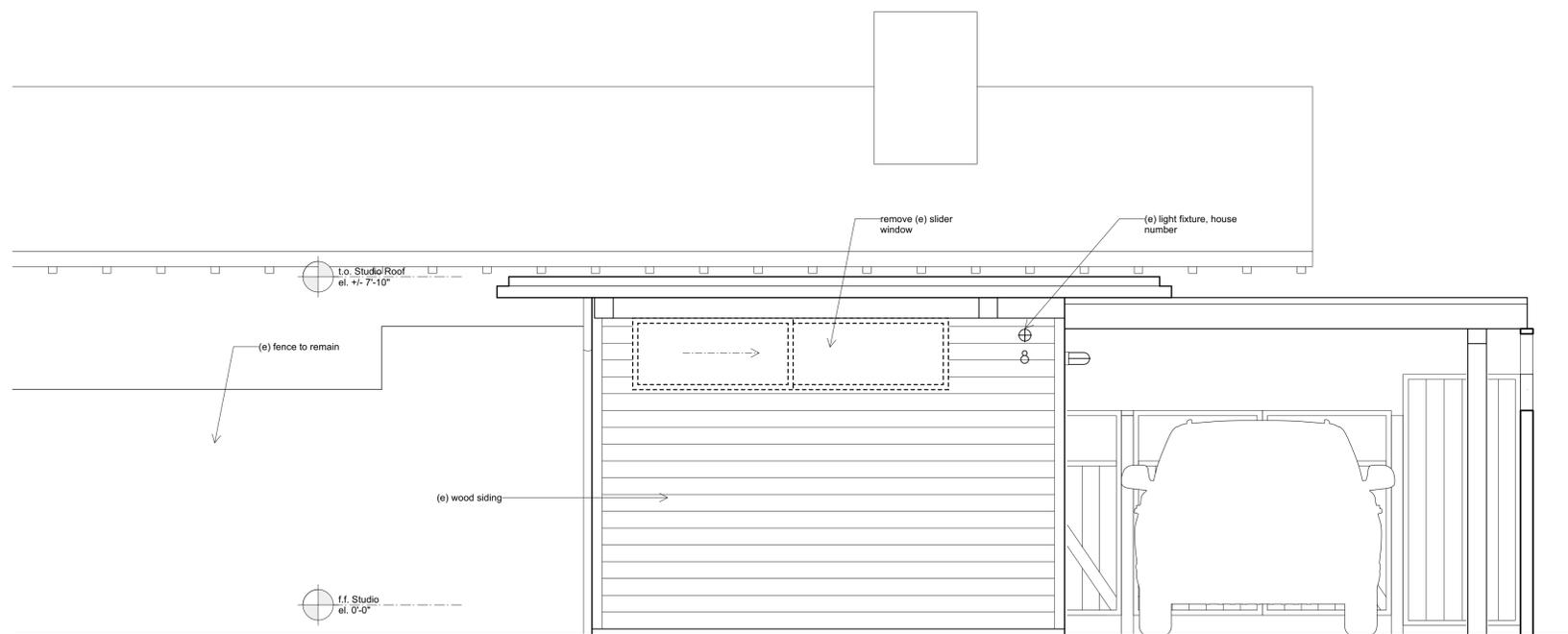
SHEET



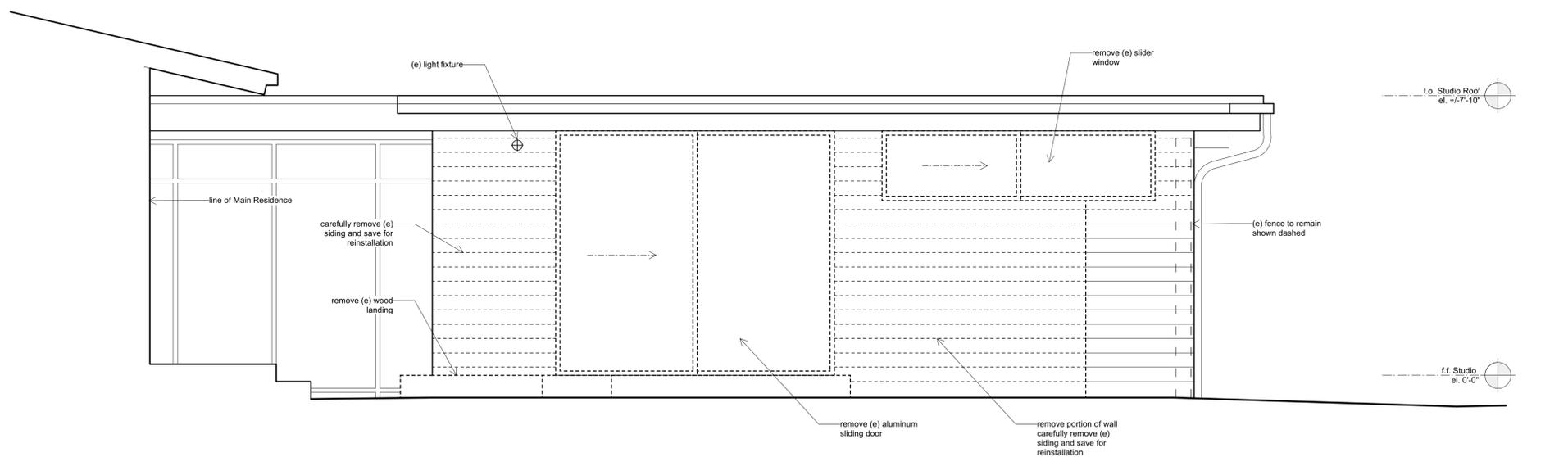
A1.0

LEGEND

Existing Wall, Fence, or Fixture to be Removed



2. EAST ELEVATION - PROPOSED DEMOLITION
SCALE: 1/2" = 1'-0"



1. SOUTH ELEVATION - PROPOSED DEMOLITION
SCALE: 1/2" = 1'-0"

FISCHER ARCHITECTURE

tel 510.204.9250 | fischerarchitecture.com
2984 San Pablo Ave, Berkeley, CA 94702

REID RESIDENCE
8 GREENWOOD COMMON
BERKELEY, CA 94708
APN: 058 224400211

REV.	DATE	ISSUE	DRWN.
1.	1.29.22	AUP / SAP Submittal	KF

DESCRIPTION
EXISTING ELEVATIONS PROPOSED DEMOLITION

0 1 2 4
SCALE: 1/2" = 1'-0"

SHEET

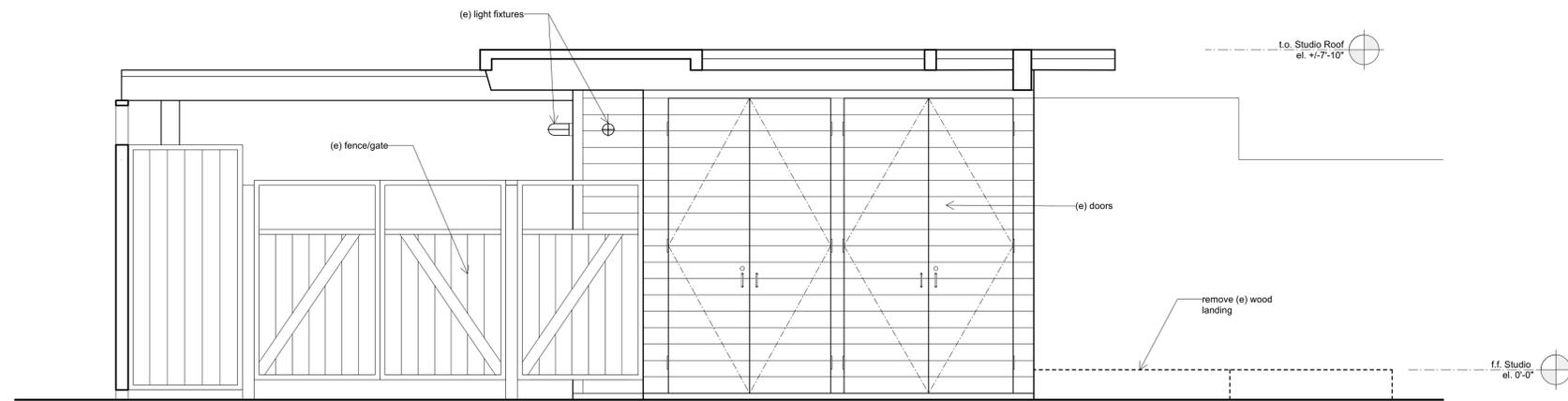


A1.1

LEGEND

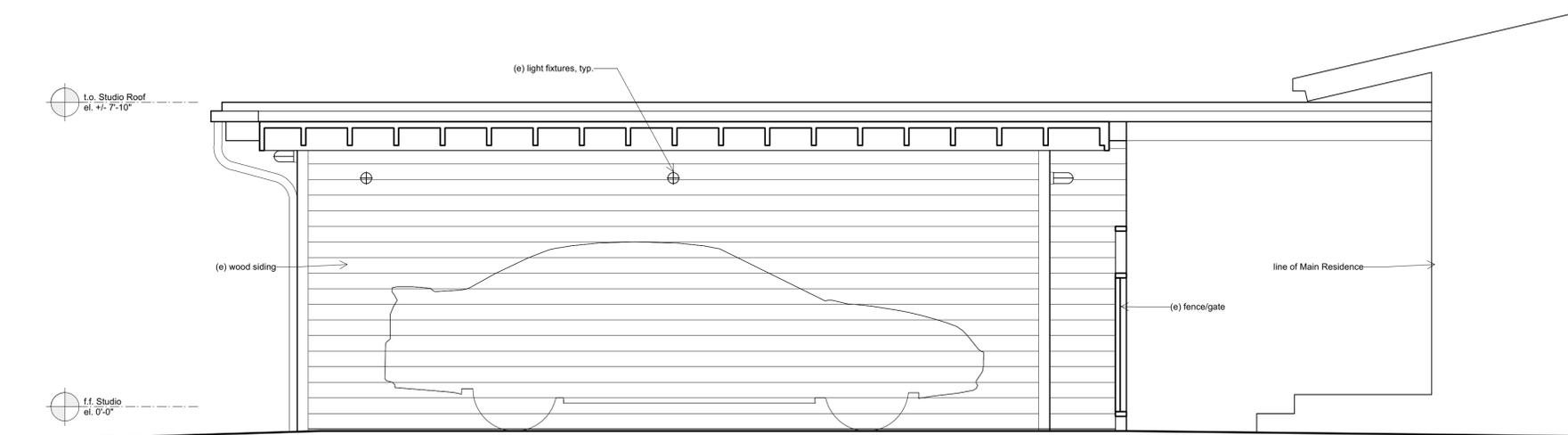
Existing Wall, Fence, or Fixture to be Removed

NOTE:
No Work Proposed to West Elevation



2. WEST ELEVATION - EXISTING
SCALE: 1/2" = 1'-0"

NOTE:
No Work Proposed to North Elevation



1. NORTH ELEVATION - EXISTING
SCALE: 1/2" = 1'-0"

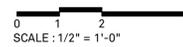
FISCHER ARCHITECTURE

tel 510.204.9250 | fischerarchitecture.com
2984 San Pablo Ave, Berkeley, CA 94702

REID RESIDENCE
8 GREENWOOD COMMON
BERKELEY, CA 94708
APN: 058 224400211

REV.	DATE	ISSUE	DRWN.
1.	1.29.22	AUP / SAP Submittal	KF

DESCRIPTION
EXISTING ELEVATIONS PROPOSED DEMOLITION



SHEET



A1.2

LEGEND

-  New Wall
-  Existing Wall to Remain

NOTES:

1.--

unit size approx. 13" deep x 24" high x 39" wide



SINGLE-ZONE UNIVERSAL HEAT PUMP

Model: **SUZ**

The SUZ Universal Heat Pump is a single-zone outdoor unit compatible with five different indoor unit types in a 1-to-1 configuration. This high-efficiency heat pump is compatible with MLZ EZ FIT Ceiling Cassettes, SLZ Four-way Ceiling Cassettes, SVZ Multi-position Air Handlers, SEZ Low Static Horizontal-ducted Indoor Units, and PEAD Mid Static Horizontal-ducted Indoor Units.

Capacities: 9,000 to 36,000 BTU/H

Sound: as low as 48 dB(A)

SEER: up to 22.4

HSPF: up to 13.6

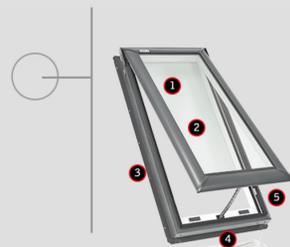
COP: up to 4.2

ENERGY STAR®: most systems

3. HEAT PUMP CUT SHEET , FINAL SPEC TBD

dark bronze finish

Product Details

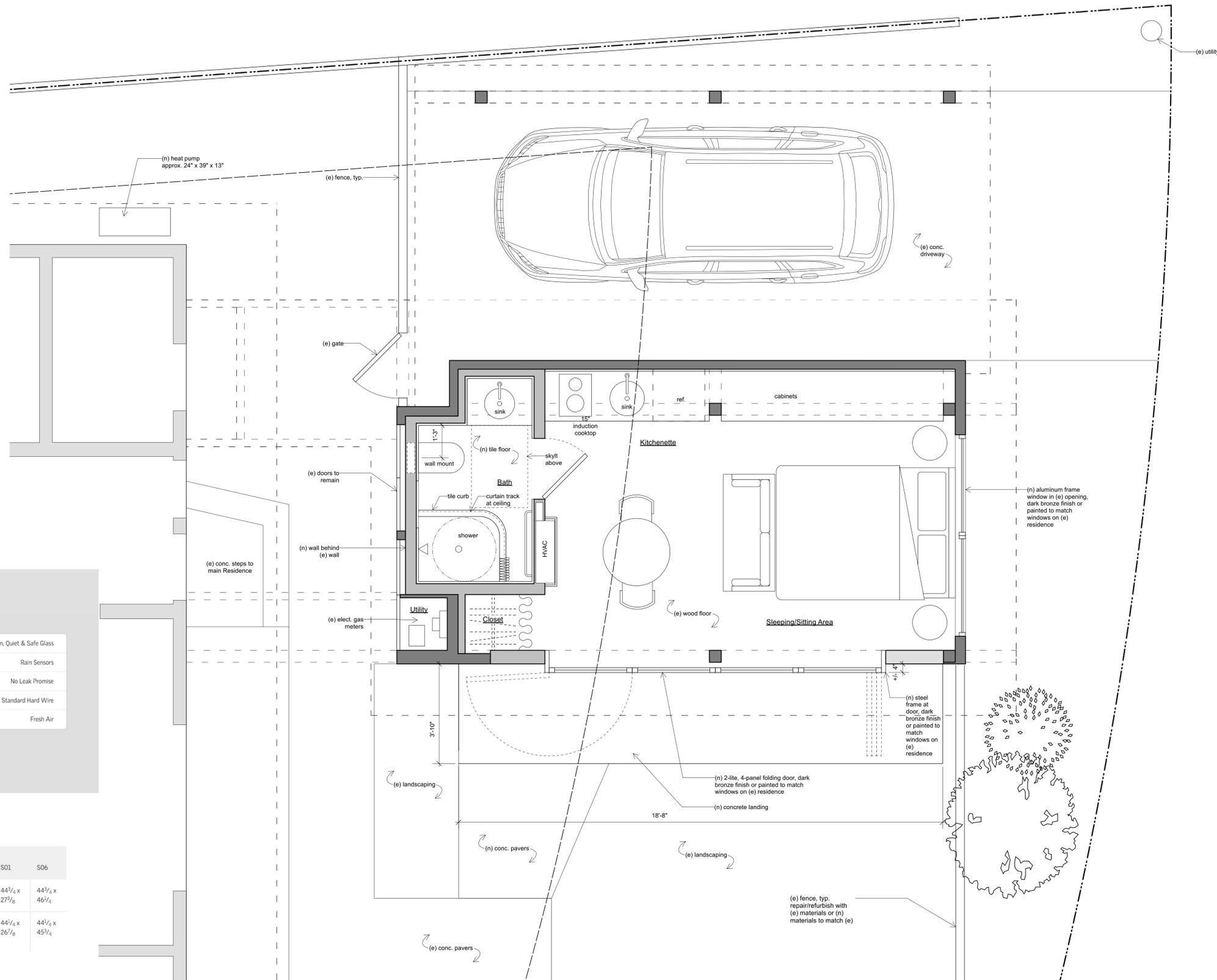


- 1 Clean, Quiet & Safe Glass
- 2 Rain Sensors
- 3 No Leak Promise
- 4 Standard Hard Wire
- 5 Fresh Air

VSE Skylight sizes

VSE Size Code	C01	C04	C06	C08	M04	M06	M08	S01	S06
Outside frame (W"xH")	21 1/2 x 27 3/8	21 1/2 x 38 3/8	21 1/2 x 46 1/4	21 1/2 x 54 1/8	30 7/16 x 38 3/8	30 7/16 x 46 1/4	30 7/16 x 54 1/8	44 3/4 x 27 3/8	44 3/4 x 46 1/4
Rough opening/ Finished frame (W"xH")	21 x 26 7/8	21 x 37 7/8	21 x 45 3/4	21 x 54 1/16	30 1/16 x 37 7/8	30 1/16 x 45 3/4	30 1/16 x 54 1/16	44 1/4 x 26 7/8	44 1/4 x 45 3/4

2. SKYLIGHT CUT SHEET



1. PROPOSED FLOOR PLAN

SCALE: 1/2" = 1'-0"

FISCHER ARCHITECTURE

tel 510.204.9250 | fischerarchitecture.com
2984 San Pablo Ave, Berkeley, CA 94702

REID RESIDENCE
8 GREENWOOD COMMON
BERKELEY, CA 94708
APN: 058 224400211

REV.	DATE	ISSUE	DRWN.
1.29.22		AUP / SAP Submittal	KF

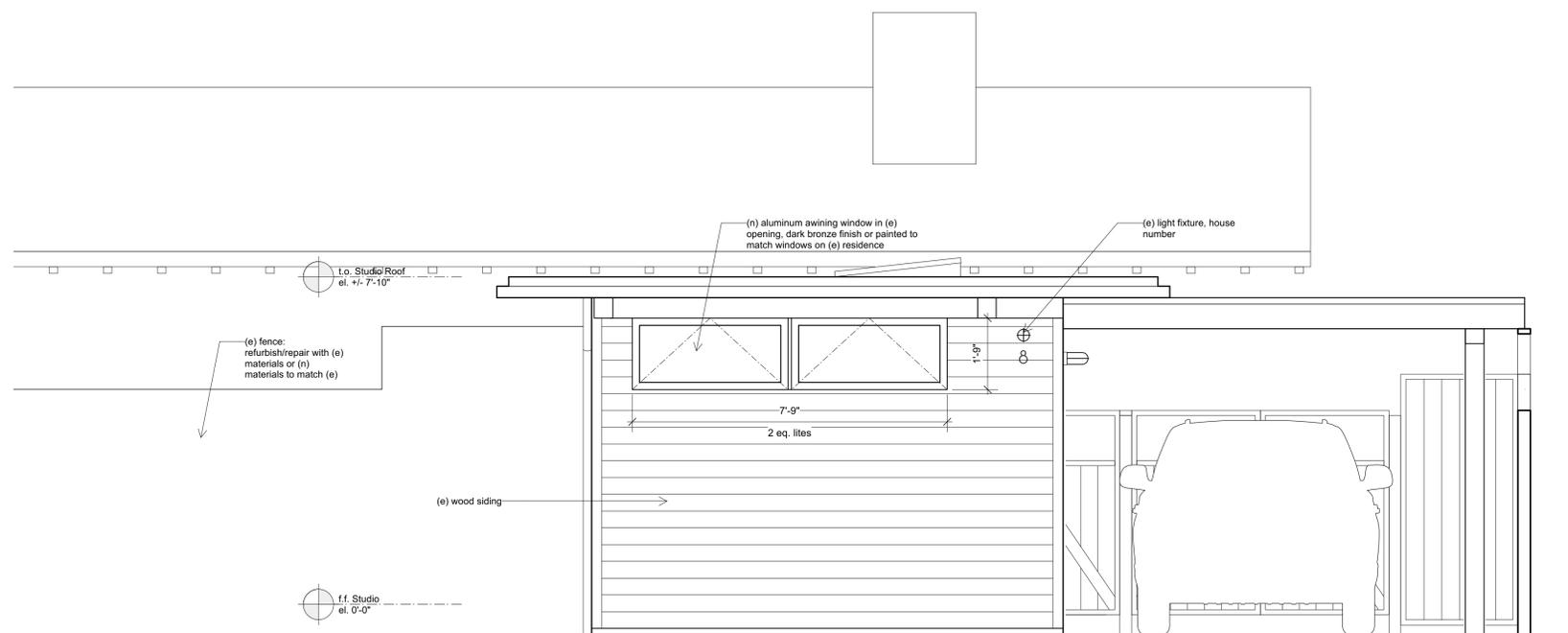
DESCRIPTION
PROPOSED FLOOR PLAN

SHEET

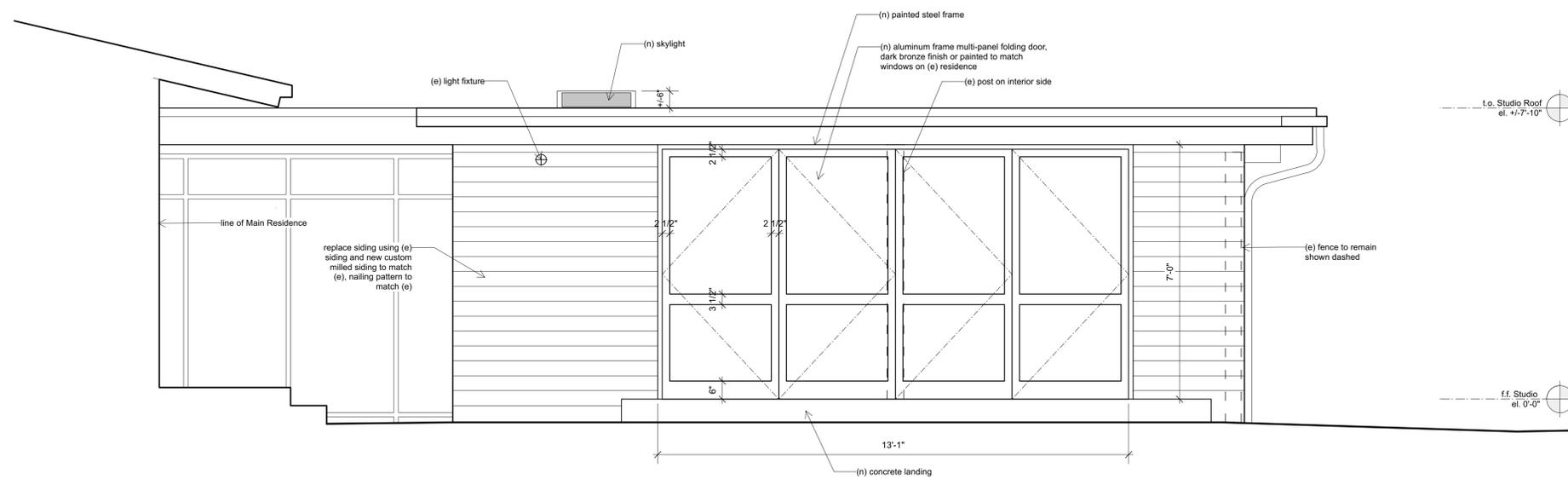


0 1 2 4
SCALE: 1/2" = 1'-0"

A2.0



2. PROPOSED EAST ELEVATION
SCALE: 1/2" = 1'-0"



1. PROPOSED SOUTH ELEVATION
SCALE: 1/2" = 1'-0"

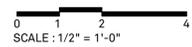
FISCHER ARCHITECTURE

tel 510.204.9250 | fischerarchitecture.com
2984 San Pablo Ave, Berkeley, CA 94702

REID RESIDENCE
8 GREENWOOD COMMON
BERKELEY, CA 94708
APN: 058 224400211

REV.	DATE	ISSUE	DRWN.
1.	1.29.22	AUP / SAP Submittal	KF

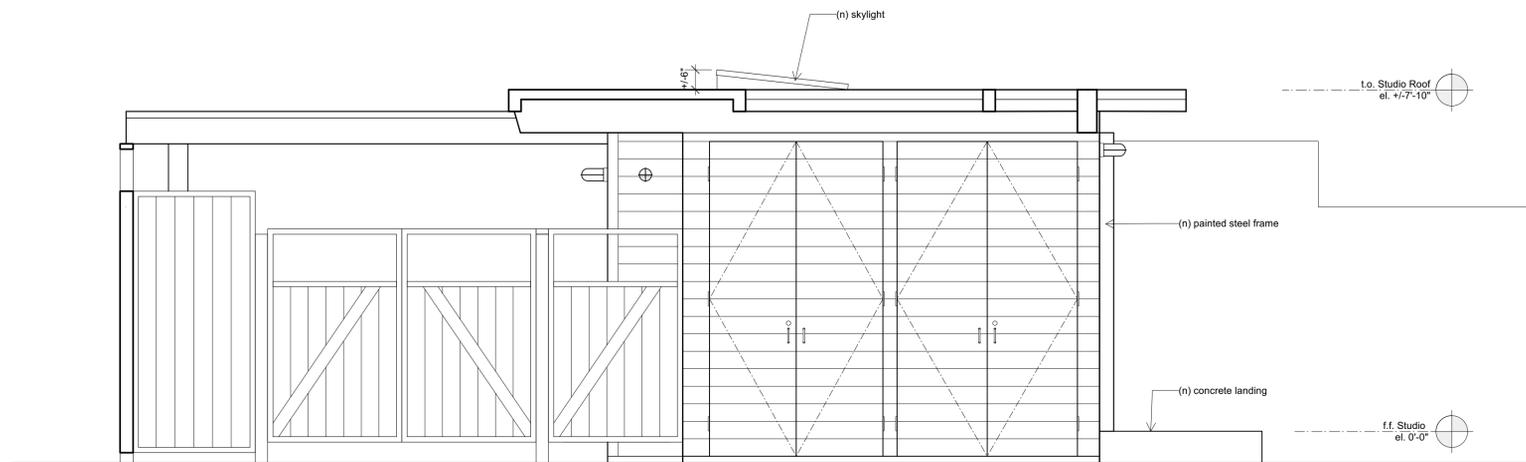
DESCRIPTION
PROPOSED ELEVATIONS



SHEET

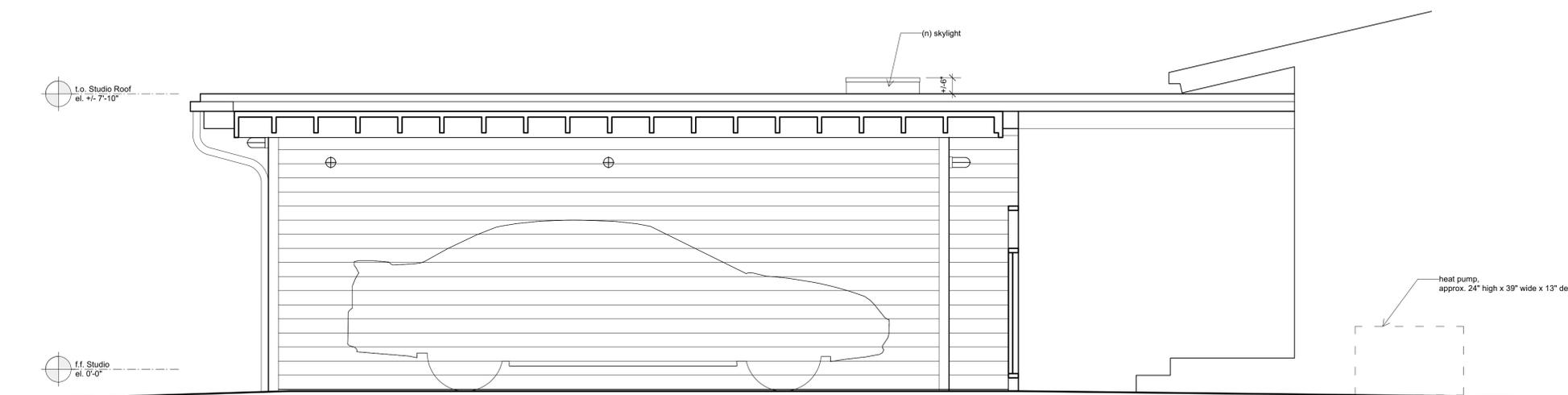


A3.0



2. PROPOSED WEST ELEVATION

SCALE: 1/2" = 1'-0"



1. PROPOSED NORTH ELEVATION

SCALE: 1/2" = 1'-0"

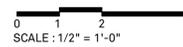
FISCHER ARCHITECTURE

tel 510.204.9250 | fischerarchitecture.com
2984 San Pablo Ave, Berkeley, CA 94702

REID RESIDENCE
8 GREENWOOD COMMON
BERKELEY, CA 94708
APN: 058 224400211

REV.	DATE	ISSUE	DRWN.
1.	1.29.22	AUP / SAP Submittal	KF

DESCRIPTION
PROPOSED ELEVATIONS



SHEET



A3.1

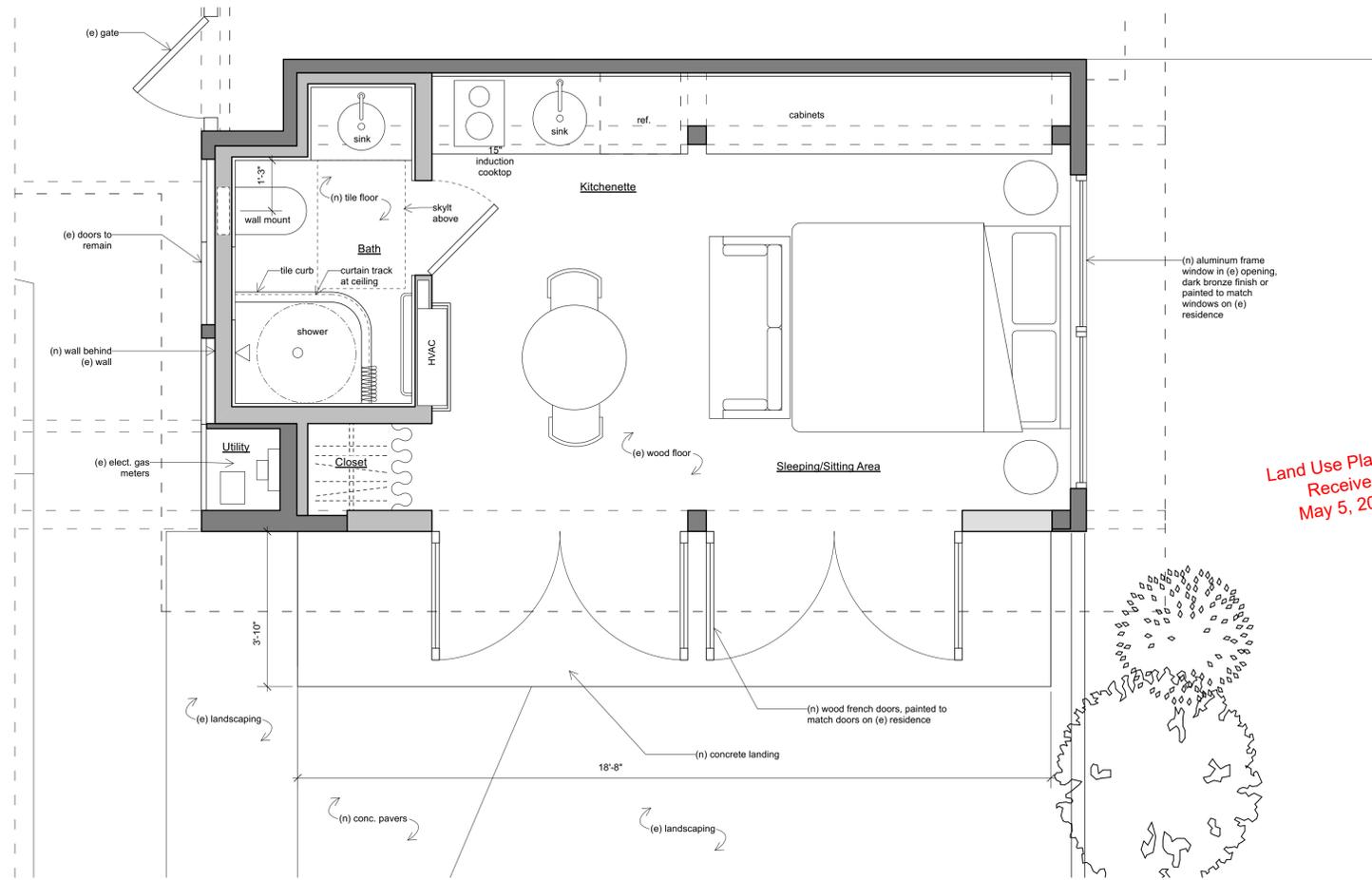
LEGEND

- New Wall
- Existing Wall to Remain

NOTES:

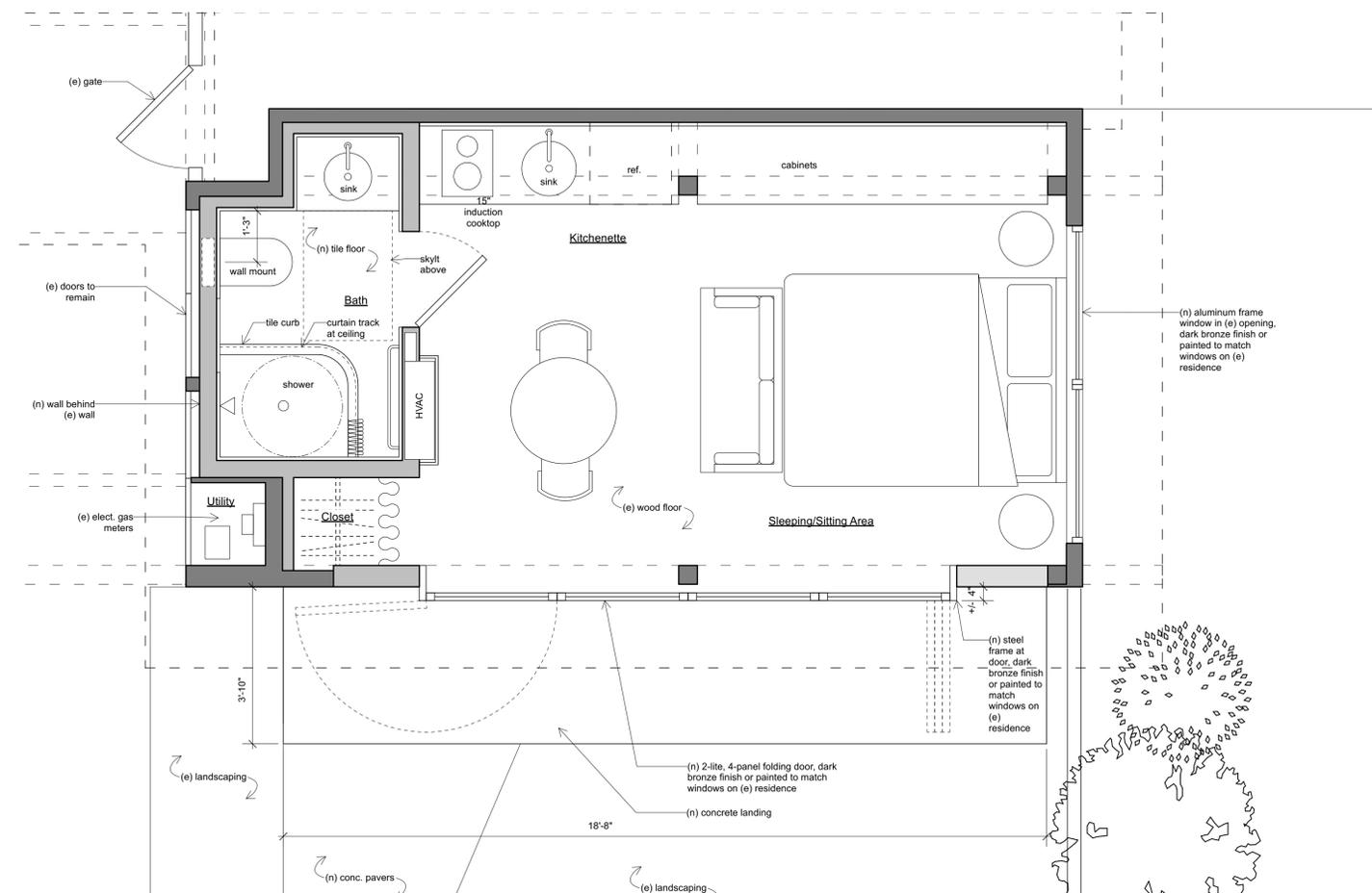
1.--

**2. PROPOSED FLOOR PLAN- ALTERNATE
WITH 2 PAIR WOOD FRENCH DOORS**
SCALE: 1/2" = 1'-0"



Land Use Planning
Received
May 5, 2022

**1. PROPOSED FLOOR PLAN- ORIGINAL
WITH 4-PANEL FOLDING/SLIDING DOOR**
SCALE: 1/2" = 1'-0"



**FISCHER
ARCHITECTURE**

tel 510.204.9250 | fischerarchitecture.com
2984 San Pablo Ave, Berkeley, CA 94702

REID RESIDENCE
8 GREENWOOD COMMON
BERKELEY, CA 94708
APN: 058 224400211

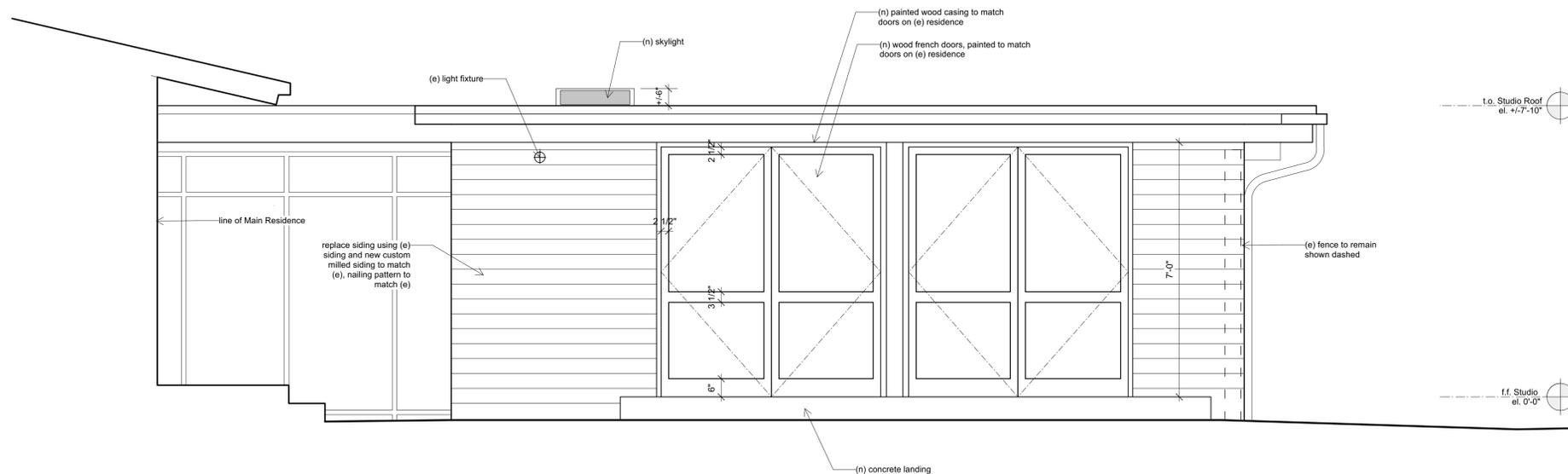
REV.	DATE	ISSUE	DRWN.
	5.5.22	LPC Hearing	KF

DESCRIPTION
PROPOSED FLOOR PLAN

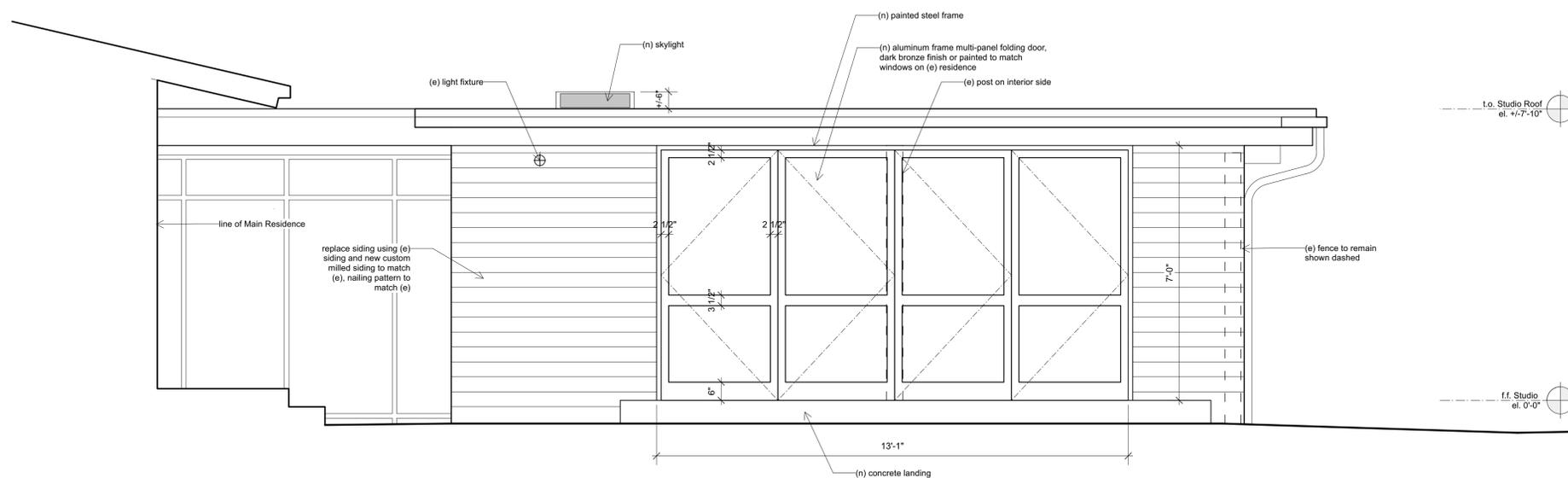
SCALE: 1/2" = 1'-0"

SHEET





2. PROPOSED FLOOR PLAN- ALTERNATE WITH 2 PAIR WOOD FRENCH DOORS
SCALE: 1/2" = 1'-0"



1. PROPOSED FLOOR PLAN- ORIGINAL WITH 4-PANEL FOLDING/SLIDING DOOR
SCALE: 1/2" = 1'-0"

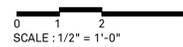
FISCHER ARCHITECTURE

tel 510.204.9250 | fischerarchitecture.com
2984 San Pablo Ave, Berkeley, CA 94702

REID RESIDENCE
8 GREENWOOD COMMON
BERKELEY, CA 94708
APN: 058 224400211

REV.	DATE	ISSUE	DRWN.
	5.5.22	LPC Hearing	KF

DESCRIPTION
PROPOSED ELEVATIONS



SHEET