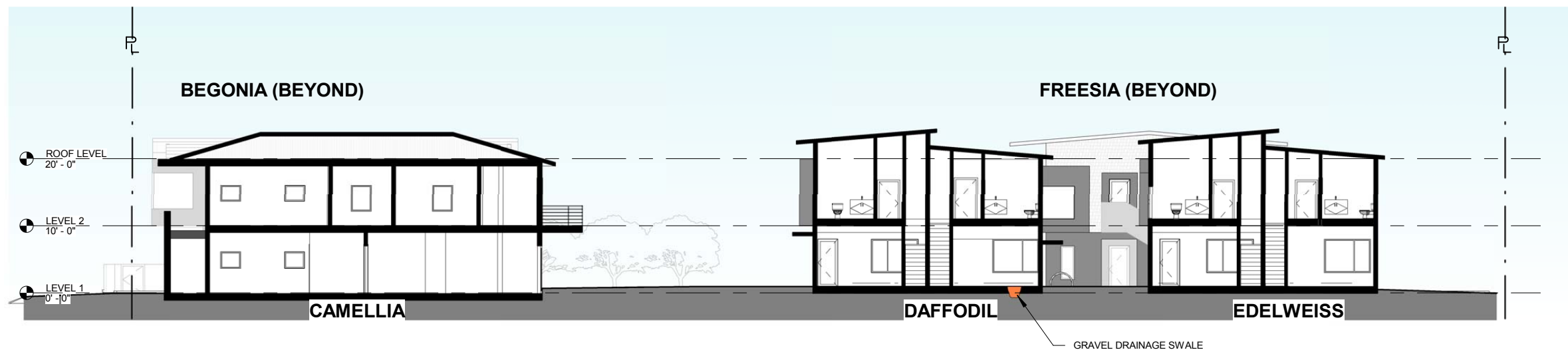
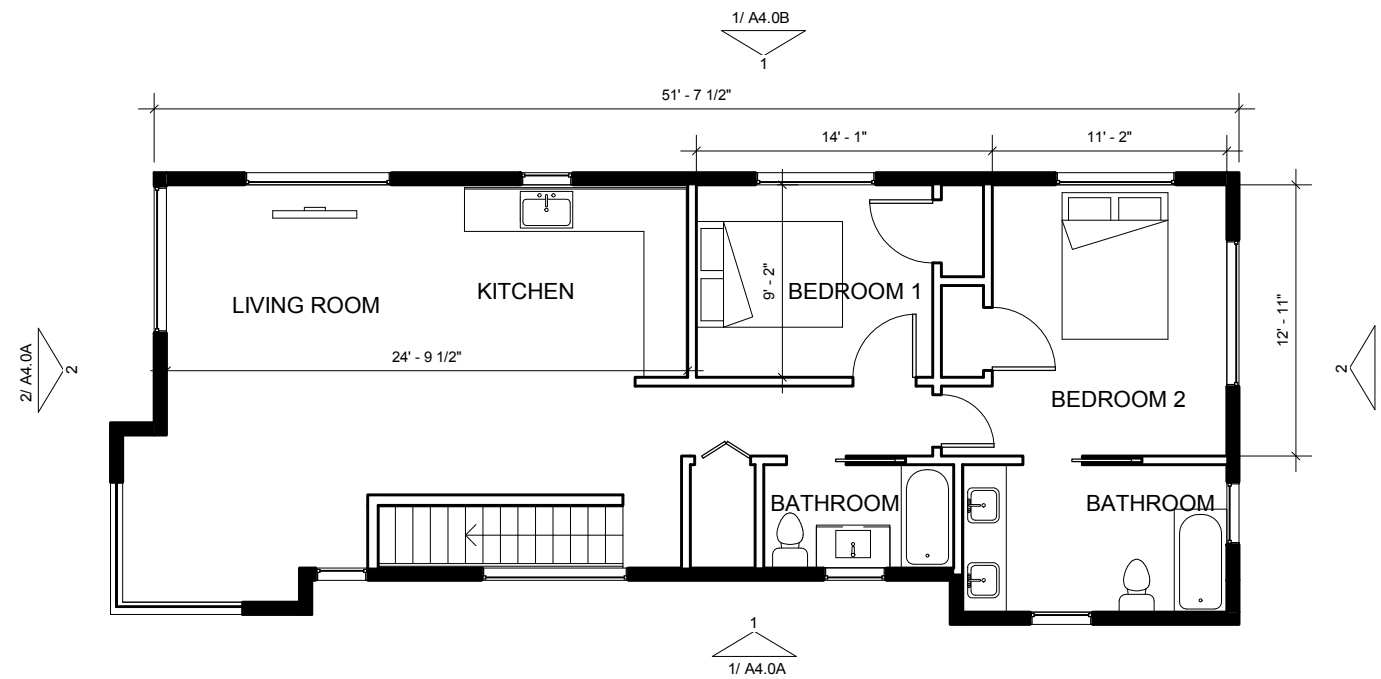


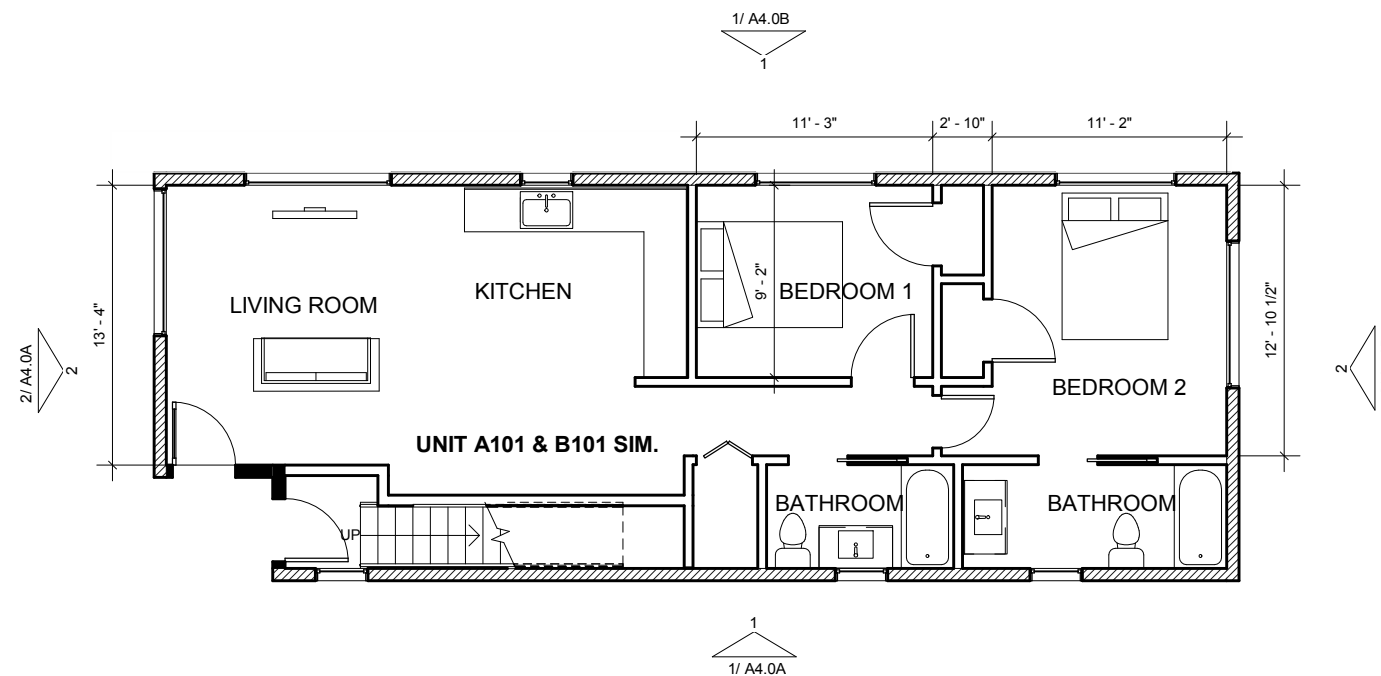
1 Building Section Looking West Through Parking
 1/16" = 1'-0"



2 Building Section Looking West
 1/16" = 1'-0"

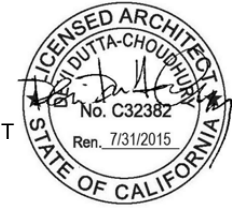






**PROPOSED - AZALEA, BEGONIA,
 LEVEL 2**



**PROPOSED - AZALEA & BEGONIA
 LEVEL 1**

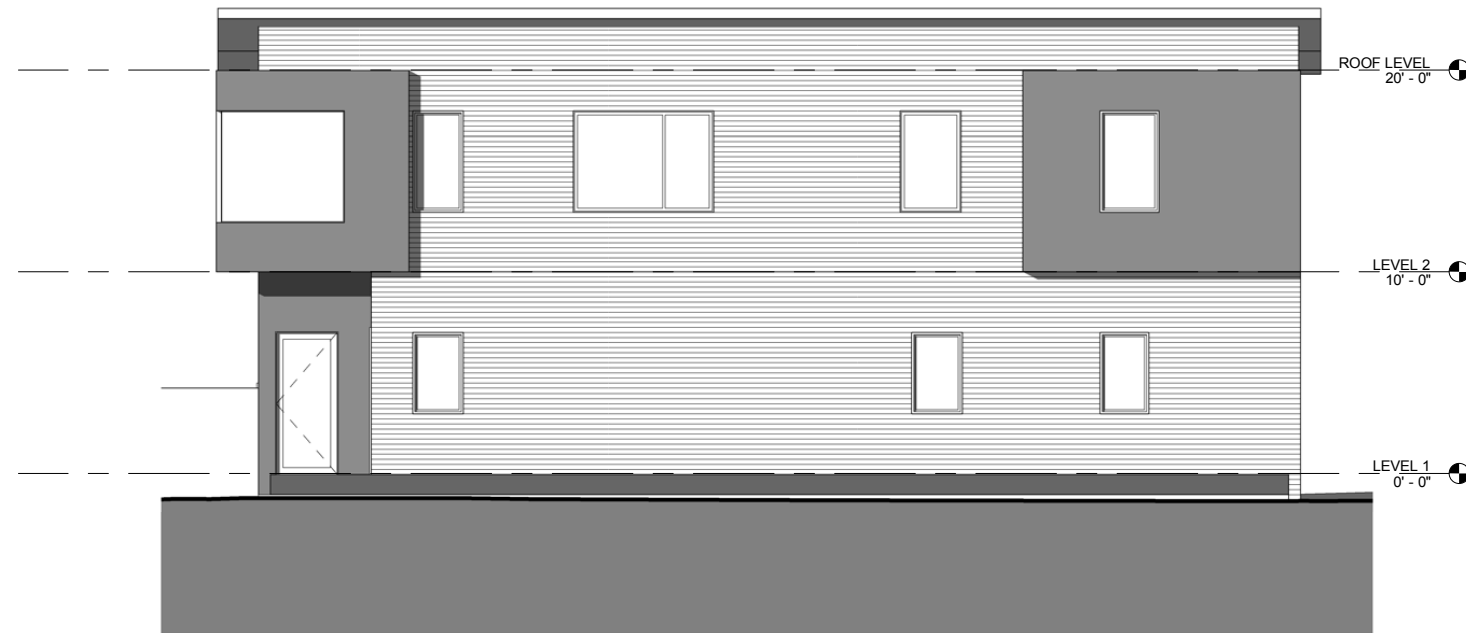
- LEGEND**
- NEW EXTERIOR WALL
 - (E) WALL
 - NEW INTERIOR WALL
 - SEE SITE PLAN FOR NON-CONFORMING SETBACKS



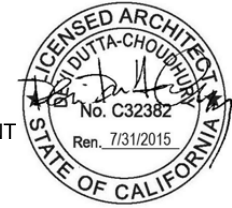
- MATERIAL LEGEND**
-  PAINTED WOOD SIDING
 -  WOOD PATTERNED FIBER CEMENT
 -  CEMENT PLASTER
 -  CEMENT PLASTER







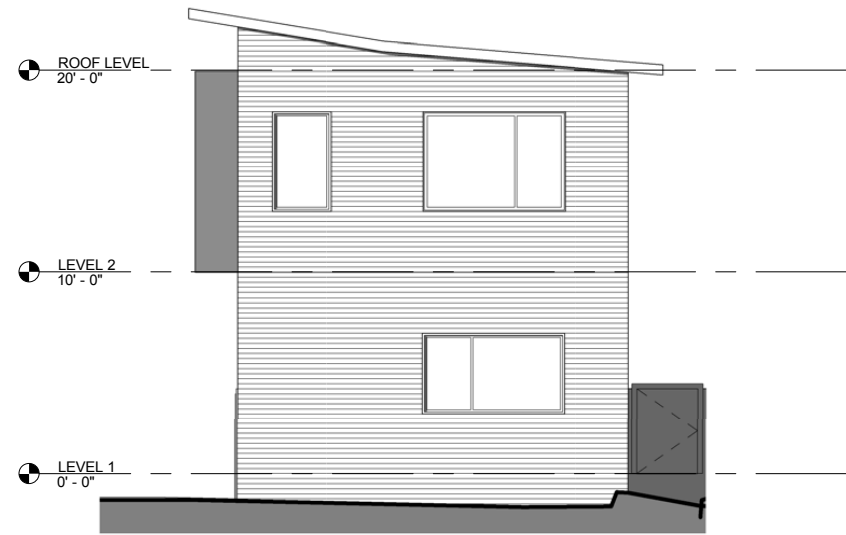
2 AZALEA SOUTH ELEVATION
 1/8" = 1'-0"



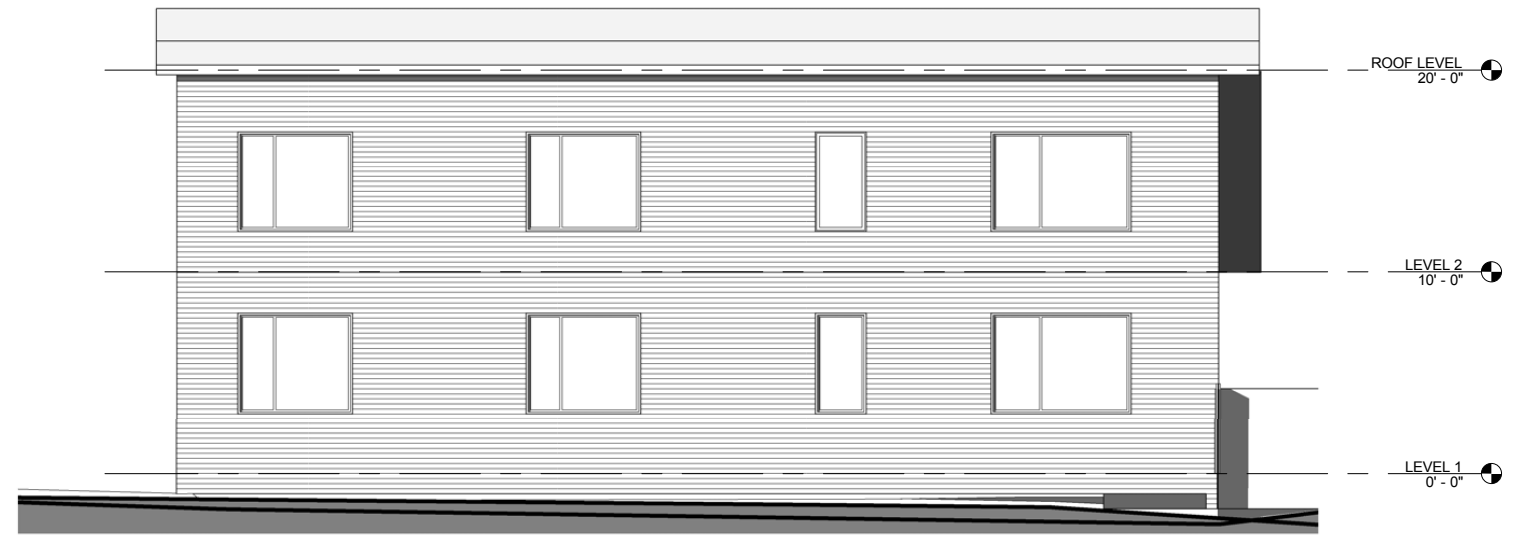
1 AZALEA EAST ELEVATION
 1/8" = 1'-0"



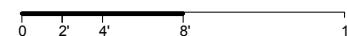
- MATERIAL LEGEND**
-  PAINTED WOOD SIDING
 -  WOOD PATTERNED FIBER CEMENT
 -  CEMENT PLASTER
 -  CEMENT PLASTER

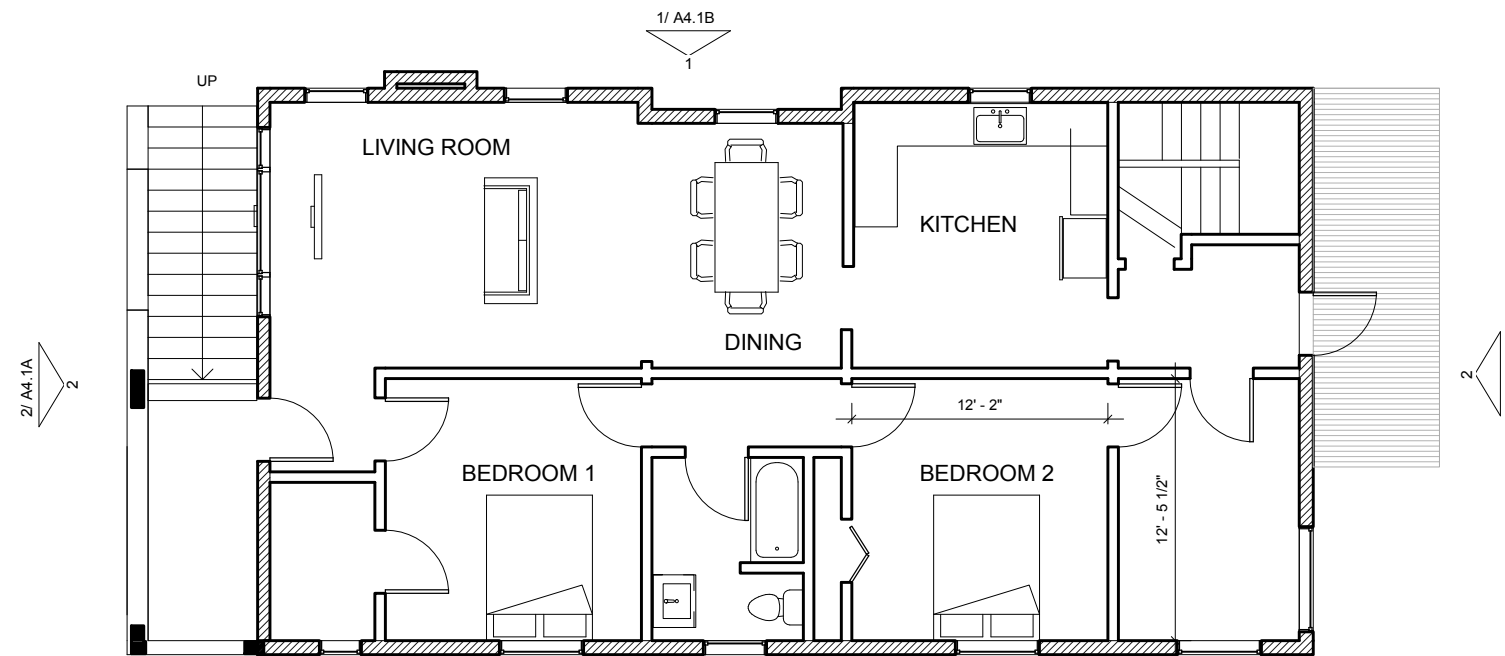


2 AZALEA NORTH ELEVATION
 1/8" = 1'-0"



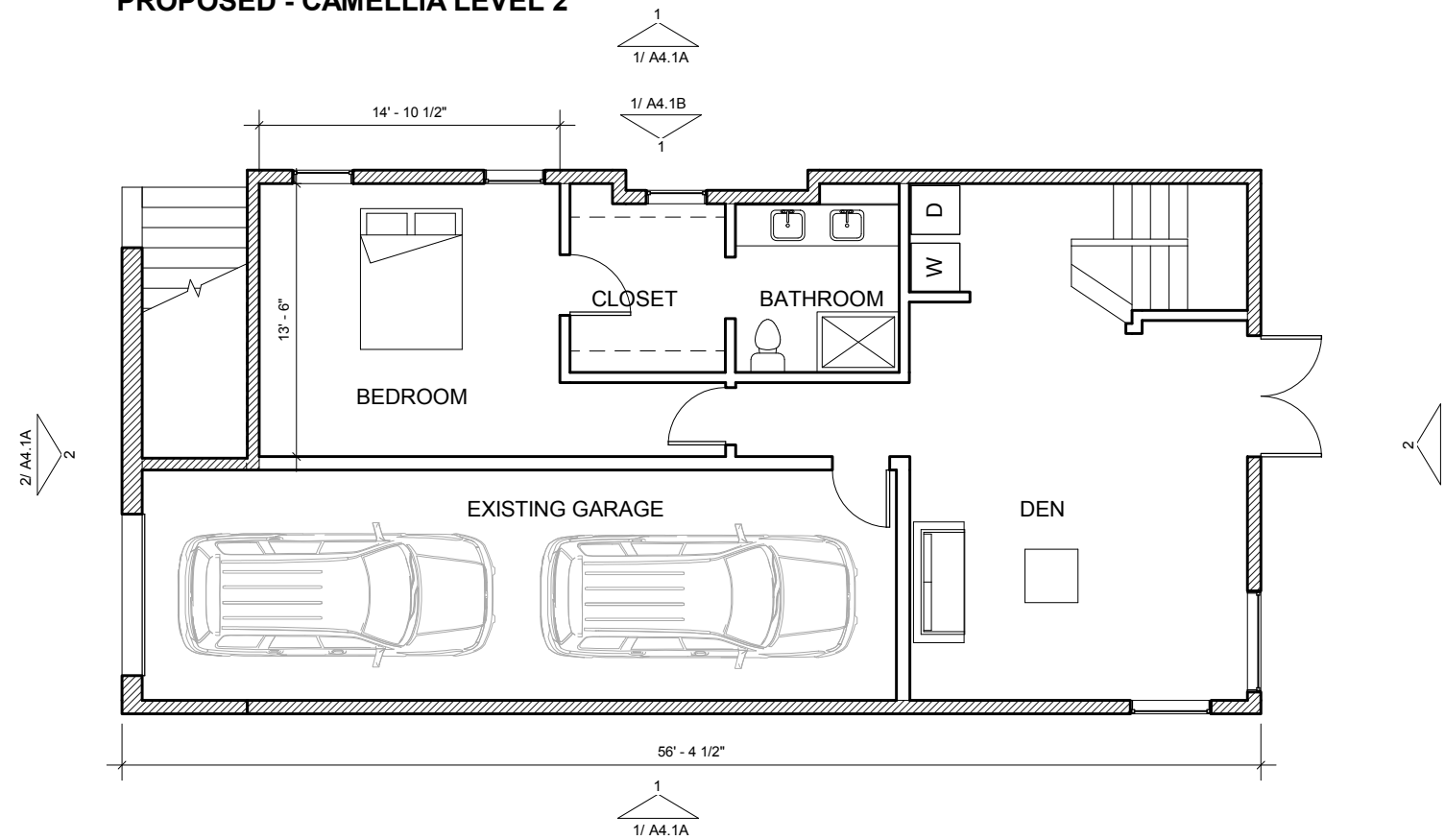
1 AZALEA WEST ELEVATION
 1/8" = 1'-0"



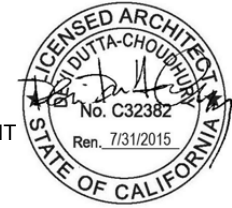






- LEGEND**
- NEW EXTERIOR WALL
 - (E) WALL
 - NEW INTERIOR WALL
 - SEE SITE PLAN FOR NON-CONFORMIT

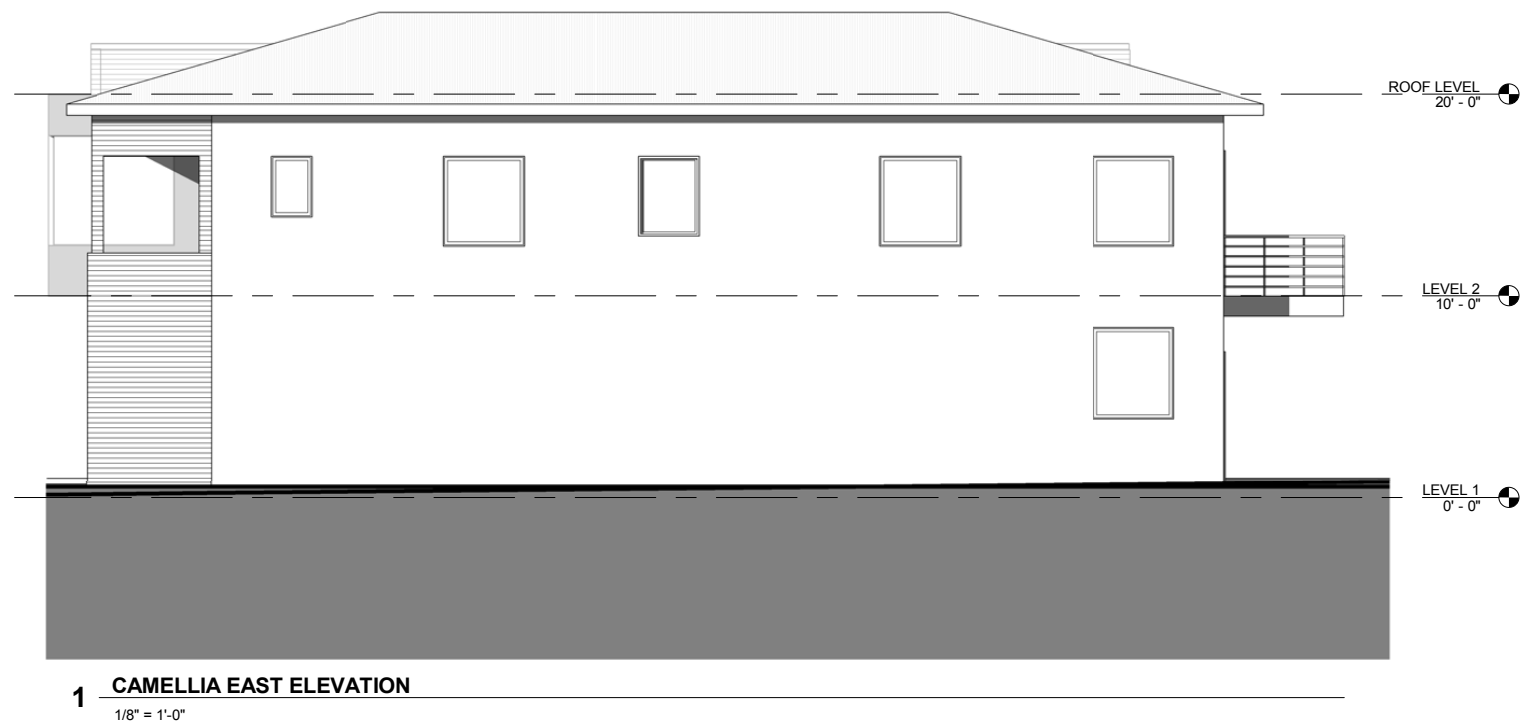
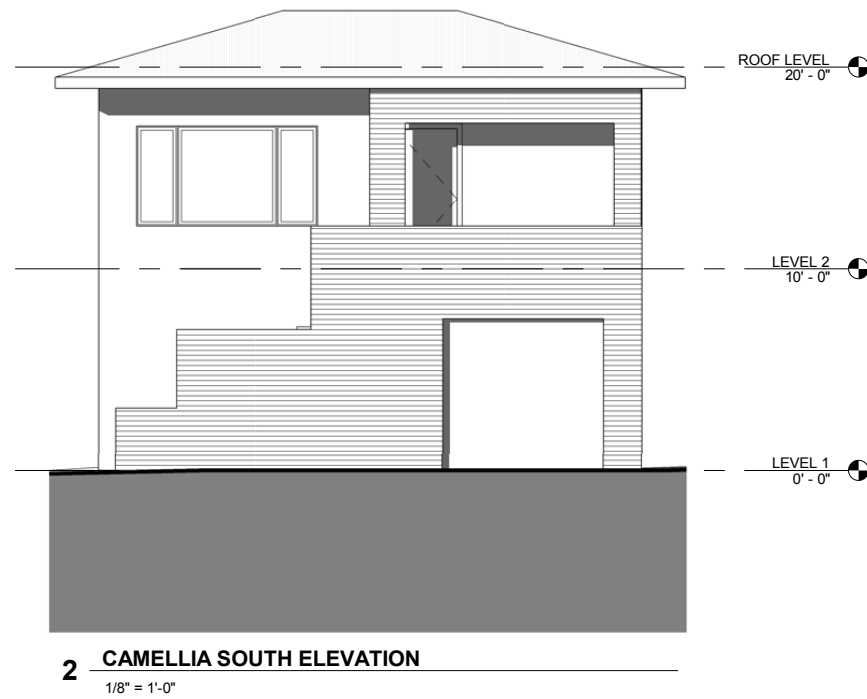
PROPOSED - CAMELLIA LEVEL 2

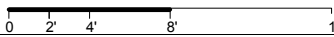


PROPOSED - CAMELLIA BASEMENT PLAN

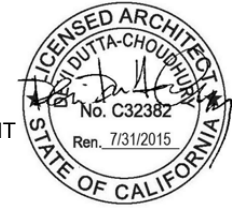


- MATERIAL LEGEND**
-  PAINTED WOOD SIDING
 -  WOOD PATTERNED FIBER CEMENT
 -  CEMENT PLASTER
 -  CEMENT PLASTER







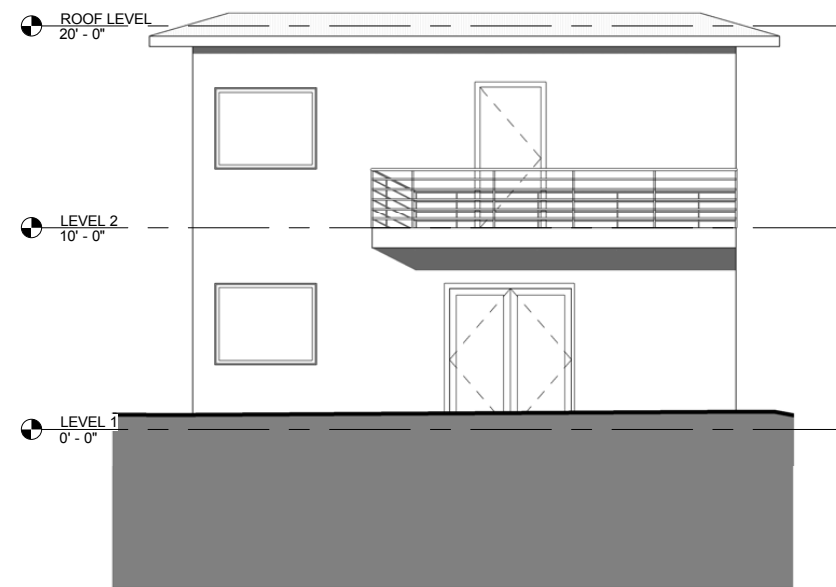
HEARST GARDENS 
 DEVI DUTTA ARCHITECTURE

CAMELLIA ELEVATIONS
 SCALE: As indicated

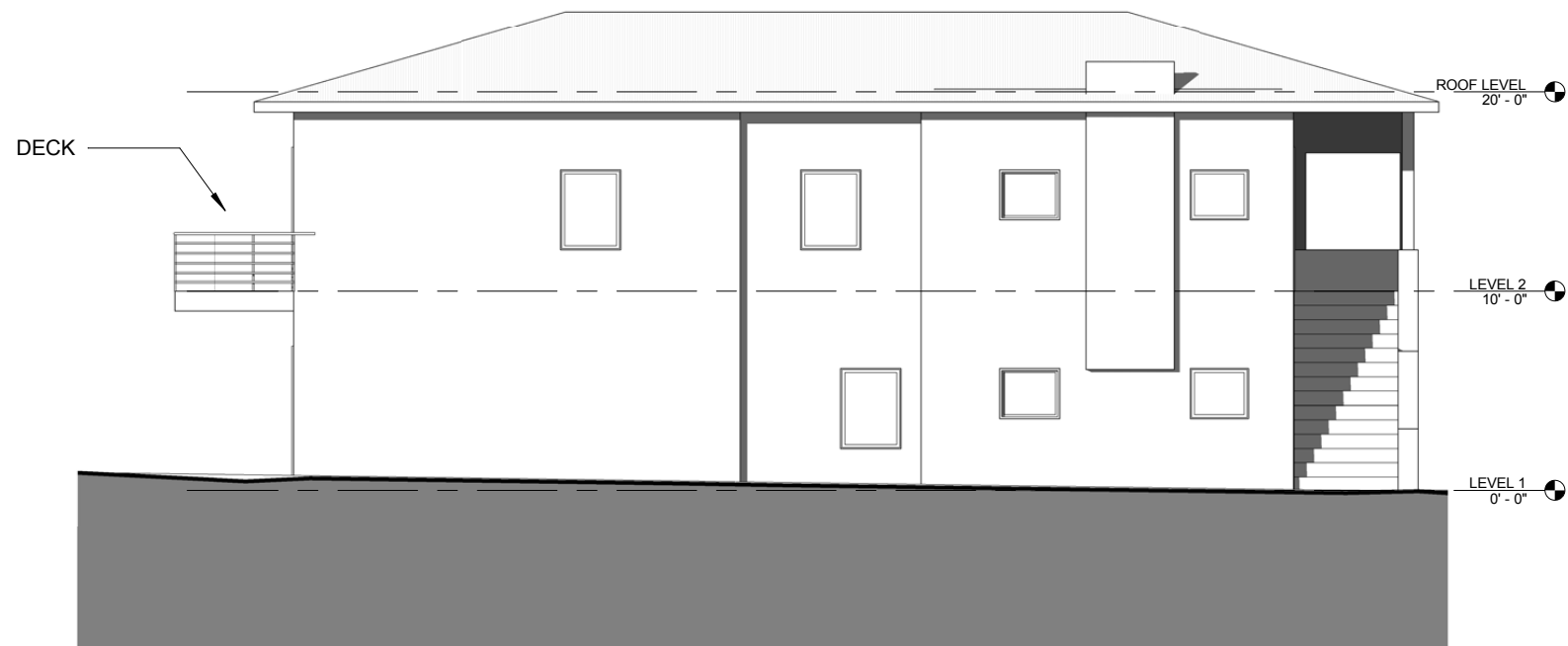


MATERIAL LEGEND

	PAINTED WOOD SIDING
	WOOD PATTERNED FIBER CEMENT
	CEMENT PLASTER
	CEMENT PLASTER



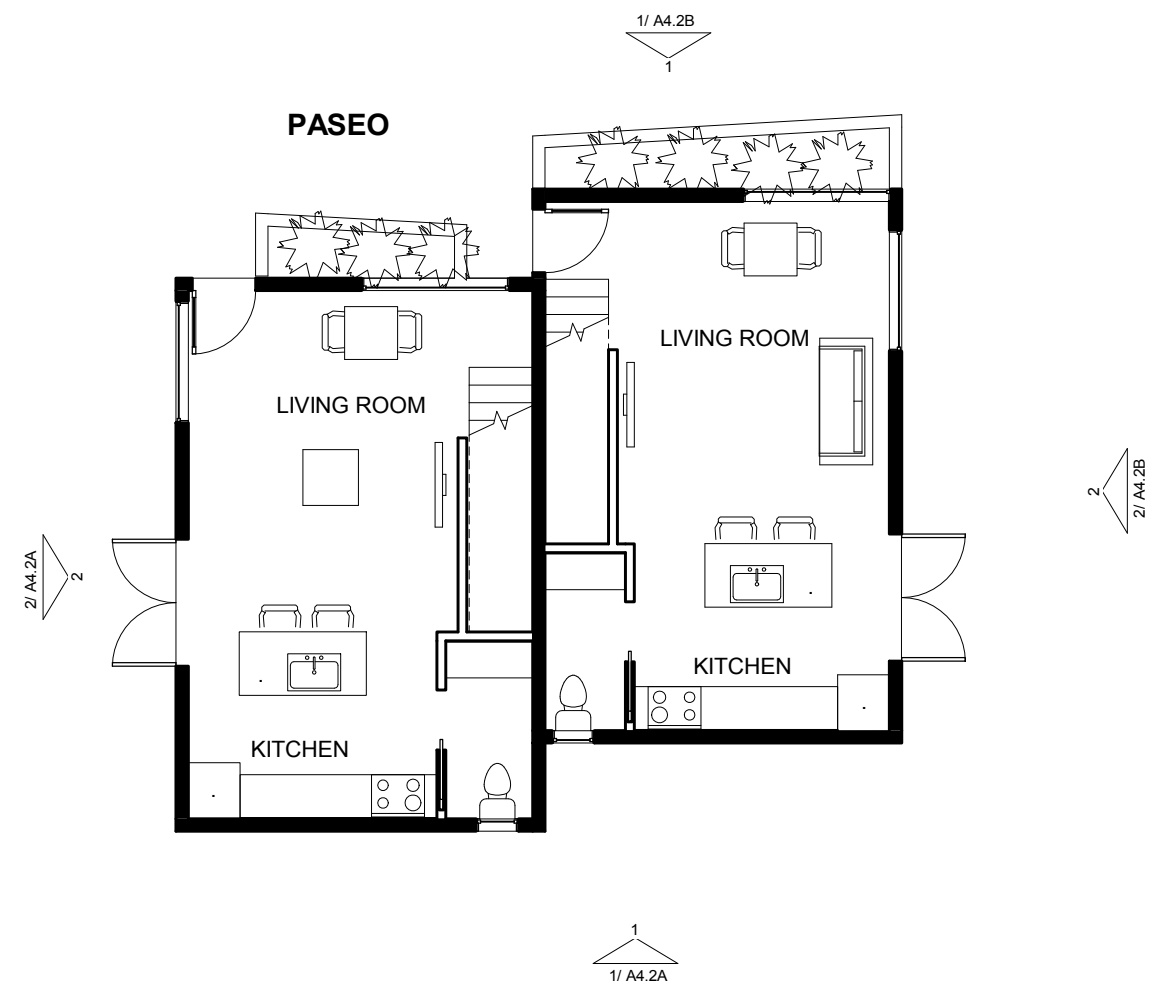
2 CAMELLIA NORTH ELEVATION
 1/8" = 1'-0"



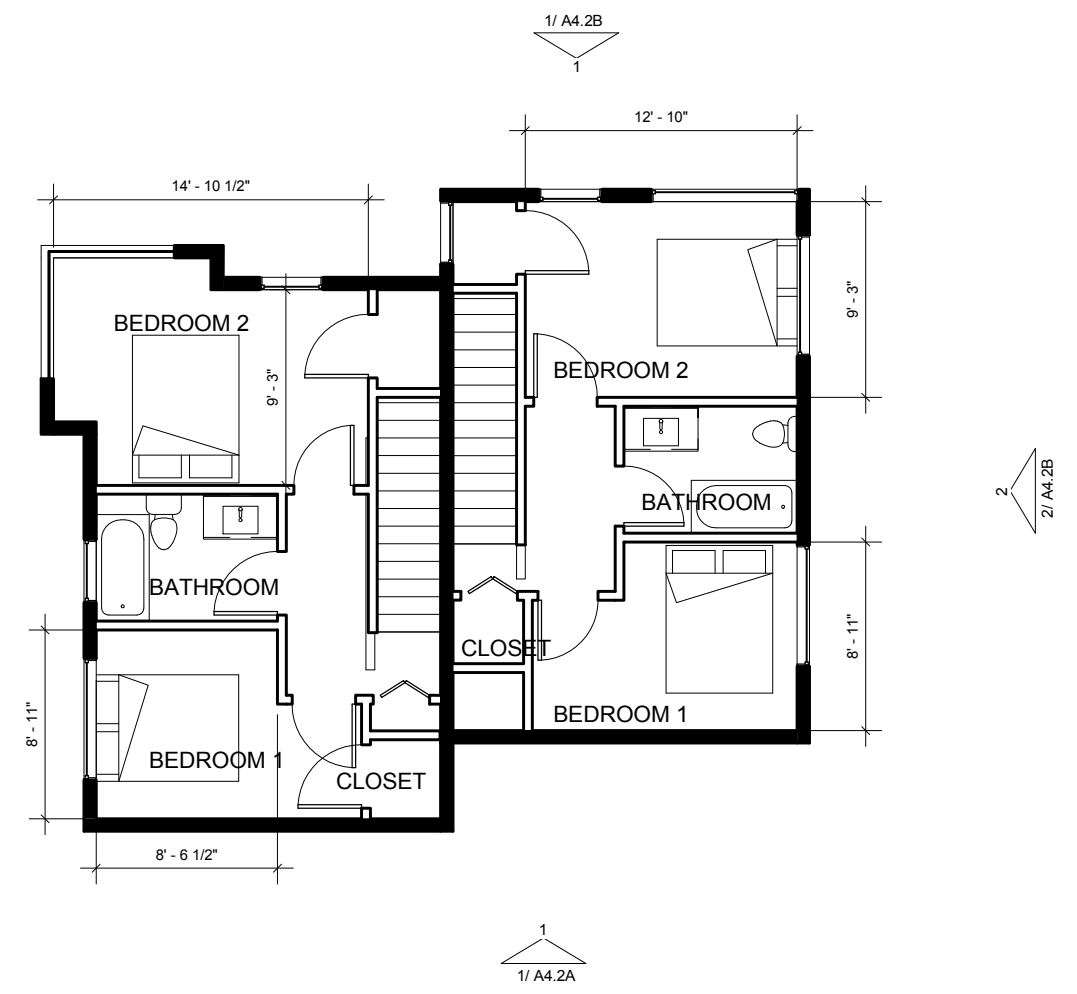
1 CAMELLIA WEST ELEVATION
 1/8" = 1'-0"



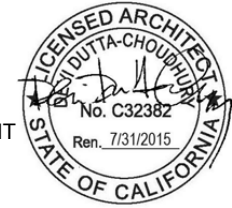
- LEGEND**
- NEW EXTERIOR WALL
 - (E) WALL
 - NEW INTERIOR WALL
 - SEE SITE PLAN FOR NON-CONFORI



**DAFFODIL & EDELWEISS
 LEVEL 1**



**DAFFODIL & EDELWEISS
 LEVEL 2**



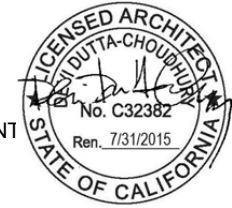
- MATERIAL LEGEND**
- PAINTED WOOD SIDING
 - WOOD PATTERNED FIBER CEMENT
 - CEMENT PLASTER
 - CEMENT PLASTER







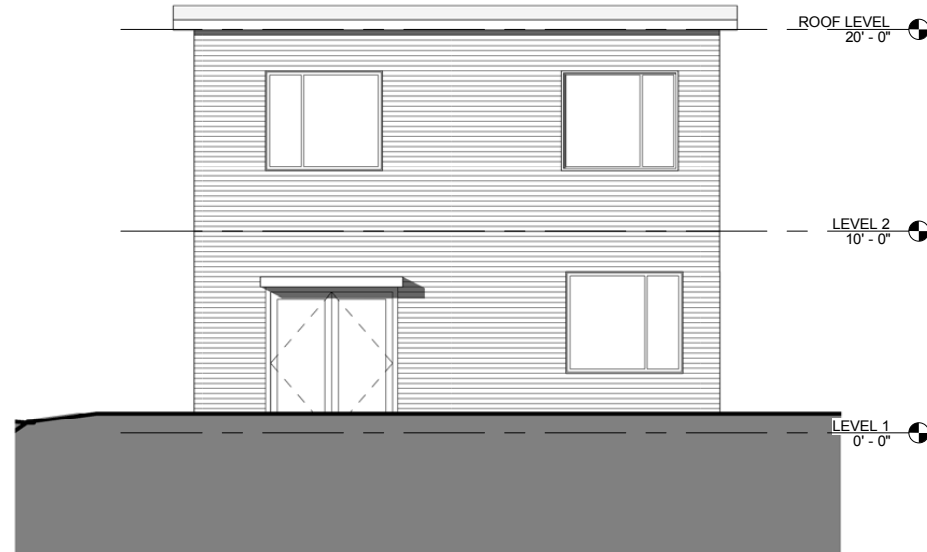
2 DAFFODIL & EDELWEISS SOUTH ELEVATION
 1/8" = 1'-0"



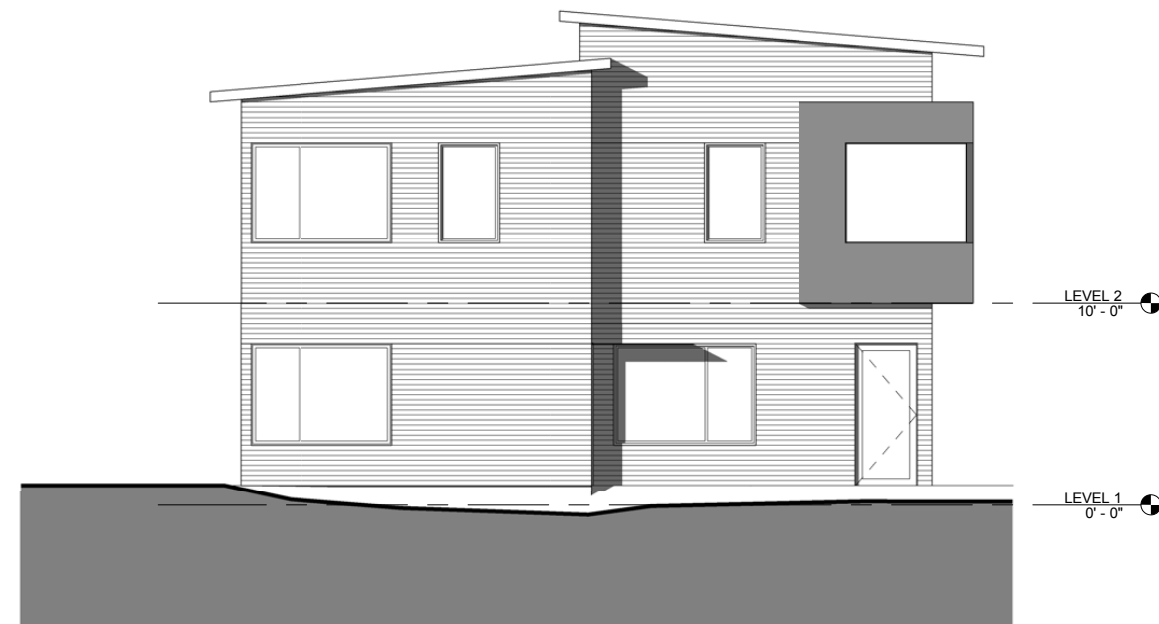
1 DAFFODIL & EDELWEISS EAST ELEVATION
 1/8" = 1'-0"



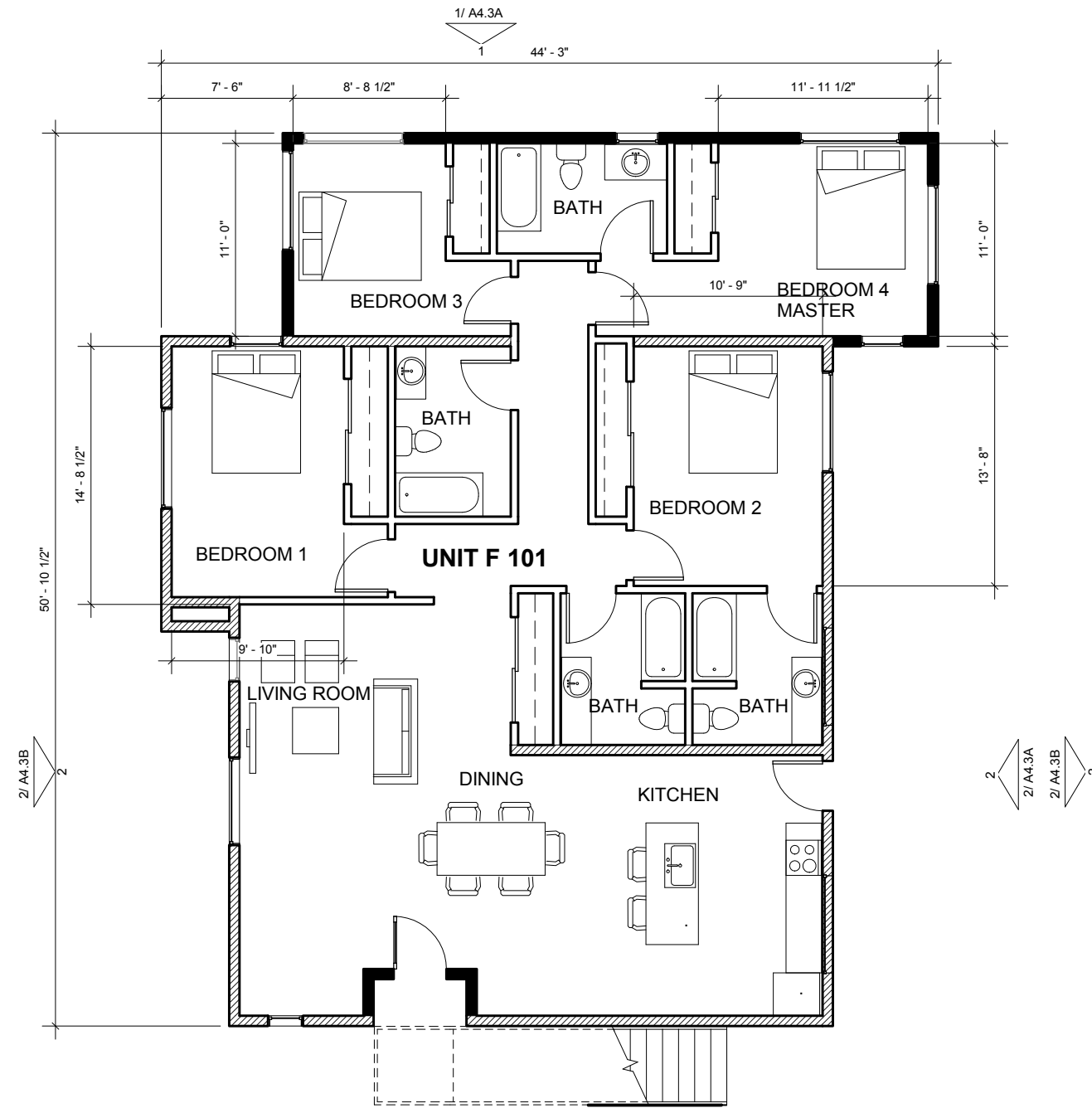
- MATERIAL LEGEND**
-  PAINTED WOOD SIDING
 -  WOOD PATTERNED FIBER CEMENT
 -  CEMENT PLASTER
 -  CEMENT PLASTER



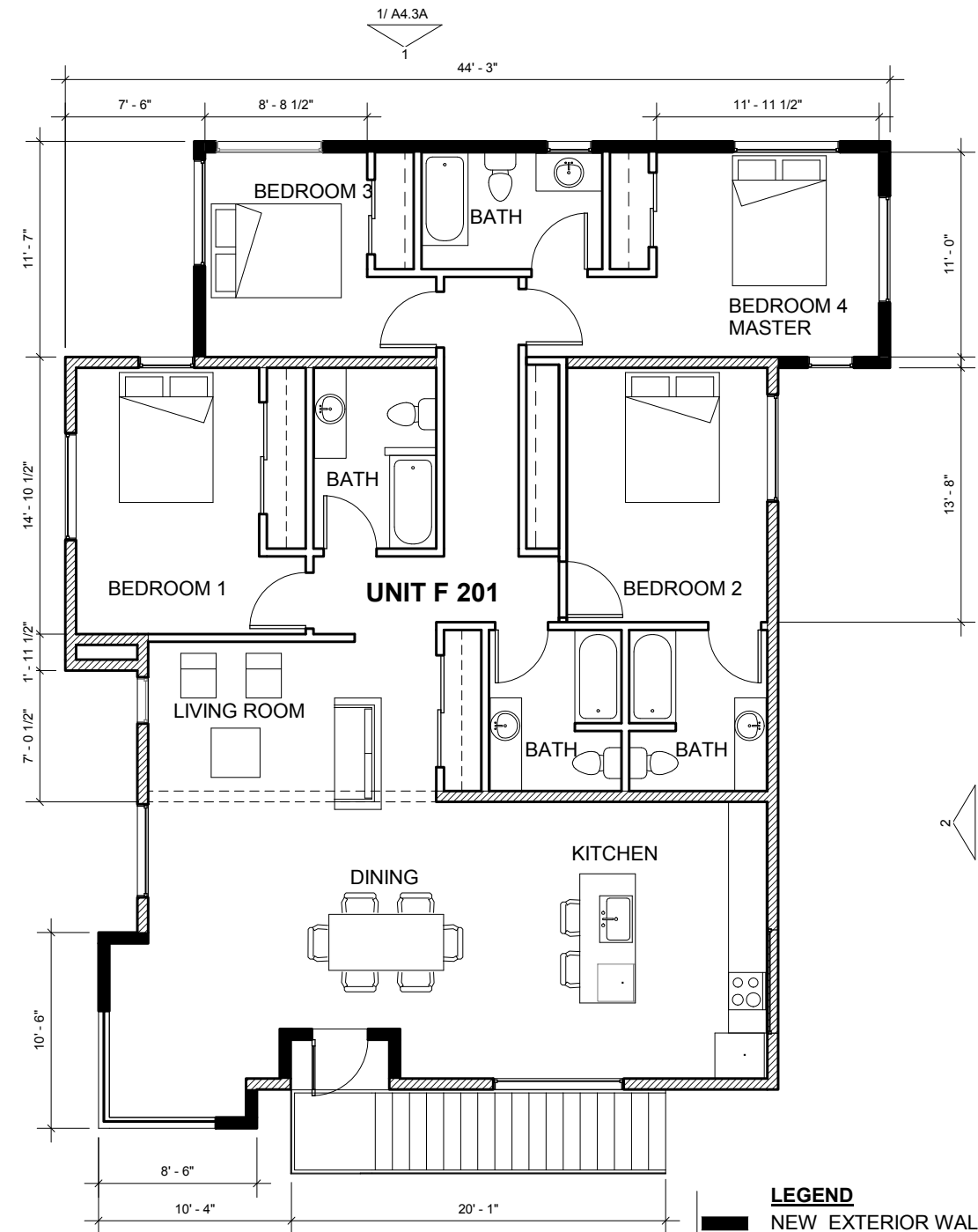
2 DAFFODIL & EDELWEISS NORTH ELEVATION
 1/8" = 1'-0"



1 DAFFODIL & EDELWEISS WEST ELEVATION
 1/8" = 1'-0"



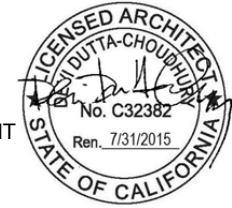
FRESIA LEVEL 1



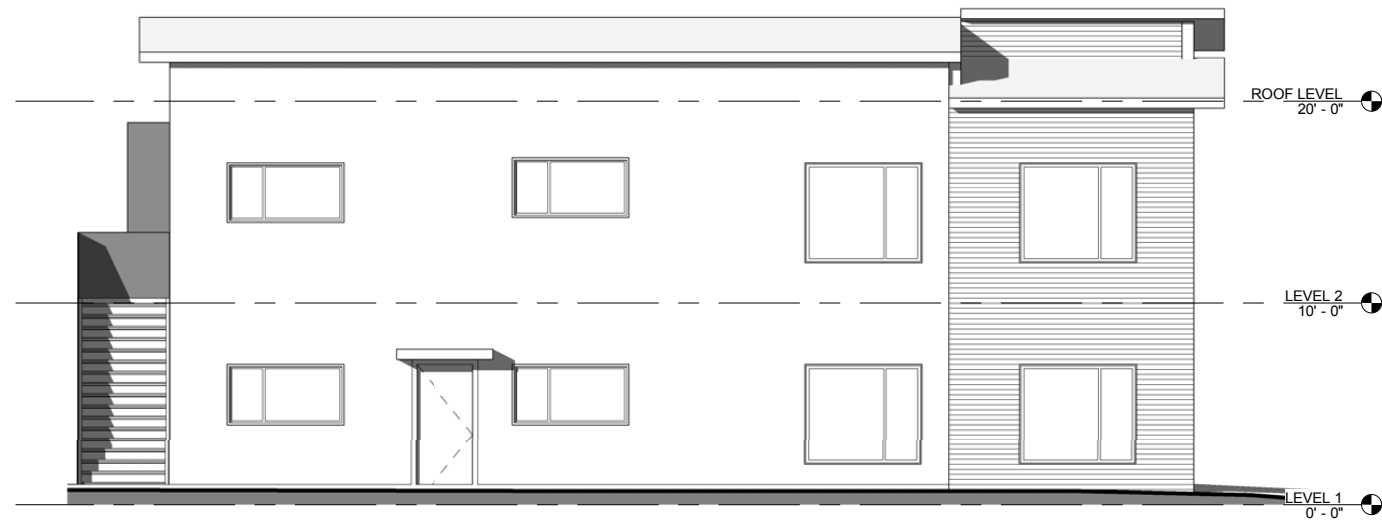
FRESIA LEVEL 2



- LEGEND**
- NEW EXTERIOR WALL
 - (E) WALL
 - NEW INTERIOR WALL
 - SEE SITE PLAN FOR NON-CONFORMING SETBACKS



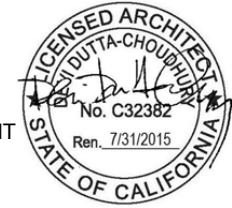
- MATERIAL LEGEND**
- PAINTED WOOD SIDING
 - WOOD PATTERNED FIBER CEMENT
 - CEMENT PLASTER
 - CEMENT PLASTER







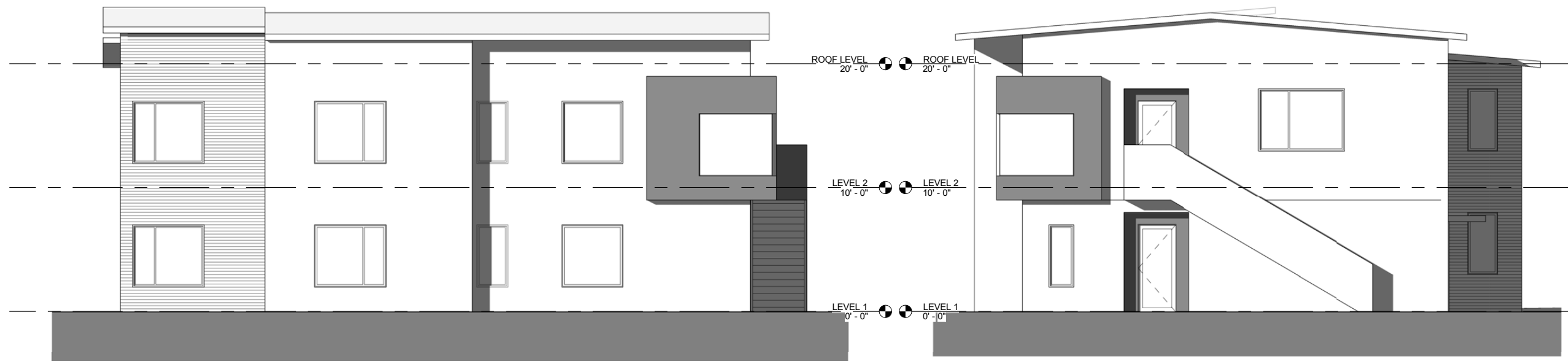
2 FREESIA NORTH ELEVATION
 1/8" = 1'-0"



1 FREESIA WEST ELEVATION
 1/8" = 1'-0"

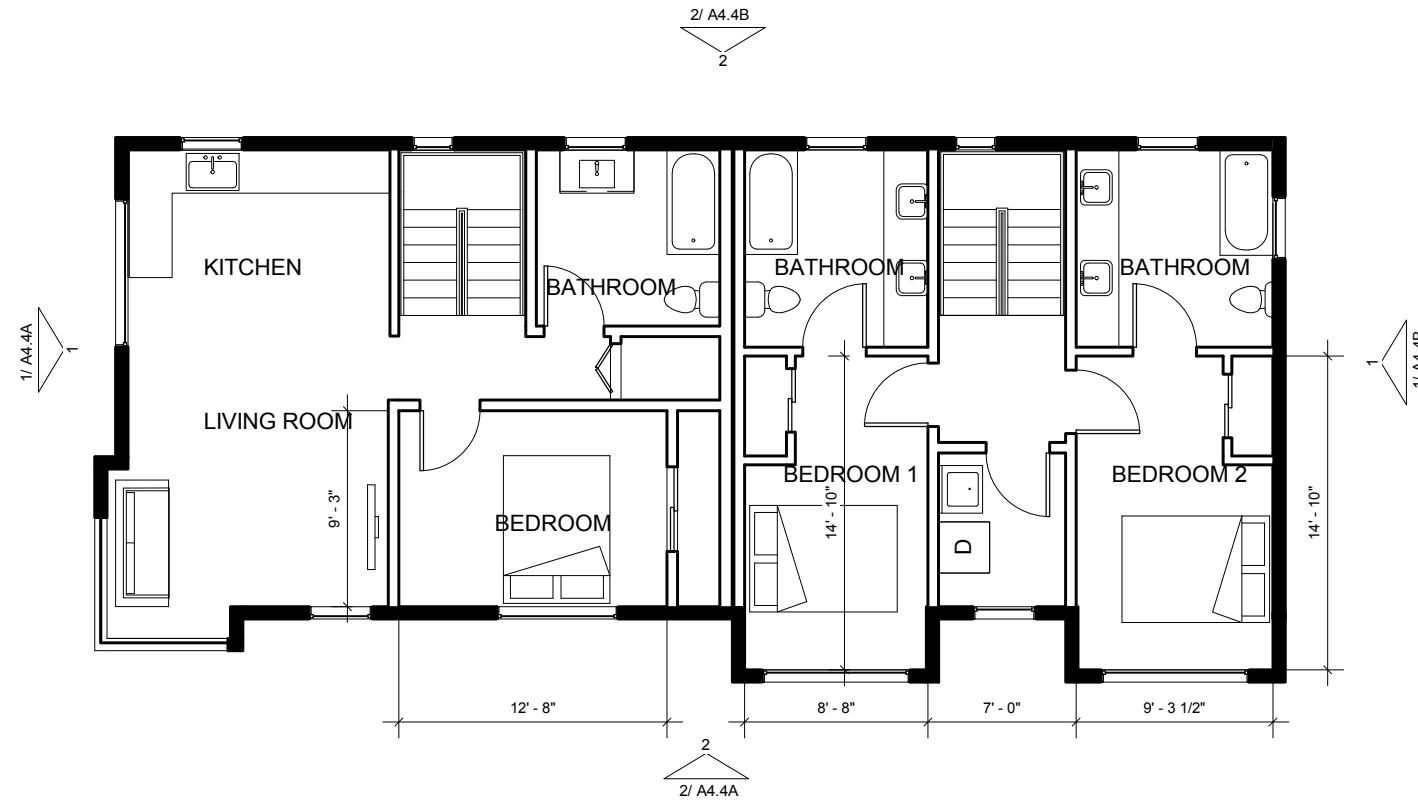


- MATERIAL LEGEND**
-  PAINTED WOOD SIDING
 -  WOOD PATTERNED FIBER CEMENT
 -  CEMENT PLASTER
 -  CEMENT PLASTER



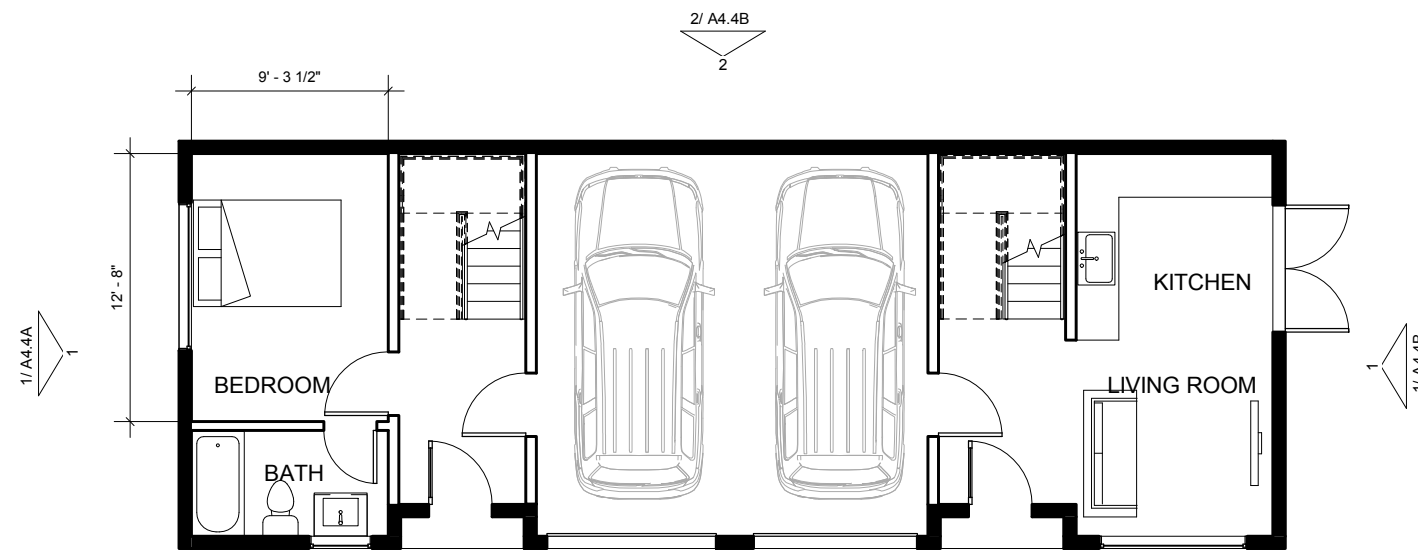
2 FREESIA SOUTH ELEVATION
 1/8" = 1'-0"

1 FREESIA EAST ELEVATION
 1/8" = 1'-0"

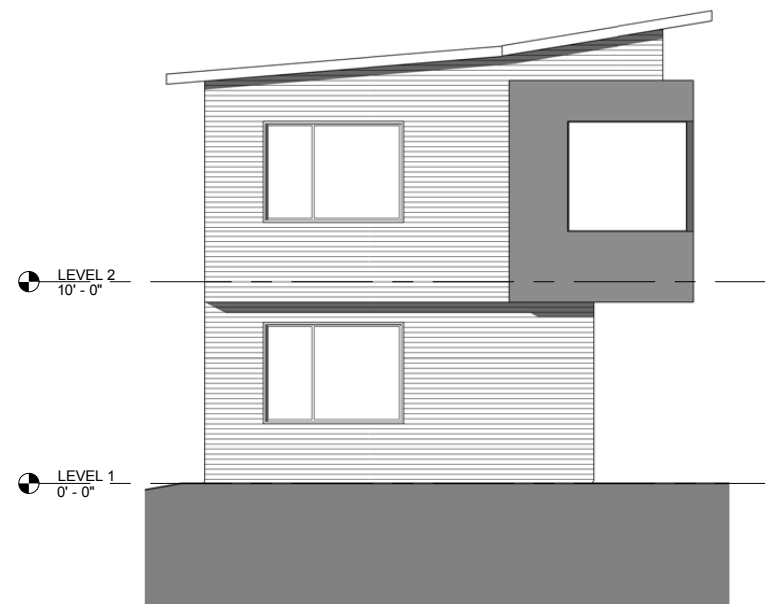
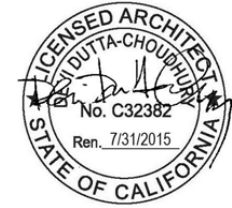


- LEGEND**
- NEW EXTERIOR WALL
 - (E) WALL
 - NEW INTERIOR WALL
 - SEE SITE PLAN FOR NON-CONFORMING SETBACKS

2 GERANIUM LEVEL 2
 1/8" = 1'-0"



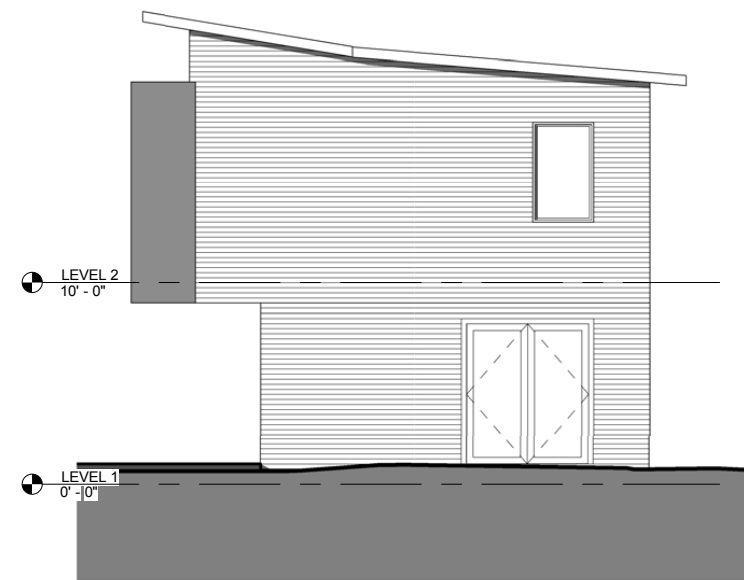
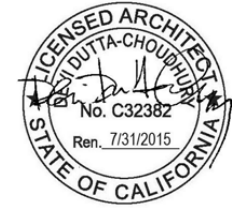
1 GERANIUM LEVEL 1
 1/8" = 1'-0"



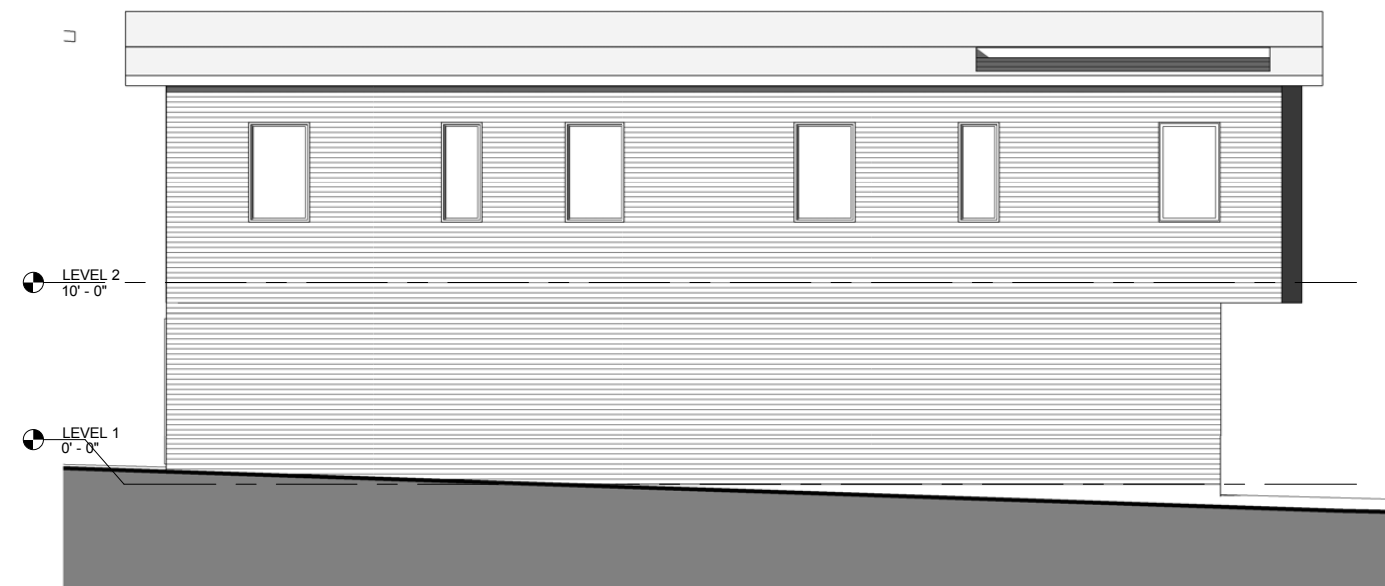
1 GERANIUM SOUTH ELEVATION
1/8" = 1'-0"



2 GERANIUM EAST ELEVATION
1/8" = 1'-0"



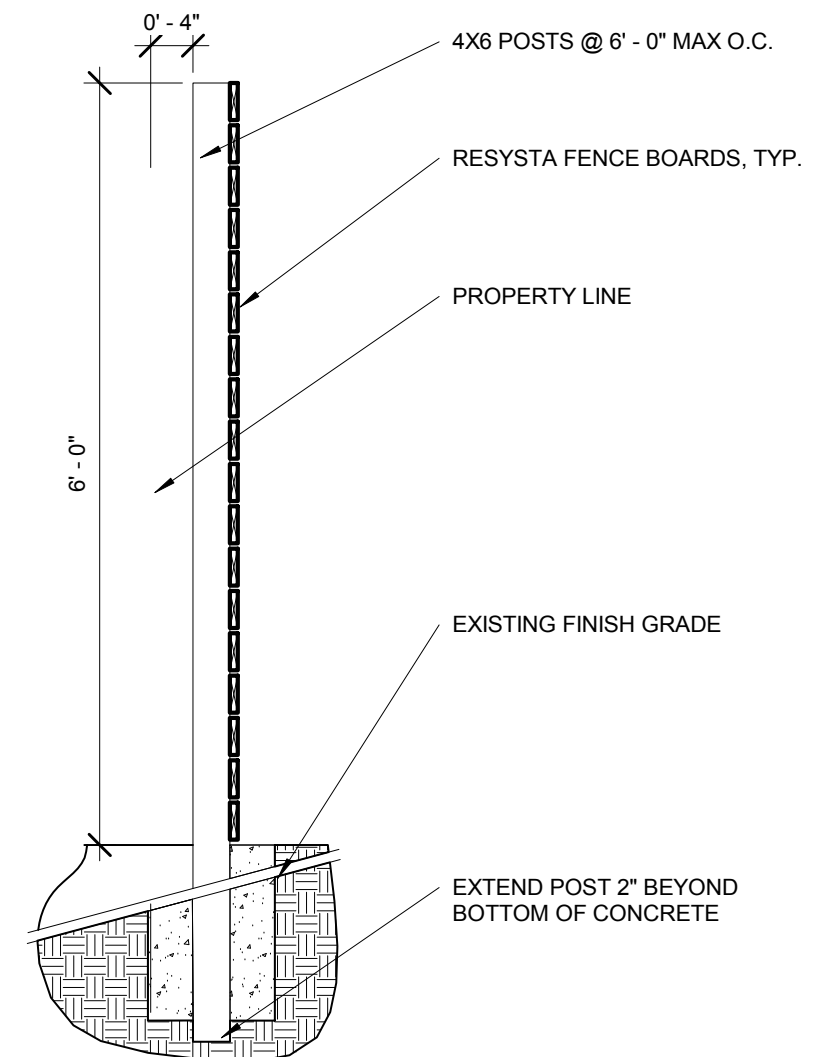
1 GERANIUM NORTH ELEVATION
1/8" = 1'-0"



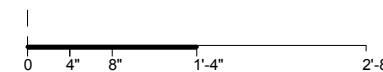
2 GERANIUM WEST ELEVATION
1/8" = 1'-0"

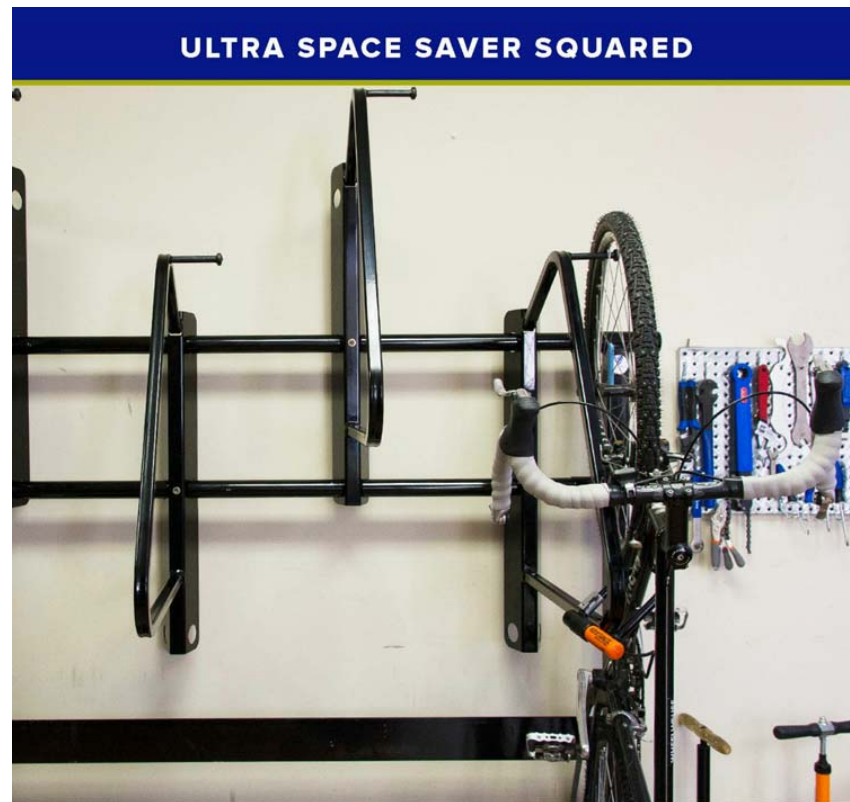


CEDAR FENCE ALONG PROPERTY LINE



1 CEDAR FENCE DETAIL
 3/4" = 1'-0"

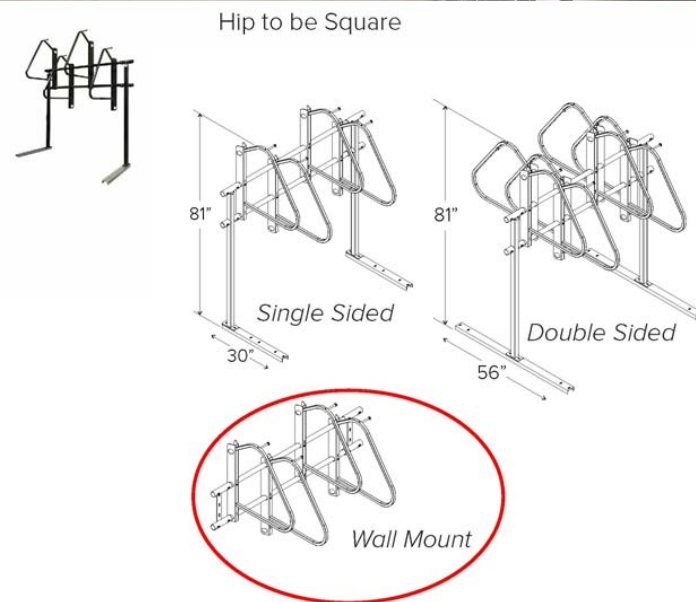




ULTRA SPACE SAVER SQUARED



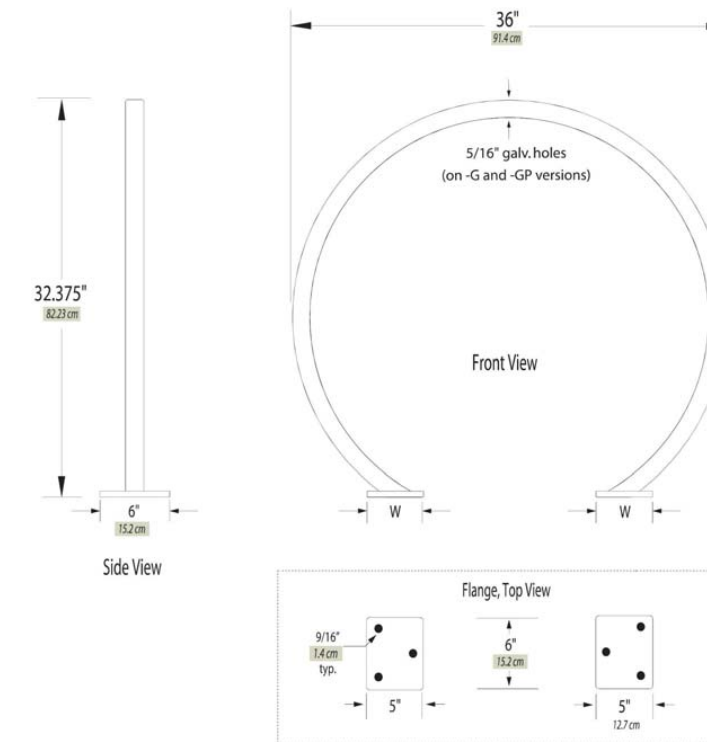
DARK GREY POWDERCOAT FINISH AT BIKE STORAGE



WALL MOUNT, SQUARE PROFILE BIKE STORAGE. LOCATED ON EAST WALL OF BEGONIA BUILDING.

BIKEPARKING.COM™
 Tel: 415.333.6428 Tel: 888.764.2453 Fax: 415.333.2032 E: info@bikeparking.com
 Palmer Group, LLC : 1728 Ocean Avenue #132 San Francisco CA 94112 USA

Welle™ Circular Rack
 Square Tube
 Surface Flange



Welle™ Circular Rack Square Tube Surface Flange						
Tubing	Model	Weight	Finish Options	Hoop	Surface Mount Flanges (Same material as Hoop)	Anchors (Not Provided)
Square Tube	WCRO2-SQ-SF	38 lbs 17.1 kg	-G Hot Dipped Galvanized -P Powder Coated (color) -GP Hot Dipped Galvanized with Powder Coat (color) Top-Coat -SS Stainless #4 Brush Finish	-G, -P, -GP 2" x 2" x 0.188" Square Tube (Regular Steel) 122 cm 5.1 cm x 5.1 cm x 5 mm	(2) 5" x 6" x 3/8" Plates, 127 cm x 152 cm x 10 mm each with (3) 9/16" Holes 14 mm	(2) 1/2" x 2.75" 13 mm x 7 cm Rawl Spike (4) 1/2" x 3.75" 13 mm x 9.5 cm Wedge Anchor Bolt

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2012.04.11

GROUND ANCHORED, SQUARE PROFILE BIKE STORAGE CIRCULAR RACK. 2 BIKES PER RACK. LOCATED ALONG THE PASEO, AND FLANKING THE DRIVEWAY BETWEEN AZALEA AND BEGONIA.





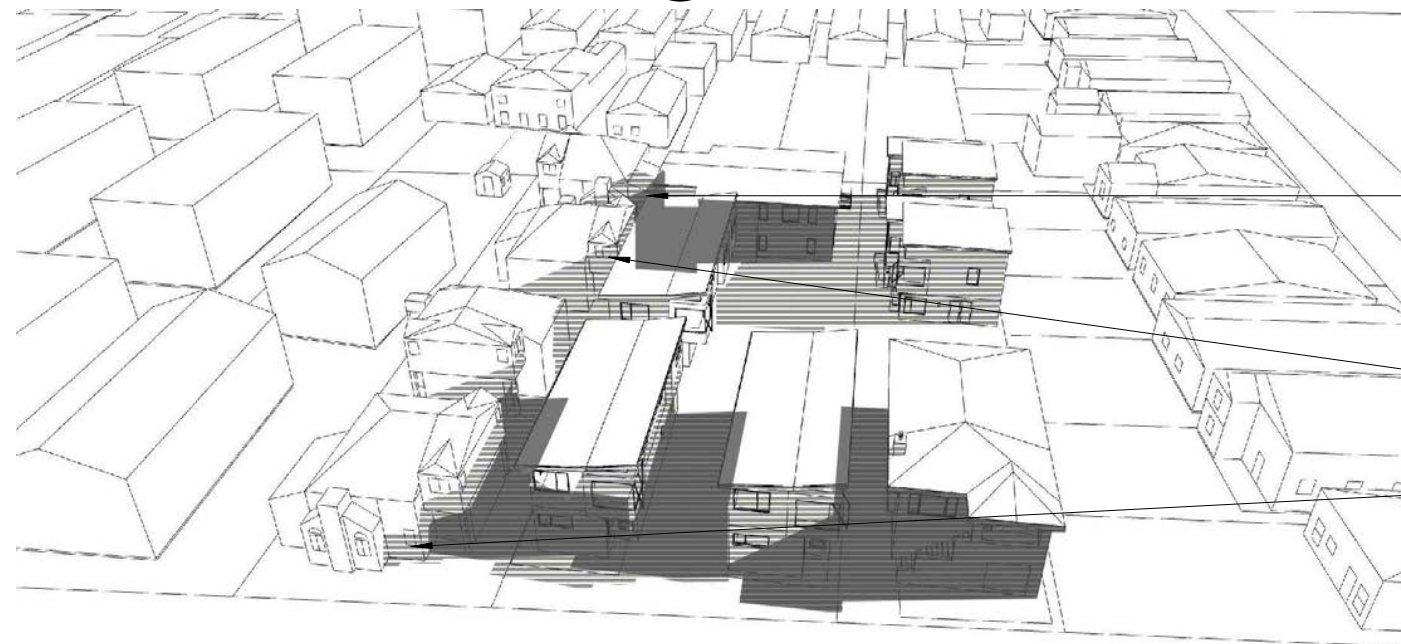
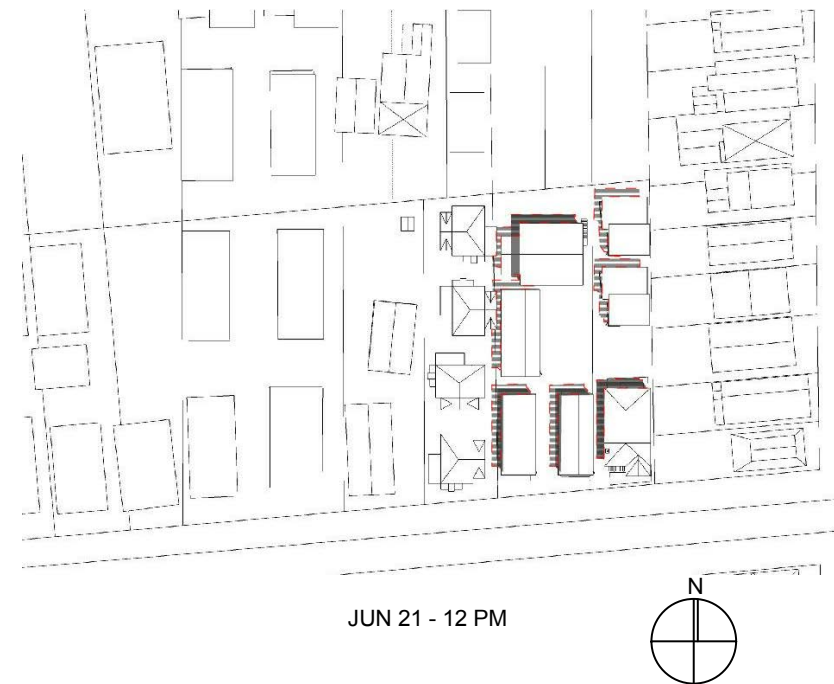
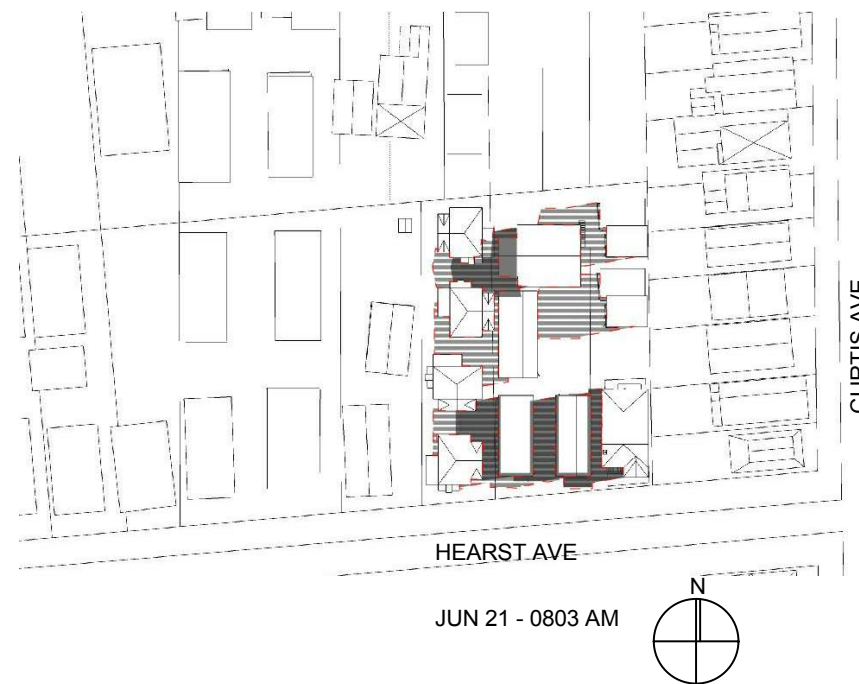








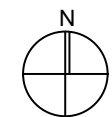




ASSUMED LIVING SPACE

ASSUMED BEDROOM

ASSUMED BATHROOM

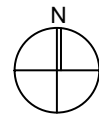




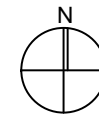
HEARST AVE

CURTIS AVE

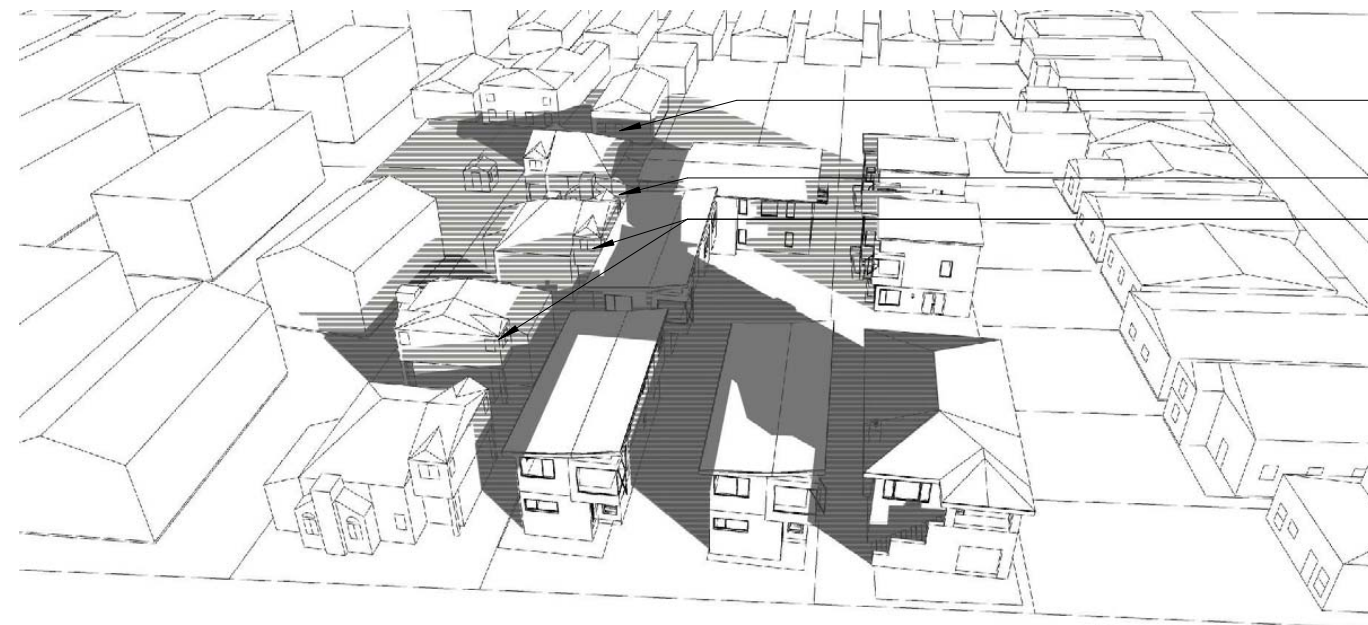
DEC 21 - 0921 AM



DEC 21 - 12 PM



DEC 21 - 253 PM



ASSUMED BEDROOM

ASSUMED LIVING ROOM

ASSUMED BEDROOMS

HEARST GARDENS

DEVI DUTTA ARCHITECTURE

SHADOW STUDIES WINTER SOLSTICE

SCALE:



	OCCUPANCY	SPRINKLERED?	CONST. TYPE	HEIGHT & NUMBER OF STORIES
AZALEA	R-3	SPRINKLERED	V-B	2-STORIES
BEGONIA	R-3	SPRINKLERED	V-B	2-STORIES
CAMELLIA	R-3	SPRINKLERED	V-B	2-STORIES
DAFFODILE	R-3	SPRINKLERED	V-B	2-STORIES
EDELWEISS	R-3	SPRINKLERED	V-B	2-STORIES
FREESIA	R-3	SPRINKLERED	V-B	2-STORIES
GERANIUM	R-3	SPRINKLERED	V-B	2-STORIES

ALL HOMES SUBJECTED TO 2016 CALIFORNIA BUILDING CODE

1 **GROUND PLAN BUILDING CODE & EXITING**
 3/64" = 1'-0"



PLANNING & DEVELOPMENT

Land Use Planning, 2120 Milvia Street, Berkeley, CA 94704
 Tel: 510.981.7410 TDD: 510.981.7474 Fax: 510.981.7420 Email: Planning@ci.berkeley.ca.us

TABULATION FORM

Project Address: AZALEA - 1155 - 57 HEARST Date: Mar. 5,

Applicant's Name: Rhodes Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	2	2	N/
Number of Parking Spaces	(#)	2	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	10'-6"	10'-6" EXTEND	15'
Side Yard Setbacks: (facing property)	Left: (ft.)	3'-10"	3'-10" EXTEND	4'-0" TO
	Right: (ft.)	42'-7"	42'-7"	4'-0" TO
Rear Yard Setback	(ft.)	141'-1"	141'-1"	15'-0"
Building Height*	(# Stories)	1	2	2
Average*	(ft.)	12'-11"	25'-2"	N/
Maximum*	(ft.)	12'-11"	25'-2"	28'
Areas				
Lot Area	(SqFt.)	13,469	13,46	N/
Gross Floor Area*	(SqFt.)	992 SF	2031	N/
Total Area Covered by All Floors				N/
Building Footprint*	(SqFt.)	992 AZALEA	1056	N/
Total of All Structures				N/
Lot Coverage*	(%)	7.6% AZALEA	7.8%	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	2,560 SF	300	300 SF/UNIT & #13; see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

Revised: 09/02

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PLANNING & DEVELOPMENT

Land Use Planning, 2120 Milvia Street, Berkeley, CA 94704
 Tel: 510.981.7410 TDD: 510.981.7474 Fax: 510.981.7420 Email: Planning@ci.berkeley.ca.us

TABULATION FORM

Project Address: BEGONIA - 1161-63 Hearst Date: Mar. 5, 2018
 Applicant's Name: Rhodes Planning
 Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	2	2	N/
Number of Parking Spaces	(#)	2	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	7'-9	7'-9" EXTEND	15'-0
Side Yard Setbacks: (facing property)	Left: (ft.)	42'-7	42'-7	N/
	Right: (ft.)	3'-11	3'-11" EXTEN	4'-0" TO
Rear Yard Setback	(ft.)	145'-2	145'-2	15'-0
Building Height*	(# Stories)	1	2	2
Average*	(ft.)	12'-11	25'-2	N/
Maximum*	(ft.)	12'-11	25'-2	28
Areas				
Lot Area	(SqFt.)	13,469	13,46	N/
Gross Floor Area*	(SqFt.)	1018 SF	2037 SF	N/
Total Area Covered by All Floors				
Building Footprint*	(SqFt.)	1018 SF	1062 SF	N/
Total of All Structures				
Lot Coverage*	(%)	7.6%	7.8%	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	2,560 SF	300	300 SF/UNIT see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

Revised: 09/02

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PLANNING & DEVELOPMENT

Land Use Planning, 2120 Milvia Street, Berkeley, CA 94704
 Tel: 510.981.7410 TDD: 510.981.7474 Fax: 510.981.7420 Email: Planning@ci.berkeley.ca.us

TABULATION FORM

Project Address: CAMELLIA - 1173 HEARST Date: Mar. 5, 2018

Applicant's Name: Rhodes Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	1	1	N/A
Number of Parking Spaces	(#)	2	2	1/
Yards and Height				
Front Yard Setback	(ft.)	11'-0" TO HOUSE.	11'-0" TO HOUSE.	15'-0
Side Yard Setbacks: (facing property)	Left: (ft.)	8'-8	8'-8	4'-0" TO
	Right: (ft.)	4'-6	4'-6	4'-0" TO
Rear Yard Setback	(ft.)	143'-8	143'-8	15'-0
Building Height*	(# Stories)	2	2	2
Average*	(ft.)	21'-0	21'-0"	N/
Maximum*	(ft.)	23'-6	23'-6	28'
Areas				
Lot Area	(SqFt.)	8,20	8,20	N/
Gross Floor Area*	(SqFt.)	240	2404	N/
Total Area Covered by All Floors				
Building Footprint*	(SqFt.)	1,50	1,50	N/
Total of All Structures				
Lot Coverage*	(%)	18.3	18.3&	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	5,599 SF	300sf	300 SF/UNIT see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

Revised: 09/02

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PLANNING & DEVELOPMENT

Land Use Planning, 2120 Milvia Street, Berkeley, CA 94704
 Tel: 510.981.7410 TDD: 510.981.7474 Fax: 510.981.7420 Email: Planning@ci.berkeley.ca.us

TABULATION FORM

Project Address: DAFFODI Date: Mar. 5, 2018

Applicant's Name: Rhoades Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	N/	2	N/
Number of Parking Spaces	(#)	N/	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	N/	101'-6	15'-0
Side Yard Setbacks: (facing property)	Left: (ft.)	N/	5'-9	4'-0" TO
	Right: (ft.)	N/	4'-0"	4'-0" TO
Rear Yard Setback	(ft.)	N/	68'-6	15'-0
Building Height*	(# Stories)	N/	2	2
Average*	(ft.)	N/	25'-4	N/
Maximum*	(ft.)	N/	25'-4	28
Areas				
Lot Area	(SqFt.)	N/	8,20	N/
Gross Floor Area*	(SqFt.)	N/	1,81	N/
Total Area Covered by All Floors		N/		N/
Building Footprint*	(SqFt.)	N/	91	N/
Total of All Structures		N/		N/
Lot Coverage*	(%)	N/	11.2&	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	5.599 SF	300	300 SF/UNIT see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

Revised: 09/02

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PLANNING & DEVELOPMENT

Land Use Planning, 2120 Milvia Street, Berkeley, CA 94704
 Tel: 510.981.7410 TDD: 510.981.7474 Fax: 510.981.7420 Email: Planning@ci.berkeley.ca.us

TABULATION FORM

Project Address: EDELWEISS HEARST Date: Mar. 5, 2018

Applicant's Name: Rhoades Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	N/	2	N/
Number of Parking Spaces	(#)	N/	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	N/	151'-6	15'-0
Side Yard Setbacks: (facing property)	Left: (ft.)	N/	5'-9	4'-0" TO
	Right: (ft.)	N/	4'-0	4'-0" TO
Rear Yard Setback	(ft.)	N/	18'-6	N/
Building Height*	(# Stories)	N/	2	2
Average*	(ft.)	N/	25'-6	N/
Maximum*	(ft.)	N/	25'-6	28
Areas				
Lot Area	(SqFt.)	N/	8,20	N/
Gross Floor Area*	(SqFt.)	N/	1,81	N/
Total Area Covered by All Floors		N/		N/
Building Footprint*	(SqFt.)	N/	91	N/
Total of All Structures		N/		N/
Lot Coverage*	(%)	N/	11.1&	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	5.599 SF	300	300 SF/UNIT & #13; see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

Revised: 09/02

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Land Use Planning, 2120 Milvia Street, Berkeley, CA 94704
 Tel: 510.981.7410 TDD: 510.981.7474 Fax: 510.981.7420 Email: Planning@ci.berkeley.ca.us

TABULATION FORM

Project Address: FREESIA - 1179 HEARST Date: Mar. 5, 2018

Applicant's Name: Rhoades Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	2	2	N/
Number of Parking Spaces	(#)	2	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	136'-11	136-11	N/
Side Yard Setbacks: (facing property)	Left: (ft.)	16'-11	5'-4	N/
	Right: (ft.)	10'-6	9'-8	N/
Rear Yard Setback	(ft.)	27'-10	21'-1	N/
Building Height*	(# Stories)	2	2	2
Average*	(ft.)	19'-1	19'-1	N/
Maximum*	(ft.)	19'-9	19'-9	28
Areas				
Lot Area	(SqFt.)	13,46	13,46	N/
Gross Floor Area*	(SqFt.)			N/
Total Area Covered by All Floors		2,83	3,72	
Building Footprint*	(SqFt.)			N/
Total of All Structures		1,41	1,88	
Lot Coverage*	(%)			40
(Footprint/Lot Area)		10.5	14&	
Useable Open Space*	(SqFt.)	2.560 SF	300	300 SF/UNIT & #13; see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

Revised: 09/02

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Land Use Planning, 2120 Milvia Street, Berkeley, CA 94704
 Tel: 510.981.7410 TDD: 510.981.7474 Fax: 510.981.7420 Email: Planning@ci.berkeley.ca.us

TABULATION FORM

Project Address: Geranium - Hearst Date: Mar. 5, 2018

Applicant's Name: Rhoades Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	N/	2	N/
Number of Parking Spaces	(#)	N/	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	N/	78'-3	15'-0
Side Yard Setbacks: (facing property)	Left: (ft.)	N/	4'-0	4'-0" to
	Right: (ft.)	N/	42'-7	4'-0" to
Rear Yard Setback	(ft.)	N/	71'-5	15'-0
Building Height*	(# Stories)	N/	2	2
Average*	(ft.)	N/	25'-2	N/
Maximum*	(ft.)	N/	25'-2	28
Areas				
Lot Area	(SqFt.)	N/	13,46	N/
Gross Floor Area*	(SqFt.)	N/	1,96	N/
Total Area Covered by All Floors		N/		N/
Building Footprint*	(SqFt.)	N/	133	N/
Total of All Structures		N/		N/
Lot Coverage*	(%)	N/	9.8	N/
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	2,560 SF	300	300 SF/UNIT see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

Revised: 09/02

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April 5, 2018

Mark Rhoades and Mia Perkins
46 Shattuck Square, Suite 11
Berkeley, CA 94704

Re: Use Permit #ZP2016-0028 – 1155-1173 Hearst Avenue

Mark and Mia,

Thank you for the submittal on March 6, 2018 of the redesigned project located at 1155-73 Hearst. I have reviewed the materials and have deemed the application incomplete. Follows are the items that require submittal and/or resubmittal with corrections:

Items Required for Submittal or Correction:

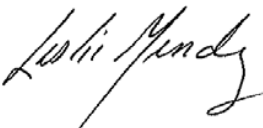
- Tabulation Forms – Provide a tabulation for each property that indicates the existing and proposed dwelling units, parking spaces, lot area, and cumulative gross floor area, building footprint of all structures, lot coverage, and useable open space.
- Zoning Standards Table – Ensure that the zoning standards table on page 7 of the applicant statement is consistent with existing and proposed conditions and the submitted tabulation forms. Currently it states that lot coverage is 41% on 1157 Hearst and 39% on 1173 Hearst. Verify and revise accordingly.
- Legends – Ensure that each plan sheet has a legend if specific coloring or shading is used:
 - A1.4 include orange and yellow shading, include red dotted line;
 - A6.0 & A6.1, include lighter and darker hatched shading.
- Average Height – Average height is measured to the top of a shed roof or shed roof element. Revise the tabulation form for the average heights of Azalea, Begonia, Daffodil, Edelweiss, Freesia, and Geranium.
- Non-Conforming Front Yard Setback – The project requires administrative use permit approval to extend non-conforming front yard setbacks for Azalea and Begonia. Be aware that the bay projections that are proposed, while attractive, encroach further into the front yard and would require a Variance to approve. I

recommend relocating the bays to maintain the existing setbacks. If, however, you wish to retain as is, you will be required to submit the required Variance findings (BMC 23B.44.030) and I will invoice you for the Variance processing fee. Additionally, if you are moving forward with the Variance, revise the proposed front yard setback measurement on the tabulation forms for these buildings.

- Encroachment into rear yard setback – The canopy over the rear façade door on Edelweiss projects slightly into the required 15-foot rear yard setback. Please clarify that you wish to apply for the AUP to reduce the rear yard setback pursuant to BMC 23D.32.070.D.1 or reduce the depth of the canopy accordingly.
- Useable Open Space – As you are aware, the Zoning Ordinance has a specific definition of Useable Open Space (UOS) that can be found in BMC 23D.04.050. For example, all UOS must have a minimum dimension of 10' by 10'. As such, on plan sheet A0.3 that depicts UOS, only include areas that meet this definition. Revise the green shading and calculations accordingly.
- Pre-Application Poster – Due to the significant revisions to the project, revise the yellow pre-application poster to reflect the current project, post at the site, and submit a color photo of the poster installed on site easily visible to passer byers.
- Stormwater Requirements Checklist – Due to the revisions to the project, resubmit a revised stormwater requirements checklist. If there are only changes to page 1, just submit revised page 1.
https://www.cityofberkeley.info/uploadedFiles/Online_Service_Center/Planning/Stormwater_Requirements_Checklist_09-28-2012_FINAL.pdf

Assuming you are able to resubmit these requested items in by **May 7, 2018** we will be on track to keep this items scheduled for the June 14th ZAB meeting.

Sincerely,



Leslie Mendez
Associate Planner

RhodesPlanningGroup

RECEIVED

APR 24 2018

Memorandum

To: Leslie Mendez, City of Berkeley Planning & Development Department
From: Mark Rhoades, Rhoades Planning Group
Date: April 24, 2018
Re: 1155-1173 Hearst Avenue/ZP2016-0028 Response to April 5, 2018 Incomplete Letter

LAND USE PLANNING

Dear Ms. Mendez,

This letter and the attached materials are provided as a response to your incomplete letter, dated April 5, 2018 for the property located at 1155-1173 Hearst Avenue.

Items required for Submittal or Correction:

1. Tabulation Forms: Please find enclosed Tabulation forms for the 1157 Hearst parcel and the 1173 Hearst parcel.
2. Zoning Standards Table: Please find enclosed revised applicant statement, correcting the lot coverage numbers in the table on Page 7 of the applicant statement.
3. Legends: Please see revised legends on Page A1.4 and Pages A6.0 and A6.1 of the enclosed revised plan set.
4. Average Height: Please see enclosed revised Tabulation forms and Pages A4.0A, A4.1A, A4.2B, A4.3A, and A4.4A in the enclosed revised plan set for height measurements.
5. Non-Conforming Front Yard Setback: Bay window projections have been pulled back away from the required front yard setback. Please see Pages A1.4, A1.5 and A1.6 of enclosed revised plan set.
6. Encroachment into rear yard setback: The canopy over the rear façade door on Edelweiss has been pulled back so as not to project into the required rear yard setback. Please see Page A1.6 of the enclosed revised plan set.
7. Useable Open Space: Please see Page A0.3 of the enclosed revised plan set showing open space diagram.
8. Pre-Application Poster: A new project sign has been posted at the property. Please see enclosed two photos of the revised project sign.
9. Stormwater checklist: Please find enclosed revised stormwater checklist for the 13 unit project.

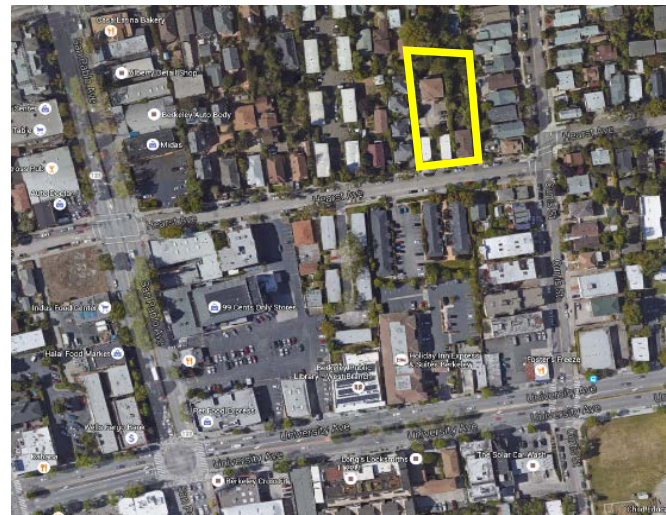
1155-1173 Hearst Avenue
Revised Applicant Statement
April 23, 2018

Overview and Project Information

Rhoades Planning Group is pleased to present this revised proposal for a new residential condominium and transit/neighborhood-oriented development project located at 1155-1173 Hearst Avenue. The project site currently consists of two separate parcels that support six apartments on one and one single family residence on the other. The proposed project will include 6 new dwellings for a total of 13 on-site dwelling units. The project site is zoned Restricted Multiple Family Residential (R2-A), which allows one dwelling unit per each 1,650 square feet of lot area. The project furthers the goals of the district by providing medium density housing development in a transit-oriented location and improving the Hearst Avenue neighborhood and frontage.



The proposed project is located between an existing infill project to the west (condominiums) and homes/apartments to the south and single family homes to the north and east. This proposed project has been designed to work within the constraints imposed by surrounding homes while providing a high quality living environment along the San Pablo Avenue (one of Berkeley's most significant transit corridors) adjacent block of Hearst Avenue.



Project Description

The proposed project proposes to add 6 condominium dwelling units to six existing units and to rehabilitate one single family home, for a total unit count of 13 for the project. The site currently consists of two parcels: the 1157 Hearst Avenue parcel is 13,269 SF and the 1173 Hearst Avenue parcel is 8,204 SF. In order to meet the requirements of 23C.12, the project proposes to either offer for sale 1 of the new construction condominiums at below market rate per BMC Section 23C.12.070 and pay an in-lieu fee for the remaining .2 fraction (6 new construction units x 20% = 1.2 units) or pay the in-lieu fee per BMC Section 23C.12.035 which would be 62.5% of the difference between the permissible sales price and the actual sales price. (See Housing Affordability Statement).

The project has been revised in response to comments received by the Zoning Adjustments Board as well as in response to neighborhood input. The following is a summary of the project revisions:

- The overall project unit count was reduced from 18 units to 13.
- The two parcels will not be merged. 1157 Hearst and 1173 Hearst will remain as separate parcels.
- All 3 story elements have been removed and the project height is limited to 2 stories and a maximum of 25 Feet.
- All current residents can remain in their homes for as long as they wish, with rehabilitation and/or condominium conversion of existing units only occurring when current residents voluntarily vacate, subject to BMC Section 13.76 and the Berkeley Rent Stabilization Board regulations.
- Azalea and Begonia, the two existing duplexes on the 1157 Hearst parcel, will be renovated into 2-flat duplexes with front entries (after existing residents voluntarily vacate).
- Camelia, the single family home on the 1173 parcel, will be renovated (instead of demolished) within the existing footprint, with the addition of a back deck.
- Daffodil and Edelweiss, the two new duplexes at the rear yard of the 1173 parcel, have been located further back in the yard and have been slightly reduced in size. The rooflines have been adjusted to provide a more residential-scale feature.
- Freesia, the existing duplex at the rear of the 1157 Hearst parcel, will be renovated within its existing footprint and will also have an addition of two bedrooms to create large, family-friendly units with a large back yard (after existing residents voluntarily vacate).
- Geranium, a new duplex, was moved from the east side along the paseo, to the west side, to create a larger central space.
- Parking is now located internal to the development and is accessed from the paseo.
- All units now feature a complementary color and materials palette of deep blues, browns and whites in siding and cement plaster. Bay windows are design features in almost every unit.

The site has been designed to allow the maximum open space and neighbor buffering possible. In addition, an onsite drainage system has been designed, and is included in the project's site plan proposal, to address drainage and hydrology issues associated with the property and to protect adjacent properties where there is a history of flooding associated with area topography and historic drainage, because proper drainage has never been engineered for the site. Rehabilitation of the single family home located at 1173 Hearst Avenue is proposed. The rehabilitation of 1173 Hearst will result in a seismically updated structure which meets current building codes. New exterior finishes will allow for architectural cohesion with the rest of the project's design.

The site will support 13 parking spaces (plus one tandem space in 1173 Hearst). That equals one space assigned for each unit. In addition, the project proposes approximately 7,026 square feet of open space where only 3,900 square feet is required. The project will comply with BMC Section 23D.12.030.A and B. Off-site parking for the Daffodil and Edelweiss buildings will be located on the 1155 parcel which will be under the same ownership as that portion of the 1173 parcel on which the Daffodil and Edelweiss buildings will be located. The Camellia building will have two tandem parking spaces located in the Camellia garage.

Housing Accountability Act

The project is requesting Administrative Use Permits for building separation and expansion of legal non-conforming setbacks per BMC Sections 23D.32.070.D.4 and 23C.04.070.B, respectively. The granting of the AUP's would improve the project from a design and livability perspective and would make the construction of the project more feasible. If the Zoning Adjustments Board does not approve the requested AUP's, the project would then be as shown in redline on the site plan in the attached plan set (Page A1.4). The project as shown in redline would comply with all applicable zoning standards and would be subject to Government Code Section 65589.5, also known as the Housing Accountability Act ("HAA").

Under the HAA, a local government agency generally cannot disapprove a housing development project, or require a reduction in density, if the project complies with applicable and objective General Plan, zoning, and design review standards. The only exceptions are when the agency finds both that (1) the housing project would have a specific adverse impact on public health and safety, and (2) there is no feasible method to mitigate or avoid the impact. These impacts must be based on objective and identified written public health or safety standards, conditions, or policies as they existed on the date the application was deemed complete.

The Project qualifies as a "housing development" under the Act, because the Project consists of all residential units. Pursuant to the HAA, "[w]hen a proposed housing development project complies with applicable, objective general plan, zoning and subdivision standards and criteria," the City *may not* disapprove the project or reduce its density unless the City makes findings, supported by a preponderance of the evidence, that the project would have an unavoidable impact on public health or safety that cannot be mitigated in any way other than rejecting the project or reducing its size. Gov. Code § 65589.5(j).

Further, the 2017 amendments to the HAA clarify that a housing development project "shall be deemed consistent, compliant, and in conformity with an applicable [objective standard] if there is substantial evidence that would allow a reasonable person to conclude that the housing development project ... is consistent, compliant, or in conformity." Additionally, the amendments increase the burden of proof on local governments when denying a housing development project: a local agency's findings must be based on a heightened "preponderance of the evidence" standard rather than the more deferential "substantial evidence" standard common in the land use context. Failure to comply can result in the local jurisdiction paying a plaintiffs' attorneys fees and being subject to fines of at least \$10,000 per unit that was improperly disapproved.

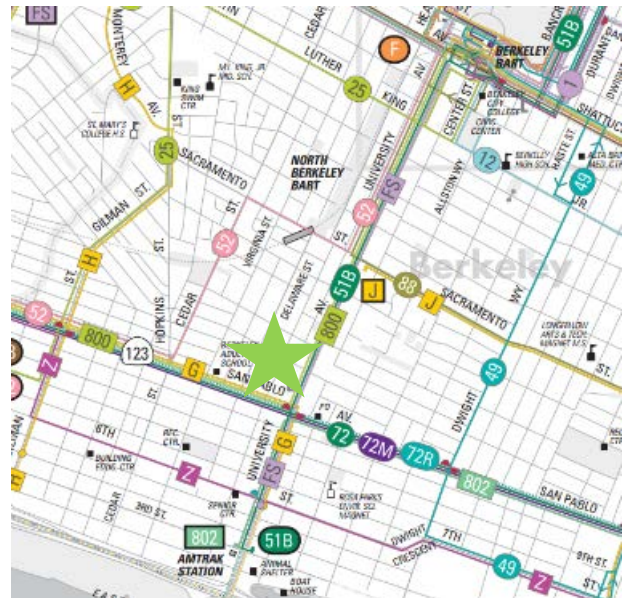
Transportation Demand Management and Sustainability Features

The project is located one block from one of Berkeley's best connected regional corridors and two blocks from one of Berkeley's best transit served east/west north/south crossroads (San Pablo/University). The site provides access and connectivity with West Berkeley, Oakland, San Francisco, Richmond, El Cerrito and Emeryville, and the Downtown Berkeley/Campus environs.

Bus Transit – The project site is within one quarter mile of the San Pablo/University intersection that is served by AC Transit's 72 Rapid bus line, 49, 51B, 52, FS, G, 72, 72M, and 800 and 802 lines, and transbay lines.

On Site Parking:

- The project will include 19 common area secure bicycle parking spaces on the ground level, for use by residents.
- The project provides 13 (plus 1 tandem space) ground level parking spaces for residents.



Project Sustainability Features and Benefits:

The project's primary sustainability features, consistent with the City of Berkeley Climate Action Plan, is that it is a transit-oriented development project. The project's TDM program, as described above, help the project best utilize the corridor's proximity to transit infrastructure. The project's green building features include:

- Drought tolerant and Bay-friendly landscaping and materials
- Engineered site drainage system
- LED and low voltage lighting where possible
- Low/No VOC finishes and materials
- Exceed Title 24 Energy Standards

These elements, as well as the project's proximity to excellent transit, will help the City of Berkeley to meet Climate Action Plan goals.

Architectural Program

The project architecture will provide a contemporary infill “village” type construct. The buildings are designed specifically to address the adjacencies of the single family homes to the project’s east. The massing along those property lines is consistent with zoning standards and the massing is kept to no higher than two stories.



One entire structure was removed from the rear corner of the site after a request by neighbors and those units were moved to Hearst Avenue where the buildings hold a stronger urban form and where structures vary from one to four stories. The roof lines and materials proposed for the project are consistent with the vernacular of the neighborhood.

Use Permits Requested

UP 23D.32.030 (UPPH)—Dwelling Units

AUP 23D.32.070.D.4 Building Separation – (Optional, see redline on Proposed Site Plan Page A1.4 of attached plan set) Reduce Building Separation; unless the ZAB does not approve the AUP, which will result in the alternative footprint for the Geranium building, as shown in redline on the attached plan set, that conforms to the zoning standards for building separation in BMC Section 23D.32.070.D.

AUP 23C.04.070.B Expansions of Non-Conforming Buildings & Structures (Optional, see redline on Proposed Site Plan Page A1.4 of attached plan set); unless the ZAB does not approve the AUP, which will result in the alternative footprint for the Azalea, Begonia and Geranium buildings, as shown in redline on the attached plan set, that conforms to the zoning standards for setbacks in BMC Section 23D.32.070.D.

CEQA Determination

This project is expected to be exempt from CEQA pursuant to Section 15332: Class 32 Exemption for Infill Development Projects. Section 15332 is intended to promote infill development projects within appropriate urbanized areas when they are consistent with local general plan and zoning requirements. This project meets the eligibility requirements for Class 32 exemption as follows:

- a) The project is consistent with the City of Berkeley’s General Plan designation as Low/Medium Density residential, as a residential development project with transit-oriented housing. The project is also consistent with the zoning designation and regulations of the R-2A district. The Project is consistent with the general use designation, density, building intensity, streetscape and applicable policies specified for the project area in the City’s Zoning Ordinance, specifically with the R-2A zoning district.
- b) The proposed development occurs within the City of Berkeley’s city limits. The project site is less than five acres and is completely surrounded by urbanized uses.

- c) As an urbanized site near two major transit corridors within the City of Berkeley, the project site has no value as habitat for endangered, rare or threatened species.
- d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The project site is within one quarter mile of the San Pablo/University intersection that is served by AC Transit's 72 Rapid bus line, 49, 51B, 52, FS, G, 72, 72M, and 800 and 802 lines, and transbay lines. The site is also .75 miles (a 10 minute bike ride) from the North Berkeley BART Station.

A Phase I Environmental Site Assessment was not prepared for the site because there is no history of property use other than lower density residential. There is no indication that any of the structures on the site, or the site itself, has any history of use of toxics or pollutants. Potential lead paint or asbestos issues will be handled consistent with City of Berkeley and Uniform Building Code Requirements.

As a transit-oriented project in an urbanized area, the proposed project will not have any significant effects on air quality or noise. The project will improve infrastructure related to hydrology on the site and as proposed will include landscaping and permeability meeting C-3 and Bay Friendly Landscape standards. A Hydrological Study was prepared for the project by Clearwater Hydrology, and peer reviewed by the City of Berkeley, to address on site and neighbor adjacent water and drainage issues. Those recommendations have been designed into the project and are a part of the proposal so that no mitigations are necessary from a CEQA perspective. The study is attached to this application.

A traffic and parking letter was completed by Abrams and Associates, which found that the project will NOT have a significant effect on area parking or traffic. That study is attached.

- e) The site can be adequately served by all required utilities and public services.

Housing Affordability Statement

Please refer also to the attached Housing Affordability and non-Discrimination Statement. The project proposes to either offer for sale 1 of the new construction condominiums at below market rate per BMC Section 23C.12.070 and pay an in-lieu fee for the remaining .2 fraction (6 new construction units x 20% = 1.2 units) or pay the in-lieu fee per BMC Section 23C.12.035 which would be 62.5% of the difference between the permissible sales price (3 x 80% AMI) and the actual sales price.

Zoning Standards

Standard (BMC Section 23E.64)		Existing	Proposed Total	Permitted/Required
Lot Area (sq. ft.) – Total		1157: 13,469 1173: 8,204	1157: 13,469 1173: 8,204	5,000
Residential Gross Floor Area (sq. ft.)		7,188	15,480	NA
Gross Floor Area (sq. ft.) – Total		7,188	15,480	NA
Lot Coverage		1157: 32.8% 1173: 17.5%	1157: 40% 1173: 40%	40%
Dwelling Units	Affordable	6 rent controlled	1.2 new construction, for-sale @ 3x80% AMI	1 new for-sale unit @3x80% AMI plus .2 in-lieu fee [6 new units x 20% = 1.2] or pay the in-lieu fee per BMC Section 23C.12.035: 62.5% of the difference between the permissible sales price and the actual sales price
	Total	6	13	1.2 or in-lieu fee
Building Height	Maximum (ft.)	1157: 19'-10" 1173: 23'-9"	1157:24'-10.5" 1173: 24'-6"	28'
	Stories	2	2	3
Yards	Front	1157: 10'-6" 1173: 11'-0" to house; 4'-10" to stair	No change (existing legal non-conforming)	15'
	Side	1157: 3'-10" 1173: 8'-8"	No change (existing legal non-conforming)	4'-0" -6'-0"
	Rear	1157: 141'-1" 1173: 1431-8"	No change	15'
Usable Open Space – Total (sq. ft.)		8,159	7,026	300sf/unit = 3,900 sf

Parking	Residential	7	13 (plus 1 tandem)	13
	Total	7	13 (plus 1 tandem)	13
	Bicycle	0	19	0

Unit Mix

Residential units represent a mix of one, two, and three-bedroom units.

Project Setting

The project site is located within a diverse residential setting on the edges of two major transit corridors.

The site currently supports four structures with residential units.

Environmental Assessment

There is no indication that any of the structures on the site, or the site itself, has any history of use of toxics or pollutants. Potential lead paint or asbestos issues will be handled consistent with City of Berkeley and Uniform Building Code Requirements.

Green Building Requirements

Project components that will contribute to environmental sustainability include the provision of transit-oriented housing, interior and exterior finishes and materials, addressing site and area hydrological issues, and bicycle parking.

Required Use Permit Findings - Findings to Authorize Approval of Use Permits – Section 23B.32.040. This section authorizes the approval of Use Permits upon finding that the establishment, maintenance or operation of the use, or construction of a building, will not be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the area or neighborhood or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood or to the general welfare of the City. Approval of a Use Permit also requires making the findings that the project is consistent with the purposes of the District.

Unit Mix and Size		
Unit Type	Number	Average Square Footage
One-Bedroom	2	@817 s.f.
Two-Bedroom	9	@1,124 s.f.
Three-Bedroom	2	@1,837 s.f.
Total	13	@1,259 s.f.

Surrounding Uses and Zoning		
Direction	Use	Zoning
North	Single Family Residential	R-2
East	Single Family Residential	R-2
South	Multifamily Residential	R-3
West	Multifamily Residential	R-2A

Response: The proposed project will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of the neighborhood or the City as a whole. The proposed project replaces a low density dated property with a history of nuisance and security problems with a condominium project that adds vitality, housing opportunities, economic development, and pedestrian-oriented design to the neighborhood, and continues the vernacular design of the existing neighborhood.

Neighborhood Meeting & Community Outreach

The project team has held numerous meetings with neighbors, including a large community meeting. A series of meetings has been held with individual neighbors to the north and the east of the project site to address issues of massing, parking, and hydrology. The proposed site plan responds to those meetings and issues.

The large community meeting was held on November 30th, 2015. Prior to the meeting, notices were sent to all property owners and occupants within 300 feet of the site based on a list of addresses provided by the City of Berkeley. The meeting was held in the driveway at the project site. About 25 area residents stopped by the site during the meeting time. To each of these neighbors, the project applicant and the architect presented the project. Draft floor plans and renderings were posted for attendees to view and the project team answered questions and discussed the proposal with the attendees. The sign in sheet and flier that was mailed are included in this application. A couple of neighbors expressed enthusiasm about the redevelopment of this historically troublesome property. Other neighbors expressed concerns about massing and parking. A second community meeting was held on August 3, 2017 at 1173 Hearst Avenue to provide a project status and process update to the neighbors. Subsequent to the feedback received at the September 28, 2017 Zoning Adjustments Board Meeting, a third neighborhood meeting was held on November 15, 2017 at the Berkeley Public Library West Branch to present the revised 13 unit project. About 14 people attended the meeting and the proposed revisions, such as reduction in unit count and building heights, were well received by the neighbors.

Project Team	
Owner Hearst Avenue Cottages, LLC	Applicant/Contact Rhoades Planning Group 46 Shattuck Square, Suite 11 Berkeley, CA 94704
Architect Devi Dutta Architecture Devi Dutta-Choudhury, AIA	



PLANNING & DEVELOPMENT

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TABULATION FORM

Project Address: 1157 HEARST Date: 4/19/1

Applicant's Name: Rhodes Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	6	8	N/
Number of Parking Spaces	(#)	6	1	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	7'-9	7'-9	15'
Side Yard Setbacks: (facing property)	Left: (ft.)	3'-10	3'-10	4'-0" TO
	Right: (ft.)	3'-9	3'-9	4'-0" TO
Rear Yard Setback	(ft.)	141'-2-1/	21'-1	15'-0
Building Height*	(# Stories)	2	2	2
Average*	(ft.)	19'-1"	24'-10-1/2	N/
Maximum*	(ft.)	19'-10	24'-10-1/2	28'
Areas				
Lot Area	(SqFt.)	13,46	13,46	N/
Gross Floor Area*	(SqFt.)	5300	9754	N/
Total Area Covered by All Floors				N/
Building Footprint*	(SqFt.)	4418	5335	N/
Total of All Structures				N/
Lot Coverage*	(%)	32.8	39.6	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	2560	2440	300 SF/UNIT =
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: 1173 HEARST Date: 4/19/1

Applicant's Name: Rhodes Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	1	5	N/
Number of Parking Spaces	(#)	2	2*	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	4'-10	4'-10	15'
Side Yard Setbacks: (facing property)	Left: (ft.)	8'-8	5'-9-1/	4'-0" TO
	Right: (ft.)	4'-6	4'-0	4'-0" TO
Rear Yard Setback	(ft.)	143'-8-1/	18'-6	15'-0
Building Height*	(# Stories)	2	2	2
Average*	(ft.)	21'-7-1/2	24'-6"	N/
Maximum*	(ft.)	23'-9"	24'-6"	28'
Areas				
Lot Area	(SqFt.)	8,20	8,20	N/
Gross Floor Area* Total Area Covered by All Floors	(SqFt.)	3323	6042	N/
Building Footprint* Total of All Structures	(SqFt.)	1443	3281	N/
Lot Coverage* (Footprint/Lot Area)	(%)	17.5	39.9	40
Useable Open Space*	(SqFt.)	5599	2315	300 SF/UNIT=1500
Floor Area Ratio* Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

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*additional parking provided on adjacent lot under same



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TABULATION FORM

Project Address: AZALEA - 1555 - 57 HEARST Date: Feb 9,

Applicant's Name: Rhodes Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	2	2	N/
Number of Parking Spaces	(#)	2	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	10'-6"	10'-6" EXTEND	15'
Side Yard Setbacks: (facing property)	Left: (ft.)	3'-10"	3'-10" EXTEND	4'-0" TO
	Right: (ft.)	42'-7"	42'-7"	4'-0" TO
Rear Yard Setback	(ft.)	141'-1"	141'-1"	15'-0"
Building Height*	(# Stories)	1	2	2
Average*	(ft.)	12'-11"	24'-10-1/2"	N/
Maximum*	(ft.)	12'-11"	24'-10-1/2"	28'
Areas				
Lot Area	(SqFt.)	13,469	13,46	N/
Gross Floor Area*	(SqFt.)	992 SF	2031	N/
Total Area Covered by All Floors				N/
Building Footprint*	(SqFt.)	992 AZALEA	1056	N/
Total of All Structures				N/
Lot Coverage*	(%)	7.6% AZALEA	7.8%	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	2,560 SF	300	300 SF/UNIT & #13; see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: BEGONIA - 1161-63 Hearst Date: February 9,

Applicant's Name: Rhodes Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	2	2	N/
Number of Parking Spaces	(#)	2	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	7'-9	7'-9" EXTEND	15'-0
Side Yard Setbacks: (facing property)	Left: (ft.)	42'-7	42'-7	N/
	Right: (ft.)	3'-9	3'-9" EXTEND	4'-0" TO
Rear Yard Setback	(ft.)	145'-2	145'-2	15'-0
Building Height*	(# Stories)	1	2	2
Average*	(ft.)	12'-11	24'-10-1/	N/
Maximum*	(ft.)	12'-11	24'-10-1/	28
Areas				
Lot Area	(SqFt.)	13,469	13,46	N/
Gross Floor Area*	(SqFt.)	1018 SF	2037 SF	N/
Total Area Covered by All Floors				
Building Footprint*	(SqFt.)	1018 SF	1062 SF	N/
Total of All Structures				
Lot Coverage*	(%)	7.6%	7.8%	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	2,560 SF	300	300 SF/UNIT see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: CAMELLIA - 1173 HEARST Date: February 9,

Applicant's Name: Rhodes Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	1	1	N/A
Number of Parking Spaces	(#)	2	2	1/
Yards and Height				
Front Yard Setback	(ft.)	11'-0" TO HOUSE.	11'-0" TO HOUSE.	15'-0
Side Yard Setbacks: (facing property)	Left: (ft.)	8'-8	8'-8	4'-0" TO
	Right: (ft.)	4'-6	4'-6	4'-0" TO
Rear Yard Setback	(ft.)	143'-8	143'-8	15'-0
Building Height*	(# Stories)	2	2	2
Average*	(ft.)	21'-0	21'-8	N/
Maximum*	(ft.)	23'-6	23'-9	28'
Areas				
Lot Area	(SqFt.)	8,20	8,20	N/
Gross Floor Area*	(SqFt.)	240	2404	N/
Total Area Covered by All Floors				
Building Footprint*	(SqFt.)	144	144	N/
Total of All Structures				
Lot Coverage*	(%)	17.5&	17.5&	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	5.599 SF	300sf	300 SF/UNIT see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: DAFFODI Date: February 9,

Applicant's Name: Rhoades Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	N/	2	N/
Number of Parking Spaces	(#)	N/	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	N/	101'-6	15'-0
Side Yard Setbacks: (facing property)	Left: (ft.)	N/	5'-9	4'-0" TO
	Right: (ft.)	N/	4'-0"	4'-0" TO
Rear Yard Setback	(ft.)	N/	68'-6	15'-0
Building Height*	(# Stories)	N/	2	2
Average*	(ft.)	N/	24'-6	N/
Maximum*	(ft.)	N/	24'-6	28
Areas				
Lot Area	(SqFt.)	N/	8,20	N/
Gross Floor Area*	(SqFt.)	N/	1,81	N/
Total Area Covered by All Floors		N/		N/
Building Footprint*	(SqFt.)	N/	91	N/
Total of All Structures		N/		N/
Lot Coverage*	(%)	N/	11.2&	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	5.599 SF	300	300 SF/UNIT see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: EDELWEISS HEARST Date: February 9,

Applicant's Name: Rhoades Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	N/	2	N/
Number of Parking Spaces	(#)	N/	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	N/	151'-6	15'-0
Side Yard Setbacks: (facing property)	Left: (ft.)	N/	5'-9	4'-0" TO
	Right: (ft.)	N/	4'-0	4'-0" TO
Rear Yard Setback	(ft.)	N/	18'-6	N/
Building Height*	(# Stories)	N/	2	2
Average*	(ft.)	N/	24'-6	N/
Maximum*	(ft.)	N/	24'-6	28
Areas				
Lot Area	(SqFt.)	N/	8,20	N/
Gross Floor Area*	(SqFt.)	N/	1,81	N/
Total Area Covered by All Floors		N/		N/
Building Footprint*	(SqFt.)	N/	91	N/
Total of All Structures		N/		N/
Lot Coverage*	(%)	N/	11.1&	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	5.599 SF	300	300 SF/UNIT & #13; see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: FREESIA - 1179 HEARST Date: February 9,

Applicant's Name: Rhoades Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	2	2	N/
Number of Parking Spaces	(#)	2	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	136'-11	136-11	N/
Side Yard Setbacks: (facing property)	Left: (ft.)	16'-11	5'-4	N/
	Right: (ft.)	10'-6	9'-8	N/
Rear Yard Setback	(ft.)	27'-10	21'-1	N/
Building Height*	(# Stories)	2	2	2
Average*	(ft.)	19'-1	23'-3	N/
Maximum*	(ft.)	19'-9	24'-7	28
Areas				
Lot Area	(SqFt.)	13,46	13,46	N/
Gross Floor Area*	(SqFt.)			N/
Total Area Covered by All Floors		2,83	3,72	N/
Building Footprint*	(SqFt.)			N/
Total of All Structures		1,41	1,88	N/
Lot Coverage*	(%)	10.5	14&	40
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	2,560 SF	300	300 SF/UNIT & #13; see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: Geranium - Hearst Date: February 9,

Applicant's Name: Rhoades Planning

Zoning District R-2

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	N/	2	N/
Number of Parking Spaces	(#)	N/	2	1/UNIT =
Yards and Height				
Front Yard Setback	(ft.)	N/	78'-3	15'-0
Side Yard Setbacks: (facing property)	Left: (ft.)	N/	4'-0	4'-0" to
	Right: (ft.)	N/	42'-7	4'-0" to
Rear Yard Setback	(ft.)	N/	71'-5	15'-0
Building Height*	(# Stories)	N/	2	2
Average*	(ft.)	N/	23'-6	N/
Maximum*	(ft.)	N/	23'-6	28
Areas				
Lot Area	(SqFt.)	N/	13,46	N/
Gross Floor Area*	(SqFt.)	N/	1,96	N/
Total Area Covered by All Floors		N/		N/
Building Footprint*	(SqFt.)	N/	133	N/
Total of All Structures		N/		N/
Lot Coverage*	(%)	N/	9.8	N/
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	2,560 SF	300	300 SF/UNIT see A0.3 for open space
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/	N/	N/

*See Definitions – Zoning Ordinance Title 23F.

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C.3.i Stormwater Requirements Checklist
Municipal Regional Stormwater Permit (MRP)
Stormwater Controls for Development Projects

City of Berkeley
 Public Works Dept.
 Engineering Division



I. C.3.i Project Information

This form applies to development projects creating and/or replacing $\geq 2500 \text{ ft}^2$ to $< 10,000 \text{ ft}^2$ of impervious surface which are not Special Land Use Categories projects (auto service facilities, retail gasoline outlets, restaurants, and uncovered parking lots). This form also applies to detached single-family home projects, which create and /or replace $\geq 2500 \text{ ft}^2$ of impervious surface. Interior remodeling projects and routine maintenance or repair projects such as roof or exterior wall surface replacement and pavement resurfacing within the existing footprint are exempt from C.3.i stormwater requirement.

I.A. Enter Project Data

I.A.1 Project Name: HEARST

I.A.2 Project Address (include cross street): 115-1173 HEARST AVE @

I.A.3 Project APN: 057-208601300 &

I.A.4 Applicant Name: RHOADES PLANNING

I.A.5 Applicant Address: 1611 TELEGRAPH AVE, OAKLAND, CA

I.A.6 Applicant Phone: 510/545-43 Applicant Email Address: mark@rhoadesplanninggroup

I.A.7 Development type: (check all that apply)
 Residential Commercial Industrial Mixed-Use
 'Redevelopment' as defined by MRP: creating, adding and/or replacing exterior existing impervious surface on a site where past development has occurred

I.A.8 Project Description: (Also note any past or future phases of the project.)
THIS PROJECT PROPOSES ADDING 6 SINGLE FAMILY UNITS TO 2 SEPARATE LOTS THAT CURRENTLY CONTAIN 7 EXISTING UNITS. WHICH ARE TO BE

I.A.9 Total Area of Site: 21,67 ft^2
 Total Area of land disturbed during construction (include clearing, grading, excavating and stockpile area): 14,51 ft^2

I.B. Enter the amount of impervious and pervious surface¹ created and/or replaced by the project.

Table of Impervious and Pervious Surfaces

Type of Impervious Surface	a	b	c	d
	Pre-Project Impervious Surface (sq.ft.)	Existing Impervious Surface to be Replaced ³ (sq.ft.)	New Impervious Surface to be Created ³ (sq.ft.)	Post-project landscaping (sq.ft.), if applicable
Roof area(s) – excluding any portion of the roof that is vegetated ("green roof")	453	453	383	N/A
Impervious ¹ sidewalks, patios, paths, driveways	52	0	0	
Impervious ¹ uncovered parking ²	461	0	0	
Totals:	967	453	383	475
Area of Existing Impervious Surface to remain in place		N/A		
Total New Impervious Surface (sum of totals for columns b and c):		836		

¹ Per the MRP, pavement that meets the following definition of pervious pavement is NOT an impervious surface. Pervious pavement is defined as pavement that stores and infiltrates rainfall at a rate equal to immediately surrounding unpaved, landscaped areas, or that stores and infiltrates the rainfall runoff volume described in Provision C.3.d.
² Uncovered parking includes top level of a parking structure.
³ "Replace" means to install new impervious surface where existing impervious surface is removed. "Create" means to install new impervious surface where there is currently no impervious surface.

C.3.i Stormwater Requirements Checklist

I.C. Identify C.6 Construction-Phase Stormwater Requirements

- | | Yes | No |
|--|--------------------------|-------------------------------------|
| I.C.1 Is the site a "High Priority Site" that disturbs less than 1.0 acre (43,560 sq.ft.) of land? (Municipal staff will make this determination.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <ul style="list-style-type: none"> ▪ "High Priority Sites" are sites that require a grading permit, are adjacent to a creek, or are otherwise high priority for stormwater protection during construction (see MRP Provision C.6.e.ii(2)) | | |
| ➤ NOTE TO APPLICANT: All projects require appropriate stormwater best management practices (BMPs) during construction. Refer to the Section II.C to identify appropriate construction BMPs. | | |
| ➤ NOTE TO MUNICIPAL STAFF: If the answer is "Yes" to question I.C.1, refer this project to construction site inspection staff to be added to their list of projects that require stormwater inspections at least monthly during the wet season (October 1 through April 30). | | |

II. Implementation of C.3.i Stormwater Requirements

II.A. Select Appropriate Site Design Measures

- Starting December 1, 2012, projects that create and/or replace 2,500 - 10,000 sq.ft. of impervious surface, and stand-alone single family homes that create/replace 2,500 sq.ft. or more of impervious surface, **must include one or more of the following Site Design Measures a through f**, and are encouraged to implement the other Site Design Measures as practicable. See attached fact sheets for guidance on rain barrels / cisterns, vegetated areas and permeable surfaces, and attached sheets on recommended Source Control Measures and Construction BMPs.

II.A.1 Is the site design measure included in the project plans?

Yes	No	If Yes, show Plan Sheet No.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b. Direct roof runoff onto vegetated areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Construct sidewalks, walkways, and/or patios with permeable surfaces.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.
		OPTIONAL site design measures g through m: implement as practicable.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	g. Minimize land disturbance and impervious surface (especially parking lots).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	h. Maximize permeability by clustering development and preserving open space.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Use micro-detention, including distributed landscape-based detention.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Protect sensitive areas, including wetland and riparian areas, and minimize changes to the natural topography.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	k. Self-treating area (see Section 4.1 of the C.3 Technical Guidance)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	l. Self-retaining area (see Section 4.2 of the C.3 Technical Guidance)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	m. Plant or preserve interceptor trees (Section 4.5, C.3 Technical Guidance)

II.B. C.3.i projects are encouraged to implement the following Source Control Measure as practicable.

Features that require source control measures	Source control measures (Refer to Local Source Control List for detailed requirements)
Storm Drain	Mark on-site inlets with the words “No Dumping! Flows to Bay” or equivalent.
Floor Drains	Plumb interior floor drains to sanitary sewer ¹ [or prohibit].
Parking garage	Plumb interior parking garage floor drains to sanitary sewer. ¹
Landscaping	<ul style="list-style-type: none"> ▪ Retain existing vegetation as practicable. ▪ Select diverse species appropriate to the site. Include plants that are pest- and/or disease-resistant, drought-tolerant, and/or attract beneficial insects. ▪ Minimize use of pesticides and quick-release fertilizers. ▪ Use efficient irrigation system; design to minimize runoff.
Pool/Spa/Fountain	Provide connection to the sanitary sewer to facilitate draining. ¹
Food Service Equipment (non-residential)	Provide sink or other area for equipment cleaning, which is: <ul style="list-style-type: none"> ▪ Connected to a grease interceptor prior to sanitary sewer discharge.¹ ▪ Large enough for the largest mat or piece of equipment to be cleaned. ▪ Indoors or in an outdoor roofed area designed to prevent stormwater run-on and run-off, and signed to require equipment washing in this area.
Refuse Areas	<ul style="list-style-type: none"> ▪ Provide a roofed and enclosed area for dumpsters, recycling containers, etc., designed to prevent stormwater run-on and runoff. ▪ Connect any drains in or beneath dumpsters, compactors, and tallow bin areas serving food service facilities to the sanitary sewer.¹
Outdoor Process Activities ²	Perform process activities either indoors or in roofed outdoor area, designed to prevent stormwater run-on and runoff, and to drain to the sanitary sewer. ¹
Outdoor Equipment/ Materials Storage	<ul style="list-style-type: none"> ▪ Cover the area or design to avoid pollutant contact with stormwater runoff. ▪ Locate area only on paved and contained areas. ▪ Roof storage areas that will contain non-hazardous liquids, drain to sanitary sewer¹, and contain by berms or similar.
Vehicle/ Equipment Cleaning	<ul style="list-style-type: none"> ▪ Roofed, pave and berm wash area to prevent stormwater run-on and runoff, plumb to the sanitary sewer⁴, and sign as a designated wash area. ▪ Commercial car wash facilities shall discharge to the sanitary sewer.¹
Vehicle/ Equipment Repair and Maintenance	<ul style="list-style-type: none"> ▪ Designate repair/maintenance area indoors, or an outdoors area designed to prevent stormwater run-on and runoff and provide secondary containment. Do not install drains in the secondary containment areas. ▪ No floor drains unless pretreated prior to discharge to the sanitary sewer.¹ ▪ Connect containers or sinks used for parts cleaning to the sanitary sewer.¹
Fuel Dispensing Areas	<ul style="list-style-type: none"> ▪ Fueling areas shall have impermeable surface that is a) minimally graded to prevent ponding and b) separated from the rest of the site by a grade break. ▪ Canopy shall extend at least 10 ft in each direction from each pump and drain away from fueling area.
Loading Docks	<ul style="list-style-type: none"> ▪ Cover and/or grade to minimize run-on to and runoff from the loading area. ▪ Position downspouts to direct stormwater away from the loading area. ▪ Drain water from loading dock areas to the sanitary sewer.¹ ▪ Install door skirts between the trailers and the building.
Fire Sprinklers	Design for discharge of fire sprinkler test water to landscape or sanitary sewer. ¹
Miscellaneous Drain or Wash Water	<ul style="list-style-type: none"> ▪ Drain condensate of air conditioning units to landscaping. Large air conditioning units may connect to the sanitary sewer.¹ ▪ Roof drains shall drain to unpaved area where practicable. ▪ Drain boiler drain lines, roof top equipment, all washwater to sanitary sewer.¹
Architectural Copper	Discharge rinse water to sanitary sewer ¹ , or collect and dispose properly offsite. See flyer “Requirements for Architectural Copper.”

¹ Any connection to the sanitary sewer system is subject to sanitary district approval.

² Businesses that may have outdoor process activities/equipment include machine shops, auto repair, industries with pretreatment facilities.

II.C. Implement construction Best Management Practices (BMPs) where applicable.

Best Management Practice (BMP)
Attach the municipality's construction BMP plan sheet to project plans and require contractor to implement the applicable BMPs on the plan sheet.
Temporary erosion controls to stabilize all denuded areas until permanent erosion controls are established.
Delineate with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
Provide notes, specifications, or attachments describing the following: <ul style="list-style-type: none">▪ Construction, operation and maintenance of erosion and sediment controls, include inspection frequency;▪ Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material;▪ Specifications for vegetative cover & mulch, include methods and schedules for planting and fertilization;▪ Provisions for temporary and/or permanent irrigation.
Perform clearing and earth moving activities only during dry weather.
Use sediment controls or filtration to remove sediment when dewatering and obtain all necessary permits.
Protect all storm drain inlets in vicinity of site using sediment controls such as berms, fiber rolls, or filters.
Trap sediment on-site, using BMPs such as sediment basins or traps, earthen dikes or berms, silt fences, check dams, soil blankets or mats, covers for soil stock piles, etc.
Divert on-site runoff around exposed areas; divert off-site runoff around the site (e.g., swales and dikes).
Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
Limit construction access routes and stabilize designated access points.
No cleaning, fueling, or maintaining vehicles on-site, except in a designated area where washwater is contained and treated.
Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater.
Contractor shall train and provide instruction to all employees/subcontractors re: construction BMPs.
Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, washwater or sediments, rinse water from architectural copper, and non-stormwater discharges to storm drains and watercourses.



PROPOSED PROJECT

PROJECT INFORMATION

1155-1173 Hearst Avenue

Proposed residential development with 13 units including below market rate units with vehicle and bicycle parking.

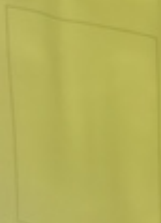


APPLICANT INFORMATION:

Hearst Avenue Cottages, LLC
C/O Rhoades Planning Group
info@rhoadesplanninggroup.com

For more information check the Planning Department
Web Page: www.ci.berkeley.ca.us/planning or call the
Planning Department at 510-981-7410

Public Notices:



PROJECT:

**HEARST GARDENS
 BERKELEY, CA 94702**

DESCRIPTION:

DEVELOPMENT OF TWO EXISTING LOTS AT HEARST STREET BETWEEN SAN PABLO & CURTIS STREET. THE EXISTING LOTS ARE OVER 21,000 SF, AND CURRENTLY HAVE 7 RESIDENCES ON SITE. ALL OF THESE ARE TO BE MAINTAINED AND RENOVATED. THERE WILL BE 6 HOMES ADDED TO THE SITE. UNITS ARE ARRANGED AROUND A CENTRAL PASEO THAT PROVIDES ACCESS TO ALL UNITS AND AMPLE OPEN SPACE.

SITE ADDRESS:

1155, 1157, 1159, 1161, 1163 & 1173 HEARST AVE.
 BERKELEY, CA 94704

**ASSESSOR'S
 PARCEL #:**

LOT @ 1173: 057 208601300
 LOT @ 1157: 057 208601400



APPLICANT:

RHOADES PLANNING GROUP
 46 SHATTUCK SQUARE, SUITE 11
 BERKELEY, CA 94704
 info@rhodesplanninggroup.com

ARCHITECT:

DEVI DUTTA-CHOUDHURY, AIA
 DEVI DUTTA ARCHITECTURE INC.
 928 CARLETON STREET
 BERKELEY, CA 94710
 [510] 705-1937
 hello@devidutta.com

OWNER:

HEARST AVE COTTAGES, LLC
 46 SHATTUCK SQUARE, SUITE 11
 BERKELEY, CA 94704

SHEET INDEX

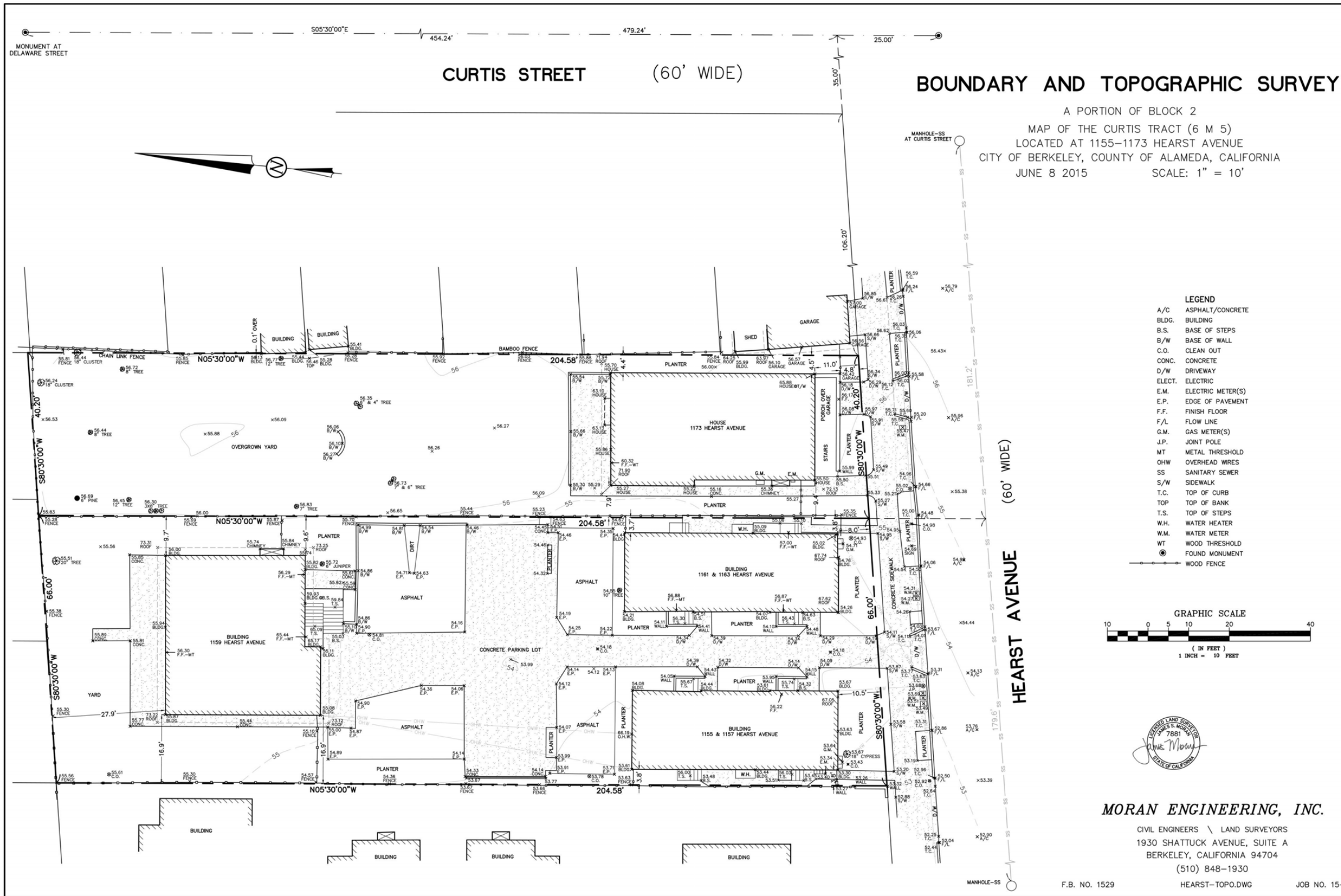
A0.0	COVER SHEET
A0.00	SURVEY
A0.1	DEVELOPMENT STANDARDS
A0.2	PROJECT INFORMATION
A0.3	SETBACKS & OPEN SPACE
A0.4	EXISTING PROJECT
A0.5	PROPOSED PROJECT
A0.6	DIAGRAM - NEIGHBORHOOD CONTEXT
A0.7	VICINITY MAP
A0.8	STREET STRIP - HEARST AVENUE
A0.9	NEIGHBORHOOD PHOTOS
A0.10	SITE PHOTOS
A1.0	EXISTING SITE PLAN
A1.1	EXISTING PLANS & ELEVATIONS
A1.2	EXISTING PLANS & ELEVATIONS
A1.3	EXISTING PLANS & ELEVATIONS
A1.4	SITE PLAN, PROPOSED
A1.5	GROUND FLOOR
A1.6	SECOND FLOOR
A1.8	ROOF PLAN
A2.0	SOUTH SITE ELEVATION (FRONT)
A2.1	NORTH SITE ELEVATION
A2.2	EAST SITE ELEVATION
A2.3	WEST SITE ELEVATION

SHEET INDEX

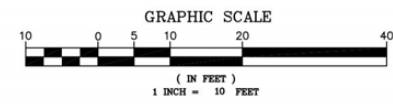
A3.0	SITE SECTIONS LOOKING WEST
A3.1	SITE SECTIONS LOOKING EAST
A3.2	SITE SECTIONS LOOKING NORTH
A3.3	SITE SECTIONS LOOKING SOUTH
A3.4	BUILDING SITE SECTIONS
A3.5	BUILDING SITE SECTIONS
A4.0	AZALEA & BEGONIA PLANS
A4.0A	AZALEA & BEGONIA ELEVATIONS
A4.0B	AZALEA & BEGONIA ELEVATIONS
A4.1	CAMELLIA PLANS
A4.1A	CAMELLIA ELEVATIONS
A4.1B	CAMELLIA ELEVATIONS
A4.2	DAFFODIL & EDELWEISS PLANS
A4.2A	DAFFODIL & EDELWEISS ELEVATIONS
A4.2B	DAFFODIL & EDELWEISS ELEVATIONS
A4.3	FREESIA PLANS
A4.3A	FREESIA ELEVATIONS
A4.3B	FREESIA ELEVATIONS
A4.4	GERANIUM PLANS
A4.4A	GERANIUM ELEVATIONS
A4.4B	GERANIUM ELEVATIONS
A4.5	FENCE DETAIL
A4.6	BIKE STORAGE DETAILS
A5.0	RENDERING - HEARST LOOKING WEST

SHEET INDEX

A5.2	RENDERING - PASEO NORTH @ BEGONIA BLDG.
A5.3	RENDERING - PASEO SOUTH @ DAFFODIL
A5.4	RENDERING - VIEW TO DAFFODIL & EDELWEISS
A5.5	RENDERING - PASEO LOOKING WEST @ GERANIUM
A5.6	RENDERING - VIEW TO SOUTH FROM BACK YARD
A5.7	RENDERING - VIEW HEARST LOOKING EAST
A6.0	SHADOW STUDIES SUMMER SOLSTICE
A6.1	SHADOW STUDIES WINTER SOLSTICE
A9.1	BUILDING CODE SUMMARY



- LEGEND**
- A/C ASPHALT/CONCRETE
 - BLDG. BUILDING
 - B.S. BASE OF STEPS
 - B/W BASE OF WALL
 - C.O. CLEAN OUT
 - CONC. CONCRETE
 - D/W DRIVEWAY
 - ELECT. ELECTRIC
 - E.M. ELECTRIC METER(S)
 - E.P. EDGE OF PAVEMENT
 - F.F. FINISH FLOOR
 - F/L FLOW LINE
 - G.M. GAS METER(S)
 - J.P. JOINT POLE
 - MT METAL THRESHOLD
 - OHW OVERHEAD WRES
 - SS SANITARY SEWER
 - S/W SIDEWALK
 - T.C. TOP OF CURB
 - TOP TOP OF BANK
 - T.S. TOP OF STEPS
 - W.H. WATER HEATER
 - W.M. WATER METER
 - WT WOOD THRESHOLD
 - FOUND MONUMENT
 - WOOD FENCE



MORAN ENGINEERING, INC.
 CIVIL ENGINEERS \ LAND SURVEYORS
 1930 SHATTUCK AVENUE, SUITE A
 BERKELEY, CALIFORNIA 94704
 (510) 848-1930

F.B. NO. 1529 HEARST-TOP0.DWG JOB NO. 15-9090



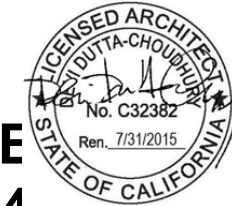
	EXISTING CONDITIONS
GROSS FLOOR AREA	7,188 GFA
AVERAGE UNIT SIZE	1,027 GFA
LOT AREA	LOT @ 1173 HEARST: 8,204 SF LOT @ 1157 HEARST: 13,469 SF
LOT COVERAGE	17.5% @ 1173 HEARST 26% @ 1157 HEARST
	@ 1173: 1,355 SF @ 1157: 3,425 SF
PARKING	6 UNMARKED SPACES
OPEN SPACE	SHARED REAR YARD
HEIGHT & STORIES	2 STORIES PROVIDED 23' EXISTING HEIGHT
SETBACKS	FRONT: 7' - 10" EXISTING NON-CONFORMING SIDE: 3' - 8" EXISTING NON-CONFORMING REAR: 28' REQUIRED
EXISTING DWELLING UNITS	7

	DEVELOPMENT STANDARDS
GROSS FLOOR AREA	15,256GFA
AVERAGE UNIT SIZE	1,173 GFA
LOT AREA	LOT @ 1173 HEARST: 8,204 SF LOT @ 1157 HEARST: 13,469 SF
LOT COVERAGE	40% ALLOWED
	@ 1173: 3,281 SF @ 1157: 5,335 SF
PARKING	1 PER UNIT REQ'D. (13)
OPEN SPACE	300 SF/UNIT = 3,900 REQUIRED
HEIGHT & STORIES	2 STORIES PERMITTED 28' HEIGHT ALLOWED
SETBACKS	15' FRONT YARD REQ'D. 4' SIDE YARD REQ'D. 15' BACK YARD REQ'D.
PROPOSED DWELLING UNITS	13

APPLICABLE CODES:

(INCLUDES LOCAL AMENDMENTS)

- 2016 California Building Code (CBC)
- 2016 California Residential Code (CRC)
- 2016 California Energy Code
- 2016 California Electrical Code (CEC)
- 2016 California Plumbing Code (CPC)
- 2016 California Mechanical Code (CMC)
- 2016 California Fire Code (CFC)
- 2016 CALGreen
- BERKELEY MUNICIPAL CODE

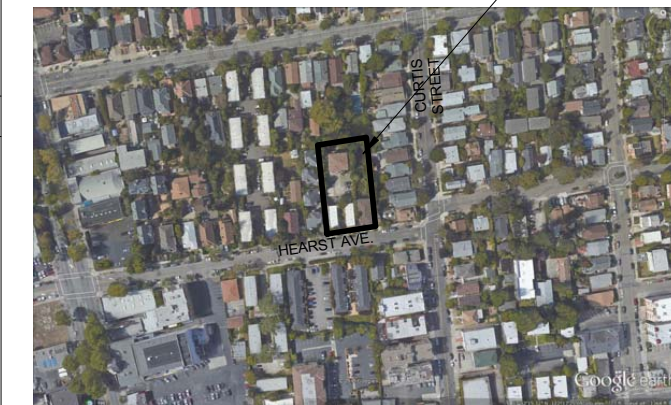


PROJECT:

**1155 HEARST AVE
 BERKELEY, CA 94702**

ASSESSOR'S PARCEL #:

LOT 1173: 057 208601300
 LOT 1157: 057 208601400

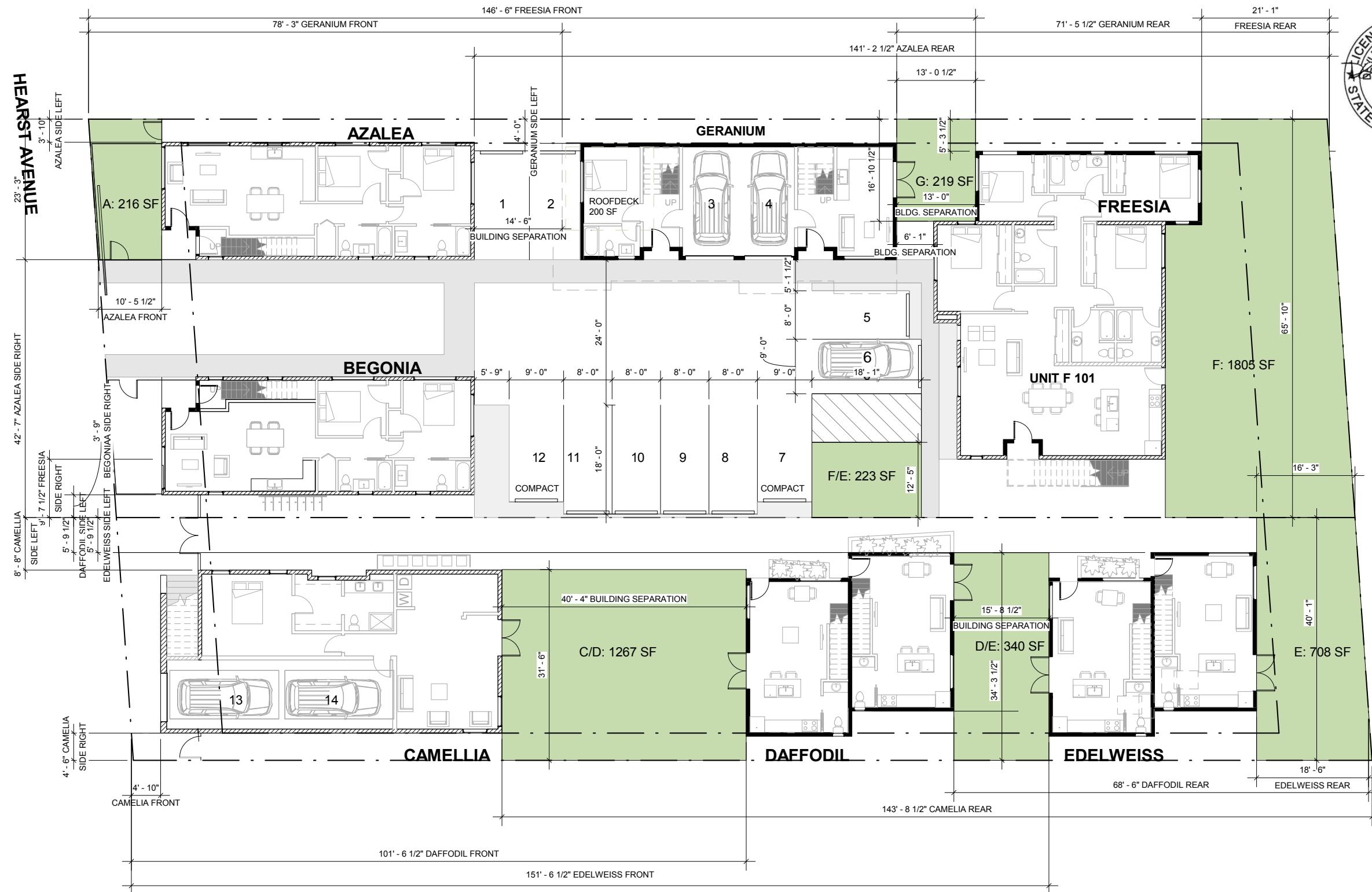


HEIGHT & STORIES ZONING:		EXISTING:	PROPOSED:
STORIES:	2 ALLOWED	2	2
HEIGHT:	28' AVG	23' MAX	25' MAX
SETBACKS (MIN. DIMENSIONS SHOWN - SEE SETBACK DIAGRAM, A0.3)			
FRONT	15'	7'-10" EXISTING	4' - 9" - 7'-10" ADDITION CONTINUE EXIST. SETBACK
SIDE	4' @ 1ST STORY 4' @ 2ND STORY	3'-10" @ WEST 4'- 6" @ EAST	3' - 10" @ WEST 4' - 6" @ EAST 5' - 4" @ FREESIA ADDITION
BACK	15'	15'-10"	
BUILDING SEPARATION	8' @ 1ST STORY 12' @ 2ND STORY	13'- 3"	A - B: 19' - 4" B - C: 12' - 5" C - D: 40' - 4" D - E: 15' - 8 1/2" E - F: 15' - 5" F - G: 6' - 1" AUP REQ. A - G: 14' - 6"
LOT AREA			
	@ 1173	8,204 SF	8,204 SF
	@ 1157	13,469 SF	13,469 SF
LOT COVERAGE			
	2 - STORY: 40%		@ 1173: 3,281 SF: 39.9% @ 1157: 5,335 SF: 39.6%
GROSS FLOOR AREA			
		@ 1173: 3,323 SF	@ 1173: 6,042 SF
		@ 1157: 5,300 SF	@ 1157: 9,754 SF
PARKING: CARS			
RESIDENTIAL	1/UNIT 13 REQUIRED	7 (1 COVERED @ CAMELLIA; 6 @ SURFACE LOT)	13 + 1 TANDEM 10 @ SURFACE LOT (1 ADA / ACCESSIBLE) 2 COVERED @ GERANIUM 2 TANDEM @ CAMELLIA
PARKING: BIKE			
RESIDENTIAL	NONE REQUIRED	0	19

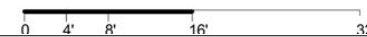
DENSITY:	ZONING:	EXISTING:	PROPOSED:
* NOTE: SEE SHEET A0.8 FOR UNIT MIX AND SIZES			
ALLOWED 1173 HEARST: 1157 HEARST:	1 / 1650 SF LOT AREA 8,204/1650 = 5 UNITS 13,469/1650 = 8 UNITS	1 UNIT 6 UNITS	4 NEW UNITS = 5 TOTAL 2 NEW UNITS = 8 TOTAL
OPEN SPACE (SEE OPEN SPACE DIAGRAM, A0.3)			
	300 SF / UNIT X 13 = 3900 SF		@ 1173 TOTAL: 2,315 SF C/D: 1,267 SF D/E: 340 SF E: 708 SF
	@ 1173: 5 X 300 = 1500 SF @ 1157: 8 X 300 = 2400 SF	@ 1173: 5,599 SF @ 1157: 2,560 SF	@ 1157 TOTAL: 2,440 SF A: 216 SF G/F: 219 SF F: 1,805 SF G ROOFDECK: 200 SF
BUILDING OCCUPANCY PER CBC.			
R-3 (SINGLE FAMILY RESIDENTIAL DUPLEXES)			
PROPOSED CONSTRUCTION TYPE			
TYPE VB CONSTRUCTION THROUGHOUT - WOOD FRAMING, NON-RATED PER CALIFORNIA RESIDENTIAL CODE			
EXCAVATION			
APPROXIMATELY 55 CUBIC YARDS, FOR NEW FOUNDATIONS ONLY.			

ZONING INFORMATION:

ADDRESS:	1155 & 1173 HEARST AVE BERKELEY, CA 94702
USE DESCRIPTION:	CURRENT RESIDENTIAL PROPERTY CONVERTED TO 5 OR MORE UNITS SINGLE FAMILY RES., USED AS SUCH.
GENERAL PLAN:	MDR
ZONING DISTRICT:	R-2A
FLOOD ZONE:	NO
FIRE ZONE:	1
ENV. MGMT. AREA:	NO
LANDMARK STRUCT. MERIT:	NO
LOT AREA 1173:	8,204 SF
LOT AREA: 1157	13,469 SF
TOTAL:	21,673 SF

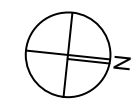
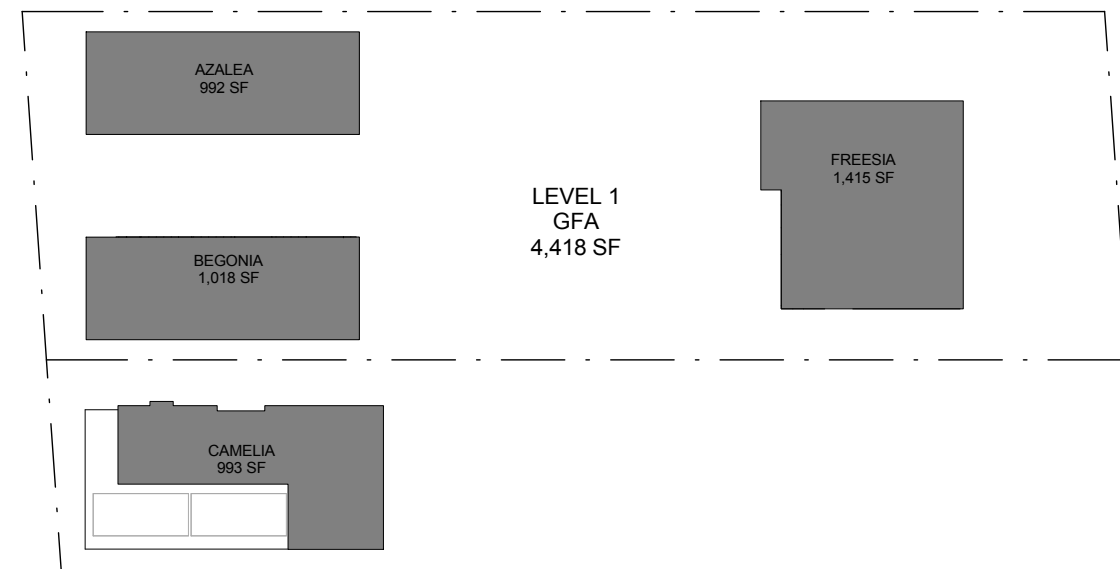
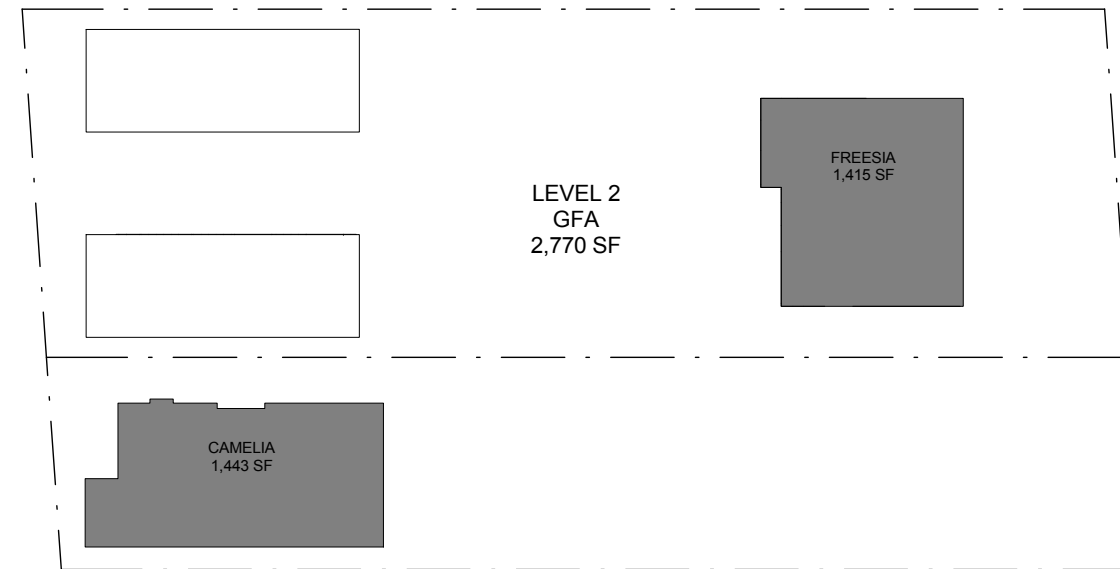


1 GROUND PLAN OPEN SPACE
 1/16" = 1'-0"



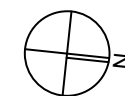
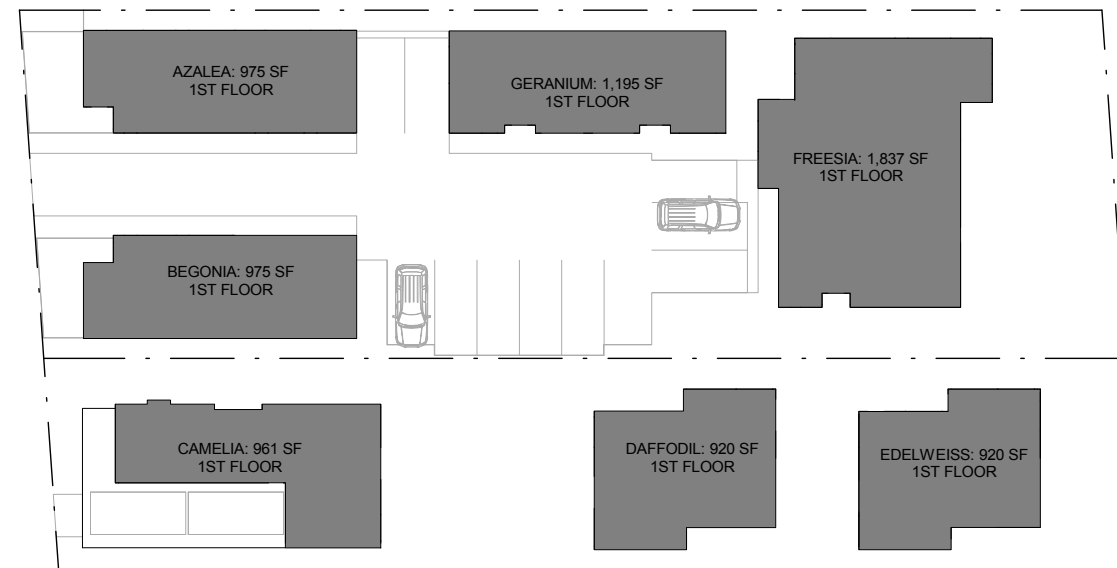
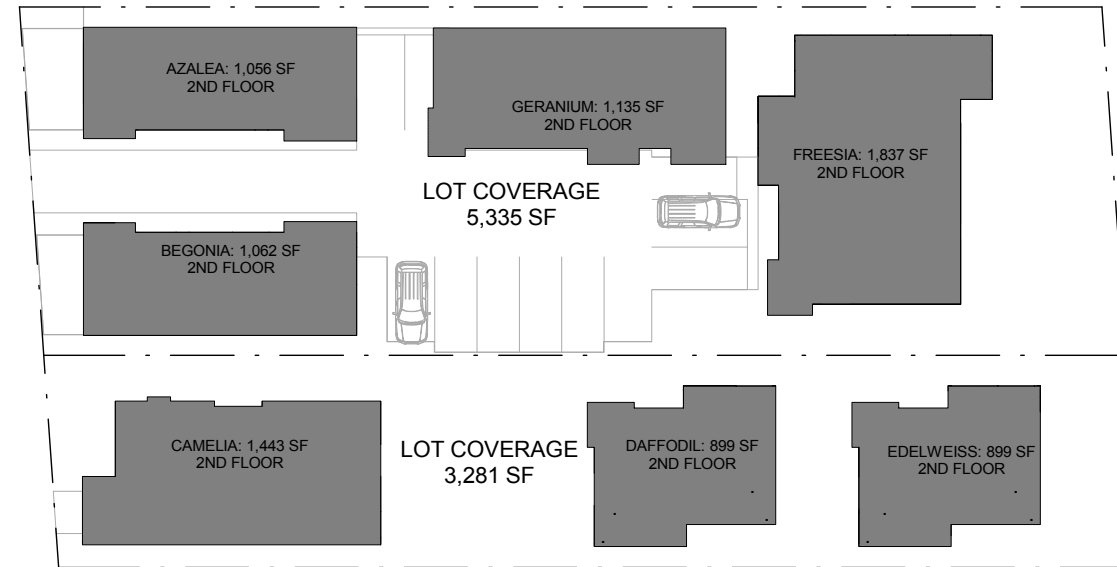


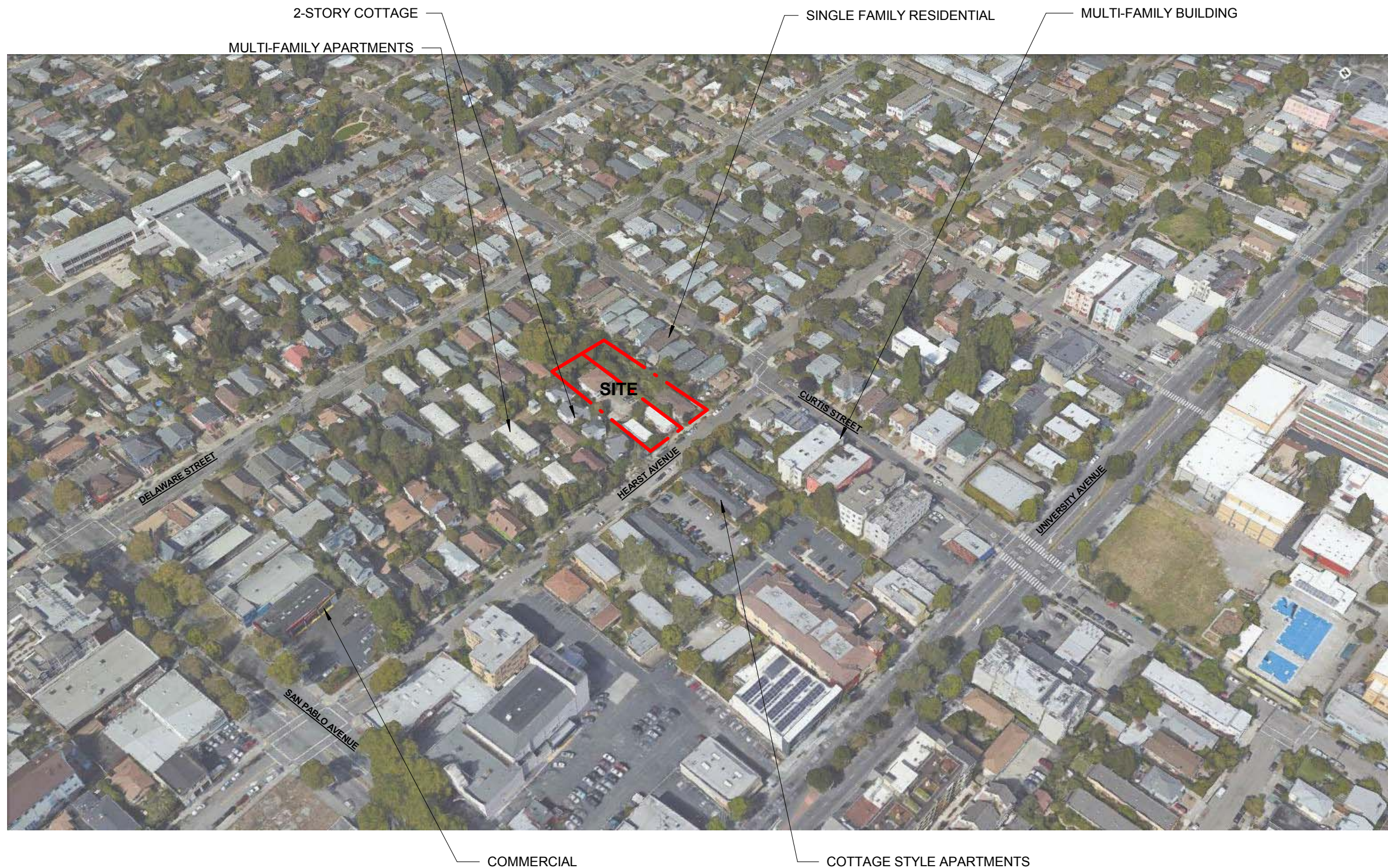
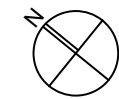
EXISTING PROJECT, 7 UNITS				
BUILDING	UNIT #	UNIT TYPE	UNIT GROSS FLOOR AREA	EXISTING UNITS & NEW UNITS
AZALEA	A101	1 BED, 1 BATH	496 GFA	
	A201	1 BED, 1 BATH	496 GFA	(E)
BEGONIA	B101	1 BED, 1 BATH	509 GFA	(E)
	B201	1 BED, 1 BATH	509 GFA	(E)
CAMELIA	C101	2 BED, 1 BATH	1,355 LVL 2 + 993 BASEMENT = 2,348 GFA (PARKING EXCLUDED FROM GFA)	(E) SINGLE FAMILY HOME
FREESIA	F101	3 BED, 3 BATH	1,415 GFA	(E)
	F201	3 BED, 3 BATH	1,415 GFA	(E)
TOTALS	7 UNITS	N/A	7,188 GFA	N/A

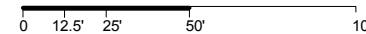
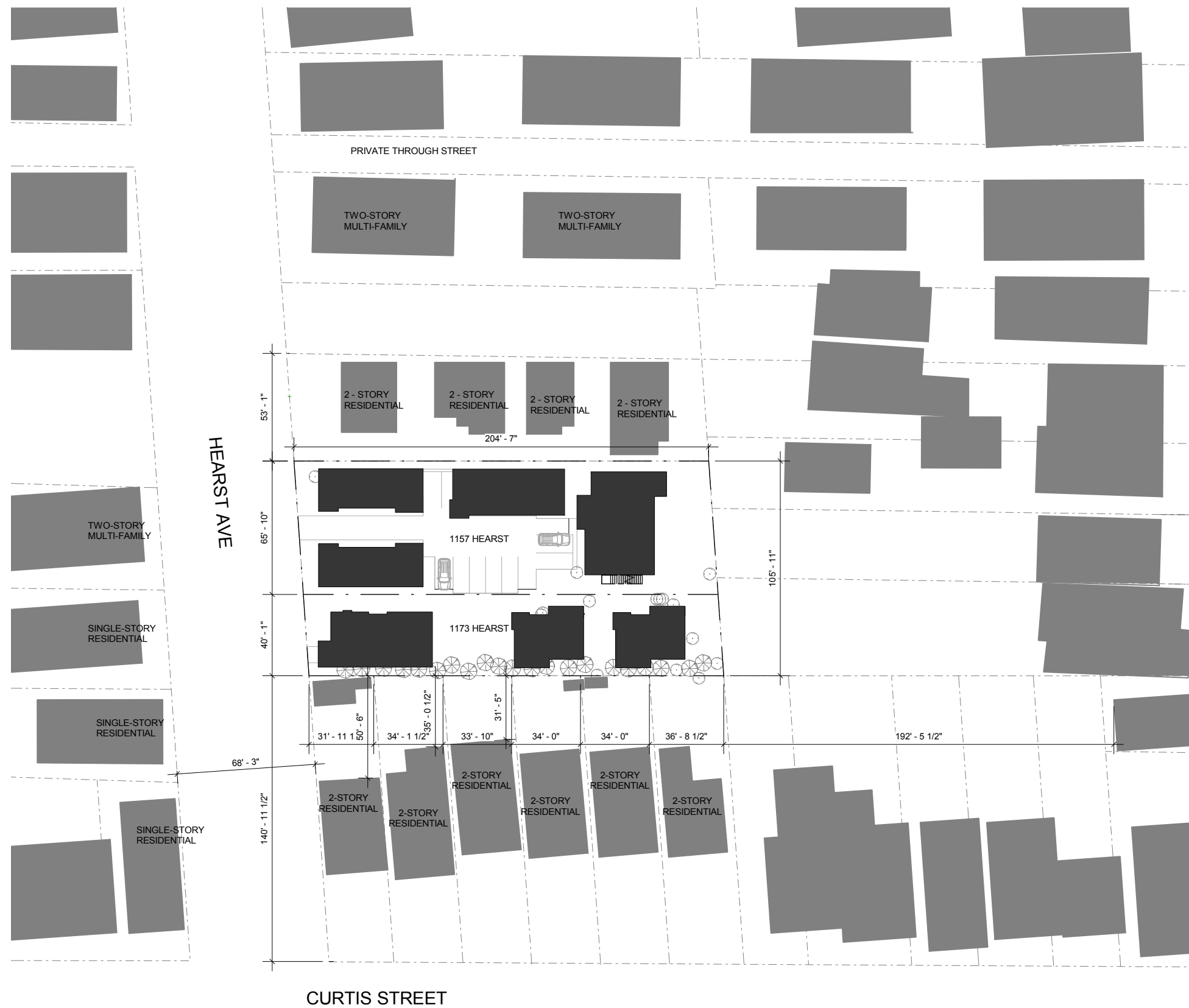




PROPOSED PROJECT, 13 UNITS				
BUILDING	UNIT #	UNIT TYPE	UNIT GROSS FLOOR AREA	EXISTING UNITS & NEW UNITS
AZALEA	A101	2 BED, 2 BATH	975 GFA	(E)
	A201	2 BED, 2 BATH	1,056 GFA	NEW
BEGONIA	B101	2 BED, 2 BATH	817 GFA	(E)
	B201	2 BED, 2 BATH	1,062 GFA	NEW
CAMELLIA	C101	2 BED, 2.5 BATH	1,443 LVL 2 +961 LVL 1 = 2,404 GFA	NEW
DAFFODIL	D101	2 BED, 1.5 BATH	920 GFA	NEW
	D102	2 BED, 1.5 BATH	899 GFA	NEW
EDELWEISS	E101	2 BED, 1.5 BATH	920 GFA	NEW
	E102	2 BED, 1.5 BATH	899 GFA	NEW
FREESIA	F101	4 BED, 4 BATH	1,887 GFA	(E)
	F201	4 BED, 4 BATH	1,837 GFA	(E)
GERANIUM	G101	2 BED, 2 BATH	1,195 GFA	NEW
GERANIUM	G102	2 BED, 2 BATH	1,135 GFA	NEW N/A
TOTALS	13 UNITS	N/A	16,006 GFA	









SUBJECT PROPERTY



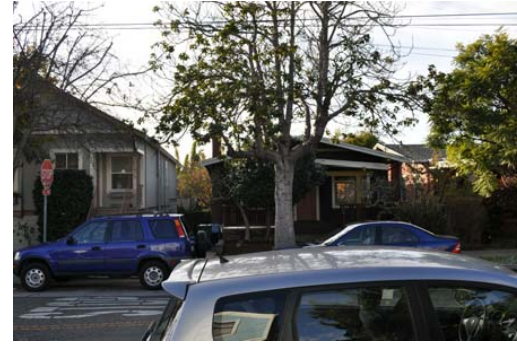
Existing Hearst Ave Strip, North



Proposed Hearst Ave Strip



Existing Hearst Ave Strip, South



CURTIS STREET HOMES (2-STORY @ REAR)



DELAWARE STREET

HEARST GARDENS
DEVI DUTTA ARCHITECTURE

NEIGHBORHOOD PHOTOS
SCALE:



1155 HEARST - AZALEA



1161 HEARST - BEGONIA



1173 HEARST - CAMELLIA



1163 & 1157 HEARST - BEGONIA / AZALEA



1157 HEARST - AZALEA



1157 HEARST - AZALEA



1155 HEARST - AZALEA



1179 HEARST - FREESIA



1179 HEARST - FREESIA



1179 HEARST - FREESIA

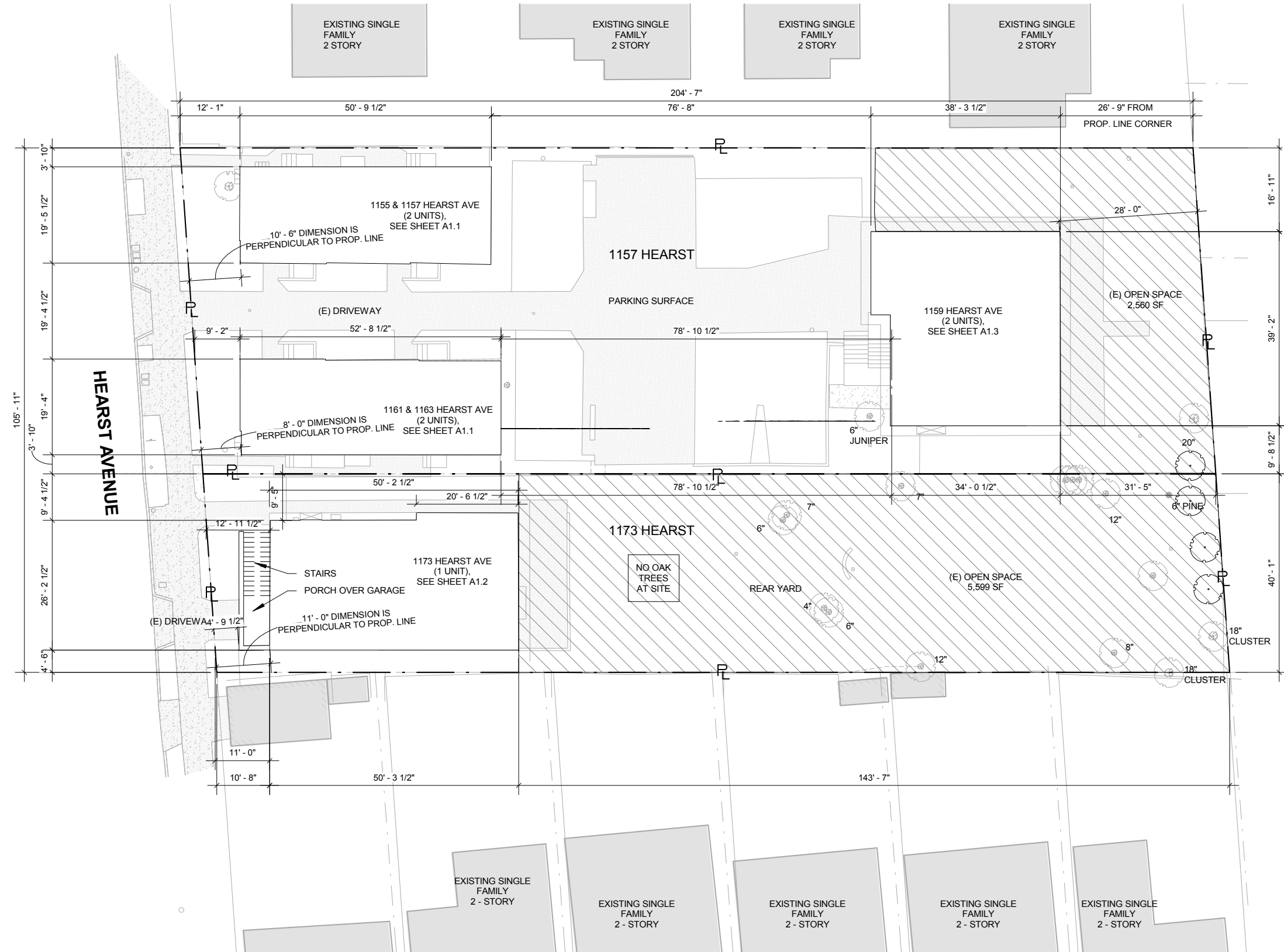
HEARST GARDENS

DEVI DUTTA ARCHITECTURE

SITE PHOTOS

SCALE:

A0.10



BACKYARD OF 1159 HEARST AVE.



BACKYARD OF 1173 HEARST AVE.



BACKYARD OF 1173 HEARST AVE.



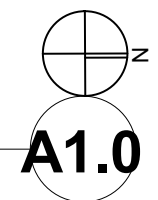
BACKYARD OF 1173 HEARST AVE.

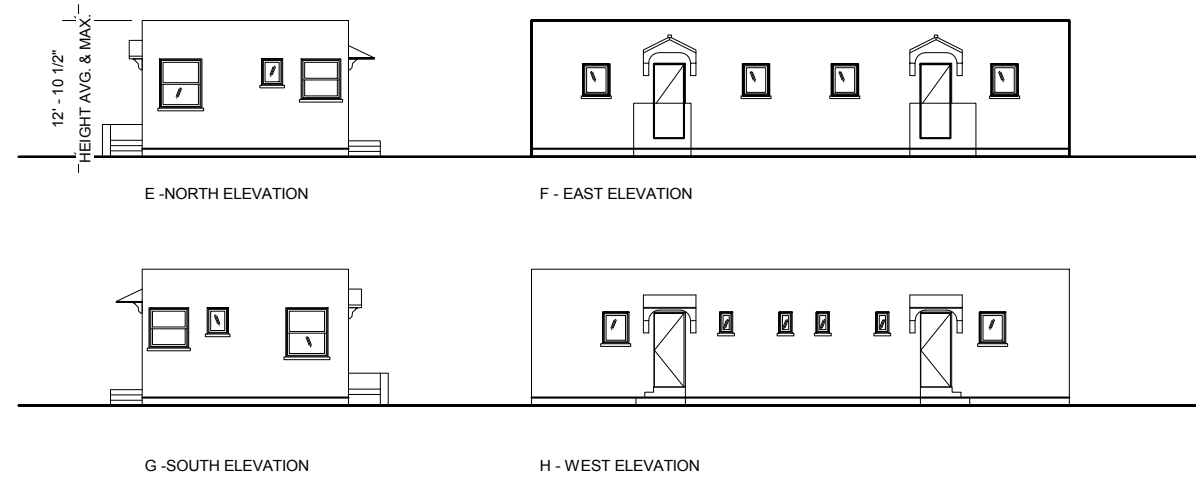
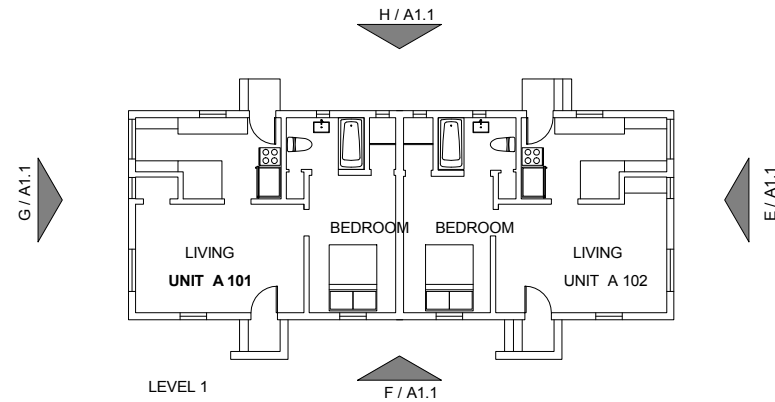
HEARST GARDENS

DEVI DUTTA ARCHITECTURE

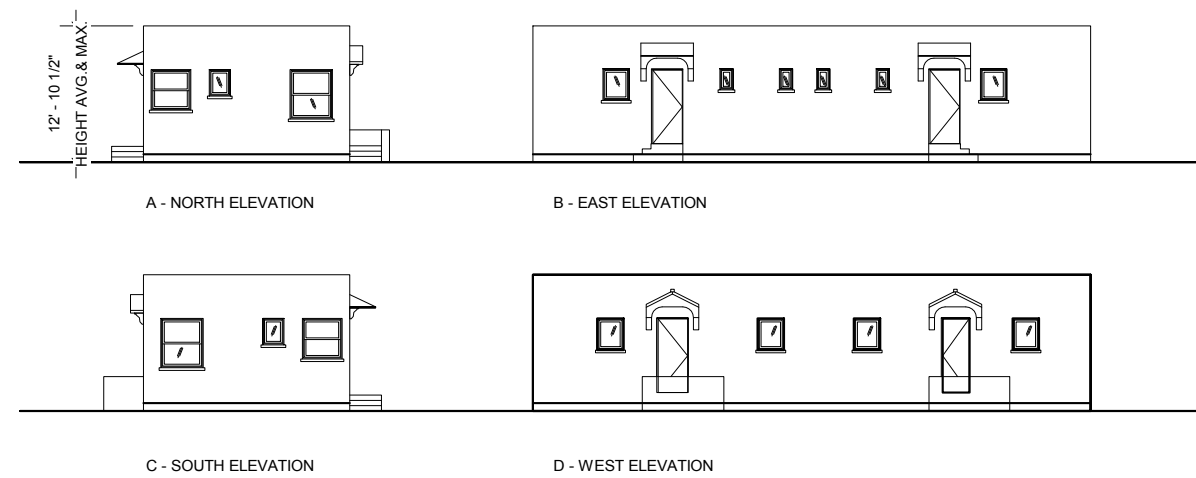
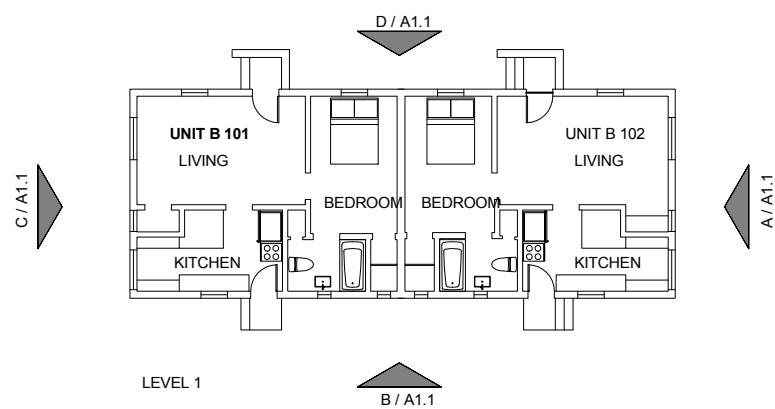
EXISTING SITE PLAN

SCALE: 1" = 20'-0"

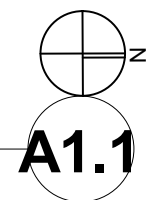
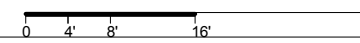


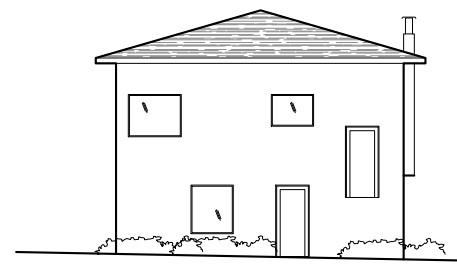
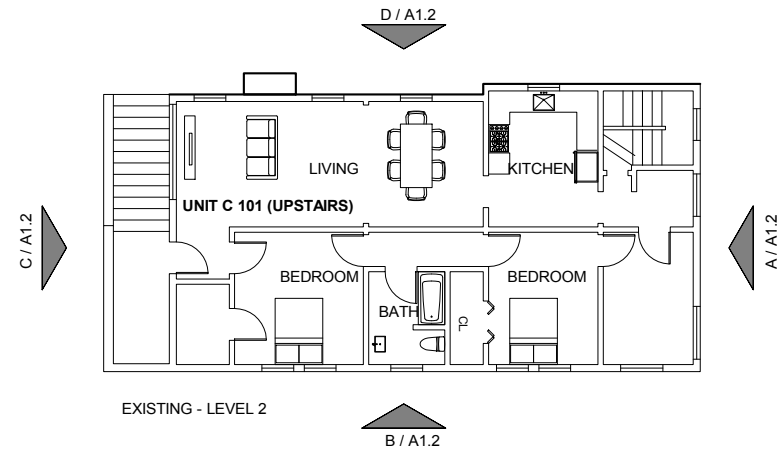


2 AZALEA 1155 & 1157 HEARST
 1/16" = 1'-0"

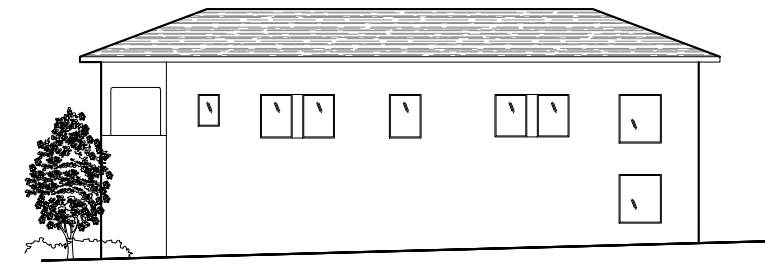


1 BEGONIA 1161 & 1163 HEARST
 1/16" = 1'-0"

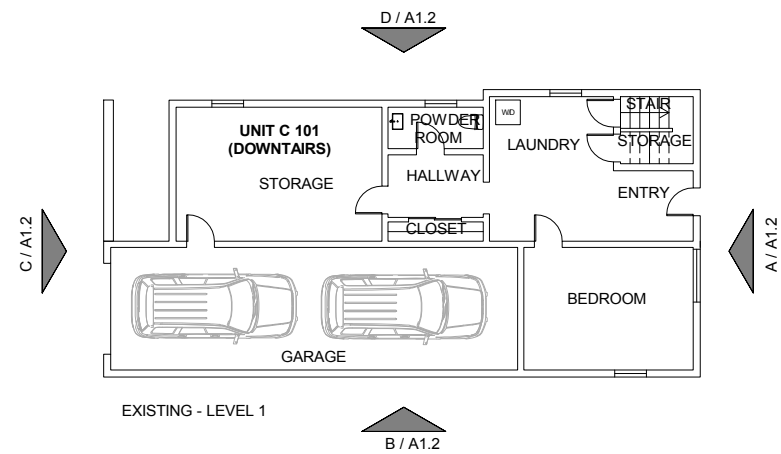




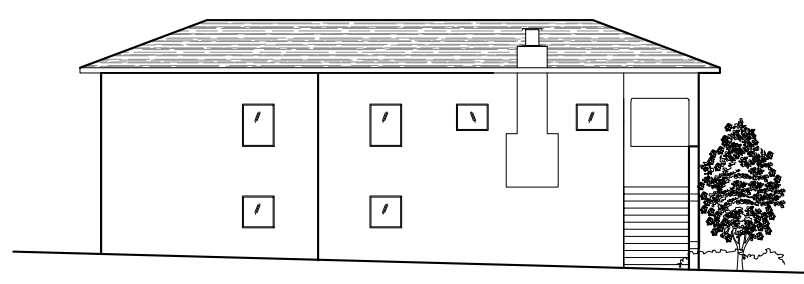
A - EXISTING NORTH ELEVATION



B - EXISTING EAST ELEVATION



C - EXISTING SOUTH ELEVATION

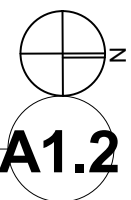
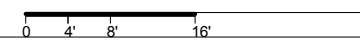


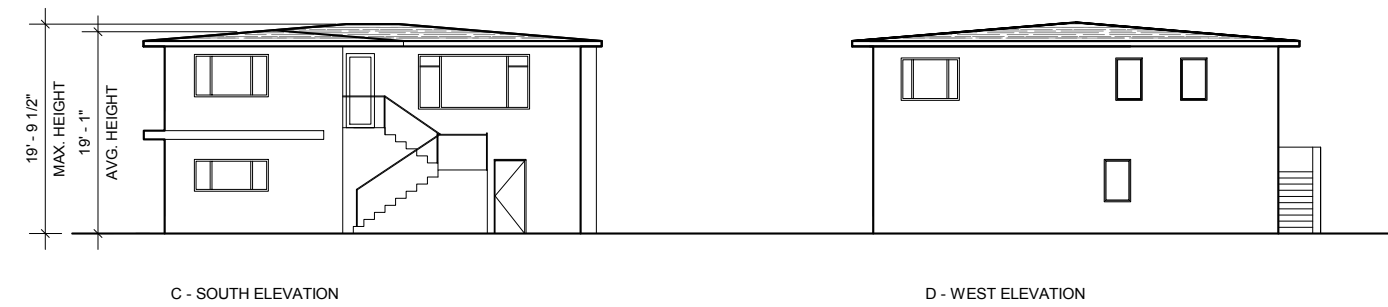
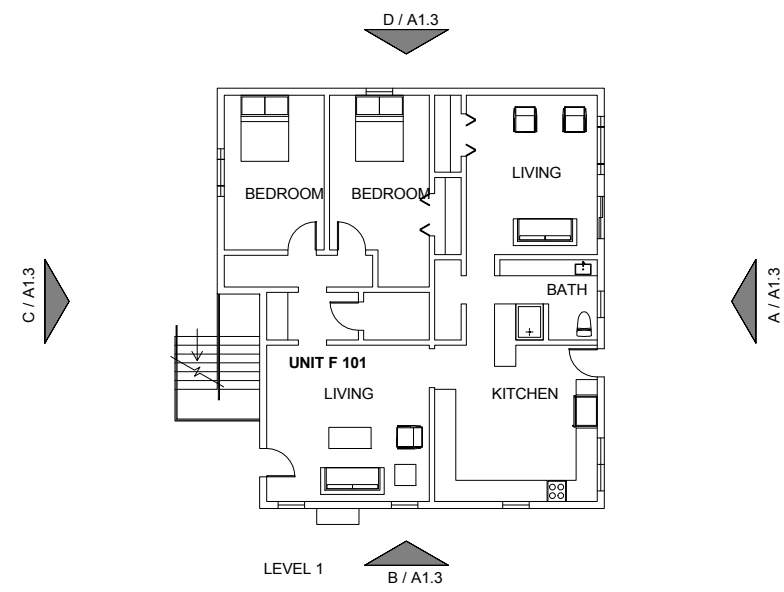
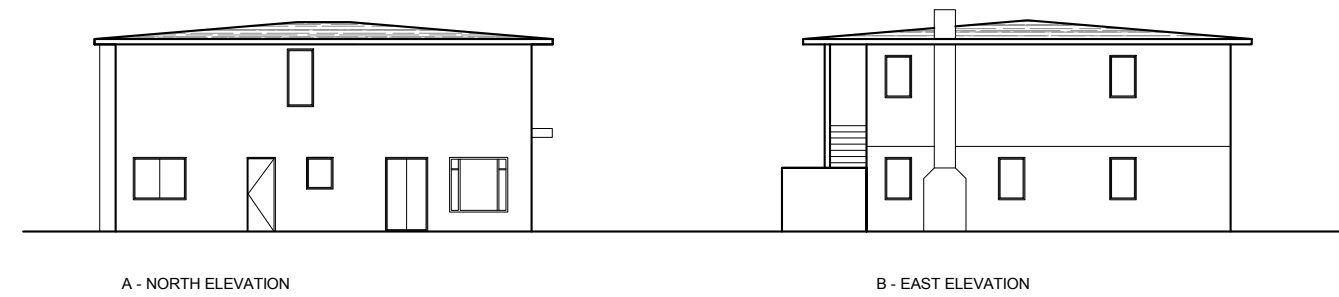
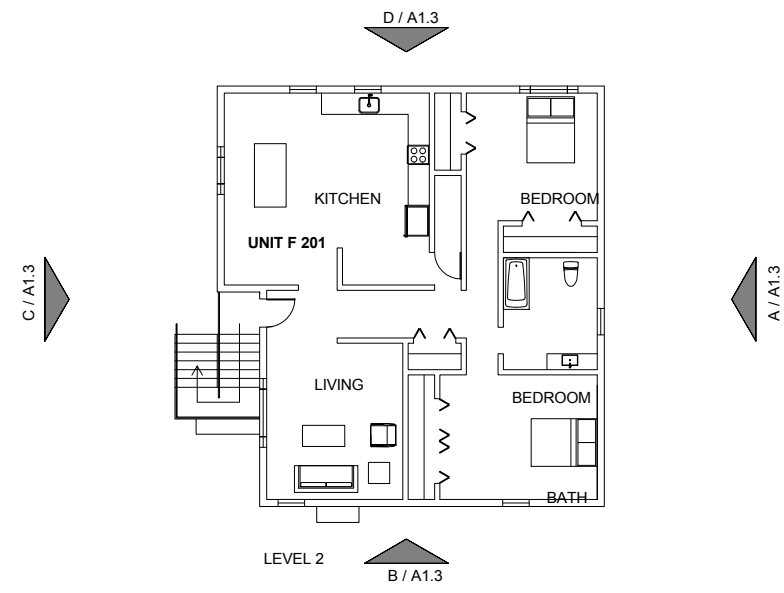
D - EXISTING WEST ELEVATION

EXISTING PLANS & ELEVATIONS - CAMELIA / 1173

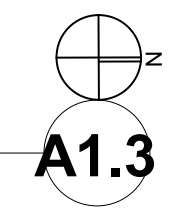
HEARST

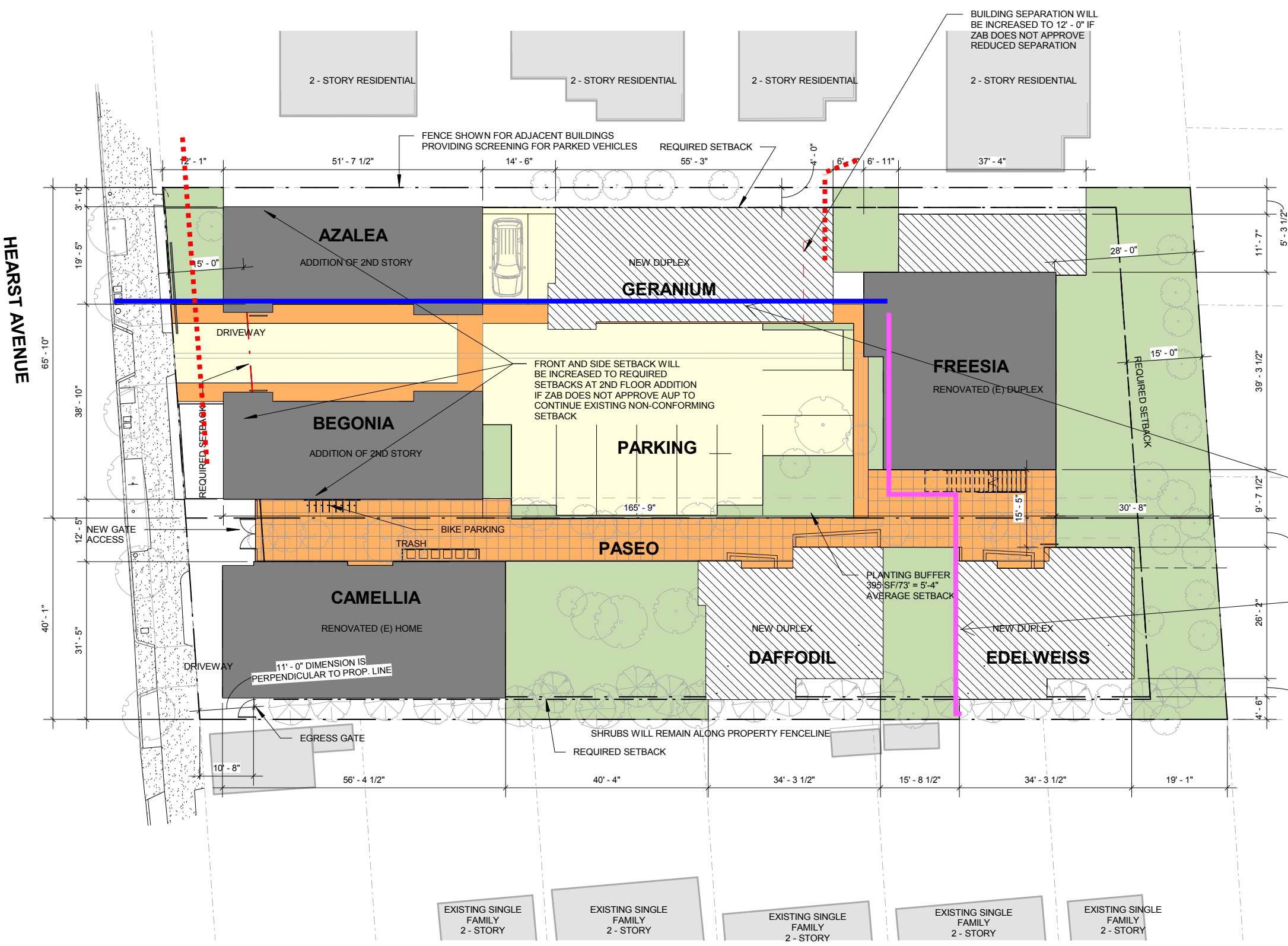
1/16" = 1'-0"





EXISTING PLANS & ELEVATIONS - FREESIA / 1179
HEARST
 1
 1/16" = 1'-0"





LEGEND

- NEW BUILDING AREA
- RENOVATED BUILDING
- OPEN SPACE AND PLANTING, SEE A0.3 FOR AREAS
- PEDESTRIAN PATHS, PERMEABLE PAVERS WITH LANDSCAPING
- DRIVEWAY AND PARKING
- NON-CONFORMING SETBACKS & BUILDING SEPARATION

HYDROLOGY NOTES

Unless modified by the City's Building & Safety Division and/or Department of Public Works, the drainage system shall be designed and installed as presented in the Stormwater and Flooding Assessment and Mitigation Design prepared by Clearwater Hydrology, dated January 7, 2016 and as well as all recommendations of the peer review prepared by Balance Hydrologics on March 16, 2017.

- RECTANGULAR SURFACE DRAIN WITH
- GRAVEL DRAINAGE SWALE; BERM AND INTEGRATE INTO LANDSCAPING

HEARST AVENUE

65'-10"
19'-5"
38'-10"
12'-5"
40'-1"
31'-5"
10'-8"

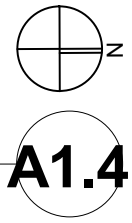
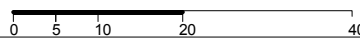
3'-10"
5'-3 1/2"
11'-7"
39'-3 1/2"
9'-7 1/2"
5'-9 1/2"
26'-2"
4'-6"
3'-8"

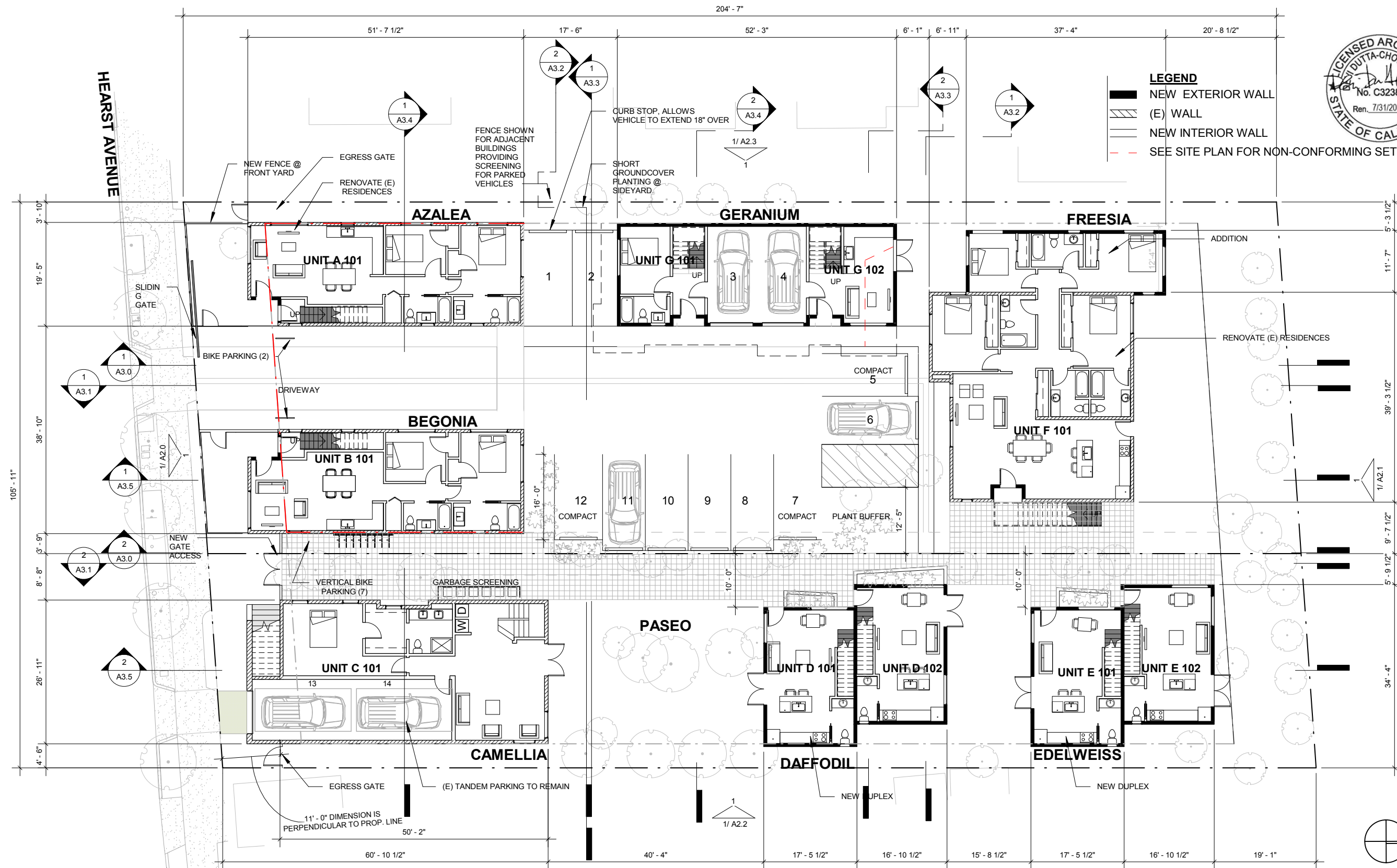
HEARST GARDENS

DEVI DUTTA ARCHITECTURE

SITE PLAN, PROPOSED

SCALE: As indicated





LEGEND
 ■ NEW EXTERIOR WALL
 ▨ (E) WALL
 — NEW INTERIOR WALL
 - - - SEE SITE PLAN FOR NON-CONFORMING SETBACKS

HEARST GARDENS
 DEVI DUTTA ARCHITECTURE
GROUND FLOOR
 SCALE: 1/16" = 1'-0"

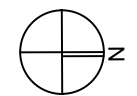
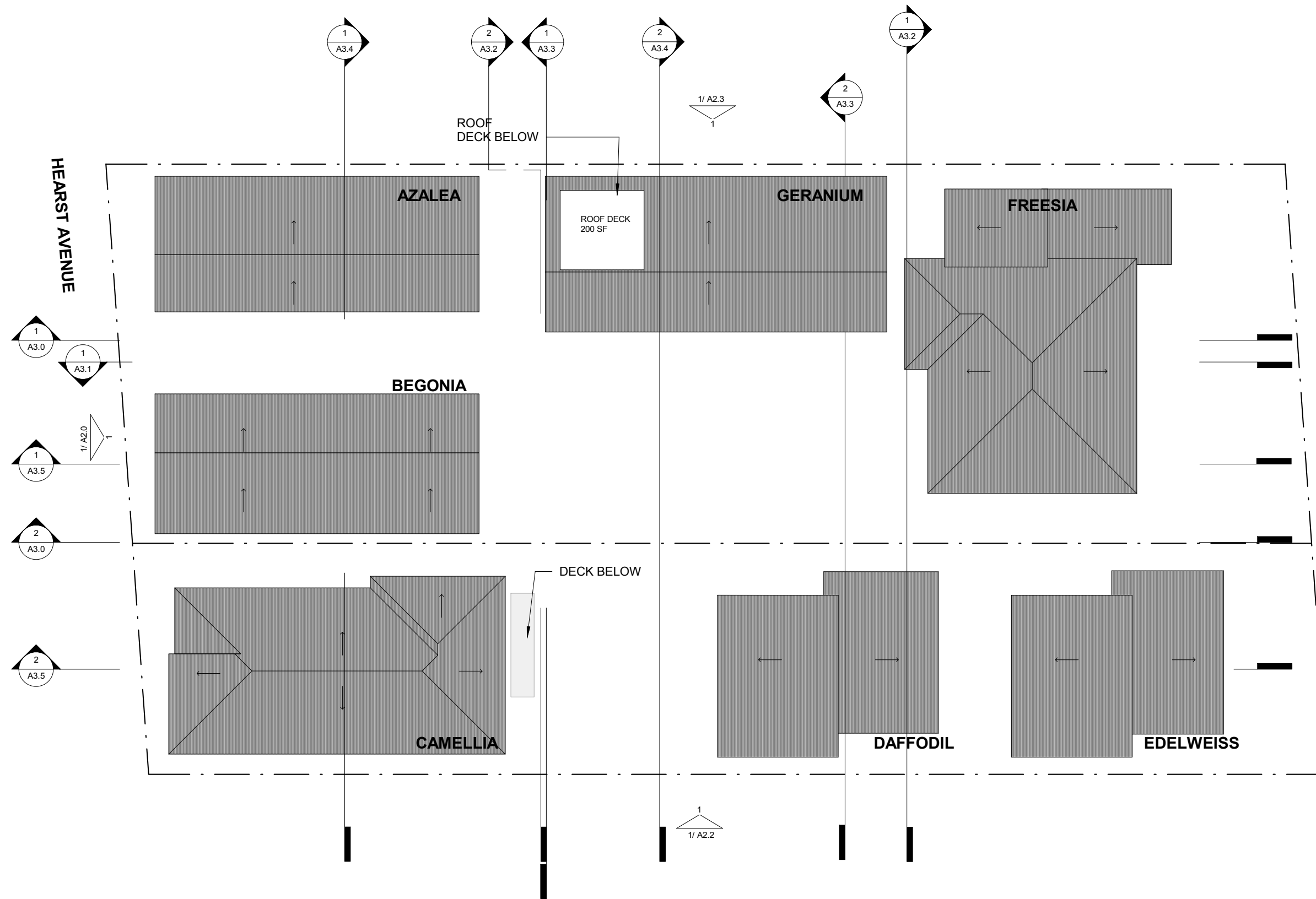
ZAB 4.18.2018

A1.5

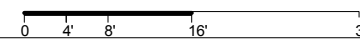


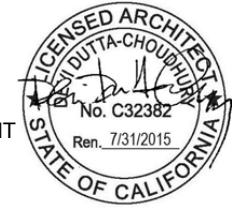
- LEGEND**
- NEW EXTERIOR WALL
 - (E) WALL
 - NEW INTERIOR WALL
 - SEE SITE PLAN FOR NON-CONFORMING SETBACK









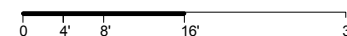
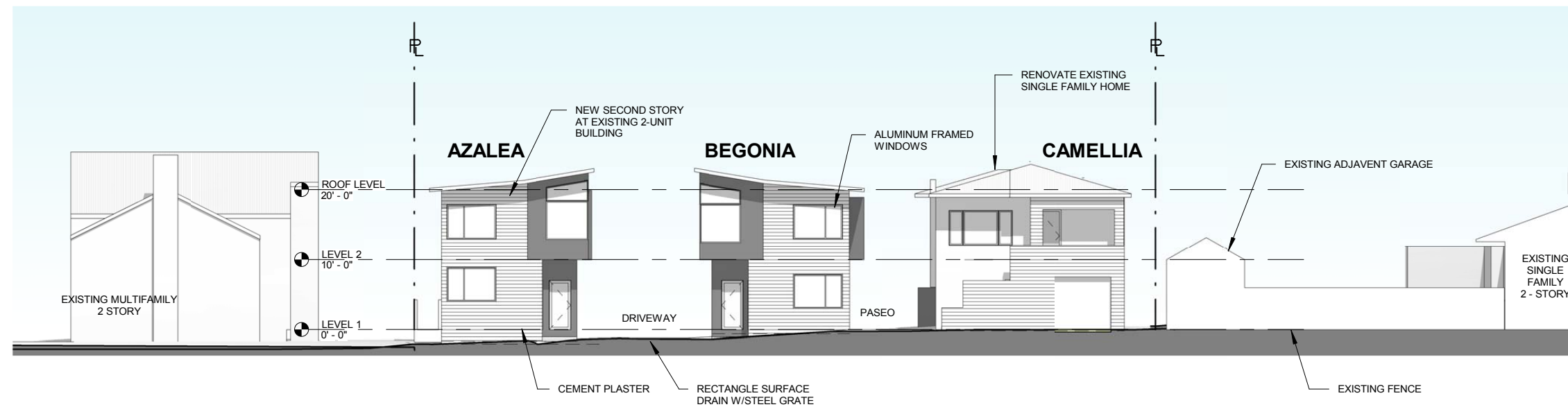
A1.8









MATERIAL LEGEND

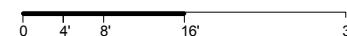
	PAINTED WOOD SIDING
	WOOD PATTERNED FIBER CEMENT
	CEMENT PLASTER
	CEMENT PLASTER

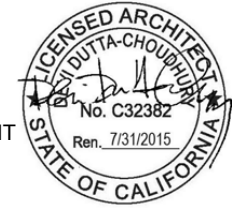








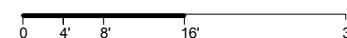
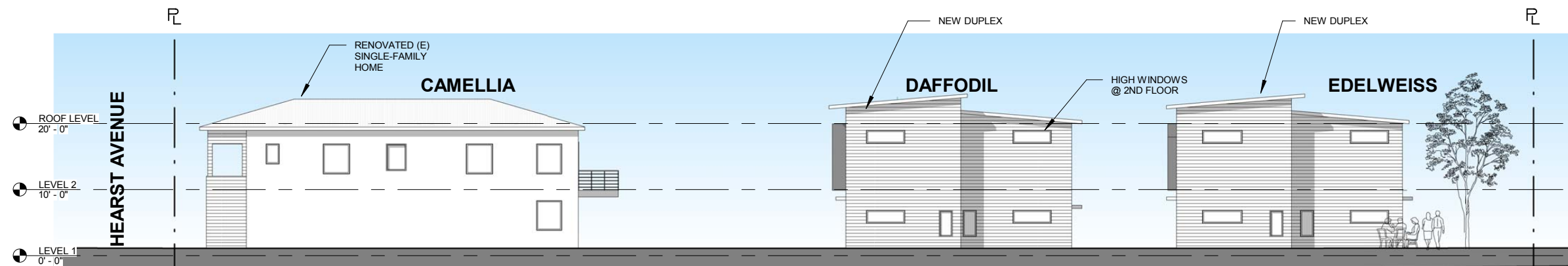
MATERIAL LEGEND

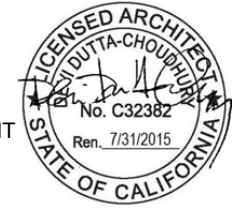
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	WOOD PATTERNED FIBER CEMENT
	CEMENT PLASTER
	CEMENT PLASTER









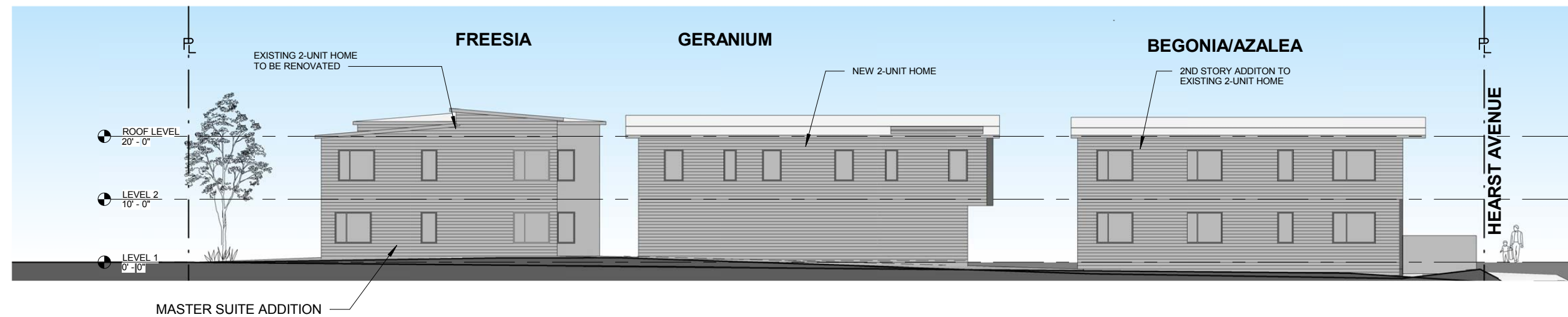
- MATERIAL LEGEND**
-  PAINTED WOOD SIDING
 -  WOOD PATTERNED FIBER CEMENT
 -  CEMENT PLASTER
 -  CEMENT PLASTER

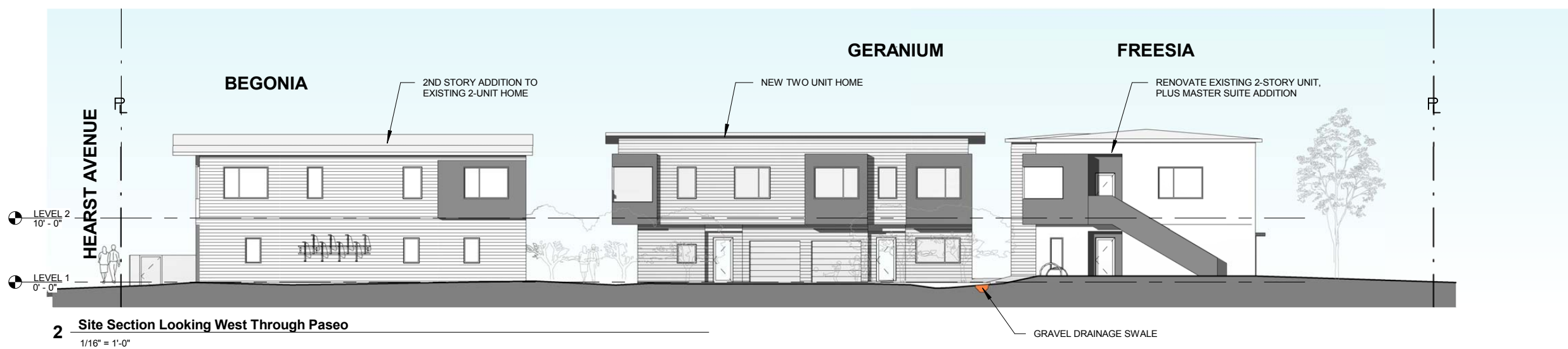




MATERIAL LEGEND

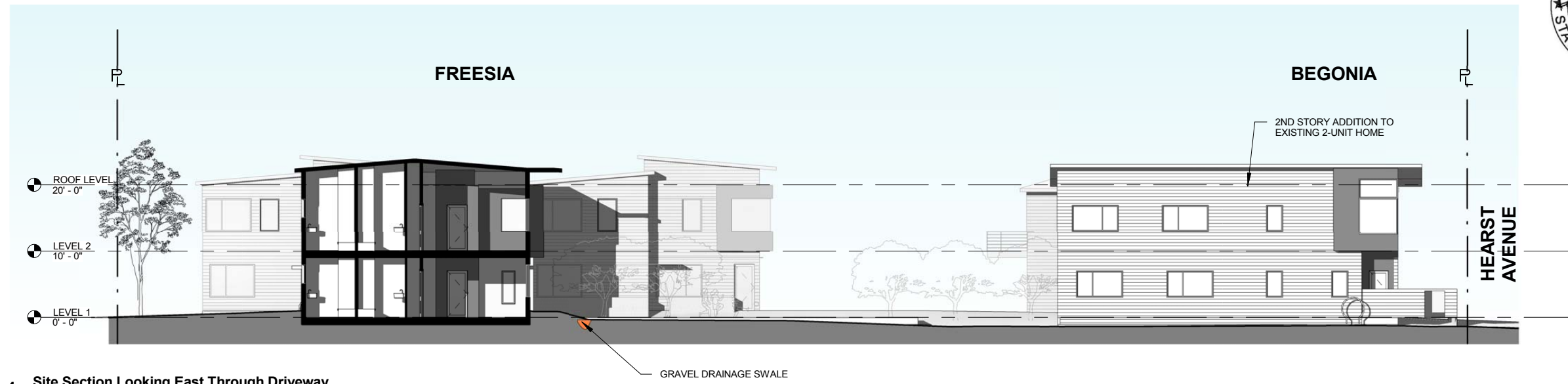
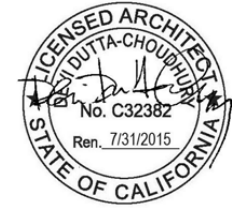
	PAINTED WOOD SIDING
	WOOD PATTERNED FIBER CEMENT
	CEMENT PLASTER
	CEMENT PLASTER



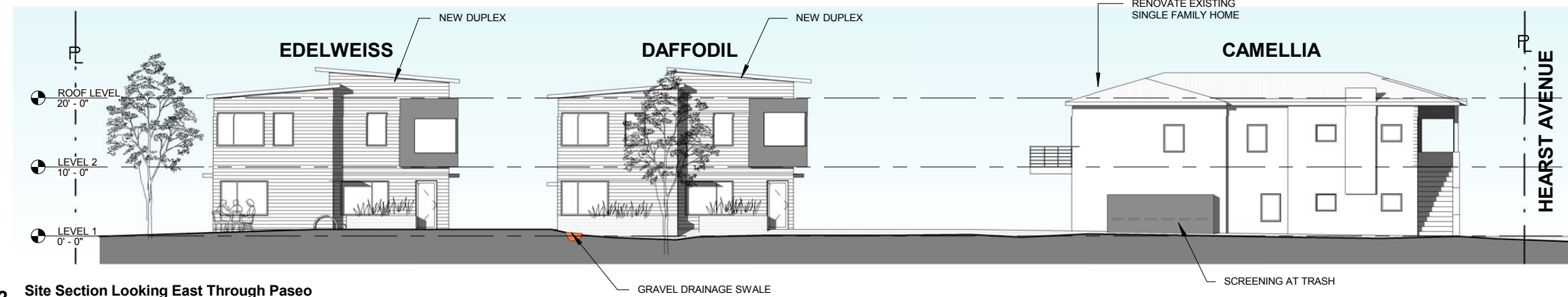


HEARST GARDENS
 DEVI DUTTA ARCHITECTURE

SITE SECTIONS LOOKING WEST
 SCALE: 1/16" = 1'-0"

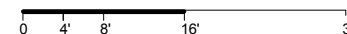


1 Site Section Looking East Through Driveway
 1/16" = 1'-0"



2 Site Section Looking East Through Paseo
 1/16" = 1'-0"

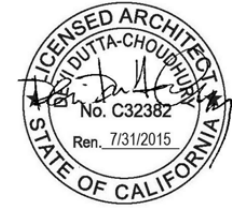
HEARST GARDENS



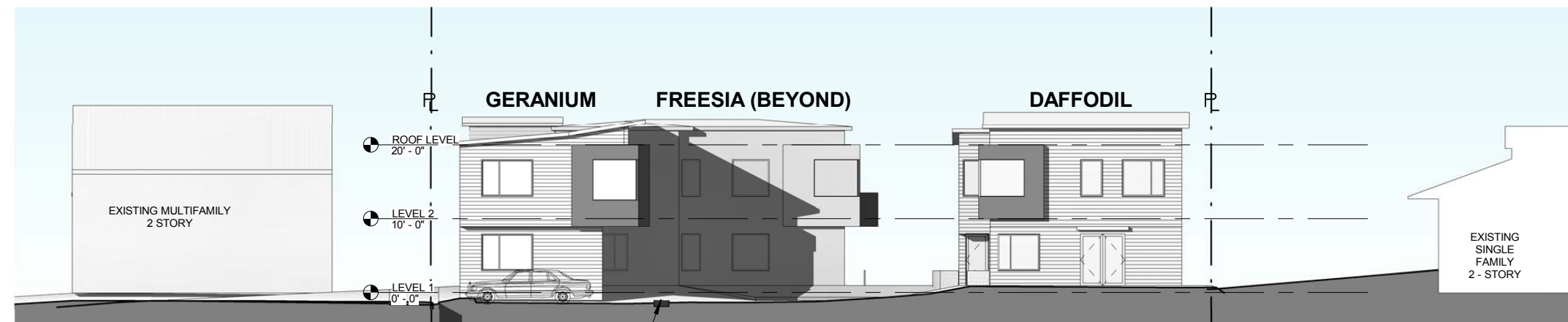
DEVI DUTTA ARCHITECTURE

SITE SECTIONS LOOKING EAST

SCALE: 1/16" = 1'-0"



1 Site Section Looking North @ Freesia Building
 1/16" = 1'-0"



2 Site Section Looking North
 1/16" = 1'-0"

RECTANGULAR SURFACE
 DRAINAGE W/STEEL GRATE

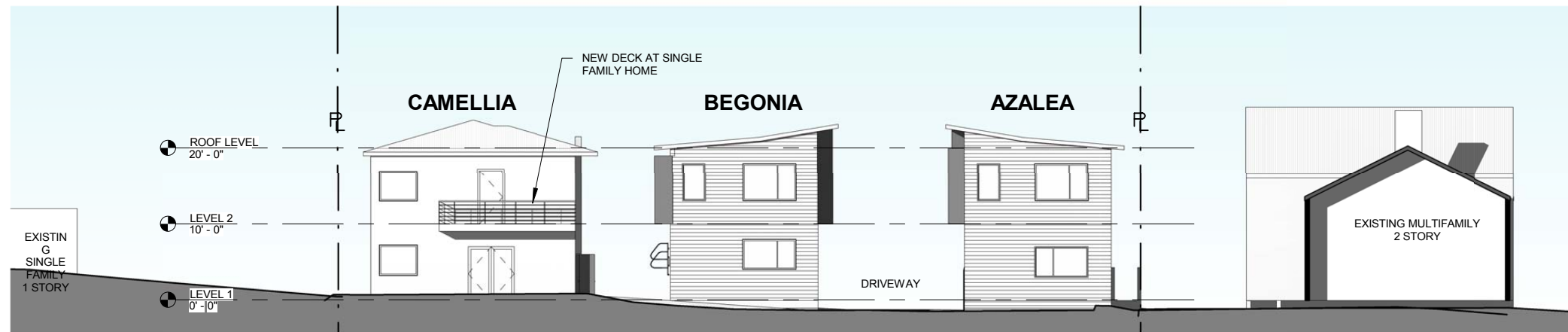
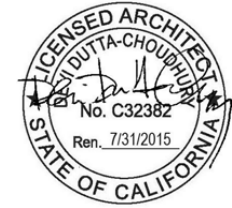
HEARST GARDENS



DEVI DUTTA ARCHITECTURE

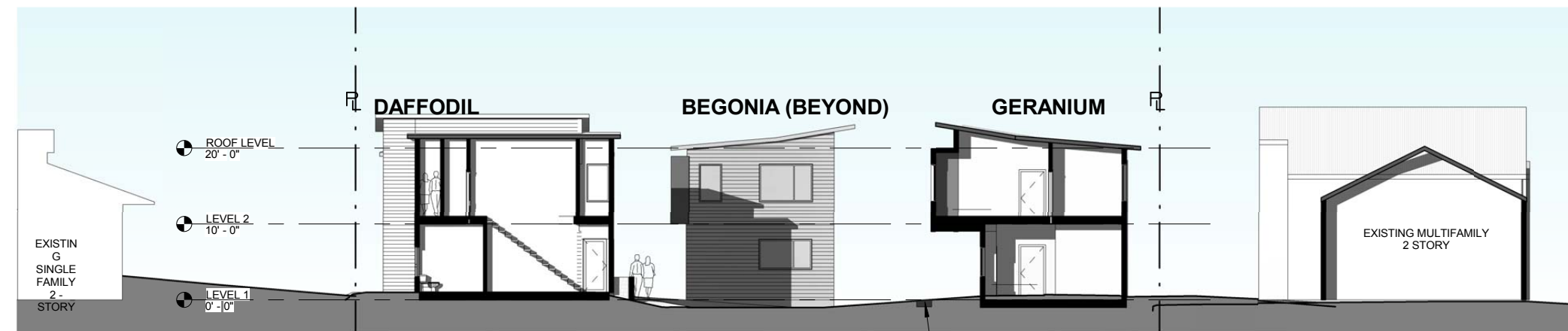
SITE SECTIONS LOOKING NORTH

SCALE: 1/16" = 1'-0"



1 Site Section Looking South

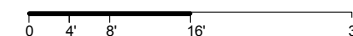
1/16" = 1'-0"



2 Site Section Looking South @ Parking Lot

1/16" = 1'-0"

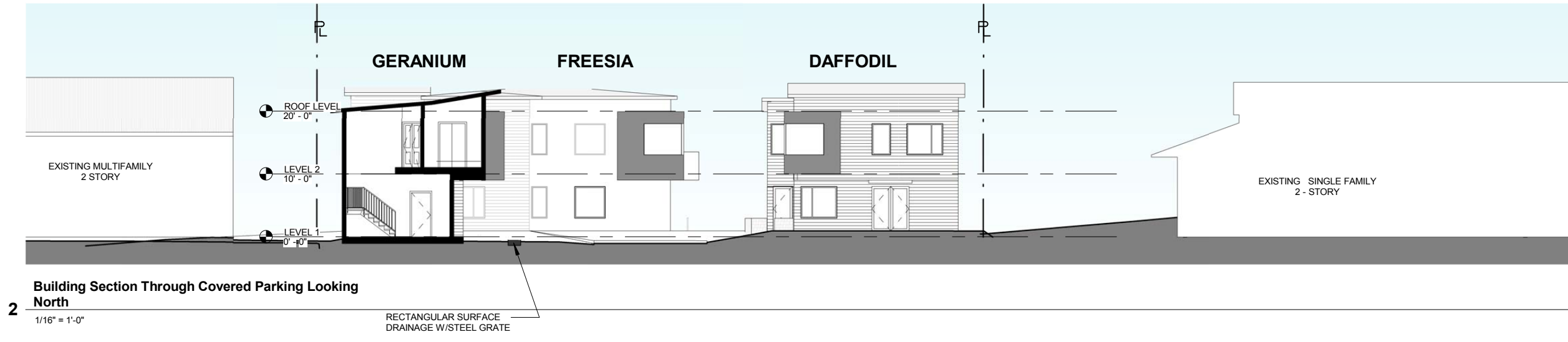
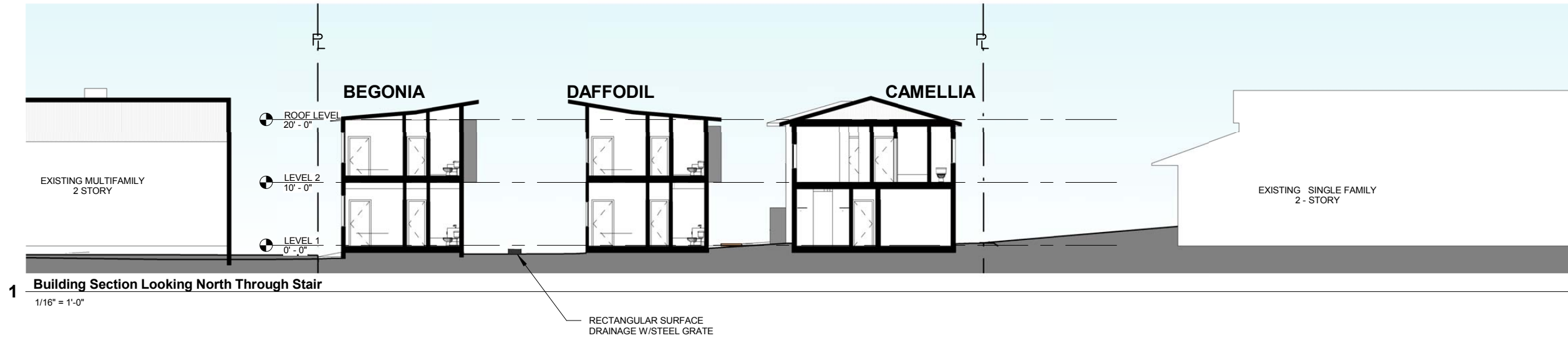
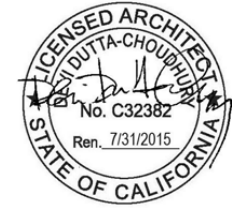
HEARST GARDENS

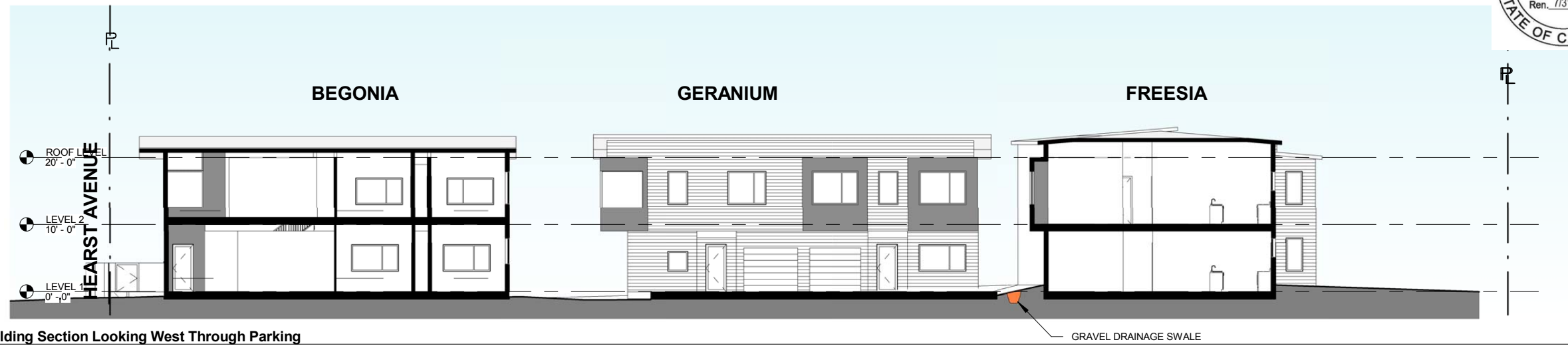
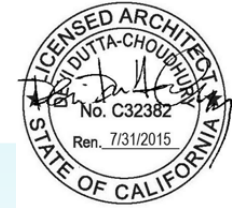


DEVI DUTTA ARCHITECTURE

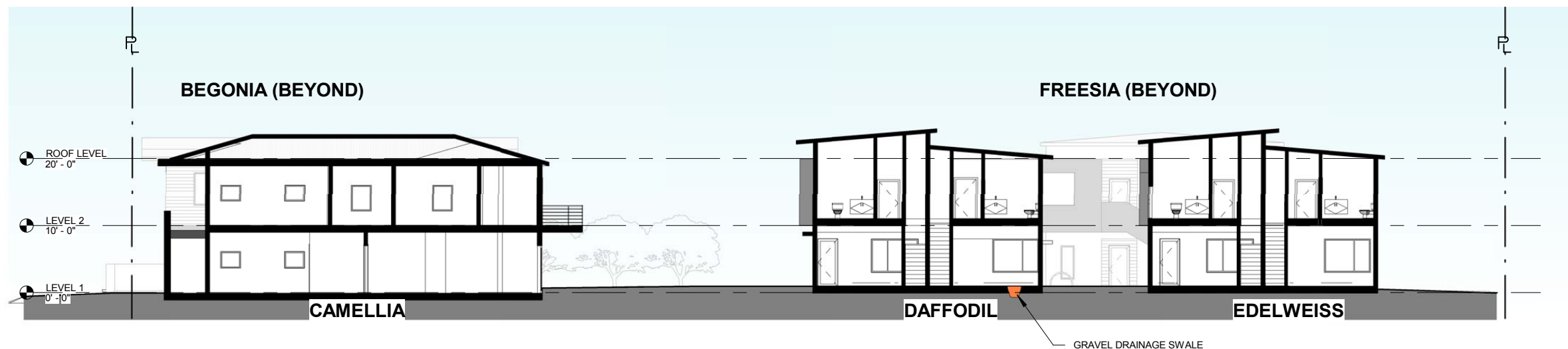
SITE SECTIONS LOOKING SOUTH

SCALE: 1/16" = 1'-0"

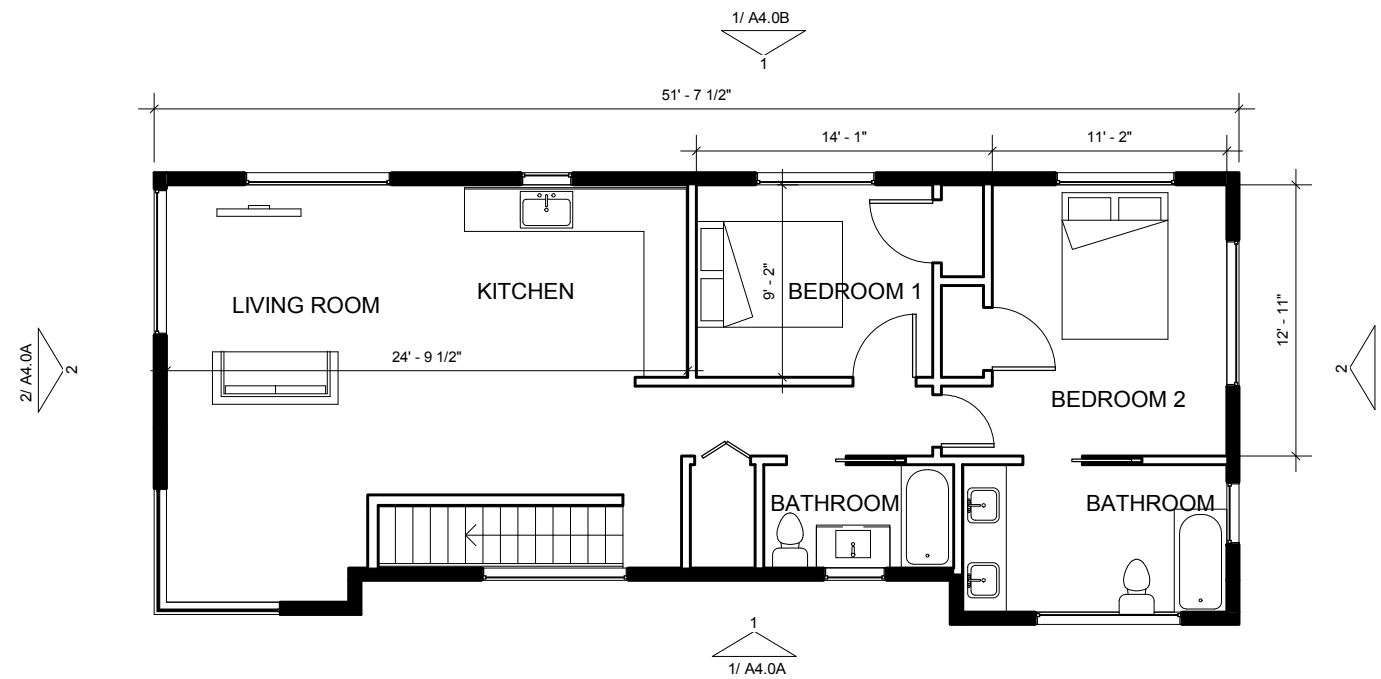




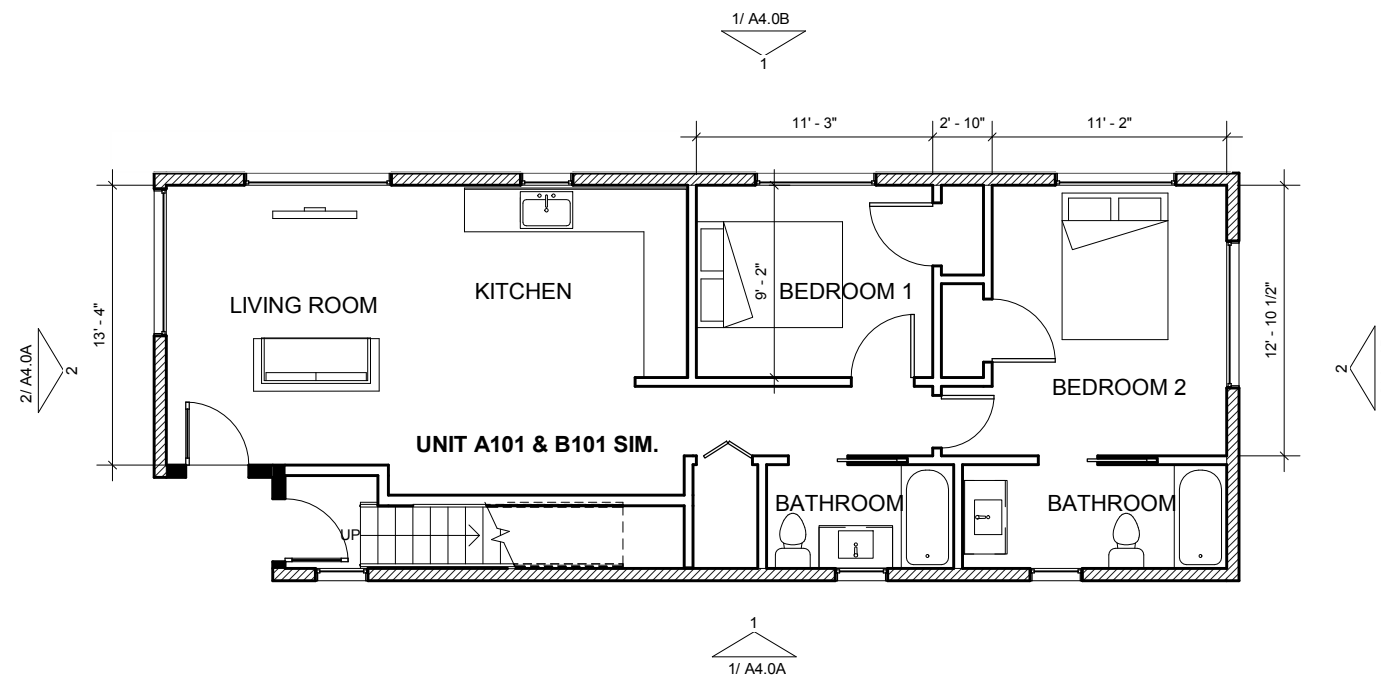
1 Building Section Looking West Through Parking
 1/16" = 1'-0"



2 Building Section Looking West
 1/16" = 1'-0"

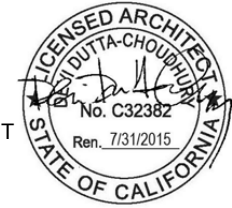






**PROPOSED - AZALEA, BEGONIA,
 LEVEL 2**

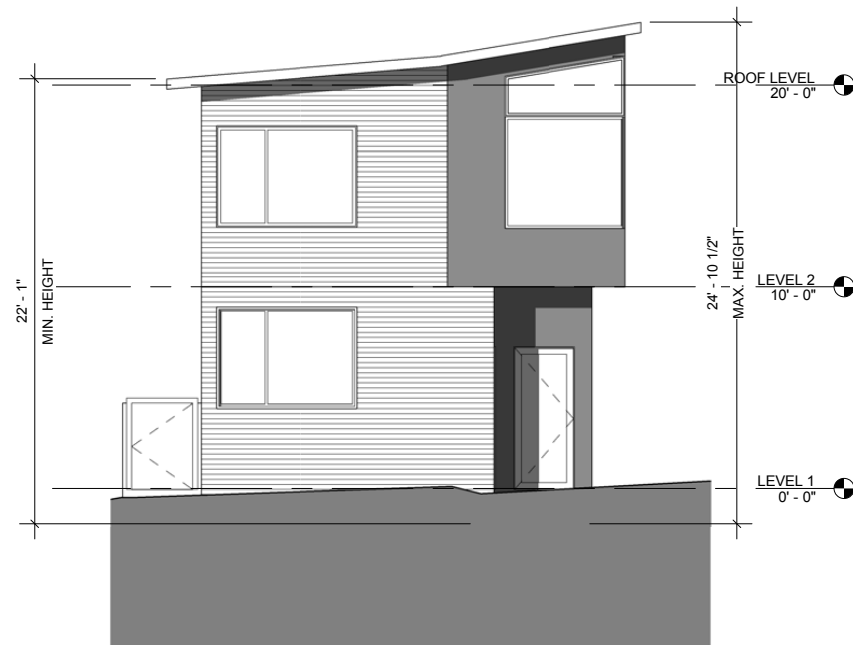


**PROPOSED - AZALEA & BEGONIA
 LEVEL 1**

- LEGEND**
- NEW EXTERIOR WALL
 - (E) WALL
 - NEW INTERIOR WALL
 - SEE SITE PLAN FOR NON-CONFORMING SETBACKS



- MATERIAL LEGEND**
-  PAINTED WOOD SIDING
 -  WOOD PATTERNED FIBER CEMENT
 -  CEMENT PLASTER
 -  CEMENT PLASTER

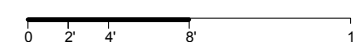


2 AZALEA SOUTH ELEVATION
 1/8" = 1'-0"



1 AZALEA EAST ELEVATION
 1/8" = 1'-0"

HEARST GARDENS

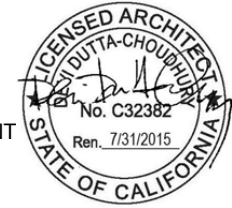






DEVI DUTTA ARCHITECTURE

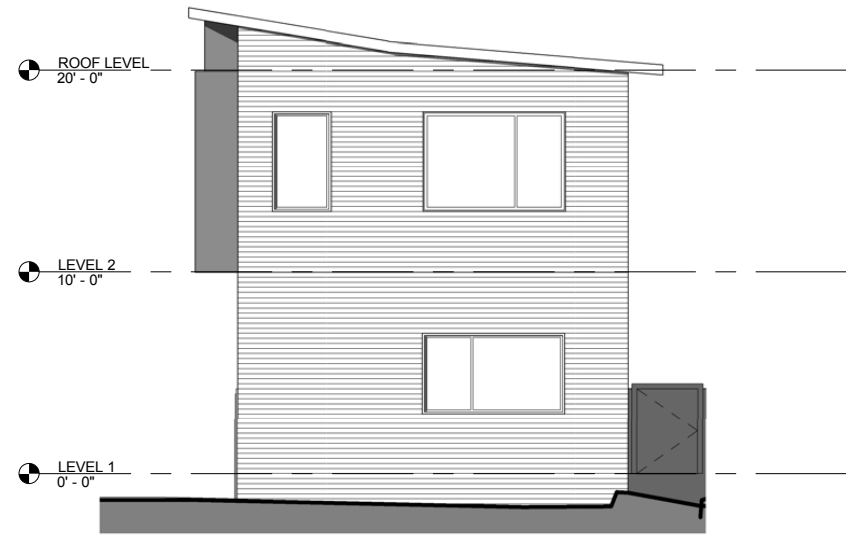
AZALEA & BEGONIA ELEVATIONS

SCALE: As indicated

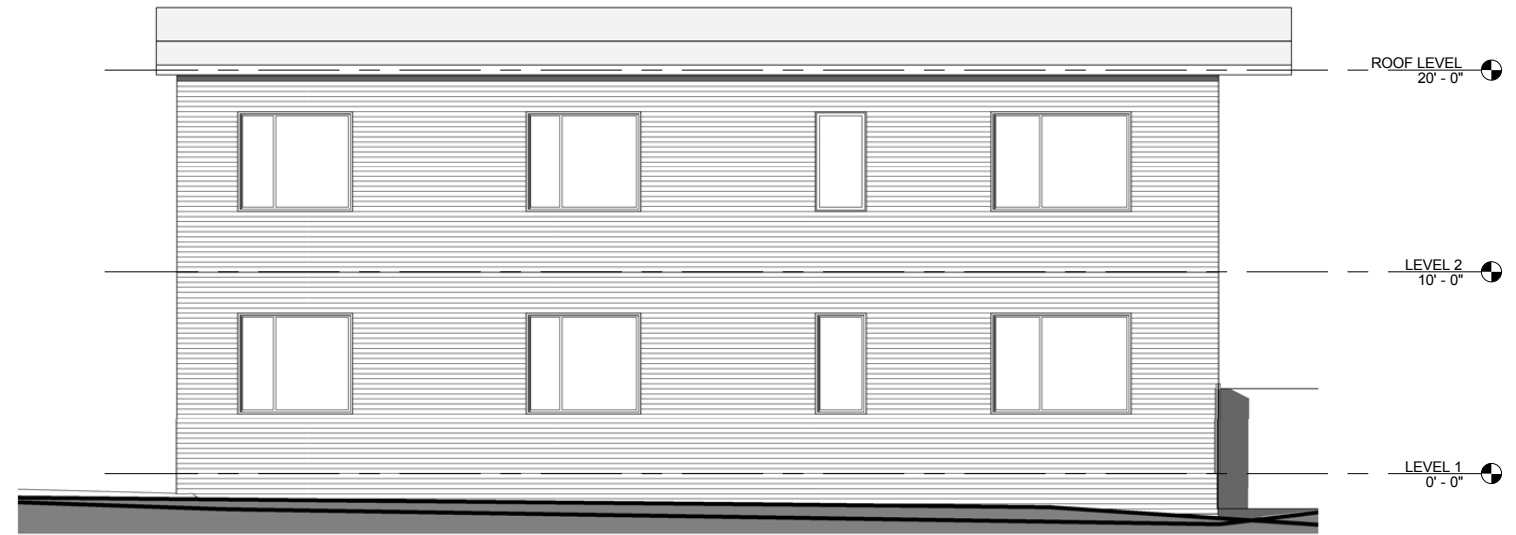
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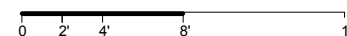
- MATERIAL LEGEND**
-  PAINTED WOOD SIDING
 -  WOOD PATTERNED FIBER CEMENT
 -  CEMENT PLASTER
 -  CEMENT PLASTER

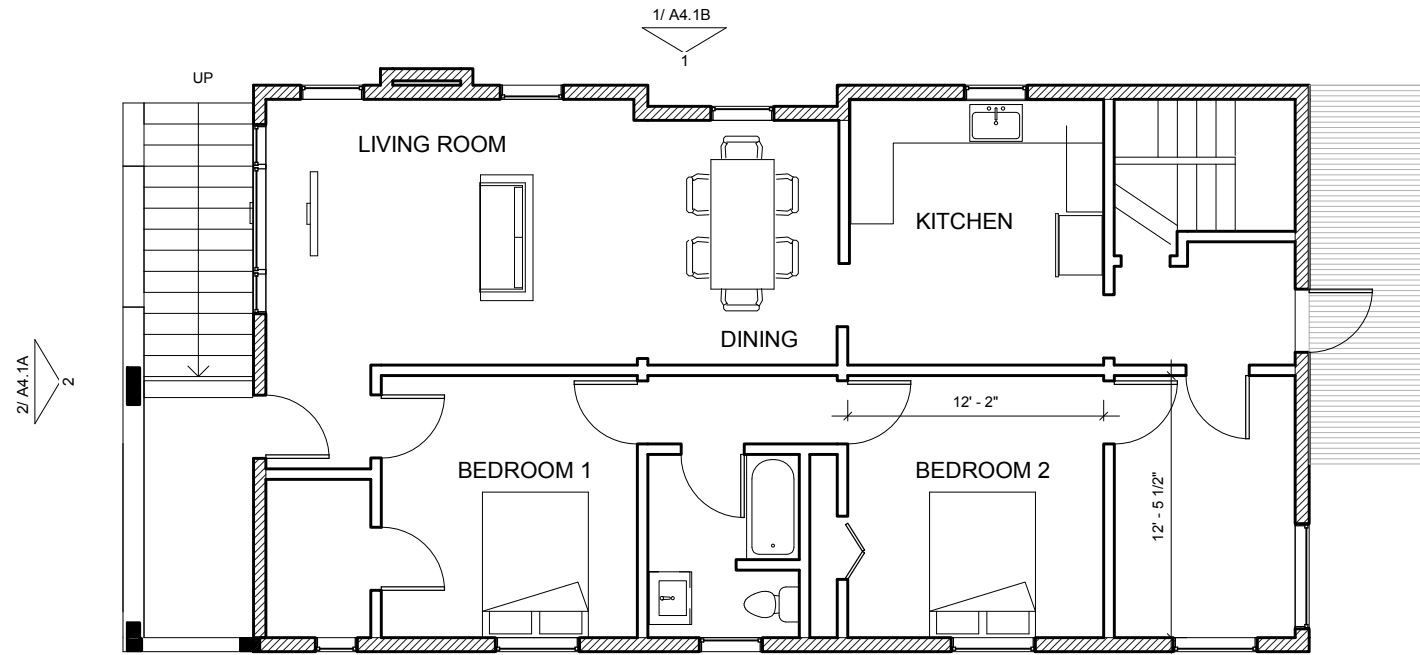


2 AZALEA NORTH ELEVATION
 1/8" = 1'-0"



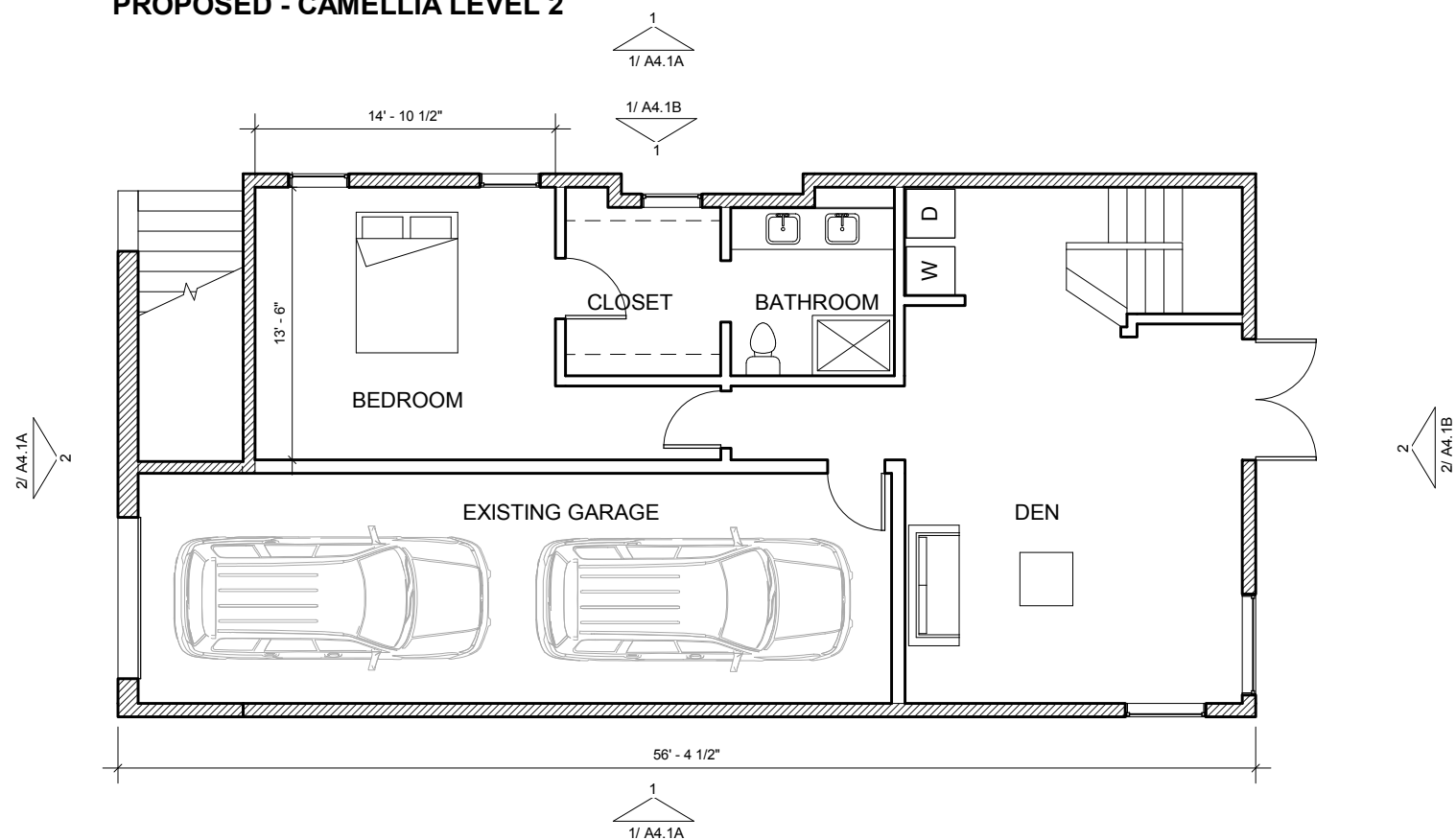
1 AZALEA WEST ELEVATION
 1/8" = 1'-0"



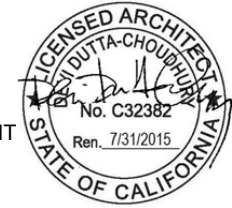


- LEGEND**
- NEW EXTERIOR WALL
 - (E) WALL
 - NEW INTERIOR WALL
 - SEE SITE PLAN FOR NON-CONFORMING SETBACKS

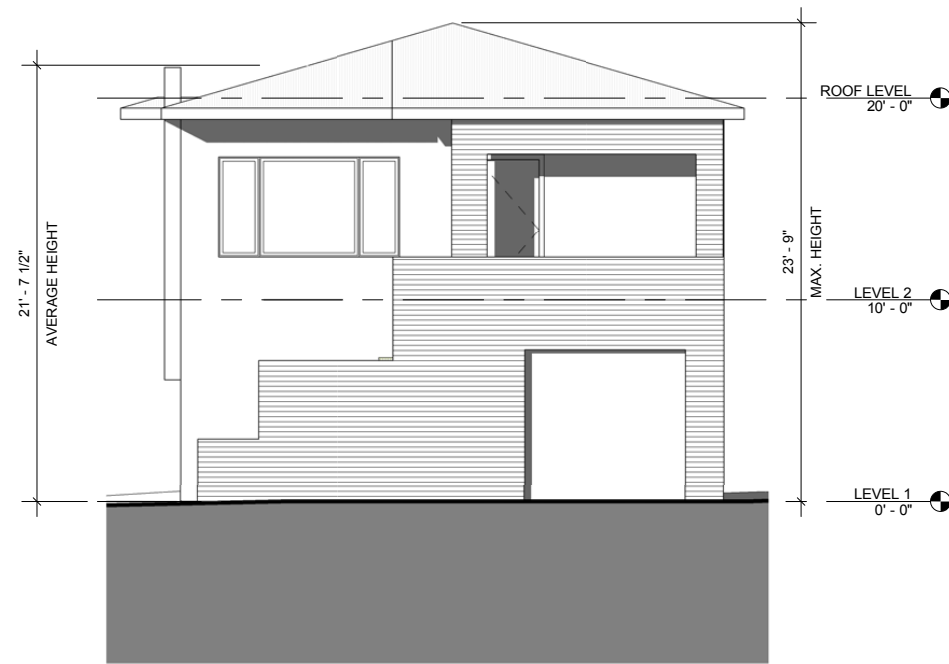
PROPOSED - CAMELLIA LEVEL 2



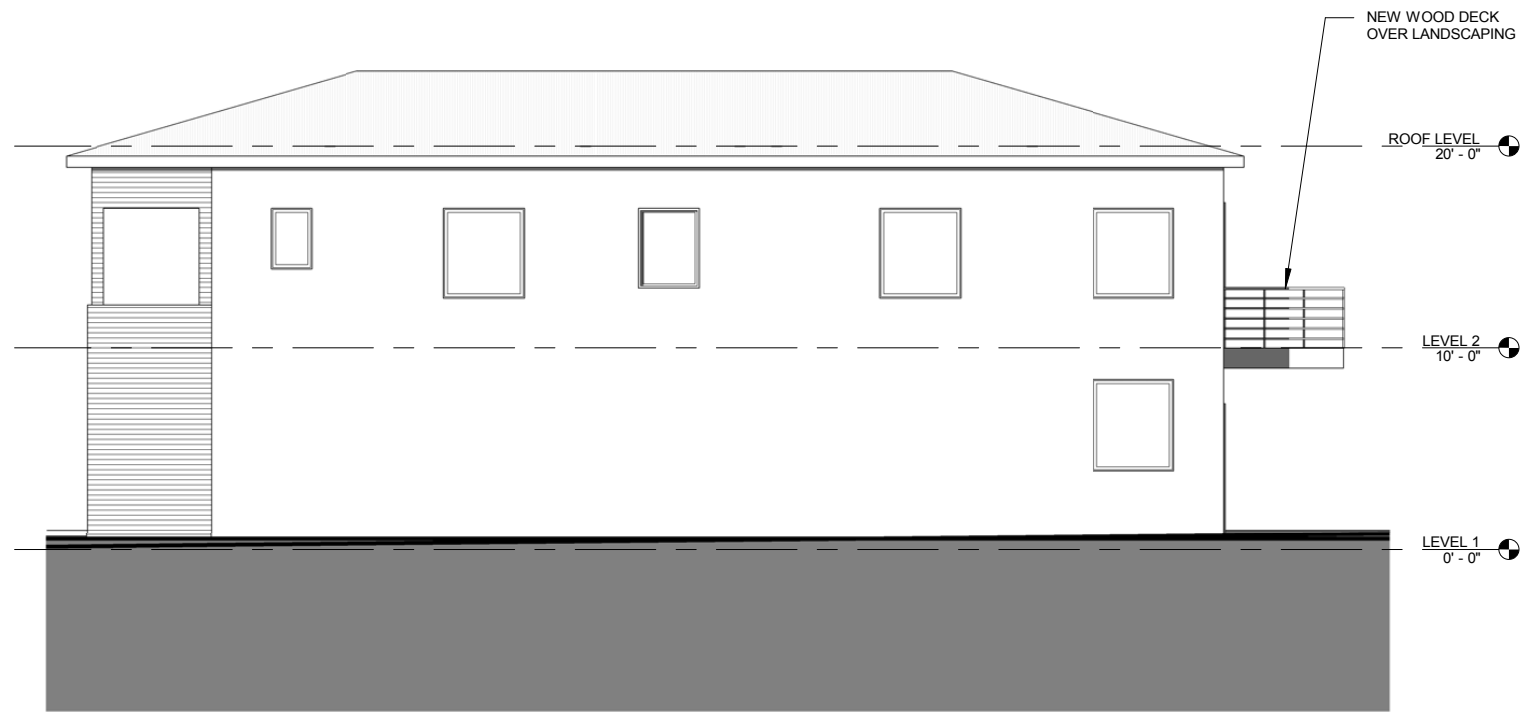
PROPOSED - CAMELLIA BASEMENT PLAN



- MATERIAL LEGEND**
- PAINTED WOOD SIDING
 - WOOD PATTERNED FIBER CEMENT
 - CEMENT PLASTER
 - CEMENT PLASTER

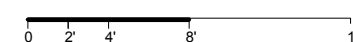


2 CAMELLIA SOUTH ELEVATION
 1/8" = 1'-0"



1 CAMELLIA EAST ELEVATION
 1/8" = 1'-0"

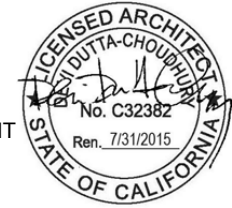
HEARST GARDENS







DEVI DUTTA ARCHITECTURE

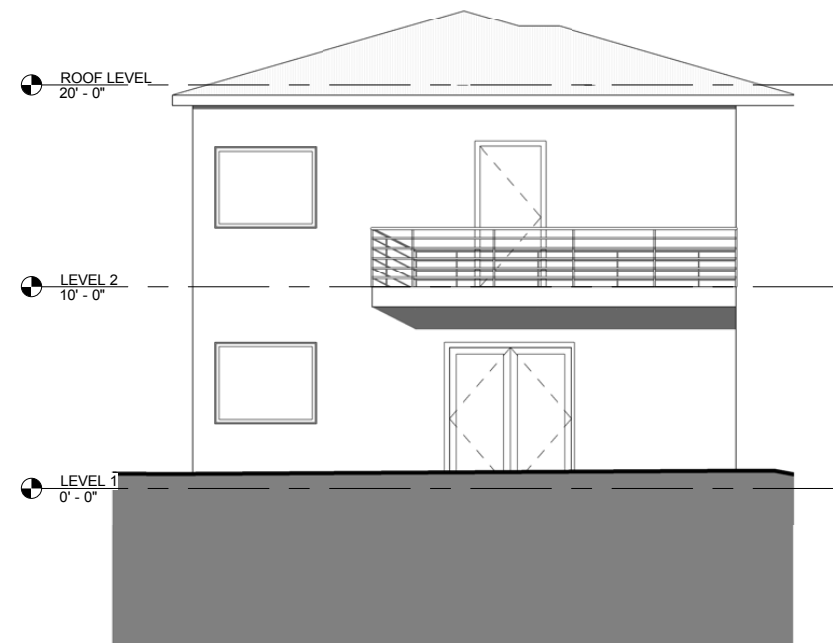
CAMELLIA ELEVATIONS

SCALE: As indicated

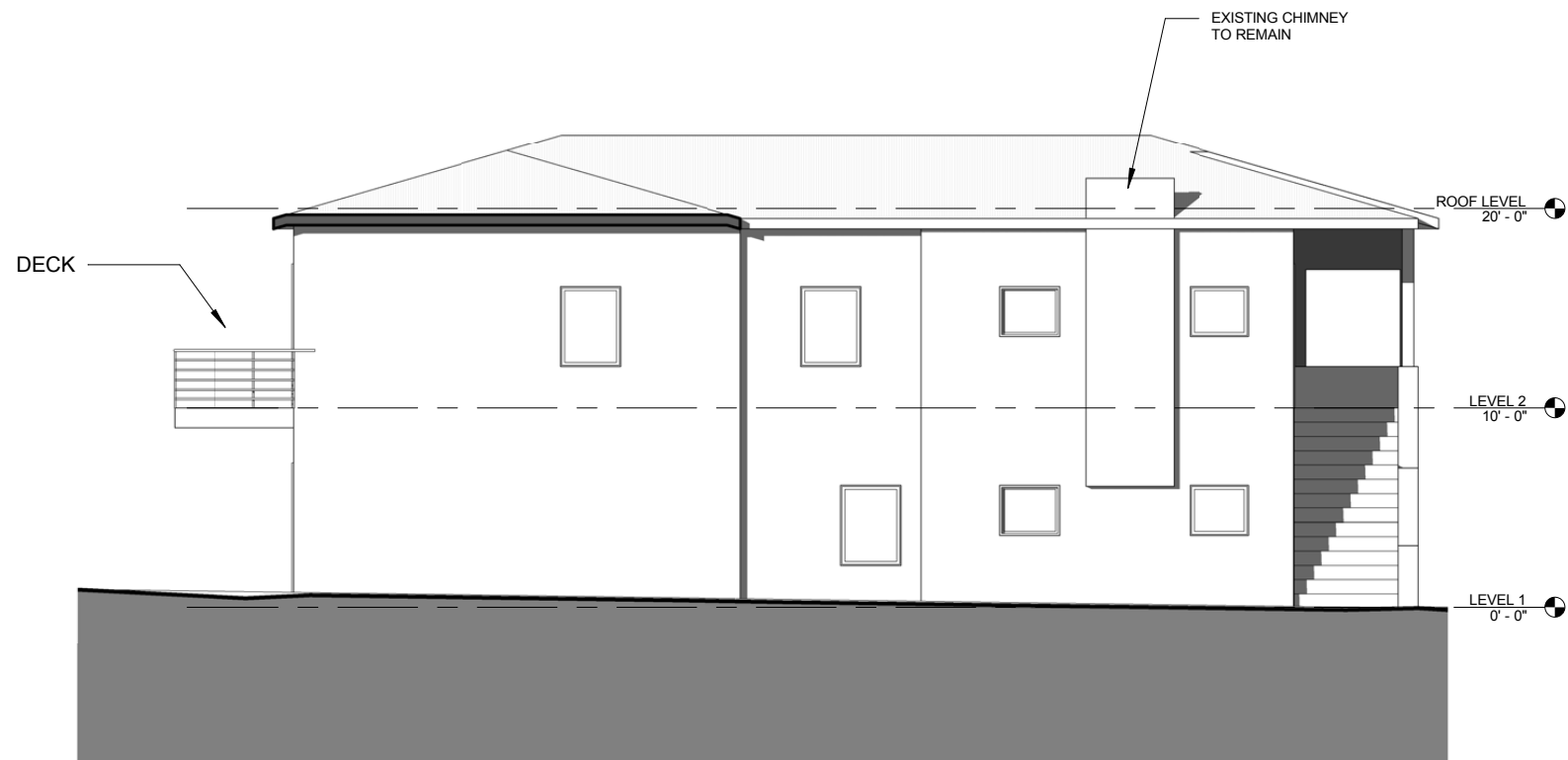


MATERIAL LEGEND

	PAINTED WOOD SIDING
	WOOD PATTERNED FIBER CEMENT
	CEMENT PLASTER
	CEMENT PLASTER



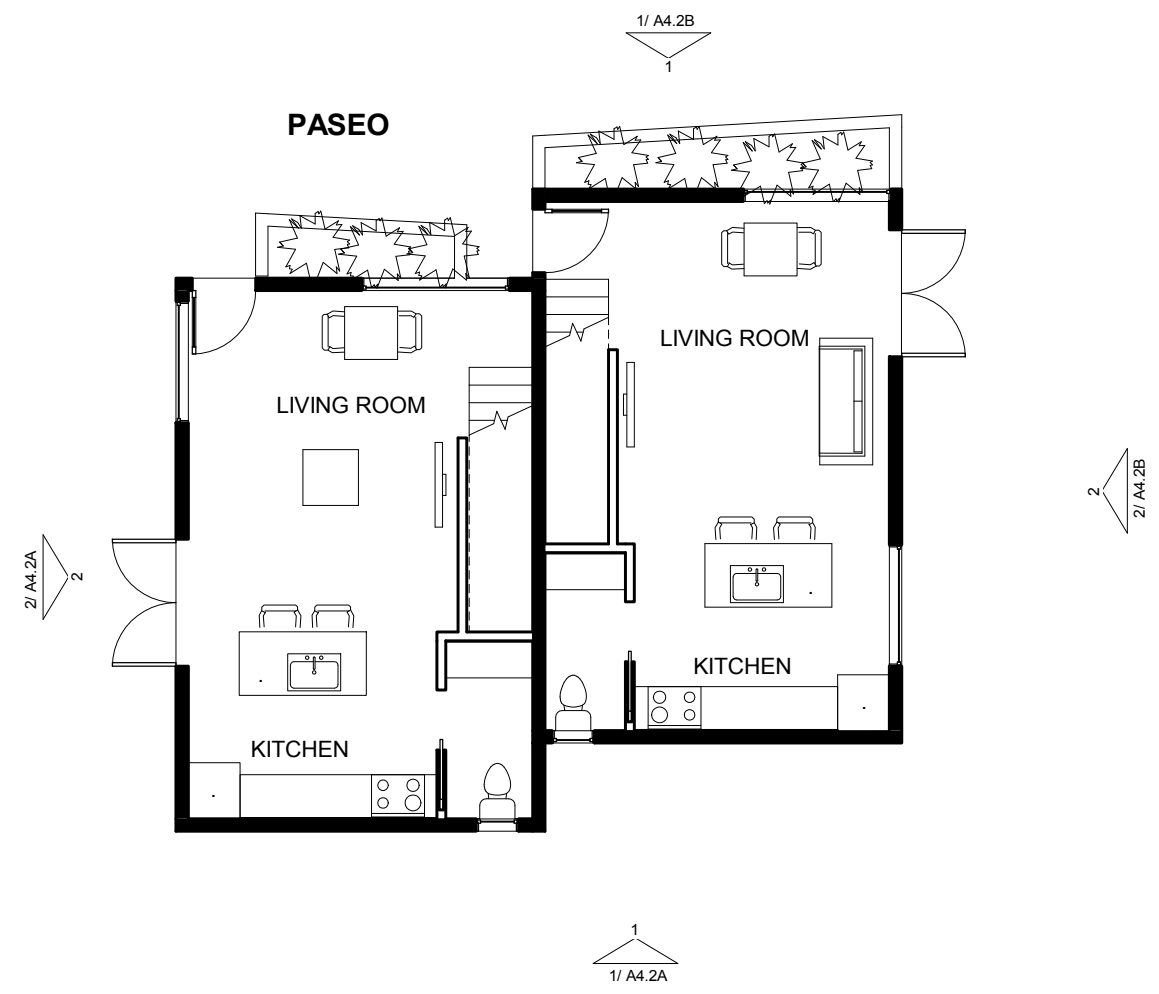
2 CAMELLIA NORTH ELEVATION
 1/8" = 1'-0"



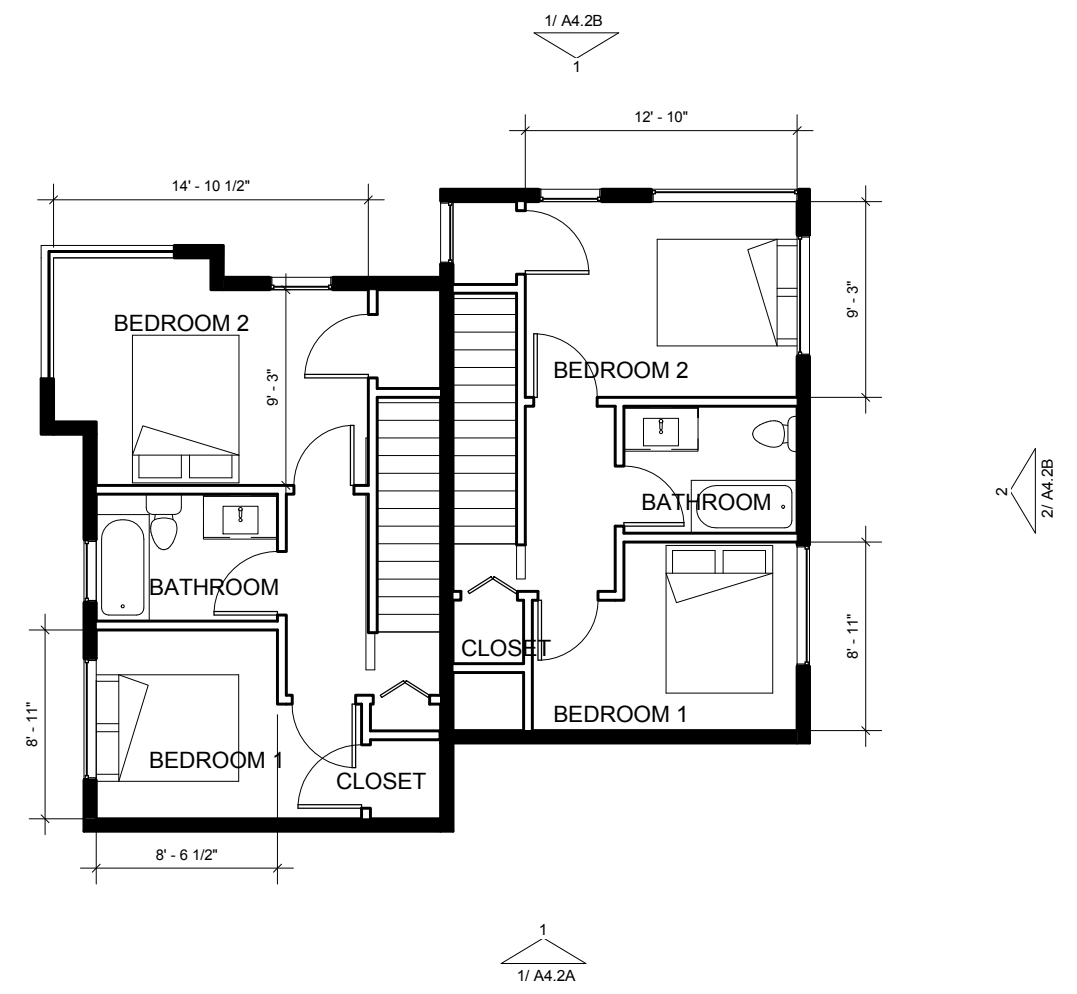
1 CAMELLIA WEST ELEVATION
 1/8" = 1'-0"



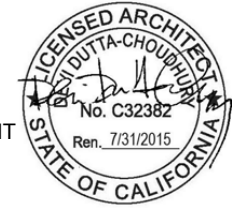
- LEGEND**
- NEW EXTERIOR WALL
 - (E) WALL
 - NEW INTERIOR WALL
 - SEE SITE PLAN FOR NON-CONFORI







**DAFFODIL & EDELWEISS
 LEVEL 1**



**DAFFODIL & EDELWEISS
 LEVEL 2**



MATERIAL LEGEND

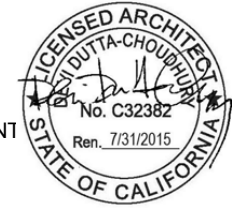
	PAINTED WOOD SIDING
	WOOD PATTERNED FIBER CEMENT
	CEMENT PLASTER
	CEMENT PLASTER







2 DAFFODIL & EDELWEISS SOUTH ELEVATION
 1/8" = 1'-0"



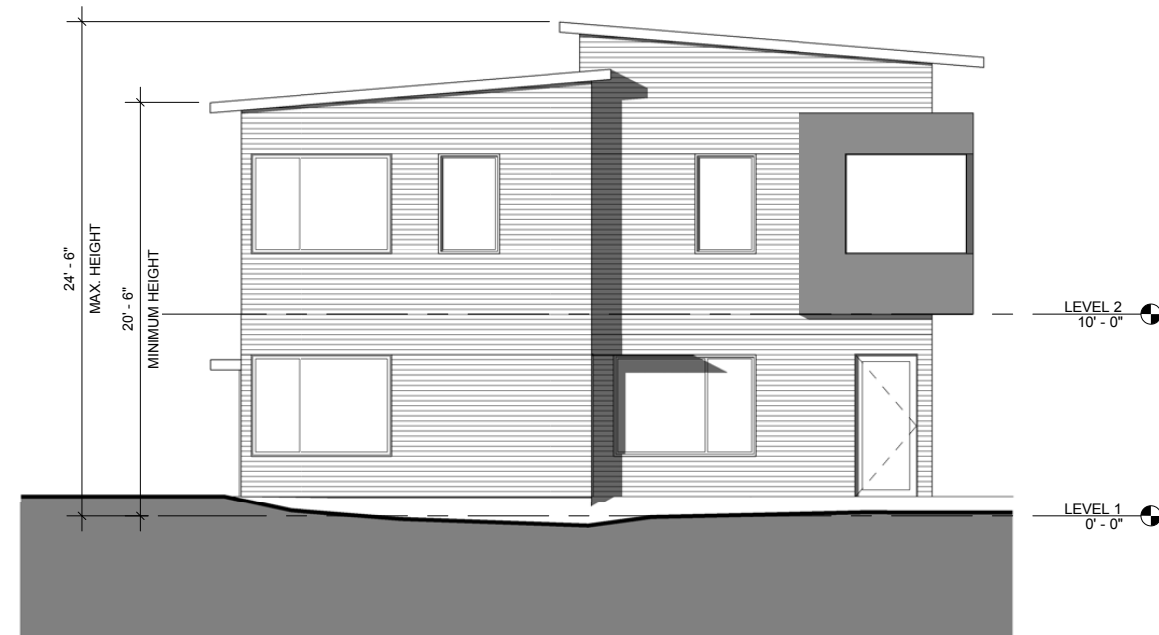
1 DAFFODIL & EDELWEISS EAST ELEVATION
 1/8" = 1'-0"



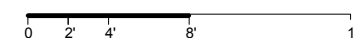
- MATERIAL LEGEND**
-  PAINTED WOOD SIDING
 -  WOOD PATTERNED FIBER CEMENT
 -  CEMENT PLASTER
 -  CEMENT PLASTER

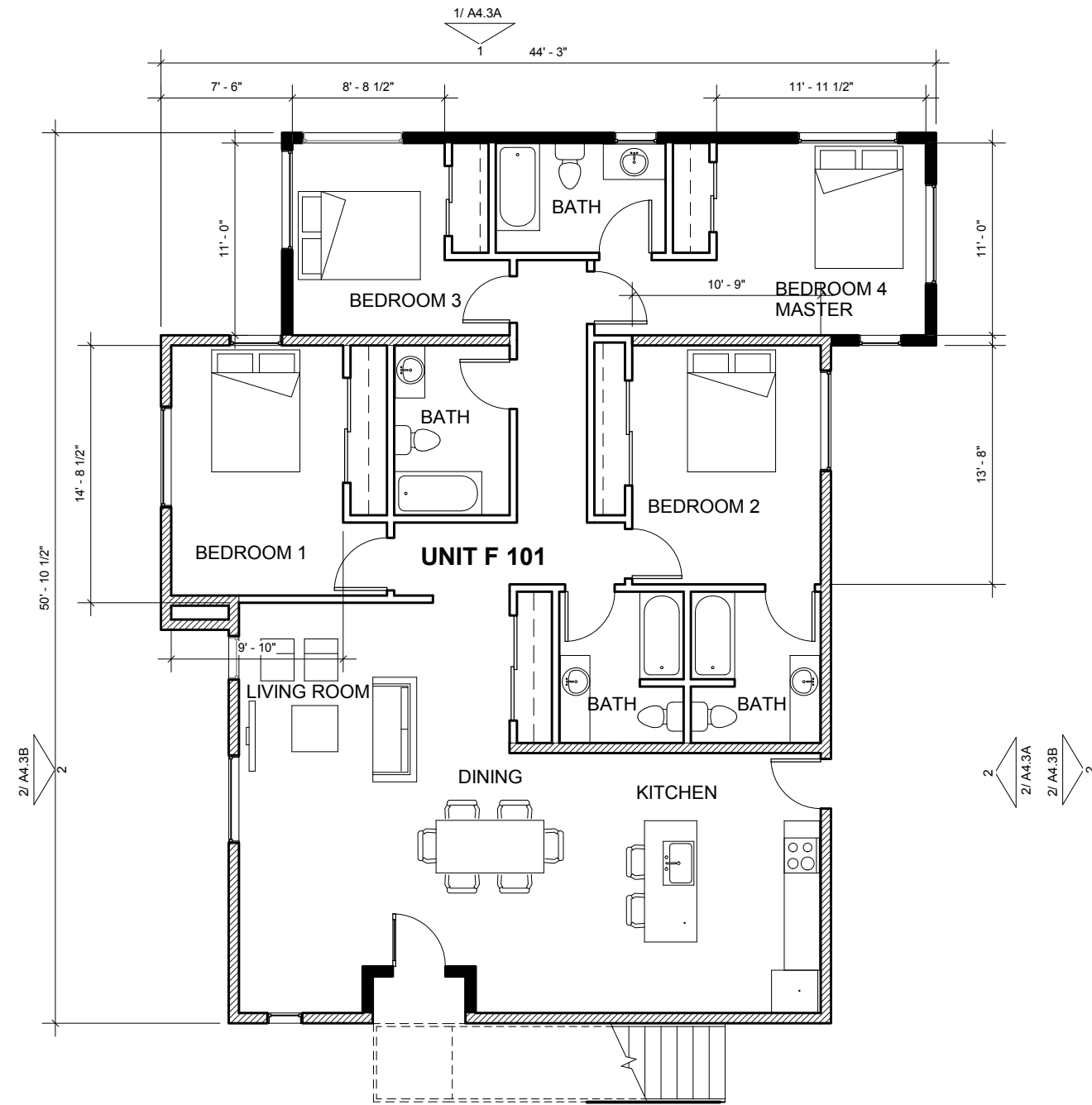


2 DAFFODIL & EDELWEISS NORTH ELEVATION
 1/8" = 1'-0"

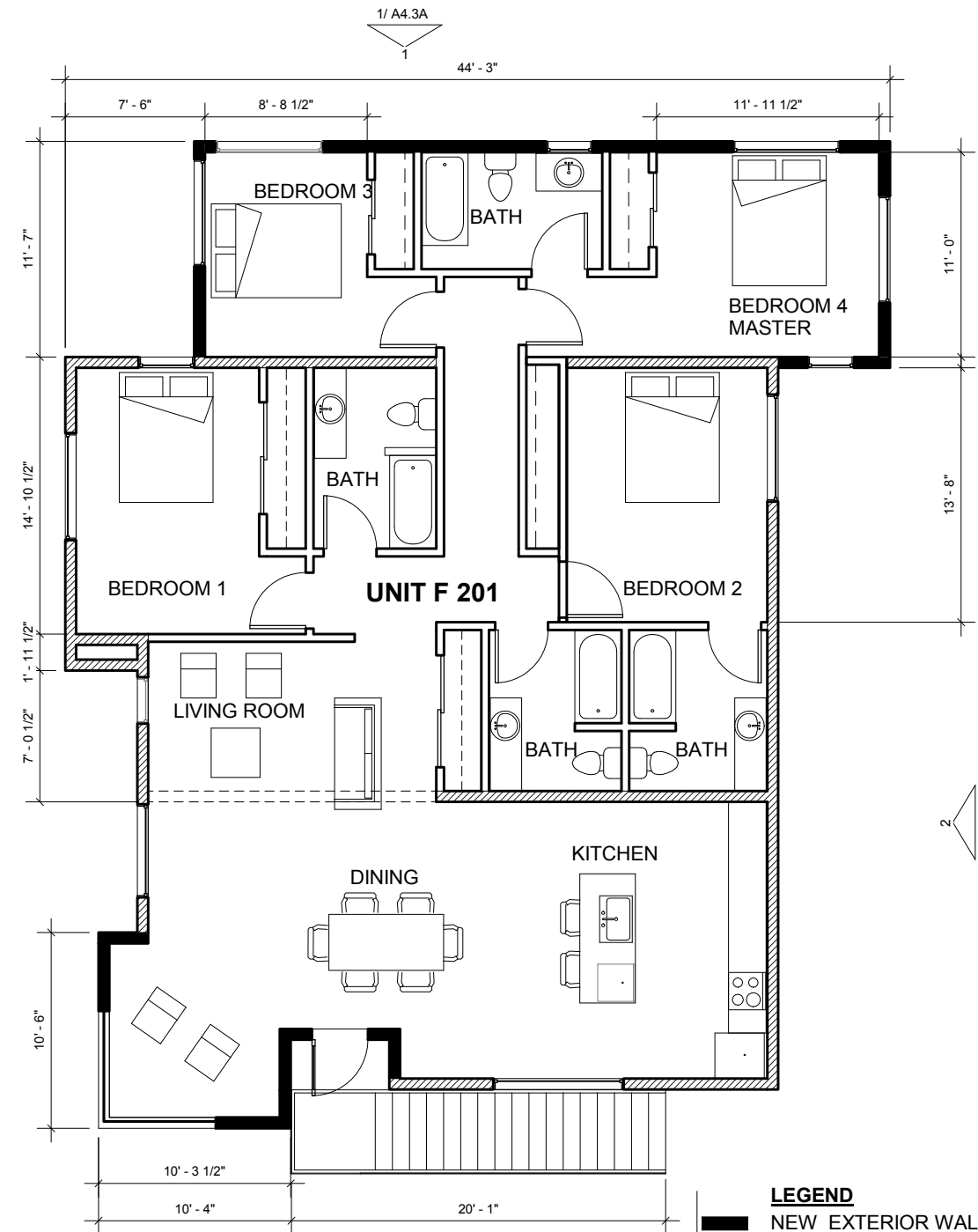


1 DAFFODIL & EDELWEISS WEST ELEVATION
 1/8" = 1'-0"





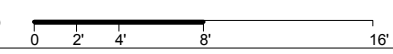
FRESIA LEVEL 1



FRESIA LEVEL 2



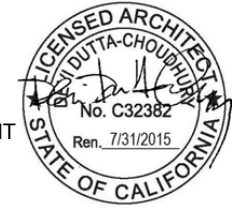
- LEGEND**
- NEW EXTERIOR WALL
 - (E) WALL
 - NEW INTERIOR WALL
 - SEE SITE PLAN FOR NON-CONFORMING SETBACKS



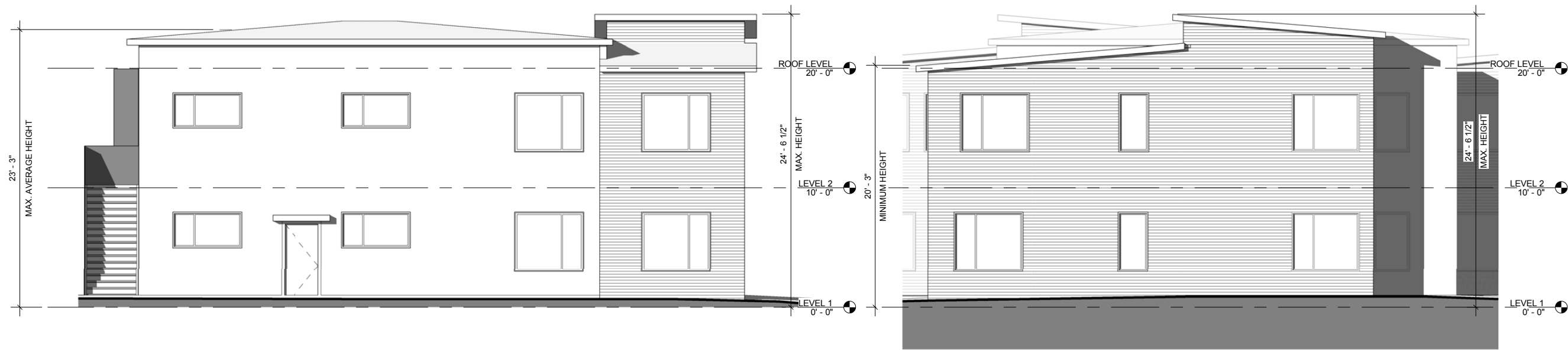
HEARST GARDENS
 DEVI DUTTA ARCHITECTURE

FRESIA PLANS
 SCALE: As indicated

A4.3

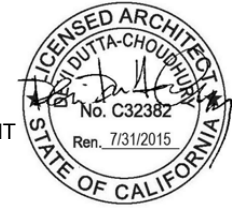






- MATERIAL LEGEND**
- PAINTED WOOD SIDING
 - WOOD PATTERNED FIBER CEMENT
 - CEMENT PLASTER
 - CEMENT PLASTER

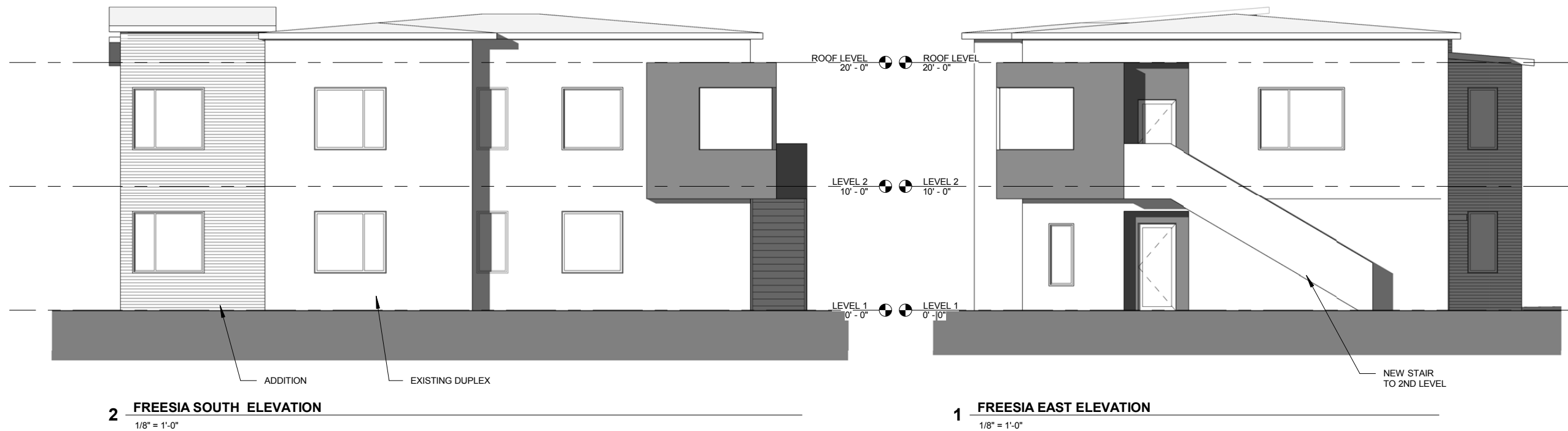


2 FREESIA NORTH ELEVATION
 1/8" = 1'-0"

1 FREESIA WEST ELEVATION
 1/8" = 1'-0"

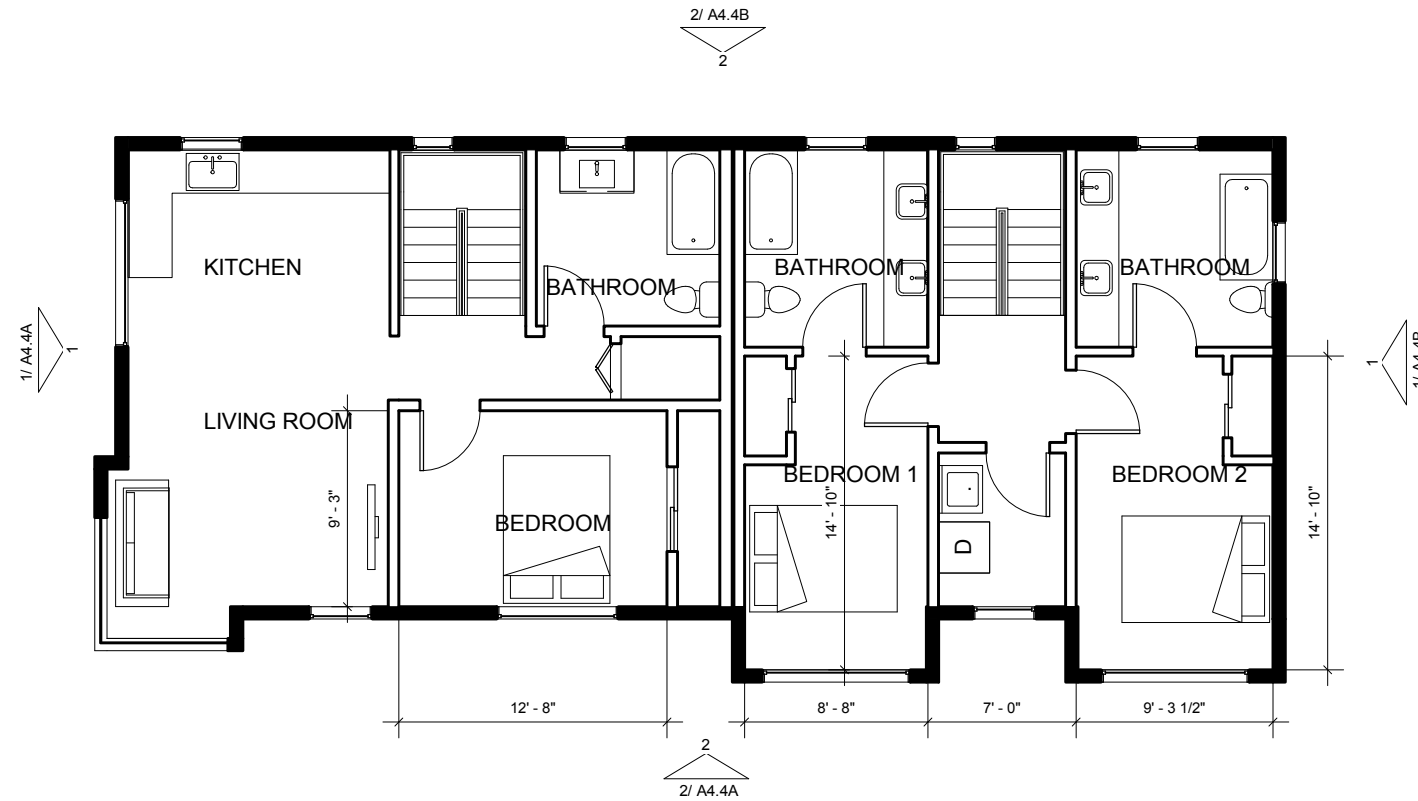


- MATERIAL LEGEND**
-  PAINTED WOOD SIDING
 -  WOOD PATTERNED FIBER CEMENT
 -  CEMENT PLASTER
 -  CEMENT PLASTER



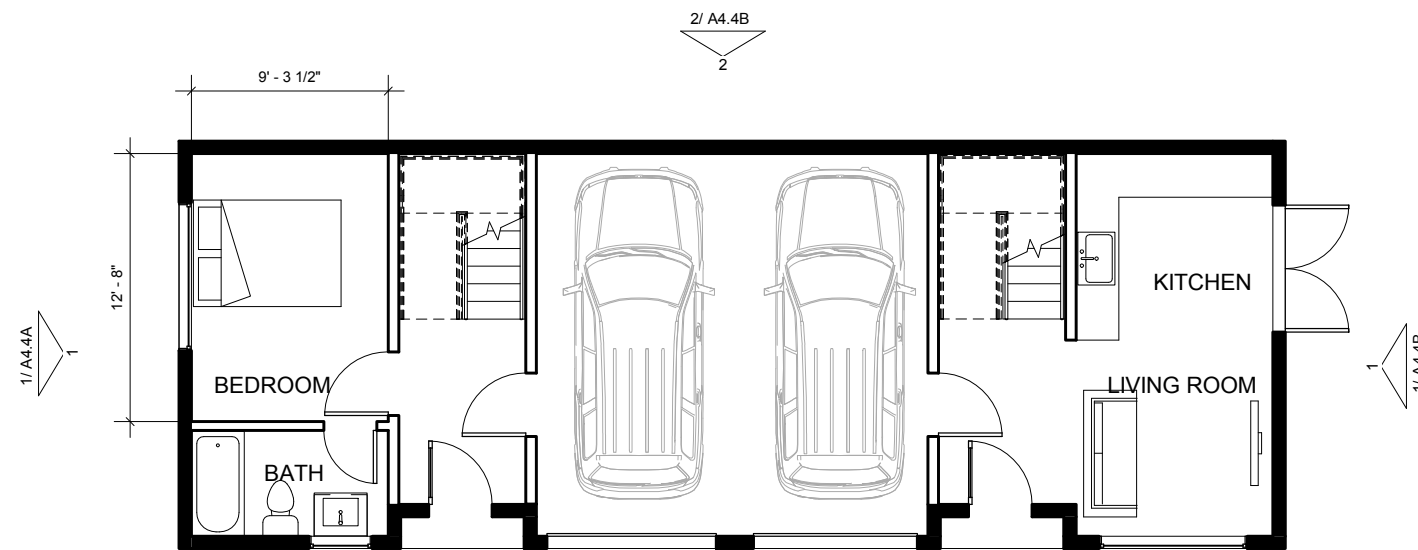
2 FREESIA SOUTH ELEVATION
 1/8" = 1'-0"

1 FREESIA EAST ELEVATION
 1/8" = 1'-0"

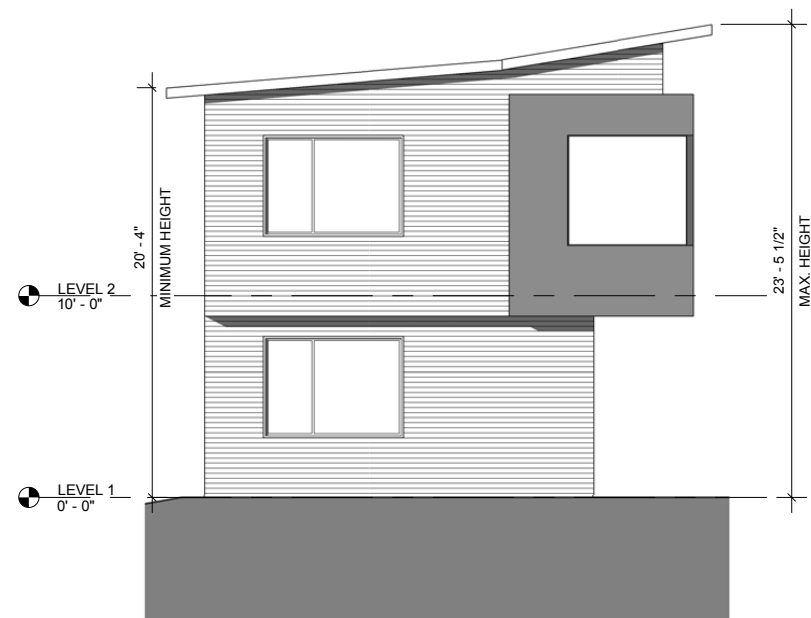
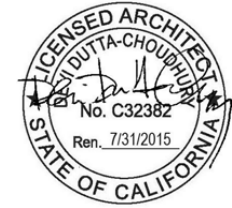


- LEGEND**
- NEW EXTERIOR WALL
 - (E) WALL
 - NEW INTERIOR WALL
 - SEE SITE PLAN FOR NON-CONFORMING SETBACKS

2 GERANIUM LEVEL 2
 1/8" = 1'-0"



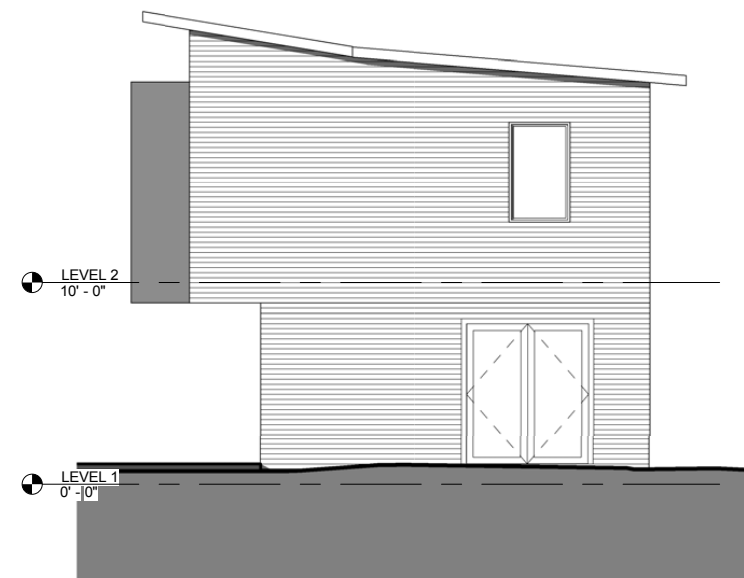
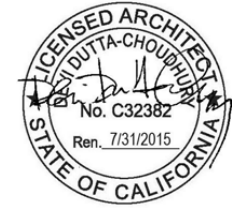
1 GERANIUM LEVEL 1
 1/8" = 1'-0"



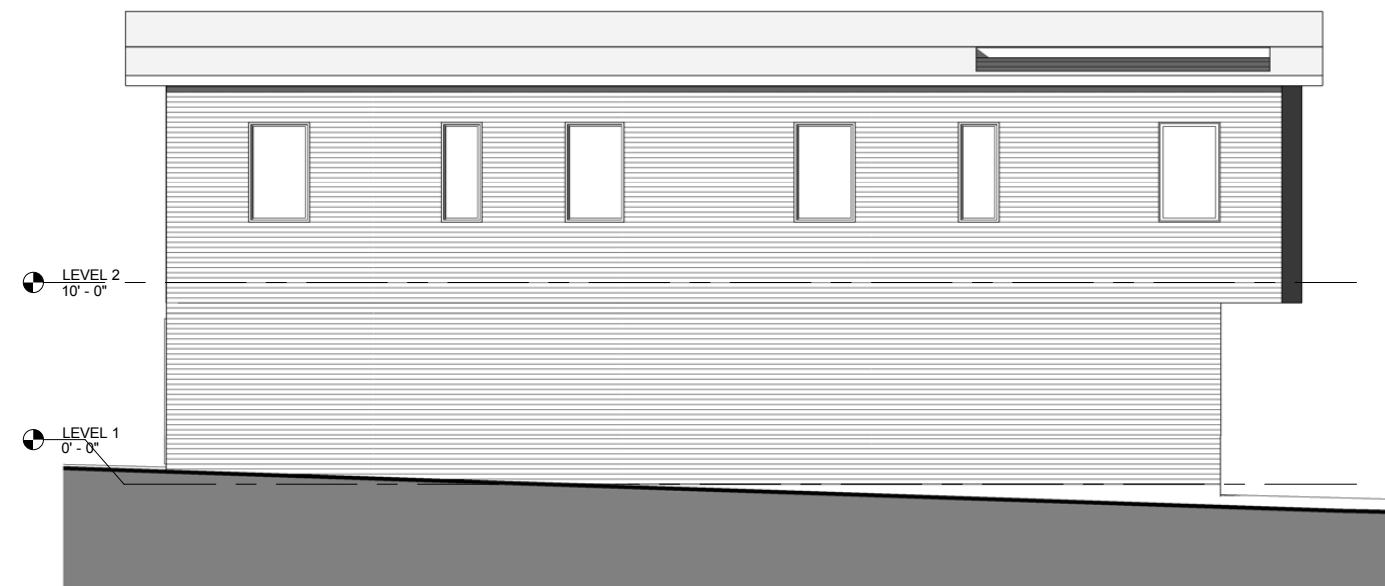
1 GERANIUM SOUTH ELEVATION
1/8" = 1'-0"



2 GERANIUM EAST ELEVATION
1/8" = 1'-0"



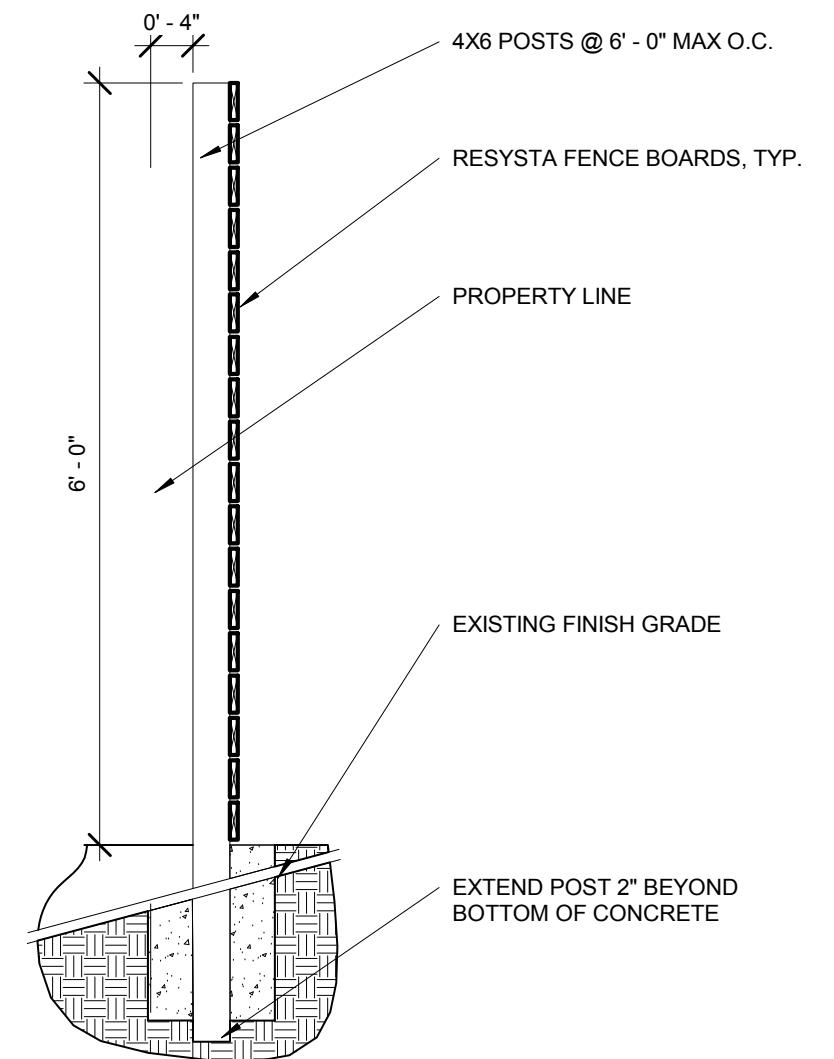
1 GERANIUM NORTH ELEVATION
1/8" = 1'-0"



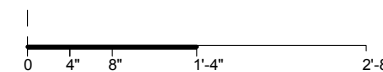
2 GERANIUM WEST ELEVATION
1/8" = 1'-0"

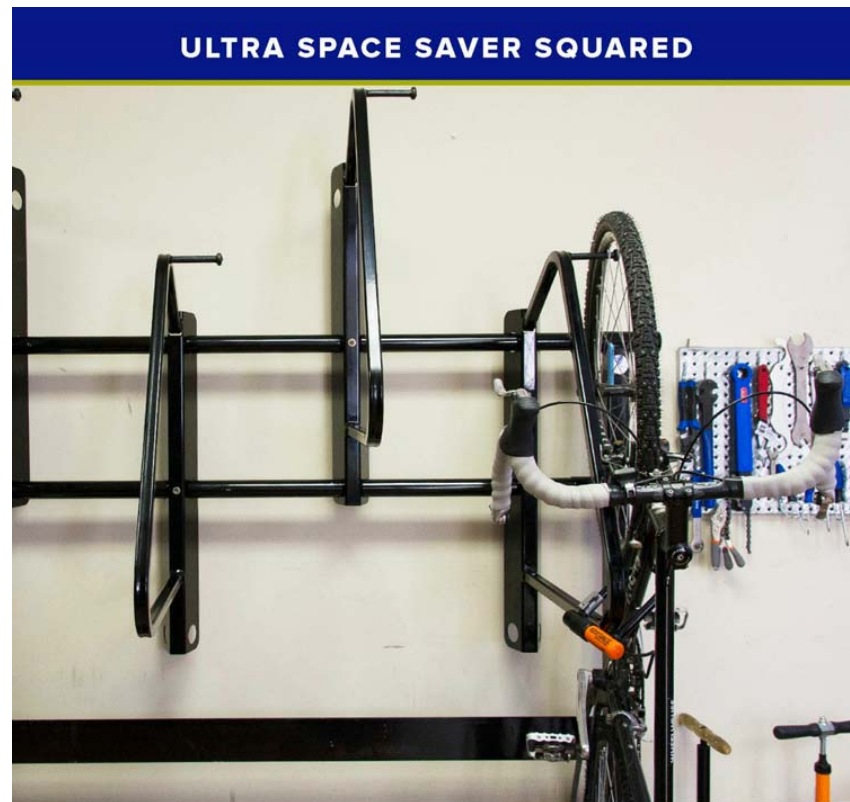


CEDAR FENCE ALONG PROPERTY LINE

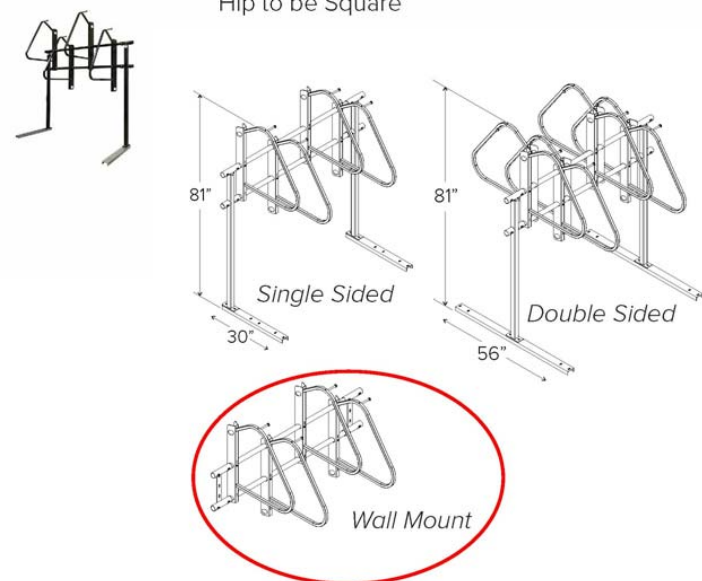


1 CEDAR FENCE DETAIL
 3/4" = 1'-0"





Hip to be Square



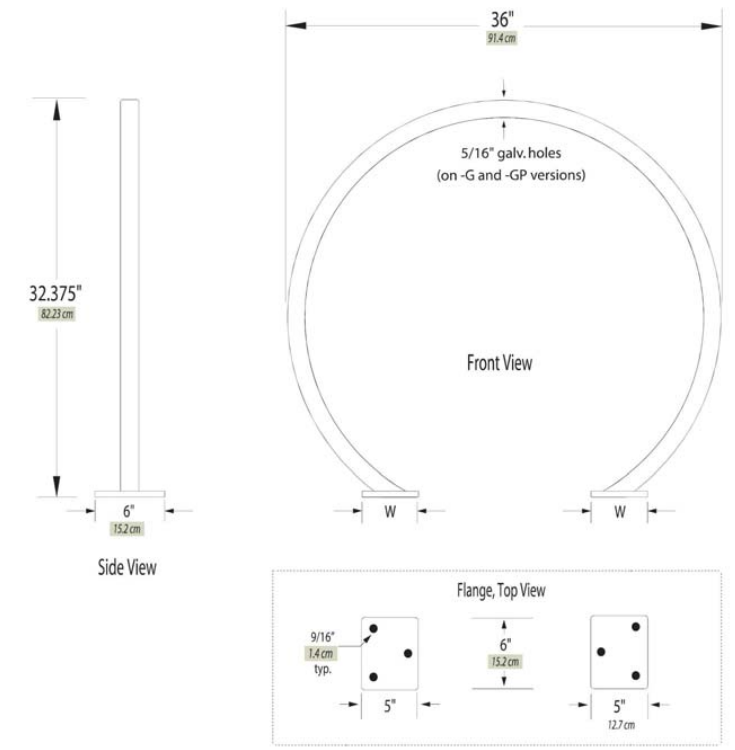
WALL MOUNT, SQUARE PROFILE BIKE STORAGE. LOCATED ON EAST WALL OF BEGONIA BUILDING.



DARK GREY POWDERCOAT FINISH AT BIKE STORAGE

BIKEPARKING.COM™
 Tel: 415.333.6428 Tel: 888.764.2453 Fax: 415.333.2032 E: info@bikeparking.com
 Palmer Group, LLC : 1728 Ocean Avenue #132 San Francisco CA 94112 USA

Welle™ Circular Rack
 Square Tube
 Surface Flange



Welle™ Circular Rack Square Tube Surface Flange						
Tubing	Model	Weight	Finish Options	Hoop	Surface Mount Flanges (Same material as Hoop)	Anchors (Not Provided)
Square Tube	WCRO2-SQ-SF	38 lbs 17.1 kg	-G Hot Dipped Galvanized -P Powder Coated (color) -GP Hot Dipped Galvanized with Powder Coat (color) Top-Coat -SS Stainless #4 Brush Finish	-G, -P, -GP 2" x 2" x 0.188" Square Tube (Regular Steel) 12.2 cm 5.1 cm x 5.1 cm x 5 mm -SS 2" x 2" x 0.188" Square Tube (304 SS Alloy) 5.1 cm x 5.1 cm x 5 mm	(2) 5" x 6" x 3/8" Plates, 12.7 cm x 15.2 cm x 10 mm each with (3) 9/16" Holes 14 mm	(2) 1/2" x 2.75" 13 mm x 7 cm Rawl Spike (4) 1/2" x 3.75" 13 mm x 9.5 cm Wedge Anchor Bolt

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2012.04.11

GROUND ANCHORED, SQUARE PROFILE BIKE STORAGE CIRCULAR RACK. 2 BIKES PER RACK. LOCATED ALONG THE PASEO, AND FLANKING THE DRIVEWAY BETWEEN AZALEA AND BEGONIA.







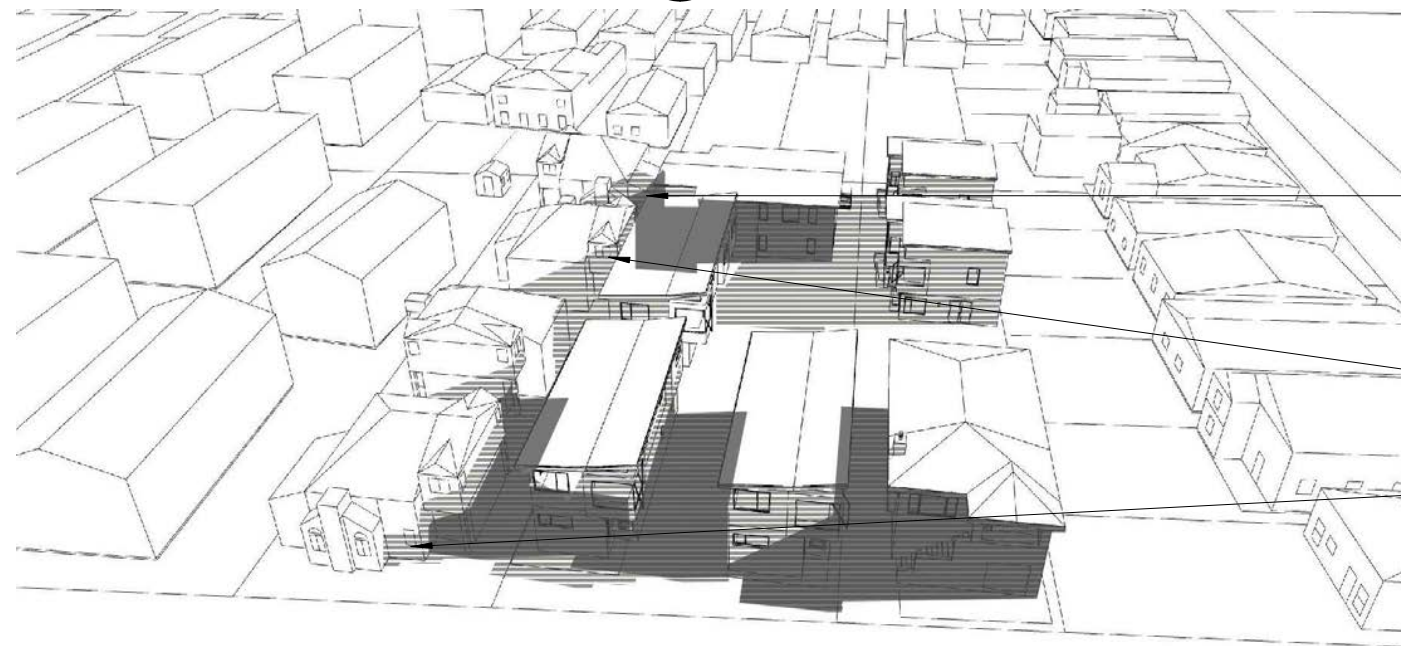
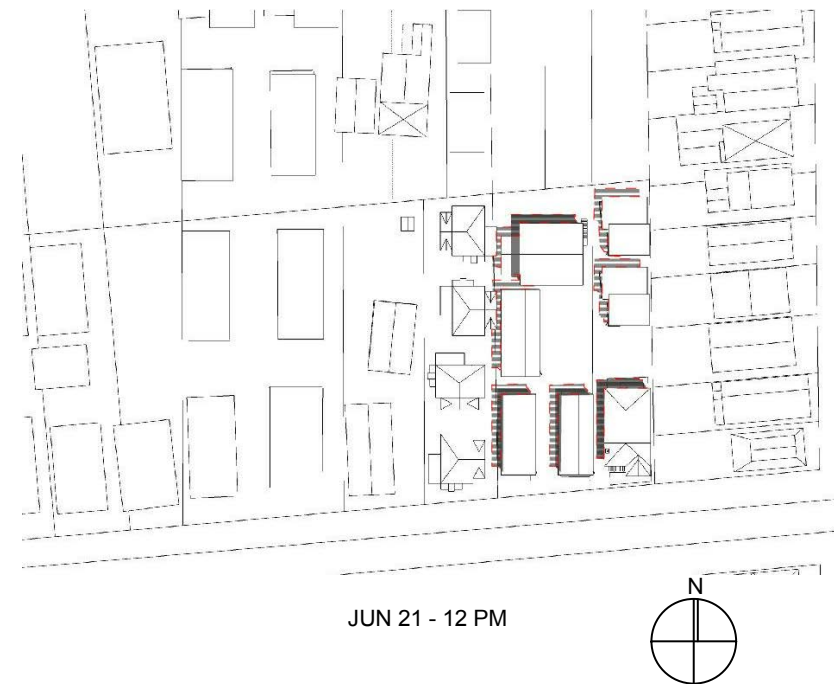
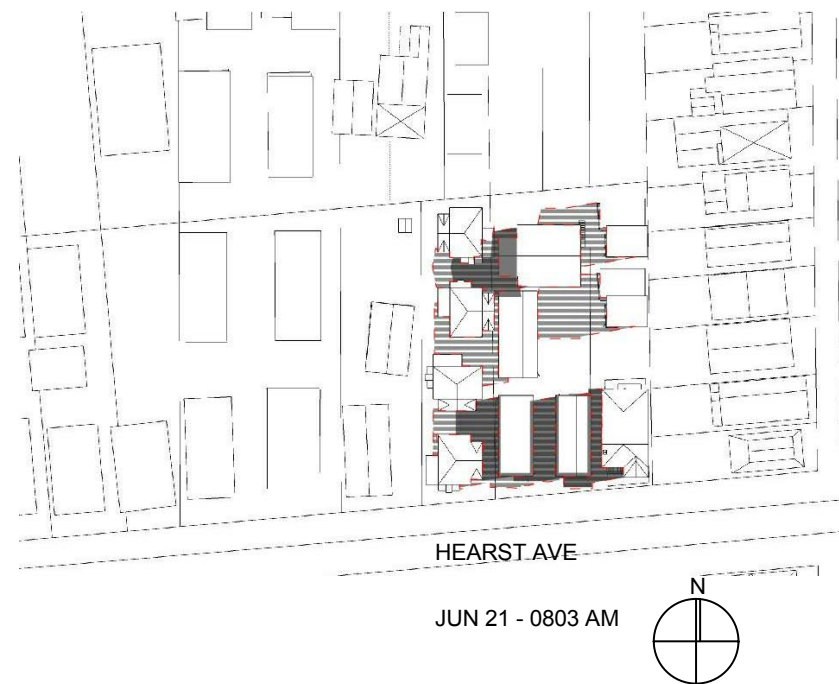






FOOTPRINT OF "FREESIA" BUILDING
IS SHOWN (WALLS & ROOF ARE
HIDDEN)







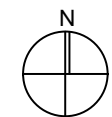
ASSUMED LIVING SPACE

ASSUMED BEDROOM

ASSUMED BATHROOM

LEGEND

-  NEW SHADOWS
-  EXISTING SHADOWS

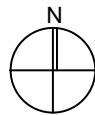




HEARST AVE

CURTIS AVE

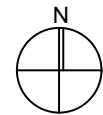
DEC 21 - 0921 AM



DEC 21 - 12 PM



DEC 21 - 253 PM



ASSUMED BEDROOM

ASSUMED LIVING ROOM

ASSUMED BEDROOMS

LEGEND

NEW SHADOWS

EXISTING SHADOWS

HEARST GARDENS

DEVI DUTTA ARCHITECTURE

SHADOW STUDIES WINTER SOLSTICE

SCALE: 1/16" = 1'-0"

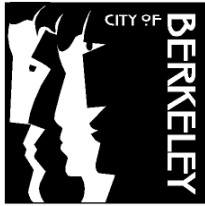
A6.1



	OCCUPANCY	SPRINKLERED?	CONST. TYPE	HEIGHT & NUMBER OF STORIES
AZALEA	R-3	SPRINKLERED	V-B	2-STORIES
BEGONIA	R-3	SPRINKLERED	V-B	2-STORIES
CAMELLIA	R-3	SPRINKLERED	V-B	2-STORIES
DAFFODILE	R-3	SPRINKLERED	V-B	2-STORIES
EDELWEISS	R-3	SPRINKLERED	V-B	2-STORIES
FREESIA	R-3	SPRINKLERED	V-B	2-STORIES
GERANIUM	R-3	SPRINKLERED	V-B	2-STORIES

ALL HOMES SUBJECTED TO 2016 CALIFORNIA BUILDING CODE

1 GROUND PLAN BUILDING CODE & EXITING
 3/64" = 1'-0"



Planning and Development Department
Land Use Planning Division

May 17, 2018

Mark Rhoades and Mia Perkins
46 Shattuck Square, Suite 11
Berkeley, CA 94704

Re: Use Permit #ZP2016-0028 – 1155-1173 Hearst Avenue

Mark and Mia,

Thank you for the materials you submitted on April 24, 2018 for the above referenced application. I have had time to review thoroughly and pursuant to Government Code Section 665944, I have determined the application is incomplete as currently submitted. Please be aware that there are many inconsistencies throughout the plan set. Although I am highlighting ones that I have identified in my review, I strongly recommend you take time to plan check as well. Due to the revisions required and comments from the traffic engineer as identified in this letter, the project is no longer on schedule for the June 14th meeting. Follows are the items that require submittal and/or resubmittal with corrections:

Items Required for Submittal or Correction:

- **Variiances** – As currently submitted, the project requires the following variances:
 1. The second story overhang on the southeast corner of Azalea encroaches further into the non-conforming front yard setback (BMC 23C.04.070.C).
 2. The second story overhang on the northeast corner of Begonia (p.A1.6) encroaches into the required 4' minimum side yard setback (BMC 23D.32.070.D).
 3. Several of the eaves encroach further than the required 3' side yard setback (23D.04.030.A).
 4. Many of the uncovered parking spaces along the joint side property line do not meet the minimum 2' setback requirement or the 4' average setback (BMC 23D.12.080). As spaces 5 and 6 are not along the property line, the useable open space area cannot count towards the average setback.
 5. The parking layout is not approved by the Traffic Engineer (23D.12.080.B). See below.

6. Insufficient Useable Open Space for Azalea, Begonia, and Geranium. See Below.

Either revise the plan set to eliminate the need for the Variances, or apply for the Variance(s) and submit the required findings pursuant to BMC 23B.44.030. If you choose the latter, I will assess the applicable fees upon reapplication.

- Parking – The Traffic Engineer has reviewed the proposed parking layout and cannot approve it as currently proposed. I have attached the plan with his initial comments. Part of the difficulty in reviewing the parking plan is that there is no plan sheet that fully dimensions all spaces. Either revise A0.3 to dimension all parking spaces, driveways and turn around areas (length and width) or provide a separate plan sheet that does so. Also do not include the tandem space in Camellia as part of the parking plan.
- Floor Plans/Elevations/Internal Consistency – Ensure that all room dimensions are labeled and that the floor plans throughout the set are consistent with each other and the proposed elevations and renderings. Revisions required include, but are not necessarily limited to:
 - Azalea and Begonia are in most instances (see bullet below) mirror images and require separate proposed floor plans and elevations.
 - The floor plan of Begonia on page A 1.6 does not match the proposed plans on A4.0 or the footprint outline on A1.4.
 - Camellia second floor seems to be missing a door in the dining room to the bathroom and needs a label on the room in the northeast corner.
 - Daffodil and Edelweiss have different northern entry doors with awnings on page A1.5 but are represented with the same floor plans and elevations on pages A4.2-A4.2 B. Revise the former, or present different floor plans and elevations.
 - On page A1.6 Daffodil and Edelweiss show the outline of presumably planters on the second floor that are not represented on pages A4.2 - A4.2B.
 - The floor plans for Daffodil and Edelweiss depict two windows on the east elevations, while the elevations shows six.
 - Freesia level 2 needs doors to the closet in bedroom 2, is inconsistent with the window pattern shown on the north elevation drawing (both levels), and has hatched lines through the second floor living room without it being included in the legend.
 - The shading of the projection on Geranium's north elevation second floor overhang is not consistent with the floor plan, and the second floor projections towards the north of the building should be visible on the south elevation.
 - A roof deck is shown on Geranium, but there is no means shown to access it. Also, it is unclear why the roof deck, if it is accessible, is not highlighted in green on the Open Space schematic on page A0.3.

- The total Useable Open Space shown on A0.3 is 4,978 square feet, the zoning tables standards submitted as part of the applicant statement has 7,026 square feet, and the tabulation forms have a total of 4,715 square feet. Rectify.
- The gross floor area stated in the project plan set (16,006 sq. ft.), differs for the tabulation form total (15,795 sq. ft.), which differs from the applicant statement (15,480 sq. ft.)

As mentioned, please review internal consistency beyond what I have listed and ensure that when corrected the revised floor plans and/or elevations are consistent with the remainder of the plan set (i.e. pages A2.0-A3.5 and A9.1) and that all project data is consistent between the tabulation forms, plan set, and applicant statement.

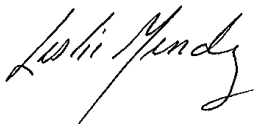
- Legends – Each plan sheet that has color coding, different line types, hatching or other differentiation should have an accompanying legend. Although I think most have been covered, a few are missing, including the light grey shading on page A0.3 for example and the dashed lines mentioned in the bullet above.
- Useable Open Space – Provide a schematic of Useable Open Space (UOS) including all areas that count and all the dimensions of the spaces. Please be aware that when UOS is dedicated for one unit, any excess square-footage over the minimum cannot be allocated to another unit. However, UOS that is clearly not accessible to certain units should not be considered common space or dedicated to that unit. For example, the 219 square foot spaces dedicated to G is really only accessible to G. As such, as currently presented, Azalea, Begonia, and Geranium are deficient in Useable Open Space. Consider an overall plan that would provide a more equitable distribution of UOS.
- Landscape Plan with Screening – Provide a landscape plan. The plan should not be a schematic, but show plantings, location of walkways, patios, UOS amenities, and screening required per BMC 23D.12.080.
- Lot Coverage – Provide a lot coverage schematic that shows all lot coverage as defined in the Zoning Ordinance: *All the area of a lot, as projected on a horizontal plane, which is enclosed by the exterior walls of buildings or enclosed Accessory Structures; or covered by decks, porches, stairs and/or landings which cover an enclosed space or paved ground area.* This includes awnings over patios, the area under bay windows and other architectural overhangs, as well as any area beyond a 2-foot eave.

Additional Requested Revisions and Staff Comments:

- Garbage/Recycling Bicycles – As a detached, single-ownership project, revise the site plan to include a location for garbage, recycling, and composting bins for each building. In addition, any bicycle parking that is near or on a specific building should serve that individual building and not be considered common parking.
- Renderings – Several of the renderings are misleading as they show no or few cars parked in the parking area and show a white patio area where a building would be located. For accuracy, only include renderings that include all buildings and have a full, or mostly full lot.

- Building to Building Separation Reduction – I am not fully comfortable with the reduced second story building to building separation between Freesia and Geranium as the existing second story window of Bedroom 1 in Freesia will be blocked by the northern wall of Geranium. If this area could be redesigned so the wall confronting the window meets the 8' minimum separation that would be preferable.
- Plan Set – At 57 pages, the size of the plan set is unmanageable. Upon resubmittal, please eliminate the following from the set:
 - General project information found on pages A0.1, A0.2, A0.4;
 - Maps on pages A0.6 & A0.7;
 - Street strip and photos on pages A0.8 - A0.10;
 - The majority of the renderings, I would recommend pages A5.2 – A5.7; and
 - The shadow studies on pages A6.0 & A6.1.It will be more manageable to keep these items as separate documents of the administrative record.
- Density Bonus – It is clear that the proposed project is constrained by the parking requirement. If Camellia has not been rented in the past five years, you may wish to consider developing five new units on 1173 Hearst, either through demolition and rebuild of Camellia, or by dividing Camelia into two units. Although this route would require the provision of a below market rate unit on site, this could be combined with the City's inclusionary requirement. In addition, a density bonus project would provide the flexibility through waivers and/or concession to reduce the parking by five spaces.

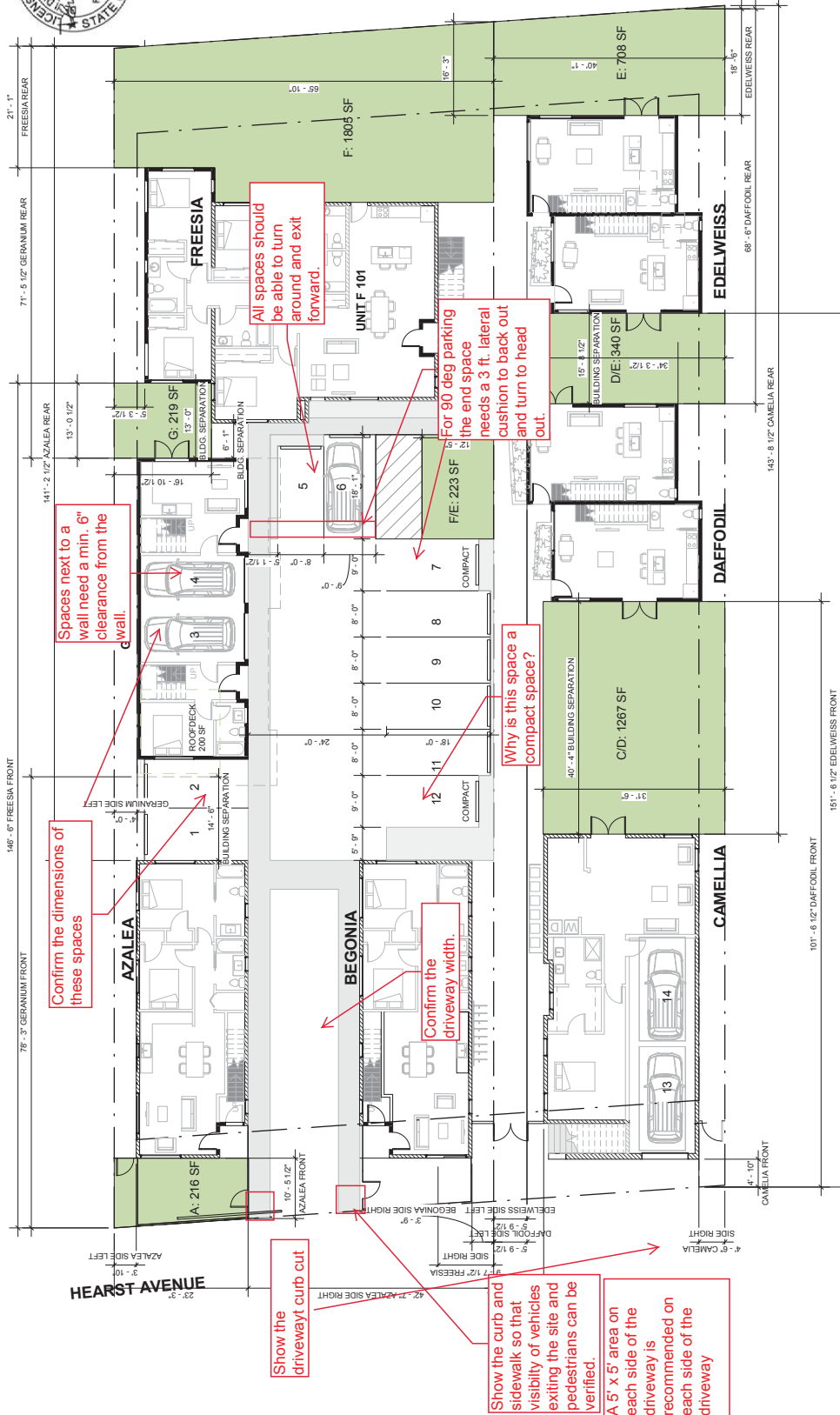
Sincerely,



Leslie Mendez
Senior Planner



Comments from City of Berkeley Traffic Engineer



A0.3

HEARST GARDENS
 DEVI DUTTA ARCHITECTURE

SETBACKS & OPEN SPACE
 SCALE: 1/16" = 1'-0"

1 GROUND PLAN OPEN SPACE
 1/16" = 1'-0"

ZAB 4.18.2018

Mendez, Leslie

From: Chun, Peter
Sent: Thursday, May 31, 2018 3:27 PM
To: 'Mark Rhoades'; Mendez, Leslie
Subject: RE: Hearst updated site plan

Mark,

The plan looks fine. I would like a request statement about the compact spaces. The guidance I have allows for 10% of spaces can be compact. This plan is requesting two additional compact spaces. I believe the it was discussed that there is a offsetting easement that the compact spaces will help to establish. Please include this in the statement. Here are a few additional comments:

- a. Please show the proposed driveway gate location per our discussion.
- b. It appears that the ADA space was not required.
- c. The compact spaces only need to be 8 'wide.
- d. The Freesia unit will be subject to everyone's headlights at night. Something to think about.

Let me know if you have further questions.

Thank you,

Peter

From: Mark Rhoades [<mailto:mark@rhoadesplanninggroup.com>]
Sent: Thursday, May 31, 2018 9:01 AM
To: Chun, Peter <PChun@cityofberkeley.info>; Mendez, Leslie <LMendez@cityofberkeley.info>
Subject: FW: Hearst updated site plan

Peter,

Please see the attached revised site plan for 1155-1173 Hearst Avenue. We were able to turn the parking spaces at the end of the row so that all of the spaces now oppose one another. I think we also have appropriate buffer locations for doors, pedestrians AND turning movement.

Let me know if this is acceptable. We would sure like to get this wrapped and back to the Zoning Adjustments Board.

Best,

Mark Rhoades
www.RhoadesPlanningGroup.com
510.545.4341

Memorandum

To: Leslie Mendez, City of Berkeley Planning & Development Department
From: Mark Rhoades, Rhoades Planning Group
Date: June 20, 2018
Re: 1155-1173 Hearst Avenue/ZP2016-0028 Response to May 17, 2018 Incomplete Letter

Dear Ms. Mendez,

This letter and the attached materials are provided as a response to your incomplete letter, dated May 17, 2018 for the property located at 1155-1173 Hearst Avenue. Please see the following responses provided below each item listed in your letter.

Items Required for Submittal or Correction:

- **Variances** – As currently submitted, the project requires the following variances:
 1. The second story overhang on the southeast corner of Azalea encroaches further into the non-conforming front yard setback (BMC 23C.04.070.C).
Response: The second story overhang on the southeast corner of Azalea has been adjusted so it does not encroach further into the front yard setback.
 2. The second story overhang on the northeast corner of Begonia (p.A1.6) encroaches into the required 4' minimum side yard setback (BMC 23D.32.070.D).
Response: The second story overhang on the northeast corner of Begonia has been adjusted so it does not encroach into the side yard setback.
 3. Several of the eaves encroach further than the required 3' side yard setback (23D.04.030.A).
Response: the dimensions on all the eaves have been corrected to not encroach into the side yard setback.
 4. Many of the uncovered parking spaces along the joint side property line do not meet the minimum 2' setback requirement or the 4' average setback (BMC 23D.12.080). As spaces 5 and 6 are not along the property line, the useable open space area cannot count towards the average setback.
Response: See Page A0.3 for the lot line adjustment area. The applicant will submit an application for a lot line adjustment so the parking area meets the requirements of 23D.12.080 (2 FT minimum and 4FT average).
 5. The parking layout is not approved by the Traffic Engineer (23D.12.080.B). See below.
Response: The City of Berkeley's traffic engineer approved the parking layout shown on Page A0.3 of the attached plan set, via email on May 31, 2018. The four items listed in his May 31, 2018 email have been addressed on Page A0.3 of the attached revised plan set.

6. Insufficient Useable Open Space for Azalea, Begonia, and Geranium. See Below.

Response: *The project meets the useable open space requirements for each parcel per BMC 23F.04.010 and 23D.04.050. Useable open space has been provided on both the 1155 parcel and the 1173 parcel to fulfill the useable open space requirement for the units on each parcel. Please see the provided open space table on Page A0.3 of the attached revised plan set.*

- Parking – The Traffic Engineer has reviewed the proposed parking layout and cannot approve it as currently proposed. I have attached the plan with his initial comments. Part of the difficulty in reviewing the parking plan is that there is no plan sheet that fully dimensions all spaces. Either revise A0.3 to dimension all parking spaces, driveways and turn around areas (length and width) or provide a separate plan sheet that does so. Also do not include the tandem space in Camellia as part of the parking plan.

Response: *The City's traffic engineer approved the parking plan via email on May 31, 2018. Please see Page A0.3 of the attached revised plan set for the parking plan with the requested dimensions.*

- Floor Plans/Elevations/Internal Consistency – Ensure that all room dimensions are labeled and that the floor plans throughout the set are consistent with each other and the proposed elevations and renderings. Revisions required include, but are not necessarily limited to:

- Azalea and Begonia are in most instances (see bullet below) mirror images and require separate proposed floor plans and elevations.

Response: *Please see Page A4.0 of the attached revised plan set for Azalea and Begonia floor plans.*

- The floor plan of Begonia on page A 1.6 does not match the proposed plans on A4.0 or the footprint outline on A1.4.

Response: *The above-referenced pages have been corrected in the attached revised plan set.*

- Camellia second floor seems to be missing a door in the dining room to the bathroom and needs a label on the room in the northeast corner.

Response: *Please see Page A4.1 in the attached revised plan set for corrections.*

- Daffodil and Edelweiss have different northern entry doors with awnings on page A1.5 but are represented with the same floor plans and elevations on pages A4.2-A4.2 B. Revise the former, or present different floor plans and elevations.

Response: *Please see Page A1.5 in the attached revised plan set for correct placement of northern entry doors.*

- On page A1.6 Daffodil and Edelweiss show the outline of presumably planters on the second floor that are not represented on pages A4.2 - A4.2B.

Response: *All above-referenced planters have been removed; please see Page A1.6 of the*

attached revised plan set.

- The floor plans for Daffodil and Edelweiss depict two windows on the east elevations, while the elevations shows six.

Response: Please see Pages A1.5 and A1.6 and Page A2.2 of the attached revised plan set for corrections.

- Freesia level 2 needs doors to the closet in bedroom 2, is inconsistent with the window pattern shown on the north elevation drawing (both levels), and has hatched lines through the second floor living room without it being included in the legend.

Response: Please see Page A4.3 for the closet door at bedroom 2 at Freesia level 2. Please see Pages A1.6 and A4.3A of the attached revised plan set for corrections.

- The shading of the projection on Geranium's north elevation second floor overhang is not consistent with the floor plan, and the second floor projections towards the north of the building should be visible on the south elevation.

Response: Please see Pages A4.4A and A4.4B of the attached revised plan set for corrections.

- A roof deck is shown on Geranium, but there is no means shown to access it. Also, it is unclear why the roof deck, if it is accessible, is not highlighted in green on the Open Space schematic on page A0.3.

Response: Please see Pages A0.3 and A4.4 of the attached revised plan set for corrections.

- The total Useable Open Space shown on A0.3 is 4,978 square feet, the zoning tables standards submitted as part of the applicant statement has 7,026 square feet, and the tabulation forms have a total of 4,715 square feet. Rectify.

Response: Please see Page A0.3 of the attached revised plan set, revised Tabulation forms and zoning standards table in the revised applicant statement for corrections.

- The gross floor area stated in the project plan set (16,006 sq. ft.), differs for the tabulation form total (15,795 sq. ft.), which differs from the applicant statement (15,480 sq. ft.)

Response: Please see revised Tabulation forms and revised zoning standards table in the revised applicant statement.

- Legends – Each plan sheet that has color coding, different line types, hatching or other differentiation should have an accompanying legend. Although I think most have been covered, a few are missing, including the light grey shading on page A0.3 for example and the dashed lines mentioned in the bullet above.

Response: Please see Pages A0.3, A1.4-1.6 of the attached revised plan set for updated legends.

- Useable Open Space – Provide a schematic of Useable Open Space (UOS) including all areas that count and all the dimensions of the spaces. Please be aware that when UOS is dedicated for one unit, any excess square-footage over the minimum cannot be allocated to another unit. However, UOS that is clearly not accessible to certain units should not be considered common space or dedicated to that unit. For example, the 219 square foot spaces dedicated to G is really only accessible to G. As such, as currently presented, Azalea, Begonia, and Geranium are deficient in Useable Open Space. Consider an overall plan that would provide a more equitable distribution

of UOS.

Response: Please see Page A0.3 in the attached revised plan set for useable open space diagram and table.

Landscape Plan with Screening – Provide a landscape plan. The plan should not be a schematic, but show plantings, location of walkways, patios, UOS amenities, and screening required per BMC 23D.12.080.

Response: Please see Page A0.3 in the attached revised plan set for landscape and screening details.

- Lot Coverage – Provide a lot coverage schematic that shows all lot coverage as defined in the Zoning Ordinance: *All the area of a lot, as projected on a horizontal plane, which is enclosed by the exterior walls of buildings or enclosed Accessory Structures; or covered by decks, porches, stairs and/or landings which cover an enclosed space or paved ground area.* This includes awnings over patios, the area under bay windows and other architectural overhangs, as well as any area beyond a 2-foot eave.

Response: Please see Page A1.4 in the attached revised plan set for lot coverage schematic.

Additional Requested Revisions and Staff Comments:

- Garbage/Recycling Bicycles – As a detached, single-ownership project, revise the site plan to include a location for garbage, recycling, and composting bins for each building. In addition, any bicycle parking that is near or on a specific building should serve that individual building and not be considered common parking.

Response: Please see Page A0.3 in the attached revised plan set showing the additional trash enclosures and bicycle parking areas.

Renderings – Several of the renderings are misleading as they show no or few cars parked in the parking area and show a white patio area where a building would be located. For accuracy, only include renderings that include all buildings and have a full, or mostly full lot.

Response: Pages A5.2-A5.7 have been removed from the plan set.

- Building to Building Separation Reduction – I am not fully comfortable with the reduced second story building to building separation between Freesia and Geranium as the existing second story window of Bedroom 1 in Freesia will be blocked by the northern wall of Geranium. If this area could be redesigned so the wall confronting the window meets the 8' minimum separation that would be preferable.

Response: The applicant is requesting an Administrative Use Permit for building separation, per the April 24, 2018 submittal, and will maintain that request for an AUP. If the Zoning Adjustments Board does not grant the AUP for building separation, the footprint of the Geranium building will change as shown in redline on Page A0.3 of the attached revised plan set.

- Plan Set – At 57 pages, the size of the plan set is unmanageable. Upon resubmittal, please eliminate the following from the set:

- General project information found on pages A0.1, A0.2, A0.4;
- Maps on pages A0.6 & A0.7;
- Street strip and photos on pages A0.8 - A0.10;
- The majority of the renderings, I would recommend pages A5.2 – A5.7; and
- The shadow studies on pages A6.0 & A6.1.

It will be more manageable to keep these items as separate documents of the administrative record.

***Response:** with the exception of Pages A0.2 and A0.7, the above-referenced pages have been removed from the revised plan set.*

- Density Bonus – It is clear that the proposed project is constrained by the parking requirement. If Camellia has not been rented in the past five years, you may wish to consider developing five new units on 1173 Hearst, either through demolition and rebuild of Camellia, or by dividing Camelia into two units. Although this route would require the provision of a below market rate unit on site, this could be combined with the City's inclusionary requirement. In addition, a density bonus project would provide the flexibility through waivers and/or concession to reduce the parking by five spaces

***Response:** The applicant is not requesting a density bonus for the project.*

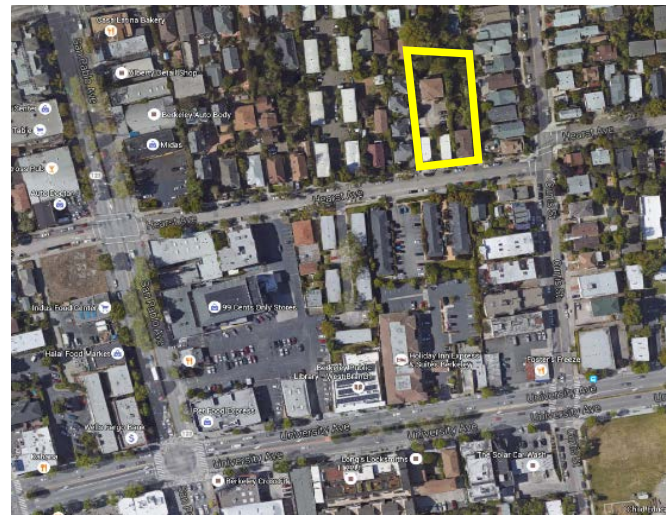
1155-1173 Hearst Avenue
Revised Applicant Statement
June 20, 2018

Overview and Project Information

Rhoades Planning Group is pleased to present this revised proposal for a new residential condominium and transit/neighborhood-oriented development project located at 1155-1173 Hearst Avenue. The project site currently consists of two separate parcels that support six apartments on one and one single family residence on the other. The proposed project will include 6 new dwellings for a total of 13 on-site dwelling units. The project site is zoned Restricted Multiple Family Residential (R2-A), which allows one dwelling unit per each 1,650 square feet of lot area. The project furthers the goals of the district by providing medium density housing development in a transit-oriented location and improving the Hearst Avenue neighborhood and frontage.



The proposed project is located between an existing infill project to the west (condominiums) and homes/apartments to the south and single family homes to the north and east. This proposed project has been designed to work within the constraints imposed by surrounding homes while providing a high quality living environment along the San Pablo Avenue (one of Berkeley's most significant transit corridors) adjacent block of Hearst Avenue.



Project Description

The proposed project proposes to add 6 condominium dwelling units to six existing units and to rehabilitate one single family home, for a total unit count of 13 for the project. The site currently consists of two parcels: the 1157 Hearst Avenue parcel is 13,469 SF and the 1173 Hearst Avenue parcel is 8,204 SF. In order to meet the requirements of 23C.12, the project proposes to either offer for sale 1 of the new construction condominiums at below market rate per BMC Section 23C.12.070 and pay an in-lieu fee for the remaining .2 fraction (6 new construction units x 20% = 1.2 units) or pay the in-lieu fee per BMC Section 23C.12.035 which would be 62.5% of the difference between the permissible sales price and the actual sales price. (See Housing Affordability Statement).

The project has been revised in response to comments received by the Zoning Adjustments Board as well as in response to neighborhood input. The following is a summary of the project revisions:

- The overall project unit count was reduced from 18 units to 13.
- The two parcels will not be merged. 1157 Hearst and 1173 Hearst will remain as separate parcels.
- All 3 story elements have been removed and the project height is limited to 2 stories and a maximum of 25 Feet.
- All current residents can remain in their homes for as long as they wish, with rehabilitation and/or condominium conversion of existing units only occurring when current residents voluntarily vacate, subject to BMC Section 13.76 and the Berkeley Rent Stabilization Board regulations.
- Azalea and Begonia, the two existing duplexes on the 1157 Hearst parcel, will be renovated into 2-flat duplexes with front entries (after existing residents voluntarily vacate).
- Camellia, the single family home on the 1173 parcel, will be renovated (instead of demolished) within the existing footprint, with the addition of a back deck.
- Daffodil and Edelweiss, the two new duplexes at the rear yard of the 1173 parcel, have been located further back in the yard and have been slightly reduced in size. The rooflines have been adjusted to provide a more residential-scale feature.
- Freesia, the existing duplex at the rear of the 1157 Hearst parcel, will be renovated within its existing footprint and will also have an addition of two bedrooms to create large, family-friendly units with a large back yard (after existing residents voluntarily vacate).
- Geranium, a new duplex, was moved from the east side along the paseo, to the west side, to create a larger central space.
- Parking is now located internal to the development and is accessed from the paseo.
- All units now feature a complementary color and materials palette of deep blues, browns and whites in siding and cement plaster. Bay windows are design features in almost every unit.

The site has been designed to allow the maximum open space and neighbor buffering possible. In addition, an onsite drainage system has been designed, and is included in the project's site plan proposal, to address drainage and hydrology issues associated with the property and to protect adjacent properties where there is a history of flooding associated with area topography and historic drainage, because proper drainage has never been engineered for the site. Rehabilitation of the single family home located at 1173 Hearst Avenue is proposed. The rehabilitation of 1173 Hearst will result in a seismically updated structure which meets current building codes. New exterior finishes will allow for architectural cohesion with the rest of the project's design.

The site will support 13 parking spaces (plus one tandem space in 1173 Hearst). That equals one space assigned for each unit. In addition, the project proposes approximately 4,911 square feet of open space. The project will comply with BMC Section 23D.12.030.A and B. Off-site parking for the Daffodil and Edelweiss buildings will be located on the 1155 parcel which will be under the same ownership as that portion of the 1173 parcel on which the Daffodil and Edelweiss buildings will be located. The Camellia building will have two tandem parking spaces located in the Camellia garage.

Housing Accountability Act

The project is requesting Administrative Use Permits for building separation and expansion of legal non-conforming setbacks per BMC Sections 23D.32.070.D.4 and 23C.04.070.B, respectively. The granting of the AUP's would improve the project from a design and livability perspective and would make the construction of the project more feasible. If the Zoning Adjustments Board does not approve the requested AUP's, the project would then be as shown in redline on the site plan in the attached plan set (Page A1.4). The project as shown in redline would comply with all applicable zoning standards and would be subject to Government Code Section 65589.5, also known as the Housing Accountability Act ("HAA").

Under the HAA, a local government agency generally cannot disapprove a housing development project, or require a reduction in density, if the project complies with applicable and objective General Plan, zoning, and design review standards. The only exceptions are when the agency finds both that (1) the housing project would have a specific adverse impact on public health and safety, and (2) there is no feasible method to mitigate or avoid the impact. These impacts must be based on objective and identified written public health or safety standards, conditions, or policies as they existed on the date the application was deemed complete.

The Project qualifies as a "housing development" under the Act, because the Project consists of all residential units. Pursuant to the HAA, "[w]hen a proposed housing development project complies with applicable, objective general plan, zoning and subdivision standards and criteria," the City *may not* disapprove the project or reduce its density unless the City makes findings, supported by a preponderance of the evidence, that the project would have an unavoidable impact on public health or safety that cannot be mitigated in any way other than rejecting the project or reducing its size. Gov. Code § 65589.5(j).

Further, the 2017 amendments to the HAA clarify that a housing development project "shall be deemed consistent, compliant, and in conformity with an applicable [objective standard] if there is substantial evidence that would allow a reasonable person to conclude that the housing development project ... is consistent, compliant, or in conformity." Additionally, the amendments increase the burden of proof on local governments when denying a housing development project: a local agency's findings must be based on a heightened "preponderance of the evidence" standard rather than the more deferential "substantial evidence" standard common in the land use context. Failure to comply can result in the local jurisdiction paying a plaintiffs' attorneys fees and being subject to fines of at least \$10,000 per unit that was improperly disapproved.

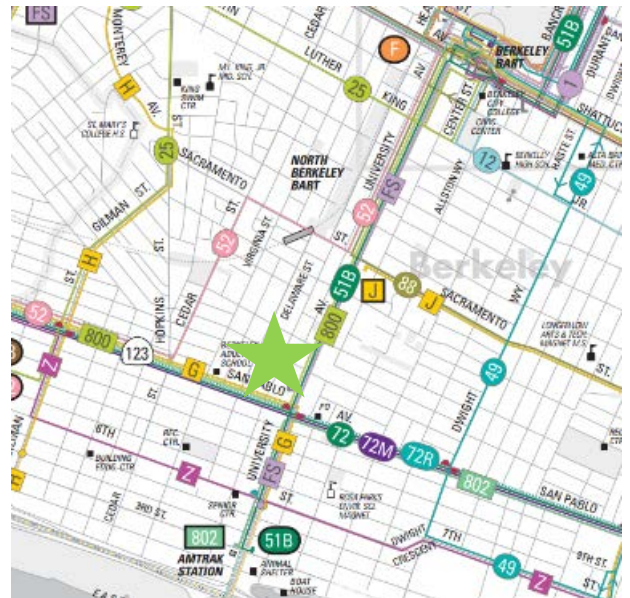
Transportation Demand Management and Sustainability Features

The project is located one block from one of Berkeley's best connected regional corridors and two blocks from one of Berkeley's best transit served east/west north/south crossroads (San Pablo/University). The site provides access and connectivity with West Berkeley, Oakland, San Francisco, Richmond, El Cerrito and Emeryville, and the Downtown Berkeley/Campus environs.

Bus Transit – The project site is within one quarter mile of the San Pablo/University intersection that is served by AC Transit's 72 Rapid bus line, 49, 51B, 52, FS, G, 72, 72M, and 800 and 802 lines, and transbay lines.

On Site Parking:

- The project will include 13 common area secure bicycle parking spaces on the ground level, for use by residents.
- The project provides 13 (plus 1 tandem space) ground level parking spaces for residents.



Project Sustainability Features and Benefits:

The project's primary sustainability features, consistent with the City of Berkeley Climate Action Plan, is that it is a transit-oriented development project. The project's TDM program, as described above, help the project best utilize the corridor's proximity to transit infrastructure. The project's green building features include:

- Drought tolerant and Bay-friendly landscaping and materials
- Engineered site drainage system
- LED and low voltage lighting where possible
- Low/No VOC finishes and materials
- Exceed Title 24 Energy Standards

These elements, as well as the project's proximity to excellent transit, will help the City of Berkeley to meet Climate Action Plan goals.

Architectural Program

The project architecture will provide a contemporary infill “village” type construct. The buildings are designed specifically to address the adjacencies of the single family homes to the project’s east. The massing along those property lines is consistent with zoning standards and the massing is kept to no higher than two stories. One entire structure was removed from the rear corner of the site after a request by neighbors and those units were moved to Hearst Avenue where the buildings hold a stronger urban form and where structures vary from one to four stories. The roof lines and materials proposed for the project are consistent with the vernacular of the neighborhood.

Use Permits Requested

UP 23D.32.030 (UPPH)—Dwelling Units

AUP 23D.32.070.D.4 Building Separation – (Optional, see redline on Proposed Site Plan Page A0.3 of attached plan set) Reduce Building Separation; unless the ZAB does not approve the AUP, which will result in the alternative footprint for the Geranium building, as shown in redline on the attached plan set, that conforms to the zoning standards for building separation in BMC Section 23D.32.070.D.

AUP 23C.04.070.B Expansions of Non-Conforming Buildings & Structures (Optional, see redline on Proposed Site Plan Page A0.3 of attached plan set); unless the ZAB does not approve the AUP, which will result in the alternative footprint for the Azalea, Begonia and Geranium buildings, as shown in redline on the attached plan set, that conforms to the zoning standards for setbacks in BMC Section 23D.32.070.D.

CEQA Determination

This project is expected to be exempt from CEQA pursuant to Section 15332: Class 32 Exemption for Infill Development Projects. Section 15332 is intended to promote infill development projects within appropriate urbanized areas when they are consistent with local general plan and zoning requirements. This project meets the eligibility requirements for Class 32 exemption as follows:

- a) The project is consistent with the City of Berkeley's General Plan designation as Low/Medium Density residential, as a residential development project with transit-oriented housing. The project is also consistent with the zoning designation and regulations of the R-2A district. The Project is consistent with the general use designation, density, building intensity, streetscape and applicable policies specified for the project area in the City's Zoning Ordinance, specifically with the R-2A zoning district.
- b) The proposed development occurs within the City of Berkeley's city limits. The project site is less than five acres and is completely surrounded by urbanized uses.
- c) As an urbanized site near two major transit corridors within the City of Berkeley, the project site has no value as habitat for endangered, rare or threatened species.
- d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The project site is within one quarter mile of the San Pablo/University intersection that is served by AC Transit's 72 Rapid bus line, 49, 51B, 52, FS, G, 72, 72M, and 800 and 802 lines, and transbay lines. The site is also .75 miles (a 10 minute bike ride) from the North Berkeley BART Station.

A Phase I Environmental Site Assessment was not prepared for the site because there is no history of property use other than lower density residential. There is no indication that any of the structures on the site, or the site itself, has any history of use of toxics or pollutants. Potential lead paint or asbestos issues will be handled consistent with City of Berkeley and Uniform Building Code Requirements.

As a transit-oriented project in an urbanized area, the proposed project will not have any significant effects on air quality or noise. The project will improve infrastructure related to hydrology on the site and as proposed will include landscaping and permeability meeting C-3 and Bay Friendly Landscape standards. A Hydrological Study was prepared for the project by Clearwater Hydrology, and peer reviewed by the City of Berkeley, to address on site and neighbor adjacent water and drainage issues. Those recommendations have been designed into the project and are a part of the proposal so that no mitigations are necessary from a CEQA perspective. The study is attached to this application.

A traffic and parking letter was completed by Abrams and Associates, which found that the project will NOT have a significant effect on area parking or traffic. That study is attached.

- e) The site can be adequately served by all required utilities and public services.

Housing Affordability Statement

Please refer also to the attached Housing Affordability and non-Discrimination Statement. The project proposes to either offer for sale 1 of the new construction condominiums at below market rate per BMC Section 23C.12.070 and pay an in-lieu fee for the remaining .2 fraction (6 new construction units x 20% =1.2 units) or pay the in-lieu fee per BMC Section 23C.12.035 which would be 62.5% of the difference between the permissible sales price (3 x 80% AMI) and the actual sales price.

Zoning Standards

Standard (BMC Section 23E.64)		Existing	Proposed Total	Permitted/Required
Lot Area (sq. ft.) – Total		1157: 13,469 1173: 8,204	1157: 13,469 1173: 8,204	5,000
Residential Gross Floor Area (sq. ft.)		7,188	15,707	NA
Gross Floor Area (sq. ft.) – Total		7,188	15,707	NA
Lot Coverage		1157: 32.8% 1173: 17.5%	1157: 38.4% 1173: 39.9%	40%
Dwelling Units	Affordable	6 rent controlled	1.2 new construction, for-sale @ 3x80% AMI	1 new for-sale unit @3x80% AMI plus .2 in-lieu fee [6 new units x 20% = 1.2] or pay the in-lieu fee per BMC Section 23C.12.035: 62.5% of the difference between the permissible sales price and the actual sales price
	Total	6	13	1.2 or in-lieu fee
Building Height	Maximum (ft.)	1157: 19'-10" 1173: 23'-9"	1157:24'-10.5" 1173: 24'-6"	28'
	Stories	2	2	3
Yards	Front	1157: 10'-6" 1173: 11'-0" to house; 4'-10" to stair	No change (existing legal non-conforming)	15'
	Side	1157: 3'-10" 1173: 8'-8"	No change (existing legal non-conforming)	4'-0" -6'-0"
	Rear	1157: 141'-1" 1173: 1431-8"	No change	15'
Usable Open Space – Total (sq. ft.)		8,159	4,911	300sf/unit = 3,900 sf

Parking	Residential	7	13 (plus 1 tandem)	13
	Total	7	13 (plus 1 tandem)	13
	Bicycle	0	13	0

Unit Mix

Residential units represent a mix of one, two, and three-bedroom units.

Project Setting

The project site is located within a diverse residential setting on the edges of two major transit corridors.

Unit Mix and Size		
Unit Type	Number	Average Square Footage
One-Bedroom	2	@817 s.f.
Two-Bedroom	9	@1,124 s.f.
Three-Bedroom	2	@1,837 s.f.
Total	13	@1,259 s.f.

The site currently supports four structures with residential units.

Environmental Assessment

There is no indication that any of the structures on the site, or the site itself, has any history of use of toxics or pollutants. Potential lead paint or asbestos issues will be handled consistent with City of Berkeley and Uniform Building Code Requirements.

Surrounding Uses and Zoning		
Direction	Use	Zoning
North	Single Family Residential	R-2
East	Single Family Residential	R-2
South	Multifamily Residential	R-3
West	Multifamily Residential	R-2A

Green Building Requirements

Project components that will contribute to environmental sustainability include the provision of transit-oriented housing, interior and exterior finishes and materials, addressing site and area hydrological issues, and bicycle parking.

Required Use Permit Findings - Findings to Authorize Approval of Use Permits – Section 23B.32.040. This section authorizes the approval of Use Permits upon finding that the establishment, maintenance or operation of the use, or construction of a building, will not be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the area or neighborhood or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood or to the general welfare of the City. Approval of a Use Permit also requires making the findings that the project is consistent with the purposes of the District.

Response: The proposed project will not be detrimental to the health, safety, peace, morals, comfort, or general welfare of the neighborhood or the City as a whole. The proposed project replaces a low density dated property with a history of nuisance and security problems with a condominium project that adds vitality, housing opportunities, economic development, and pedestrian-oriented design to the neighborhood, and continues the vernacular design of the existing neighborhood.

Neighborhood Meeting & Community Outreach

The project team has held numerous meetings with neighbors, including a large community meeting. A series of meetings has been held with individual neighbors to the north and the east of the project site to address issues of massing, parking, and hydrology. The proposed site plan responds to those meetings and issues.

The large community meeting was held on November 30th, 2015. Prior to the meeting, notices were sent to all property owners and occupants within 300 feet of the site based on a list of addresses provided by the City of Berkeley. The meeting was held in the driveway at the project site. About 25 area residents stopped by the site during the meeting time. To each of these neighbors, the project applicant and the architect presented the project. Draft floor plans and renderings were posted for attendees to view and the project team answered questions and discussed the proposal with the attendees. The sign in sheet and flier that was mailed are included in this application. A couple of neighbors expressed enthusiasm about the redevelopment of this historically troublesome property. Other neighbors expressed concerns about massing and parking. A second community meeting was held on August 3, 2017 at 1173 Hearst Avenue to provide a project status and process update to the neighbors. Subsequent to the feedback received at the September 28, 2017 Zoning Adjustments Board Meeting, a third neighborhood meeting was held on November 15, 2017 at the Berkeley Public Library West Branch to present the revised 13 unit project. About 14 people attended the meeting and the proposed revisions, such as reduction in unit count and building heights, were well received by the neighbors.

Project Team	
<i>Owner</i> Hearst Avenue Cottages, LLC	<i>Applicant/Contact</i> Rhoades Planning Group 46 Shattuck Square, Suite 11 Berkeley, CA 94704
<i>Architect</i> Devi Dutta Architecture Devi Dutta-Choudhury, AIA	

Memorandum

To: Leslie Mendez, City of Berkeley Planning & Development Department
From: Mark Rhoades, Rhoades Planning Group
Date: June 20, 2018
Re: 1155-1173 Hearst Avenue Response to May 14, 2018 Neighbor Letter

Dear Ms. Mendez,

Below is an annotated version of the May 14, 2018 letter sent to you by neighbors and two residents of the property located at 1155-1173 Hearst Avenue. Please see the following responses provided below in the body of the letter.

Dear Leslie Mendez and Planning Department Staff,

As members of the Hearst/Curtis/Delaware community, we appreciate the time and attention you have given to our concerns regarding the Hearst Condo Project. As you may know, Mr. Rhoades met with two of the six tenant households on 10/24/17 and with members of the community on 11/15/17 to review his updated plans. At the November meeting Mr. Rhoades showed only site plans without any elevations or floor plans and was vague regarding the height of the proposed structures. Without this information the community could offer only limited responses to the project. We as a community continue to have multiple concerns about this "updated" project. The new proposal fails to address the main concerns raised at the September 28th ZAB hearing: tenant displacement and safety issues related to the underground creek. Additional concerns are also noted below.

***Response:** Notices were sent to all current residents via USPS on October 12, 2017 as well as via email, inviting all current residents to meet at Casa Latina restaurant on San Pablo Avenue with Rhoades Planning Group to review the revised 13 unit project. Two tenants, Masanori Oba and Tracey Emerson attended the meeting. Notices for the November 15, 2017 community meeting at the West Branch Library were sent to all neighbors within 300 feet of the project, as well as to all current residents. 14 people attended the November 15, 2017 meeting, including three current residents: Tracey Emerson, Masanori Oba and Peter Pan. The purpose of the November 15, 2017 meeting was to preview the new 13 unit concept and to receive input from the neighbors. A full plan set had not yet been developed, as the applicant wanted to get feedback from the neighbors. Steven Duncan from Devi Dutta Architecture attended the November 15, 2017 meeting and provided information on the project revisions and answered questions related to design, colors and materials. During the meeting, Mark Rhoades explained that all recommendations made in both the January 7, 2016 hydrology report prepared by Clearwater Hydrology and the March 16, 2017 peer review performed by Balance Hydrologics would be conditions of approval for the project. Following the September 28, 2017 ZAB meeting, notices were sent on October 2, 2017 via USPS and email to all residents, with copies to the project planner, Leslie Mendez and to Jay Kelekian, Executive Director of the Berkeley Rent Stabilization Board. The letter clearly stated that all residents could remain in their units for as long as they wished and their units would maintain all protections such as rent control.*

First, it remains unclear what will happen to the rent-controlled units and the current tenants during and after construction. Mr. Rhoades had previously (at a meeting with the tenants on June 28th, prior to the ZAB hearing) reassured the tenants that they will be able to remain in their units, and that current rental units will remain as such. Subsequently, during the September 28th ZAB hearing, he stated there will no longer be any rental units. This reversal has eroded any remaining trust we have that Mr. Rhoades intends to uphold the City of Berkeley's rent-control laws.

Response: As noted in the above response, letters were sent to all residents on October 2, 2017 apologizing for the confusion that was caused by the applicant's presentation at the September 28, 2017 ZAB meeting and explaining that the statement about having to make all the units condominiums was a result of the layering of state and local laws that would place significant financial burdens on the project were the existing units to remain rental under the 18 unit density bonus project scenario. The October 2, 2017 letter explained that the project would be revised to ensure that all current residents could remain in their units indefinitely. The above information was also repeated at the November 15, 2017 community meeting. In addition, on May 15, 2018, current resident, Yashu Jiang emailed Rhoades Planning Group for further clarification about the impact of construction on the current residents and use of parking spaces during construction. Mark Rhoades responded to Ms. Jiang on May 16, 2018 explaining that construction activities would only be on the three new proposed buildings and only exterior repair and painting would be performed on the existing buildings. Mark Rhoades also explained that parking would be temporarily impacted during construction. Ms. Jiang responded on May 17, 2018 thanking Mark for "addressing my questions so thoroughly."

He has not been transparent in disclosing how the existing rental units will coexist with the newly constructed condos, nor has he provided any solutions to prevent tenant displacement. Please note that there are currently 4 one-bedroom units on the 1157 Hearst lot, while there are only 2 one-bedroom units in the proposed development, clearly demonstrating that current residents will not be able to move back in the case of relocation for "rehabilitation." Furthermore, Mr. Rhoades refused to address how he would maintain the tenants' quality of life, including their current parking spaces - to which they are entitled per their leases - during and after construction. It is widely acknowledged that Berkeley needs more rent-controlled housing units, not fewer. We urge the Planning Department to not approve this project until Mr. Rhoades can provide a clear and viable plan to uphold the tenants' legal rights and to prevent displacement.

Response: The October 2, 2017 letter to all current residents stated that there would be no tenant displacement and all tenant protections, such as rent control, would be maintained. Mark Rhoades further explained at the November 15, 2017 community meeting that construction would not be performed on any existing units until the current tenants voluntarily vacated the unit. Mark Rhoades also explained that cosmetic improvements to the exterior of the existing units would be performed, such as exterior painting, but none of the work would necessitate residents being relocated. Regarding the current residents' parking spaces, Mr. Rhoades explained that the parking would be temporarily impacted by construction, but the owners would work to minimize those impacts, and current residents would maintain their parking spaces after construction activities were complete.

Second, Mr. Rhoades' new plan does not address the community's concerns regarding the existing creek on the property, and related safety risks due to existing severe flooding and probable unstable soil conditions. There are no changes to his drainage plan, while the lot coverage appears to be roughly equivalent to that of the previous plan, and no indication that he plans to conduct a geotechnical analysis. This is despite substantial input from both community and professional hydrologists as to the necessity of such analysis. Per Balance Hydrologics Follow-Up Peer Review, dated August 11, 2017:

Section 2.3 of the revised report continues to note that information on soil properties and depth to groundwater has not yet been collected. This is an unfortunate limitation, because the lack of definitive information on both subjects impacts several aspects of the drainage design, most notably the potential efficacy of the proposed permeable pavement surfaces to mitigate runoff quantity and quality (p1-2).

Terraphase Hydrologics' Technical Memorandum dated 7/7/17 also calls for a "geotechnical and groundwater evaluation" and identifies the very serious risks of not doing so:

The area is also classified as "filled wetlands" and as "seismically unstable and subject to liquefaction." There is no record of properly engineered fill or a culvert or storm drain being installed (p2).

The Balance Follow-Up Peer Review also notes that the developer's drainage proposal does not follow proper methodology for calculating runoff during storms.

The revised report appears to not strictly follow the methodology in this regard, particularly with respect to correct application of "roof to gutter" time and "overland flow" time (p2).

In addition, Balance states highlights the risk of increased flooding on adjacent properties:

The revised report continues to lack clear definition of the amount of flow that might leave Curtis Street and flow through the adjacent yards toward the Project site.... Design of drainage infrastructure to help alleviate localized flooding on the adjacent properties will need to be based on an appropriately conservative and defensible estimate of the potential overflow along Curtis (p3).

The drainage plan must be revised, and a geotechnical analysis must be completed to determine the precise location of the creek bed, soil properties and stability, and the depth to groundwater. We request an exception to the CEQA exemption or equivalent independent study for this project due to the undisputed existence of an underground creek on the property. . We ask that the Planning Department not approve this project until an environmental impact report has been reviewed by all stakeholders and has been approved.

Response: *A hydrology report was not a zoning project submittal requirement for the project's use permit application, but out of an abundance of caution, the applicant had Clearwater Hydrology prepare a report for the property. The City of Berkeley had Balanced Hydrologics perform a peer review and in response to the recommendations in the peer review, Clearwater Hydrology prepared a revised report on July 12, 2017 that was accepted by the project planner. The findings and conditions document for the September 28, 2017*

ZAB meeting contained a Condition of Approval that all recommendations in both the initial and revised hydrology report as well as those in the peer review had to be performed by the applicant when the drainage system was installed.

Finally, we seek clarification as to the legality and feasibility of Mr. Rhoades' plans to build on two adjacent parcels that are not joined. For instance, can he build 4-5 new units on a single lot that currently contains one single family home and one parking space? What is the plan to provide sufficient parking for all of the new units while maintaining the parking spaces entitled to current tenants? How will residents access parking given the fact that only one lot has a parking area and driveway? Mr. Rhoades has been equivocal at best and evasive at worst when asked these questions (repeatedly, by multiple individuals). We ask that the Planning Department not approve this project until Mr. Rhoades can demonstrate there will be sufficient parking to support the new units, and until there has been further investigation into whether this project is permissible per the City of Berkeley's zoning laws.

Response: *The 13 unit project meets all zoning standards of the R2-A Zoning District with the exception of building separation between the Geranium building and the Freesia building and the second floor setback at the western Azalea elevation and the eastern Begonia elevation. The project is requesting Administrative Use Permits for building separation and expansion of legal non-conforming setbacks per BMC Sections 23D.32.070.D.4 and 23C.04.070.B, respectively. The granting of the AUP's would improve the project from a design and livability perspective and would make the construction of the project more feasible. If the Zoning Adjustments Board does not approve the requested AUP's, the project would then be modified to comply with all zoning standards. A fully compliant project would be subject to Government Code Section 65589.5, also known as the Housing Accountability Act ("HAA").*

Under the HAA, a local government agency generally cannot disapprove a housing development project, or require a reduction in density, if the project complies with applicable and objective General Plan, zoning, and design review standards. The only exceptions are when the agency finds both that (1) the housing project would have a specific adverse impact on public health and safety, and (2) there is no feasible method to mitigate or avoid the impact. These impacts must be based on objective and identified written public health or safety standards, conditions, or policies as they existed on the date the application was deemed complete.

The Project qualifies as a "housing development" under the Act, because the Project consists of all residential units. Pursuant to the HAA, "[w]hen a proposed housing development project complies with applicable, objective general plan, zoning and subdivision standards and criteria," the City may not disapprove the project or reduce its density unless the City makes findings, supported by a preponderance of the evidence, that the project would have an unavoidable impact on public health or safety that cannot be mitigated in any way other than rejecting the project or reducing its size. Gov. Code § 65589.5(j). Further, the 2017 amendments to the HAA clarify that a housing development project "shall be deemed consistent, compliant, and in conformity with an applicable [objective standard] if there is substantial evidence that would allow a reasonable person to conclude that the housing development project ... is consistent, compliant, or in conformity." Additionally, the amendments increase the burden of proof on

local governments when denying a housing development project: a local agency's findings must be based on a heightened "preponderance of the evidence" standard rather than the more deferential "substantial evidence" standard common in the land use context. Failure to comply can result in the local jurisdiction paying a plaintiffs' attorneys fees and being subject to fines of at least \$10,000 per unit that was improperly disapproved.

Throughout this process, Mr. Rhoades has displayed lack of good faith and lack of transparency. This is evident in Mr. Rhoades "new" plans, which fail to address the main concerns raised at the September 28th ZAB hearing: tenant displacement and safety issues related to the underground creek. Not only does the "new" proposal fail to meet the community's needs, it promotes displacement of long time tenants and is detrimental to all residents' healthy and safety.

Sincerely,

Yashu Jiang 1163 Hearst Ave yashujiang@gmail.com	Pam Ormsby 1148 Delaware St. Berkeley, ca pormsby@aol.com	
Tracey Emerson 1157 Hearst Ave. emersontracey2003@yahoo.com	Mary Jo Thoresen 1195 Hearst Ave. Berkeley mthoresen@sonic.net	
Teal Major 1814 Curtis Street tealmajor@gmail.com	Rolf Williams 1814 Curtis St Berkeley, CA 94702 rolfwilliams@aol.com	
Stacey Shulman 1818 Curtis Street staceyberkeley@yahoo.com	Vijay Venugopal 1826 Curtis Street Berkeley CA 94702	
Dawn Marie Wadle 1828 Curtis Street	Louise Ly 1824 Curtis Street	
Rain Sussman 1824 Curtis Street Berkeley, CA 94702	Joseph Michael 1819- ½ Curtis St Berkeley, Ca. 94702	
Pam Ormsby 1148 Delaware St. Berkeley, Ca. 94702		
Linda Revsen 1820 Curtis Berkeley, Ca. 94702		



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TABULATION FORM

Project Address: 1157 HEARST AVE. Date: 6/15/18

Applicant's Name: Rhoades Planning Group

Zoning District R-2A

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	6	8	N/A
Number of Parking Spaces	(#)	6	12	1/UNIT = 8
Yards and Height				
Front Yard Setback	(ft.)	7'-6-1/2"	7'-6-1/2"	15'
Side Yard Setbacks: (facing property)	Left: (ft.)	3'-10"	3'-10"	4'-0"
	Right: (ft.)	3'-10"	3'-10"	4'-0"
Rear Yard Setback	(ft.)	141'-2-1/2"	21'-1"	15'-0"
Building Height*	(# Stories)	2	2	2
Average*	(ft.)	19'-1"	24'-10-1/2"	N/A
Maximum*	(ft.)	19'-10"	28'	28'
Areas				
Lot Area	(SqFt.)	13,469	13,469	N/A
Gross Floor Area*	(SqFt.)	5300 SF	9665 SF	N/A
Total Area Covered by All Floors				N/A
Building Footprint*	(SqFt.)	4418 SF	5170 SF	N/A
Total of All Structures				N/A
Lot Coverage*	(%)	32.8%	38.4%	40%
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	2560 SF	2409 SF	300 SF/UNIT = 2400sf
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/A	N/A	N/A

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: 1173 HEARST AVE. Date: 6/15/18

Applicant's Name: Rhoades Planning Group

Zoning District R-2A

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	1	5	N/A
Number of Parking Spaces	(#)	1	1*	1/UNIT =5
Yards and Height				
Front Yard Setback	(ft.)	4'-10"	4'-10"	15'
Side Yard Setbacks: (facing property)	Left: (ft.)	8'-8"	4'-4-1/2"	4'-0" TO 6'-0"
	Right: (ft.)	4'-6"	4'-0"	4'-0" TO 6'-0"
Rear Yard Setback	(ft.)	143'-8-1/2"	18'-6"	15'-0"
Building Height*	(# Stories)	2	2	2
Average*	(ft.)	21'-7-1/2"	24'-6"	N/A
Maximum*	(ft.)	23'-9"	24'-6"	28'
Areas				
Lot Area	(SqFt.)	8,204	8,204	N/A
Gross Floor Area* Total Area Covered by All Floors	(SqFt.)	3323 SF	6042 SF	N/A
Building Footprint* Total of All Structures	(SqFt.)	1443 SF	3204 SF	N/A
Lot Coverage* (Footprint/Lot Area)	(%)	17.5%	39.9%	40%
Useable Open Space*	(SqFt.)	5599 SF	2502 SF	300 SF/UNIT=1500 sf
Floor Area Ratio* Non-Residential Projects only (except ES-R)		N/A	N/A	N/A

*See Definitions – Zoning Ordinance Title 23F.

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**additional parking provided on adjacent lot under same ownership*



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TABULATION FORM

Project Address: AZALEA - 1555 - 57 HEARST AVE. Date: 6/15/18

Applicant's Name: Rhoades Planning Group

Zoning District R-2A

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	2	2	N/A
Number of Parking Spaces	(#)	2	2	1/UNIT = 2
Yards and Height				
Front Yard Setback	(ft.)	10'-9"	10'-9" EXTEND EXISTING	15'
Side Yard Setbacks: (facing property)	Left: (ft.)	3'-10"	3'-10" EXTEND EXISTING	4'-0"
	Right: (ft.)	42'-7"	42'-7"	4'-0"
Rear Yard Setback	(ft.)	141'-2-1/2"	141'-2-1/2"	15'-0"
Building Height*	(# Stories)	1	2	2
Average*	(ft.)	12'-11"	21'-6"	N/A
Maximum*	(ft.)	12'-11"	22'-10-1/2"	28'
Areas				
Lot Area	(SqFt.)	13,469	13,469	N/A
Gross Floor Area*	(SqFt.)	995 SF	1990 SF	N/A
Total Area Covered by All Floors				N/A
Building Footprint*	(SqFt.)	995 AZALEA	995 AZALEA	N/A
Total of All Structures				N/A
Lot Coverage*	(%)	7.4% AZALEA	7.4% AZALEA	40%
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	2,560 SF	600sf open space: 216 private/384 shared	300 SF/UNIT see A0.3 for open space layout
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/A	N/A	N/A

*See Definitions – Zoning Ordinance Title 23F.



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TABULATION FORM

Project Address: BEGONIA - 1161-63 Hearst Ave. Date: 6/15/18
 Applicant's Name: Rhoades Planning Group
 Zoning District R-2A

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	2	2	N/A
Number of Parking Spaces	(#)	2	2	1/UNIT = 2
Yards and Height				
Front Yard Setback	(ft.)	7'-8-1/2"	7'-8-1/2" EXTEND EXISTING	15'-0"
Side Yard Setbacks: (facing property)	Left: (ft.)	42'-9"	42'-9"	N/A
	Right: (ft.)	3'-10"	3'-10" EXTEND EXISTING	4'-0"
Rear Yard Setback	(ft.)	145'-2"	145'-2"	15'-0"
Building Height*	(# Stories)	1	2	2
Average*	(ft.)	12'-11"	21'-9"	N/A
Maximum*	(ft.)	12'-11"	23'-4-1/2"	28'
Areas				
Lot Area	(SqFt.)	13,469	13,469	N/A
Gross Floor Area* Total Area Covered by All Floors	(SqFt.)	995 SF	1990 SF BEGONIA	N/A
Building Footprint* Total of All Structures	(SqFt.)	995 SF	995 SF BEGONIA	N/A
Lot Coverage* (Footprint/Lot Area)	(%)	7.6% BEGONIA	7.6% BEGONIA	40%
Useable Open Space*	(SqFt.)	2,560 SF	600 SF shared open	300 SF/UNIT see A0.3 for open space layout
Floor Area Ratio* Non-Residential Projects only (except ES-R)		N/A	N/A	N/A

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: CAMELLIA - 1173 HEARST AVE. Date: 6/15/18

Applicant's Name: Rhoades Planning Group

Zoning District R-2A

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	1	1	N/A
Number of Parking Spaces	(#)	2 TANDEM	2 TANDEM	1/UNIT
Yards and Height				
Front Yard Setback	(ft.)	11'-0" TO HOUSE, 4'-10" TO STAIR	11'-0" TO HOUSE, 4'-10" TO STAIR	15'-0"
Side Yard Setbacks: (facing property)	Left: (ft.)	8'-8"	5'-3-1/2" - 8'-8"	4'-0"
	Right: (ft.)	4'-6"	4'-6"	4'-0"
Rear Yard Setback	(ft.)	143'-8"	143'-8-1/2"	15'-0"
Building Height*	(# Stories)	2	2	2
Average*	(ft.)	21'-0"	21'-3-1/2"	N/A
Maximum*	(ft.)	23'-6"	23'-9"	28'
Areas				
Lot Area	(SqFt.)	8,204	8,204	N/A
Gross Floor Area*	(SqFt.)			N/A
Total Area Covered by All Floors		2469	2469	
Building Footprint*	(SqFt.)			N/A
Total of All Structures		1425	1425	
Lot Coverage*	(%)	17.5%	17.5%	40%
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	5,599 SF	300sf shared	300 SF/UNIT see A0.3 for open space layout
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/A	N/A	N/A

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: DAFFODIL Date: 6/15/18

Applicant's Name: Rhoades Planning Group

Zoning District R-2A

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	N/A	2	N/A
Number of Parking Spaces	(#)	N/A	2	1/UNIT = 2
Yards and Height				
Front Yard Setback	(ft.)	N/A	101'-6-1/2"	15'-0"
Side Yard Setbacks: (facing property)	Left: (ft.)	N/A	4'-4-1/2"	4'-0"
	Right: (ft.)	N/A	4'-0"	4'-0"
Rear Yard Setback	(ft.)	N/A	68'-6"	15'-0"
Building Height*	(# Stories)	N/A	2	2
Average*	(ft.)	N/A	21'-5"	N/A
Maximum*	(ft.)	N/A	23'-4-1/2"	28'
Areas				
Lot Area	(SqFt.)	N/A	8,204	N/A
Gross Floor Area*	(SqFt.)	N/A	1,825	N/A
Total Area Covered by All Floors		N/A	1,825	N/A
Building Footprint*	(SqFt.)	N/A	925	N/A
Total of All Structures		N/A	925	N/A
Lot Coverage*	(%)	N/A	11.2%	40%
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	5,599 SF	600 SF shared	300 SF/UNIT see A0.3 for open space layout
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/A	N/A	N/A

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: EDELWEISS HEARST AVE. Date: 6/15/18

Applicant's Name: Rhoades Planning Group

Zoning District R-2A

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	N/A	2	N/A
Number of Parking Spaces	(#)	N/A	2	1/UNIT = 2
Yards and Height				
Front Yard Setback	(ft.)	N/A	151'-6-1/2"	15'-0"
Side Yard Setbacks: (facing property)	Left: (ft.)	N/A	4'-4-1/2"	4'-0" TO 6'-0"
	Right: (ft.)	N/A	4'-0"	4'-0" TO 6'-0"
Rear Yard Setback	(ft.)	N/A	16'-8"	N/A
Building Height*	(# Stories)	N/A	2	2
Average*	(ft.)	N/A	24'-6"	N/A
Maximum*	(ft.)	N/A	24'-6"	28'
Areas				
Lot Area	(SqFt.)	N/A	8,204	N/A
Gross Floor Area*	(SqFt.)	N/A	1,825	N/A
Total Area Covered by All Floors		N/A	1,825	N/A
Building Footprint*	(SqFt.)	N/A	925	N/A
Total of All Structures		N/A	925	N/A
Lot Coverage*	(%)	N/A	11.2%	40%
(Footprint/Lot Area)		N/A	11.2%	40%
Useable Open Space*	(SqFt.)	5,599 SF	600 SF shared	300 SF/UNIT see A0.3 for open space layout
Floor Area Ratio*		N/A	N/A	N/A
Non-Residential Projects only (except ES-R)		N/A	N/A	N/A

*See Definitions – Zoning Ordinance Title 23F.

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TABULATION FORM

Project Address: FREESIA - 1179 HEARST AVE. Date: 6/15/18

Applicant's Name: Rhoades Planning Group

Zoning District R-2A

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	2	2	N/A
Number of Parking Spaces	(#)	2	2	1/UNIT = 2
Yards and Height				
Front Yard Setback	(ft.)	136'-11"	139'-7"	N/A
Side Yard Setbacks: (facing property)	Left: (ft.)	16'-11"	5'-3-1/2"	N/A
	Right: (ft.)	10'-6"	11'-0-1/2"	N/A
Rear Yard Setback	(ft.)	27'-10"	21'-1"	N/A
Building Height*	(# Stories)	2	2	2
Average*	(ft.)	19'-1"	20'	N/A
Maximum*	(ft.)	19'-9"	20'-6"	28'
Areas				
Lot Area	(SqFt.)	13,469	13,469	N/A
Gross Floor Area*	(SqFt.)			N/A
Total Area Covered by All Floors		2,830	3,714	
Building Footprint*	(SqFt.)			N/A
Total of All Structures		1,415	1,887	
Lot Coverage*	(%)			40%
(Footprint/Lot Area)		10.5%	14%	
Useable Open Space*	(SqFt.)	2,560 SF	600 SF	300 SF/UNIT see A0.3 for open space layout
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/A	N/A	N/A

*See Definitions – Zoning Ordinance Title 23F.



PLANNING & DEVELOPMENT

Land Use Planning, 2120 Milvia Street, Berkeley, CA 94704
 Tel: 510.981.7410 TDD: 510.981.7474 Fax: 510.981.7420 Email: Planning@ci.berkeley.ca.us

TABULATION FORM

Project Address: Geranium - Hearst Ave Date: 6/15/18
 Applicant's Name: Rhoades Planning Group
 Zoning District R-2A

Please print in ink the following numerical information for Use Permit, Variance, and other Zoning Ordinance related permit applications:

		<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units; Parking Spaces				
Number of Dwelling Units	(#)	N/A	2	N/A
Number of Parking Spaces	(#)	N/A	2	1/UNIT = 2
Yards and Height				
Front Yard Setback	(ft.)	N/A	78'-3"	15'-0"
Side Yard Setbacks: (facing property)	Left: (ft.)	N/A	4'-0"	4'-0" to 6'-0"
	Right: (ft.)	N/A	38'-5"	4'-0" to 6'-0"
Rear Yard Setback	(ft.)	N/A	71'-5-1/2"	15'-0"
Building Height*	(# Stories)	N/A	2	2
Average*	(ft.)	N/A	23'-6"	N/A
Maximum*	(ft.)	N/A	28'	28'
Areas				
Lot Area	(SqFt.)	N/A	13,469	N/A
Gross Floor Area*	(SqFt.)	N/A	1,970	N/A
Total Area Covered by All Floors		N/A		N/A
Building Footprint*	(SqFt.)	N/A	1330	N/A
Total of All Structures		N/A		N/A
Lot Coverage*	(%)	N/A	9.8%	N/A
(Footprint/Lot Area)				
Useable Open Space*	(SqFt.)	2,560 SF	600 SF, 460 private 140 shared	300 SF/UNIT see A0.3 for open space layout
Floor Area Ratio*				
Non-Residential Projects only (except ES-R)		N/A	N/A	N/A

*See Definitions – Zoning Ordinance Title 23F.

Revised: 09/02

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Mendez, Leslie

From: Mia Perkins <mia@rhoadesplanninggroup.com>
Sent: Wednesday, June 20, 2018 12:14 PM
To: Chun, Peter
Cc: Mendez, Leslie; Mark Rhoades
Subject: 1155-1173 Hearst Avenue

Hi Peter,

The following is the statement that you requested to justify three compact parking spaces for the project located at 1155-1173 Hearst Avenue:

The proposed project located at 1155-1173 Hearst Avenue is requesting three compact parking spaces (spaces #5, #6, and #7). The request for two additional compact spaces is necessary to maintain the required 2 FT minimum and 4 FT average landscaped strip per BMC Section 23D.12.080. The site consists of two parcels and in order to conform to the requirements of BMC 23D.12.080, a lot line adjustment will have to be granted, thus necessitating more compact spaces, as the parking area abuts the property line between the two parcels. The site is constrained in that there are four existing buildings on the two parcels (three existing on the 1155 parcel and one existing on the 1173 parcel). There is not a lot of flexibility in locating the parking area given the setback requirements and landscape/screening requirements in the code, as well as the placement of the three new buildings on the site. The proposed Hearst development will result in much need "missing middle" housing in a neighborhood that is close to bus lines, BART and downtown Berkeley.

Thanks very much,
Mia

Mia Perkins
RhoadesPlanningGroup
510.545.4341