

INDEX TO ADMINISTRATIVE RECORD

2422 FIFTH STREET

Use Permit #ZP2018-0108

Prepared: January 31, 2020

	DOCUMENT	DATE	PAGE	# of pages
A	STAFF REPORTS			
1	ZAB Materials: staff report, attachments, supplemental communications, late items and speaker cards	10/24/2019	1	92
B	CAPTIONER'S RECORD and minutes of all hearings			
2	ZAB captioner's record	10/24/2019	93	27
C	REMAINDER OF ADMIN RECORD			
3	Application materials	5/24/2018	120	42
4	Application: project plans	5/24/2018	162	24
5	Welcome letter	5/30/2018	186	1
6	Incomplete letter	6/22/2018	187	1
7	Geotechnical report	7/24/2018	188	41
8	Phase I Environmental Site Assessment report	7/24/2018	229	718
9	Email from planner to applicant regarding parking waiver	8/10/2018	947	3
10	Letter from Rent Stabilization Board	8/30/2018	950	3
11	Email from planner regarding Phase I report	9/5/2018	953	2
12	Email from planner to applicant regarding staffing change	9/21/2018	955	1
13	Email between city staff and applicant regarding parking	10/4/2018	956	5
14	Parking Comments from Transportation	10/4/2018	961	1
15	Email between city staff and applicant regarding parking	10/5/2018	962	7
16	Email between city staff and applicant regarding parking	11/2/2018	969	2
17	Parking survey	11/7/2018	971	2
18	Resubmittal: project plans	11/7/2018	973	25
19	Applicant response to incomplete letter	11/7/2018	998	2
20	Email from DR planner to applicant	12/7/2018	1000	1
21	Incomplete letter	12/7/2018	1001	3
22	Correspondence between project planner and Rent Board staff	1/16/2019	1004	2
23	Correspondence between project planner and applicant	1/18/2019	1006	1
24	Comments from Zoning	3/11/2019	1007	1
25	Correspondence between project planner and applicant	3/14/2019	1008	5
27	Parking survey	3/21/2019	1013	6
28	Emails between planner and applicant regarding parking requirements	3/29/2019	1019	1
29	Resubmittal: application materials	5/8/2019	1020	13
30	Resubmittal:project plans	5/8/2019	1033	23
32	Geotechnical Peer Review	5/28/2019	1056	3
33	Geotechnical Peer Review supplementary	6/4/2019	1059	1
34	Incomplete letter	6/4/2019	1060	2
35	Transportation memorandum	7/9/2019	1062	2
36	Resubmittal: application materials	7/19/2019	1064	9
37	Resubmittal:project plans	7/19/2019	1073	24
38	Incomplete letter	7/29/2019	1097	1

Attachment 6 - Index

39	Applicant response to incomplete letter	8/15/2019	1098	2
40	Resubmittal:project plans	8/15/2019	1100	21
41	Applicant response to incomplete letter	8/22/2019	1121	3
42	Resubmittal:project plans	8/22/2019	1124	24
43	Resubmittal:project plans	9/6/2019	1148	24
44	ZAB Noticeof Public Hearing postcard with mailing list	10/9/2019	1172	5
45	Resubmittal: project plans	10/15/2019	1177	25
46	Correspondence from neighbors	10/23/2019	1202	7
47	ZAB Notice of Decision	11/5/2019	1209	43
48	Letter of appeal to Zoning Adjustments Board from Redwood Tree Studios HOA	11/19/2019	1252	15
49	Appeal receipt letter	12/4/2019	1267	3
50	ADA Compliant Parking Site Plan	1/10/2020	1270	1
51	Corrected parking survey	1/10/2020	1271	6



Z O N I N G
A D J U S T M E N T S
B O A R D
S T A F F R E P O R T

FOR BOARD ACTION
OCTOBER 24, 2019

2422 Fifth Street

Use Permit #ZP2018-0108 to construct a three-story, 4,806-square-foot mixed-use building containing 967 square feet of medical office space and two dwelling units on the rear of a lot with an existing duplex, including a request to waive two residential parking spaces.

I. Background

A. Land Use Designations:

- General Plan: MU – Mixed Use
- Zoning: MU-R – Mixed Use Residential District

B. Zoning Permits Required:

- Administrative Use Permit under BMC 23E.28.060 to allow a joint parking agreement to satisfy the off-street parking requirement;
- Administrative Use Permit under BMC 23E.84.030.A to establish a new medical office space that is 5,000 square feet or less;
- Use Permit under BMC 23E.84.030.A to establish a mixed-use building;
- Administrative Use Permit under BMC 23E.84.030.A to create two new dwelling units; and,
- Use Permit under BMC 23E.84.080.F to waive two residential parking spaces.

C. CEQA Determination: Categorically exempt pursuant to Sections 15303 (New Construction or Conversion of Small Structures) and 15332 (In-Fill Development Projects) of the CEQA Guidelines.

D. Parties Involved:

- Applicant: Devi Dutta Architecture, 928 Carleton Street, Berkeley, CA 94710
- Owner: Anna and Carl Gold, 2422 Fifth Street, Berkeley, CA 94710

Figure 1: Zoning Map



Figure 2: Surrounding Uses

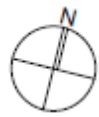
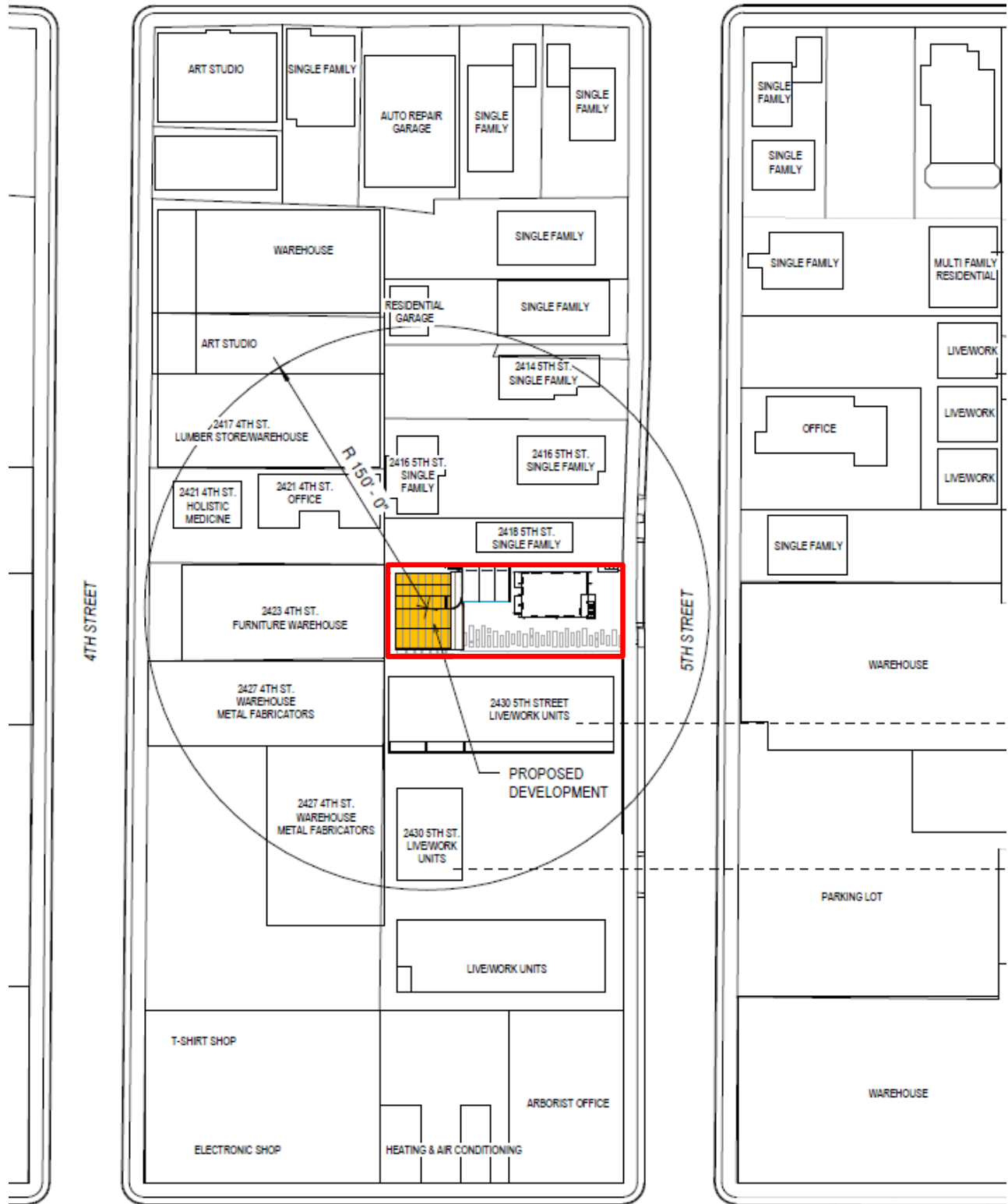


Figure 3: Proposed Site Plan



Table 1: Land Use Information

Location		Existing Use	Zoning District	General Plan Designation
Subject Property		Duplex	MU-R	Mixed Use (MU)
Surrounding Properties	North	Single-Family Dwelling		
	East	Single-Family Dwelling/Warehouse		
	South	Live/Work		
	West	Warehouse		

Table 2: Special Characteristics

Characteristic	Applies to Project?	Explanation
Coast Live Oaks	No	There are no oak trees on the project site.
Creeks	No	The project site is not within a creek buffer.
Green Building Score	Yes	The applicant submitted a GreenPoint Rated checklist for the project. The minimum score required is 50 points, and the checklist indicates a score of 66 out of a possible total of 374 points for the dwelling.
Historic Resources	No	The project does not propose the demolition or substantial alteration of a main building.
Housing Accountability Act (Govt. Code 65589.5(j))	No	The project is a "housing development project" consisting of residential units only, but requests modifications to development standards. Therefore, the HAA findings <i>do not</i> apply to this project. See Section V.B for discussion.
Rent Controlled Units	Yes	According to the Rent Stabilization Board (RSB), the two existing dwelling units (front duplex) are subject to BMC Chapter 13.76 (Rent Stabilization and Eviction for Good Cause Program). These two dwelling units are proposed to remain.

Seismic Hazards (SHMA)	Yes	The project site is located in an area susceptible to liquefaction, as defined by the State Seismic Hazards Mapping Act (SHMA). A geotechnical report dated July 23, 2018, was submitted for the project, and was determined to be in compliance with the SHMA. The report was peer reviewed by the City Geotechnical Consultant, who made conditions of approval recommendations for geotechnical plan review and construction inspections to be performed by the geotechnical consultant prior to final occupancy. These recommendations have been included as conditions of approval #13 and #41.
Soil/Groundwater Contamination	No	The project site is located within the City's Environmental Management Area. A Phase I Environmental Assessment dated June 14, 2018, was submitted. The report was reviewed by the City Toxics Management Division, and no further study was required. Standard Conditions for toxics are applicable to the project.

Table 3: Project Chronology

Date	Action
May 24, 2018	Application submitted
June 22, 2018	Application deemed incomplete
July 24, 2018	Revised application submitted
August 10, 2018	Application deemed incomplete
November 7, 2018	Revised application submitted
December 7, 2018	Application deemed incomplete
May 8, 2019	Revised application submitted
June 4, 2019	Application deemed incomplete
July 19, 2019	Revised application submitted
July 29, 2019	Application deemed incomplete
August 22, 2019	Revised application submitted
September 6, 2019	Application deemed complete
October 8, 2019	Public hearing notices mailed/posted
October 24, 2019	ZAB hearing

Table 4: Development Standards

MU-R Standards BMC Sections 23E.84.070-080		Existing Conditions (Front Duplex)	Proposed Rear Building	Proposed Total for Parcel	Permitted/ Required Total for Parcel
Lot Area (sq. ft.)		6,250	n/a	6,250	n/a
Gross Floor Area (sq. ft.)	Residential	1,670	2,170	3,840	9,375
	Commercial (Medical Office)	0	967	967	n/a
FAR		0.27	n/a	0.77	1.5 max. ¹
Dwelling Units		2	2	4	5 max. (1,250 sf min./du)
Building Height	Average	16'-3"	32'-0"	32'-0"	n/a
	Maximum	18'-1"	35'-0"	35'-0"	35' max.
	Stories	2	3	3	3 max.
Building Setbacks	Front	19'-0"	n/a	19'-0"	5' min.
	Building Separation	n/a	36'-6"	36'-6"	12' min.
	Rear	67'-0"	4'-0"	4'-0"	0' min.
	Left Side	22'-0"	5'-0"	5'-0"	0' min.
	Right Side	4'-0"	5'-0"	4'-0"	5' min. (10% of 50' width) ²
Lot Coverage (%)		16	23	39	n/a
Usable Open Space (sq. ft.)		> 3,000	Unit 1: 184 Unit 2: 153 Total: 337	Fr. Duplex: 308 Unit 1: 184 Unit 2: 153 Total: 645	600 min. (150 per du)
Parking	Residential	2	0	2	4 min. (1 per du)
	Commercial	0	3	3	3 min. (1 per 300 sf)
	Total	2	3	5 (3 spaces w/ joint parking)	7 min.
<p>¹ Buildings in which at least 50% of the floor area is used for residential space and/or for live/work space may have a FAR not to exceed 1.5.</p> <p>² If the side or rear of a lot abuts or confronts either a property with one or more dwelling units or a property situated in an R District, the side or rear yard shall be either ten feet, or 10%, whichever is less, of the respective width or depth of the lot.</p> <p> = UP to waive 2 residential parking and AUP to establish joint parking on 3 parking spaces for 3 commercial and 2 residential parking.</p>					

II. Project Setting

A. Neighborhood/Area Description: The subject site is located on the west side of Fifth Street, in a mixed-use neighborhood that consists of a mixture of warehouses, offices, live/work, and single-family and multiple-family dwellings. Parcels in the immediate neighborhood are primarily developed with one- and two-story buildings, with three-story, live/work developments immediately adjacent and south of the site and northeast of the site on Fifth Street. (See Figure 2: Surrounding Uses.)

The site is 4-1/2 blocks south of the University Avenue commercial corridor and 6 blocks west of the San Pablo Avenue commercial corridor (both areas in the C-W District). Both University Avenue and San Pablo Avenue are well served by transit bus lines. The site is approximately 2.1 miles from both the Downtown and Ashby BART stations.

B. Site Conditions: The subject lot is rectangular, with a 50' front along Fifth Street and 125' depth, and is generally flat. The lot is currently occupied by a two-story, 1,670-square-foot, duplex on the front half of the parcel, and a shipping container used for storage.¹ A use permit (#A1627) was approved in 1989 to convert the single-family dwelling that was constructed 1920, into a duplex. Both units in the existing duplex have been determined by the Rent Stabilization Board (RSB) to be subject to rent control. The duplex units would remain. The entry stair to the upper unit would be rebuilt to open to the south. (See Figure 3: Existing Site Plan.)

III. Project Description

The applicant proposes to remove the shipping container and construct a 3,137-square-foot, three-story, 35'-0"-tall (maximum height), mixed-use building on the rear of the parcel. The building would contain 967 square feet of medical office space on the ground floor and two, side-by-side, two-level dwelling units (Unit 1 – 1,070 square feet, Unit 2 – 1,100 square feet) on the second and third floors. The proposal requests a reduction in the residential parking requirement from four to two spaces, and would provide three off-street parking spaces with a joint use agreement between the medical office (three spaces required) and residential uses (two spaces required after reduction).² The duplex would remain as-is, except that the entry stair to the upper unit would be rebuilt to open to the south in order to meet usable open space requirements. (See Figure 3: Proposed Site Plan; see Attachment 1 for the full set Project Plans.)

¹ The shipping container is an unpermitted, illegal structure which must be removed or legalized, regardless of whether this use permit is approved.

² The original application proposal involved the conversion of the upper unit in the existing duplex into medical offices, and the construction of a new duplex on the lot rear. The applicants were advised that a Variance would have been required to eliminate a rent-controlled dwelling unit through conversion into a commercial unit. In response, the applicant revised the proposal to the current configuration to avoid requesting a Variance. A new poster with the new project description was installed at the site, and a neighborhood meeting was held on June 18, 2019 to discuss the revised project.

IV. Community Discussion

A. Neighbor/Community Concerns: Prior to submitting the application to the City on May 24, 2018, a pre-application poster was installed by the applicant at the project site. Later, after the applicant revised the project to avoid requesting a Variance, a new poster was installed with the revised project description and photo documentation was submitted on July 19, 2019.

On June 18, 2019, a neighborhood meeting was held to review the project and discuss concerns, and was attended by seven members of the public. One resident of 2430 Fifth Street, the live/work building adjacent and south of the site, expressed concerns over impacts to views from her unit, which would have windows facing the proposed building. Another resident at 2430 Fifth Street suggested re-orienting the project to face the north, away from their building. In response, the applicants rearranged the windows on the south façade in the proposal to avoid direct sightlines between the buildings.

On October 8, 2019, the City mailed public hearing notices to property owners and occupants within 300 feet of the project site, and to interested neighborhood organizations, and the City posted notices within the neighborhood in three locations. No further communications regarding the project were received as of the writing of this staff report.

B. Committee Review: This project is not subject to advisory committee review.

C. Staff-Level Design Review: As with all exterior improvements proposed in a non-residential district, this project was subject to Design Review. On October 10, 2019, Staff Level Design Review was completed in accordance with BMC Section 23E.12.040.C. The Design Review Committee Chair concurred with Staff's recommendation for Staff Level Design Review, instead of the Design Review Committee, as the project is well-scaled for its adjacent neighborhood. The appeal and comment period for the favorable Staff-level decision will end at 4:00 p.m. on October 30, 2019.

V. Issues and Analysis

A. Housing Accountability Act: The Housing Accountability Act §65589.5(j) requires that when a proposed housing development complies with applicable, objective general plan and zoning standards, but a local agency proposes to deny the project or approve it only if the density is reduced, the agency must base its decision on written findings supported by substantial evidence that:

1. The development would have a specific adverse impact on public health or safety unless disapproved, or approved at a lower density³; and

³ As used in the Act, a "specific, adverse impact" means a "significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, polices, or conditions as they existed on the date the application was complete.

2. There is no feasible method to satisfactorily mitigate or avoid the specific adverse impact, other than the disapproval, or approval at a lower density.

The project has proposed elements that do not comply with applicable, objective general plan and zoning standards in the zoning ordinance, including:

- A waiver of the residential parking requirement for the two new units; and
- An allowance for the joint use of three parking spaces between the commercial (three required) and residential uses (two required after the reduction).

Therefore, §65589.5(j) **does not apply** to this project, as proposed.

B. Findings for Use Permits and Administrative Use Permits. Pursuant to BMC Section 23E.84.090.A, in order to approve any Use Permit in the district, the Board must make the non-detriment finding. The project is subject to the City's standard conditions of approval regarding construction noise and air quality, waste diversion, toxics, and stormwater requirements, thereby ensuring the project would not be detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the area or neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood or to the general welfare of the City. Staff believes that this finding can be made.

A discussion of the project's impact on sunlight/shadows, air, privacy, and views as they relate to potential detriment follows:

1. **Sunlight/shadow:** According to the shadow studies submitted by the applicant (see Attachment 1, Sheets A4.1 through A4.3 for Shadow Studies), new shadows would be cast by the proposed dwelling onto:
 - 2430 Fifth Street (live/work building, adjacent, south) – on the bathroom and living room windows of multiple units during the few hours before sunset in the summer;
 - 2422 Fifth Street (duplex, front of subject property) – on living room and bedroom windows during the few hours before sunset in the winter;
 - 2418 Fifth Street (single-family dwelling, adjacent, one lot north) – on living room windows during the few hours before sunset in the winter; and
 - 2416 Fifth Street (single-family dwelling on rear of lot, two lots north) – on living area windows during the few hours after sunrise and around noon in the winter.

Although shadow conditions would increase as listed above on neighboring dwellings, shadow impacts would be relatively short in duration, occurring only in the morning and midday or evening hours, and not both. Therefore, shading from proposed project is found to be typical of urban settings and not detrimental.

2. **Air:** The proposed rear dwelling would be 36'-6" from the existing (front) dwelling, 17' from the live/work building to the south (2430 Fifth Street); 4' from the warehouse to the west (2423 Fourth Street); approximately 35' from the single-family dwelling directly north, two lots away (2416 Fifth Street); and approximately

20' from the single-family dwelling to the northwest on the adjacent lot (2418 Fifth Street). Thus, the siting of the proposed rear, mixed-use building satisfies all minimum setback requirements, and would provide adequate air space on the north, east and south sides of the building. A 4'-wide rear yard would be provided between the project and the warehouse to the west, and is a buffer that would satisfy City Fire Department emergency egress requirements (44") in a zoning district (MU-R) that does not require any rear yard. (The warehouse is built on the property line, and is in the MU-LI District, where no yards are required.)

3. **Views:** The relatively flat topography of the project site, along with existing one-, two-, and three-story buildings in the vicinity, does not offer significant views of features such as Berkeley Hills or the Bay. Therefore, staff believes that this project would not be substantially detrimental with respect to views.
4. **Privacy:** The proposed dwelling would not cause significant privacy impacts to the warehouse to the west, as it is a non-residential building and also has no windows on the façade closest to the project site. The dwelling on the property to the north is sited toward the front half of the lot, away from the proposed project on the rear of the project site, so that there would be no direct sightlines between them. The live/work building to the south is 17' away, which is a reasonable buffer between dwellings, given that in residential zoning districts the minimum buffer at the side property line is eight feet. Nevertheless, in response to privacy concerns raised by residents in the live/work building at the June 18, 2019 neighborhood meeting, the applicants obtained the window layout of the live/work building and redesigned the project's south elevation so that all the windows would be offset from the neighboring building windows, and direct sightlines would be avoided. With these revisions to the window layout, the privacy impacts from the project would be reasonable for this mixed-use district.

C. Findings for Use Permit in MU-R District: Pursuant to BMC Section 23E.84.090.B, in order to approve any Use Permit in the district, the Board must make the following required findings. The proposed use or structure must:

1. *Be compatible with the purposes of the District;*

The project is consistent with the following purposes of the Mixed Use Residential District (MU-R):

- *Implement the West Berkeley Plan's designation of a Mixed Residential District.*
- *Support the continued development of a mixed use District which combines residential, live/work, light industrial, arts and crafts and other compatible uses.*
- *Strengthen residential concentrations which exist within the District.*

Staff Analysis: The project is a mixed-use building that would provide two residential units and 967 square feet of medical office space on the ground floor in a district planned for mixed-use development. The project would add two new dwellings to an area that is already developed with single-family dwellings, duplexes, live/work buildings, and other multi-family dwellings. (See Figure 2: Surrounding Uses.)

- *Provide a transitional district between the residential districts to the east of the MU-R and the industrial districts to the west of the MU-R.*

Staff Analysis: As a mixed-use building on the rear of a lot that has an existing duplex on the front, the project adds a compatible commercial use to the lot to help the MU-R neighborhood serve as a transition from the R-1A district to the east to the MU-LI district to the west.

- *Support the development of businesses of all types which contribute to the maintenance and improvement of the environment.*
- *To the extent feasible, protect industrial uses, particularly light industrial uses, from unreasonable intrusions on their ability to operate lawfully.*

Staff Analysis: The proposed mixed-use project with medical offices on the ground floor would bring a compatible commercial use into the area to diversify the existing commercial and industrial uses within the nearby MU-R District, which include warehouses, offices, and live/work spaces. The mixed-use project would be on a lot that is clustered with other mixed-use and residential-only developments within the district, which have coexisted with adjacent industrial uses for years.

2. *Be consistent with the normal use and operation of surrounding uses and buildings, including residential and industrial buildings;*
3. *Not be likely, under reasonably foreseeable circumstances, to either induce or contribute to a cumulative change of use in buildings away from residential; live/work; light industrial, or arts and crafts uses; and*
4. *Be designed in such a manner to be supportive of the character and purposes of the District.*

Staff Analysis: The proposed mixed-use project with medical offices on the ground floor and dwellings on the upper floors would add to the residential development already in the area, and would reinforce the existing mixed pattern of commercial/industrial/residential development in the neighborhood.

- D. Findings for Use Permit to Waive Residential Parking.** Pursuant to BMC Section 23E.84.080.F, if the Board finds that existing evening parking supply is adequate and/or that other mitigating circumstances exist on the property, the requirement for an additional off-street parking space may be waived through a Use Permit when an additional residential unit is added to a property with one or more residential units.

The project proposes to waive two parking spaces under this provision (one per dwelling unit required, for two proposed dwelling units). The remaining parking requirement if this waiver is granted would be three commercial parking (medical offices) and two residential parking (front duplex). To support the waiver of two residential parking spaces, the applicant submitted a parking survey prepared by the project transportation consultant, dated October 25, 2018. The parking survey was reviewed by the Transportation Division, which confirmed that the evening parking supply is adequate and that all other parking data supports the waiver of two residential parking spaces. Thus, staff recommends that the parking waiver be approved concurrently with the joint parking request discussed in V.E below.

E. Findings for Administrative Use Permit to Allow Joint Parking: Pursuant to BMC Section 23E.28.060.A, the Board may approve permit to allow a Joint Use Parking Agreement to satisfy off-street parking space requirements, if all of the following findings are made:

1. The off-street parking spaces designated for joint use are located within 800 feet of the use to be served;
2. The times demanded for these parking spaces will not conflict substantially between the use offering the spaces and the use to be served; and
3. The off-street parking spaces designated for joint use are not otherwise committed to satisfying the parking requirements for some other use at similar times.

Staff believes that these three findings can be made. The three joint parking spaces are located on the lot that they serve. Further, as stated by the applicant, the residential and medical office uses would utilize the parking at different peak times. The medical office would be limited to a three to four weekday per week schedule, from 9:00 a.m. to 4:00 p.m., and the residences could utilize the spaces for the rest of the time – one to two weekdays during the day, after 4:00 p.m. on all weekdays, and anytime on the weekend. This availability is general compatible with residential parking demand, which occurs mostly on weekday nights and weekends. The ADA parking space would always be reserved for accessible parking demands. Finally, the three joint parking spaces are not committed to satisfy any other parking requirement. Thus, staff recommends the approval of the permit for joint parking in conjunction with the approval of the permit to waive two residential parking spaces. Staff recommends that these two permits be approved or denied together, because the denial of either would cause non-compliance with the district parking standard.

F. General Plan Consistency: Based on the foregoing project description and analysis, staff concludes that the project will comply with the following 2002 General Plan goals and policies:

1. Policy LU-3–Infill Development: Encourage infill development that is architecturally and environmentally sensitive, embodies principles of sustainable planning and construction, and is compatible with neighboring land uses and architectural design and scale.
2. Policy LU-7–Neighborhood Quality of Life, Action A: Require that new development be consistent with zoning standards and compatible with the scale, historic character, and surrounding uses in the area.
3. Policy LU-23–Transit-Oriented Development: Encourage and maintain zoning that allows greater commercial and residential density and reduced residential parking requirements in areas with above-average transit service such as Downtown Berkeley.
4. Policy UD-16–Context: The design and scale of new or remodeled buildings should respect the built environment in the area, particularly where the character of the built environment is largely defined by an aggregation of historically and architecturally significant buildings.

5. Policy UD-24–Area Character: Regulate new construction and alterations to ensure that they are truly compatible with and, where feasible, reinforce the desirable design characteristics of the particular area they are in.

Staff Analysis: The project would add two new dwelling units to a residential property located in a mixed-use district, in close proximity to transit. The proposed building height is consistent with the character of the neighborhood and the project will meet all of the zoning standards for the MU-R District, except the parking standard, for which staff believes the findings for the exceptions are adequately made (see sections V.D and V.E). The project is compatible with the existing uses in the neighborhood, which consists of a blend of mixed-use, residential-only, commercial, and industrial developments. Design Review staff has reviewed the project, and has found it to be architecturally compatible with the surrounding developments.

6. Policy UD-32–Shadows: New buildings should be designed to minimize impacts on solar access and minimize detrimental shadows.

Staff Analysis: As discussed in section V.B.1 above, shadow impacts resulting from the proposal would be short in duration and not substantially detrimental. Thus, impact to solar access and detrimental shadows are minimized.

7. Policy H-33–Regional Housing Needs: Encourage adequate housing production to meet City needs and the City’s share of regional housing needs.

Staff Analysis: The project would add two new dwelling units to the City’s housing stock, furthering this Housing Element policy to expand the City’s existing housing supply.

8. Policy EM-5–“Green” Buildings: Promote and encourage compliance with “green” building standards. (Also see Policies EM-8, EM-26, EM-35, EM-36, and UD-6.)
9. Policy UD-33–Sustainable Design: Promote environmentally sensitive and sustainable design in new buildings.

Staff Analysis: The GreenPoint Rated checklist for the project shows a rating of 66, demonstrating that the project would exceed the minimum rating of 50.

VI. Recommendation

Because of the project’s consistency with the Zoning Ordinance and General Plan, and minimal impact on surrounding properties, staff recommends that the Zoning Adjustments Board: **APPROVE** Use Permit #ZP2018-0108 pursuant to Section 23B.32.030 and subject to the attached Findings and Conditions (see Attachment 1).

Attachments:

1. Findings and Conditions
2. Project Plans, received September 6, 2019
3. Notice of Public Hearing

Staff Planner: Sharon Gong, sgong@cityofberkeley.info, (510) 981-7429

ATTACHMENT 1

FINDINGS AND CONDITIONS OCTOBER 24, 2019

2422 Fifth Street

Use Permit #ZP2018-0108 to construct a three-story, 4,806-square-foot mixed-use building containing 967 square feet of medical office space and two dwelling units on the rear of a lot with an existing duplex, including a request to waive two residential parking spaces.

PERMITS REQUIRED

- Administrative Use Permit under BMC 23E.28.060 to allow a joint parking agreement to satisfy the off-street parking requirement;
- Administrative Use Permit under BMC 23E.84.030.A to establish a new medical office space that is 5,000 square feet or less;
- Use Permit under BMC 23E.84.030.A to establish a mixed-use building;
- Administrative Use Permit under BMC 23E.84.030.A to create two new dwelling units; and,
- Use Permit under BMC 23E.84.080.F to waive two residential parking spaces.

I. CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15332 of the CEQA Guidelines (“In-Fill Development Projects”).
2. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.

II. FINDINGS FOR APPROVAL

1. As required by Section 23B.32.040.A of the BMC, the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - A. Although shadow conditions will increase on the aforementioned portions of neighboring dwellings, shadow impacts would be relatively short in duration, occurring only in the morning and midday or evening hours, and not both. Therefore, shading from proposed project is found to be typical of urban settings and not detrimental.
 - B. The siting of the proposed rear, mixed-use building satisfies all minimum setback requirements, and would provide adequate air space on the north, east and south sides of the building. The 4'-wide rear yard is provided between the project and the warehouse to the west, and is a buffer that will satisfy City Fire Department emergency egress requirements (44") in a zoning district (MU-R) that does not require any rear yard;

- C. The relatively flat topography of the project site, along with existing one-, two-, and three-story buildings in the vicinity, does not offer significant views of features such as Berkeley Hills or the Bay. Therefore, staff believes that this project will not be detrimental with respect to views; and
- D. The proposed dwelling will not cause significant privacy impacts to the warehouse to the west and the dwelling on the property to the north. The dwelling on the property to the north is sited toward the front half of the lot, away from the proposed project on the rear of the project site, so that there would be no direct sightlines between them. In response to privacy concerns raised by residents in live/work building to the south at the June 18, 2019 neighborhood meeting, the project's south elevation was redesigned so that all windows will be offset from the windows in the live/work building, and direct sightlines avoided. Thus, the privacy impacts from the project will be reasonable for this mixed-use district.

III. OTHER FINDINGS FOR APPROVAL

- 2. As required by Section 23E.84.090.B of the BMC, the Zoning Adjustments Board must make the following required findings to approve any Use Permit in the district. The proposed use or structure must:

- A. *Be compatible with the purposes of the District;*

The project is consistent with the following purposes of the Mixed Use Residential District (MU-R):

- *Implement the West Berkeley Plan's designation of a Mixed Residential District.*
- *Support the continued development of a mixed use District which combines residential, live/work, light industrial, arts and crafts and other compatible uses.*
- *Strengthen residential concentrations which exist within the District.*

The project is a mixed-use building that will provide two residential units and 967 square feet of medical office space on the ground floor in a district planned for mixed-use development. The project would add two new dwellings to an area that is already developed with single-family dwellings, duplexes, live/work buildings, and other multi-family dwellings.

- *Provide a transitional district between the residential districts to the east of the MU-R and the industrial districts to the west of the MU-R.*

As a mixed-use building on the rear of a lot that has an existing duplex on the front, the project adds a compatible commercial use to the lot to help the MU-R neighborhood serve as a transition from the R-1A district to the east to the MU-LI district to the west.

- *Support the development of businesses of all types which contribute to the maintenance and improvement of the environment.*
- *To the extent feasible, protect industrial uses, particularly light industrial uses, from unreasonable intrusions on their ability to operate lawfully.*

The proposed mixed-use project with medical offices on the ground floor will bring a compatible commercial use into the area to diversify the existing commercial and industrial uses within the nearby MU-R District, which include warehouses, offices, and live/work spaces. The mixed-use project will be on a lot that is clustered with other mixed-use and residential-only developments within the district, which have coexisted with adjacent industrial uses for years.

- B. *Be consistent with the normal use and operation of surrounding uses and buildings, including residential and industrial buildings;*
- C. *Not be likely, under reasonably foreseeable circumstances, to either induce or contribute to a cumulative change of use in buildings away from residential; live/work; light industrial, or arts and crafts uses; and*
- D. *Be designed in such a manner to be supportive of the character and purposes of the District.*

The proposed mixed-use project with medical offices on the ground floor and dwellings on the upper floors would add to the residential development already in the area, and would reinforce the existing mixed pattern of commercial/industrial/residential development in the neighborhood.

3. As required by Section 23E.84.080.F of the BMC, the Zoning Adjustments Board must find that existing evening parking supply is adequate and/or that there are other mitigating circumstances exist on the property to waive the requirement for an additional off-street parking space through a Use Permit when an additional residential unit is added to a property with one or more residential units.
 - A. To support the waiver of two residential parking spaces, the applicant submitted a parking survey prepared by the project transportation consultant, dated October 25, 2018. The parking survey was reviewed by the Transportation Division, which confirmed that the evening parking supply is adequate and that all other parking data supports the waiver of two residential parking spaces.
 - B. The approval of the permit to waive residential parking will be concurrent with the approval of the joint parking permit (see Finding #4 below).
4. As required by Section 23E.28.060.A of the BMC, the Zoning Adjustments Board may approve permit to allow a Joint Use Parking Agreement to satisfy off-street parking space requirements, if all of the following findings are made:
 - The off-street parking spaces designated for joint use are located within 800 feet of the use to be served;
 - The times demanded for these parking spaces will not conflict substantially between the use offering the spaces and the use to be served; and
 - The off-street parking spaces designated for joint use are not otherwise committed to satisfying the parking requirements for some other use at similar times.
 - A. The three joint parking spaces are located on the lot that they serve.
 - B. The residential and medical office uses will utilize the parking at different peak times. The medical office would be limited to a three to four weekday per week schedule, from 9:00 a.m. to 4:00 p.m., and the residences could utilize the spaces for the rest of the time – one to two week days during the day, after 4:00 p.m. on weekdays, and anytime on the weekends. This availability is general compatible with residential parking demand, which occurs mostly on weekday nights and weekends. The ADA parking space would always be reserved for accessible parking demands.
 - C. The three joint parking spaces are not committed to satisfy any other parking requirement.
 - D. The approval of joint parking permit will be concurrent with the approval of the permit to waive residential parking (see Finding #3 above).

IV. STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions and Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions.' *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Board, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

Changes in the plans for the construction of a building or structure, may be modified prior to the completion of construction, in accordance with Section 23B.56.030.D. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

12. Address Assignment. The applicant shall file an "Address Assignment Request Application" with the Permit Service Center (1947 Center Street) for any address change or new address associated with this Use Permit. The new address(es) shall be assigned and entered into the City's database prior to the applicant's submittal of a building permit application.
13. Geotechnical Plan Review. The applicant's geotechnical consultant shall review and approve all geotechnical aspects of the final project building and grading plans (i.e., site preparation and grading, site drainage improvements and design parameters for foundations, retaining walls, and driveway) to ensure that their recommendations have been properly incorporated. The results of the plan review shall be summarized by the geotechnical consultant in a letter and submitted to the City Engineer for review and approval prior to issuance of building permits.
14. Construction Noise Reduction Program. The applicant shall develop a site specific noise reduction program prepared by a qualified acoustical consultant to reduce construction noise impacts to the maximum extent feasible, subject to review and approval of the Zoning Officer. The noise reduction program shall include the time limits for construction listed above, as measures needed to ensure that construction complies with BMC Section 13.40.070. The noise reduction program should include, but shall not be limited to, the following available controls to reduce construction noise levels as low as practical:
 - A. Construction equipment should be well maintained and used judiciously to be as quiet as practical.
 - B. Equip all internal combustion engine-driven equipment with mufflers, which are in good condition and appropriate for the equipment.
 - C. Utilize "quiet" models of air compressors and other stationary noise sources where technology exists. Select hydraulically or electrically powered equipment and avoid pneumatically powered equipment where feasible.
 - D. Locate stationary noise-generating equipment as far as possible from sensitive receptors when adjoining construction sites. Construct temporary noise barriers or partial enclosures to acoustically shield such equipment where feasible.
 - E. Prohibit unnecessary idling of internal combustion engines.
 - F. If impact pile driving is required, pre-drill foundation pile holes to minimize the number of impacts required to seat the pile.
 - G. Construct solid plywood fences around construction sites adjacent to operational business, residences or other noise-sensitive land uses where the noise control plan analysis determines that a barrier would be effective at reducing noise.
 - H. Erect temporary noise control blanket barriers, if necessary, along building facades facing construction sites. This mitigation would only be necessary if conflicts occurred which were irresolvable by proper scheduling. Noise control blanket barriers can be rented and quickly erected.
 - I. Route construction related traffic along major roadways and away from sensitive receptors where feasible.

Prior to Issuance of Any Building & Safety Permit (Demolition or Construction)

15. Construction Noise Management - Public Notice Required. At least two weeks prior to initiating any construction activities at the site, the applicant shall provide notice to businesses and residents within **500 feet** of the project site. This notice shall at a minimum provide the following: (1) project description, (2) description of construction activities, (3) daily construction schedule (i.e., time of day) and expected duration (number of months), (4) the name and phone number of the Project Liaison for the project that is responsible for responding to any local complaints, (5) commitment

to notify neighbors at least four days in advance of authorized extended work hours and the reason for extended hours, and (6) that construction work is about to commence. The liaison would determine the cause of all construction-related complaints (e.g., starting too early, bad muffler, worker parking, etc.) and institute reasonable measures to correct the problem. A copy of such notice and methodology for distributing the notice shall be provided in advance to the City for review and approval.

16. Construction and Demolition. Applicant shall submit a Waste Diversion Form and Waste Diversion Plan that meet the diversion requirements of BMC Chapters 19.24 and 19.37.
17. Toxics. The applicant shall contact the Toxics Management Division (TMD) at 1947 Center Street or (510) 981-7470 to determine which of the following documents are required and timing for their submittal:
 - A. Environmental Site Assessments:
 - 1) Phase I & Phase II Environmental Site Assessments (latest ASTM 1527-13). A recent Phase I ESA (less than 6 months old*) shall be submitted to TMD for developments for:
 - All new commercial, industrial and mixed use developments and all large improvement projects.
 - All new residential buildings with 5 or more dwelling units located in the Environmental Management Area (or EMA).
 - EMA is available online at:
 - http://www.cityofberkeley.info/uploadedFiles/IT/Level_3_-_General/ema.pdf
 - 2) Phase II ESA is required to evaluate Recognized Environmental Conditions (REC) identified in the Phase I or other RECs identified by TMD staff. The TMD may require a third party toxicologist to review human or ecological health risks that may be identified. The applicant may apply to the appropriate state, regional or county cleanup agency to evaluate the risks.
 - 3) If the Phase I is over 6 months old, it will require a new site reconnaissance and interviews. If the facility was subject to regulation under Title 15 of the Berkeley Municipal Code since the last Phase I was conducted, a new records review must be performed.
 - B. Soil and Groundwater Management Plan:
 - 1) A Soil and Groundwater Management Plan (SGMP) shall be submitted to TMD for all non-residential projects, and residential or mixed-use projects with five or more dwelling units, that: (1) are in the Environmental Management Area (EMA) and (2) propose any excavations deeper than 5 feet below grade. The SGMP shall be site specific and identify procedures for soil and groundwater management including identification of pollutants and disposal methods. The SGMP will identify permits required and comply with all applicable local, state and regional requirements.
 - 2) The SGMP shall require notification to TMD of any hazardous materials found in soils and groundwater during development. The SGMP will provide guidance on managing odors during excavation. The SGMP will provide the name and phone number of the individual responsible for implementing the SGMP and post the name and phone number for the person responding to community questions and complaints.
 - 3) TMD may impose additional conditions as deemed necessary. All requirements of the approved SGMP shall be deemed conditions of approval of this Use Permit.
 - C. Building Materials Survey:
 - 1) Prior to approving any permit for partial or complete demolition and renovation activities involving the removal of 20 square or lineal feet of interior or exterior walls, a building materials survey shall be conducted by a qualified professional. The survey shall include, but not be limited to, identification of any lead-based paint, asbestos, polychlorinated

biphenyl (PBC) containing equipment, hydraulic fluids in elevators or lifts, refrigeration systems, treated wood and mercury containing devices (including fluorescent light bulbs and mercury switches). The Survey shall include plans on hazardous waste or hazardous materials removal, reuse or disposal procedures to be implemented that fully comply state hazardous waste generator requirements (22 California Code of Regulations 66260 et seq). The Survey becomes a condition of any building or demolition permit for the project. Documentation evidencing disposal of hazardous waste in compliance with the survey shall be submitted to TMD within 30 days of the completion of the demolition. If asbestos is identified, Bay Area Air Quality Management District Regulation 11-2-401.3 a notification must be made and the J number must be made available to the City of Berkeley Permit Service Center.

D. Hazardous Materials Business Plan:

- 1) A Hazardous Materials Business Plan (HMBP) in compliance with BMC Section 15.12.040 shall be submitted electronically at <http://cers.calepa.ca.gov/> within 30 days if on-site hazardous materials exceed BMC 15.20.040. HMBP requirement can be found at <http://ci.berkeley.ca.us/hmr/>

Prior to Issuance of Any Building (Construction) Permit

18. Interior Noise Levels. Prior to issuance of a building permit, the applicant shall submit a report to the Building and Safety Division and the Zoning Officer by a qualified acoustic engineer certifying that the interior residential portions of the project will achieve interior noise levels of no more than 45 Ldn (Average Day-Night Levels). If the adopted Building Code imposes a more restrictive standard for interior noise levels, the report shall certify compliance with this standard.
19. Recycling and Organics Collection. Applicant shall provide recycling and organics collection areas for occupants, clearly marked on site plans, which comply with the Alameda County Mandatory Recycling Ordinance (ACWMA Ordinance 2012-01).
20. Water Efficient Landscaping. Applicant shall provide an updated Bay-Friendly Basics Landscape Checklist that includes detailed notes of any measures that will not be fully met at the project. Landscape improvements shall be consistent with the current versions of the State's Water Efficient Landscape Ordinance (WELO) and the East Bay Municipal Utility District's Section 31: Water Efficiency Requirements.
21. Public Works ADA. Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.
22. Parking for Disabled Persons. Per BMC Section 23E.28.040.D of the Zoning Ordinance, "Notwithstanding any reduction in off-street parking spaces that may be granted for mixed-use projects in non-residential districts listed in Sub-title 23E, the requirement for off-street parking spaces for disabled persons in the project shall be calculated as if there had been no reduction in total parking spaces."

During Construction:

23. Construction Hours. Construction activity shall be limited to between the hours of 7:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and 4:00 PM on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.

- 24. Transportation Construction Plan.** The applicant and all persons associated with the project are hereby notified that a Transportation Construction Plan (TCP) is required for all phases of construction, particularly for the following activities:
- Alterations, closures, or blockages to sidewalks, pedestrian paths or vehicle travel lanes (including bicycle lanes);
 - Storage of building materials, dumpsters, debris anywhere in the public ROW;
 - Provision of exclusive contractor parking on-street; or
 - Significant truck activity.

The applicant shall secure the City Traffic Engineer's approval of a TCP. Please contact the Office of Transportation at 981-7010, or 1947 Center Street, and ask to speak to a traffic engineer. In addition to other requirements of the Traffic Engineer, this plan shall include the locations of material and equipment storage, trailers, worker parking, a schedule of site operations that may block traffic, and provisions for traffic control. The TCP shall be consistent with any other requirements of the construction phase.

Contact the Permit Service Center (PSC) at 1947 Center Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood. A current copy of this Plan shall be available at all times at the construction site for review by City Staff.

- 25. Halt Work/Unanticipated Discovery of Tribal Cultural Resources.** In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.
- 26. Avoid Disturbance of Nesting Birds.** Initial site disturbance activities, including vegetation and concrete removal, shall be prohibited during the general avian nesting season (February 1 to August 30), if feasible. If nesting season avoidance is not feasible, the applicant shall retain a qualified biologist to conduct a preconstruction nesting bird survey to determine the presence/absence, location, and activity status of any active nests on or adjacent to the project site. The extent of the survey buffer area surrounding the site shall be established by the qualified biologist to ensure that direct and indirect effects to nesting birds are avoided. To avoid the destruction of active nests and to protect the reproductive success of birds protected by the MBTA and CFGC, nesting bird surveys shall be performed not more than 14 days prior to scheduled vegetation and concrete removal. In the event that active nests are discovered, a suitable buffer (typically a minimum buffer of 50 feet for passerines and a minimum buffer of 250 feet for raptors) shall be established around such active nests and no construction shall be allowed inside the buffer areas until a qualified biologist has determined that the nest is no longer active (e.g., the nestlings have fledged and are no longer reliant on the nest). No ground-disturbing activities shall occur within this buffer until the qualified biologist has confirmed that breeding/nesting is completed and

the young have fledged the nest. Nesting bird surveys are not required for construction activities occurring between August 31 and January 31.

- 27. Archaeological Resources (Ongoing throughout demolition, grading, and/or construction).** Pursuant to CEQA Guidelines section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:
- A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
 - B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
 - C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
 - D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
 - E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.
- 28. Human Remains (Ongoing throughout demolition, grading, and/or construction).** In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to Section 15064.5 (e)(1) of the CEQA Guidelines. If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of Section 7050.5 of the Health and Safety Code, and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.
- 29. Paleontological Resources (Ongoing throughout demolition, grading, and/or construction).** In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.

- 30. Stormwater Requirements.** The applicant shall demonstrate compliance with the requirements of the City's National Pollution Discharge Elimination System (NPDES) permit as described in BMC Section 17.20. The following conditions apply:
- A. The project plans shall identify and show site-specific Best Management Practices (BMPs) appropriate to activities conducted on-site to limit to the maximum extent practicable the discharge of pollutants to the City's storm drainage system, regardless of season or weather conditions.
 - B. Trash enclosures and/or recycling area(s) shall be covered; no other area shall drain onto this area. Drains in any wash or process area shall not discharge to the storm drain system; these drains should connect to the sanitary sewer. Applicant shall contact the City of Berkeley and EBMUD for specific connection and discharge requirements. Discharges to the sanitary sewer are subject to the review, approval and conditions of the City of Berkeley and EBMUD.
 - C. Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration and minimize the use of fertilizers and pesticides that contribute to stormwater pollution. Where feasible, landscaping should be designed and operated to treat runoff. When and where possible, xeriscape and drought tolerant plants shall be incorporated into new development plans.
 - D. Design, location and maintenance requirements and schedules for any stormwater quality treatment structural controls shall be submitted to the Department of Public Works for review with respect to reasonable adequacy of the controls. The review does not relieve the property owner of the responsibility for complying with BMC Chapter 17.20 and future revisions to the City's overall stormwater quality ordinances. This review shall be conducted prior to the issuance of a Building Permit.
 - E. All paved outdoor storage areas must be designed to reduce/limit the potential for runoff to contact pollutants.
 - F. All on-site storm drain inlets/catch basins must be cleaned at least once a year immediately prior to the rainy season. The property owner shall be responsible for all costs associated with proper operation and maintenance of all storm drainage facilities (pipelines, inlets, catch basins, outlets, etc.) associated with the project, unless the City accepts such facilities by Council action. Additional cleaning may be required by City of Berkeley Public Works Engineering Dept.
 - G. All on-site storm drain inlets must be labeled "No Dumping – Drains to Bay" or equivalent using methods approved by the City.
 - H. Most washing and/or steam cleaning must be done at an appropriately equipped facility that drains to the sanitary sewer. Any outdoor washing or pressure washing must be managed in such a way that there is no discharge or soaps or other pollutants to the storm drain. Sanitary connections are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
 - I. Sidewalks and parking lots shall be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry to the storm drain system. If any cleaning agent or degreaser is used, wash water shall not discharge to the storm drains; wash waters should be collected and discharged to the sanitary sewer. Discharges to the sanitary sewer are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
 - J. The applicant is responsible for ensuring that all contractors and sub-contractors are aware of and implement all stormwater quality control measures. Failure to comply with the approved construction BMPs shall result in the issuance of correction notices, citations, or a project stop work order.

31. Public Works - Implement BAAQMD-Recommended Measures during Construction. For all proposed projects, BAAQMD recommends implementing all the Basic Construction Mitigation Measures, listed below to meet the best management practices threshold for fugitive dust:
 - A. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - B. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
 - C. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 - D. All vehicle speeds on unpaved roads shall be limited to 15 mph.
 - E. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - F. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - G. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
 - H. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
32. Public Works. All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
33. Public Works. The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
34. Public Works. The project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season to prevent on-site soils from being washed off-site and into the storm drain system. The project sponsor shall comply with all City ordinances regarding construction and grading.
35. Public Works. Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department. The applicant shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.
36. Public Works. The removal or obstruction of any fire hydrant shall require the submission of a plan to the City's Public Works Department for the relocation of the fire hydrant during construction.
37. Public Works. If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

Prior to Final Inspection or Issuance of Occupancy Permit:

38. Compliance with Conditions. The project shall conform to the plans and statements in the Use Permit. The developer is responsible for providing sufficient evidence to demonstrate compliance with the requirements throughout the implementation of this Use Permit.
39. Compliance with Approved Plan. The project shall conform to the plans and statements in the Use Permit. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **September 6 2019**, except as modified by conditions of approval.
40. Construction and Demolition Diversion. A Waste Diversion Report, with receipts or weigh slips documenting debris disposal or recycling during all phases of the project, must be completed and submitted for approval to the City's Building and Safety Division. The Zoning Officer may request summary reports at more frequent intervals, as necessary to ensure compliance with this requirement. A copy of the Waste Diversion Plan shall be available at all times at the construction site for review by City Staff.
41. Geotechnical Construction Inspections. The geotechnical consultant shall inspect, test (as needed), and approve all geotechnical aspects of the project construction. The inspections shall include, but not necessarily be limited to: site preparation and grading, site surface and subsurface drainage improvements, and excavations for foundations and retaining walls prior to the placement of steel and concrete. The results of these inspections and the as-built conditions of the project shall be described by the geotechnical consultant in a letter and submitted to the City Engineer for review prior to final (granting of occupancy) project approval.

At All Times:

42. Exterior Lighting. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
43. Rooftop Projections. No additional rooftop or elevator equipment shall be added to exceed the approved maximum roof height without submission of an application for a Use Permit Modification, subject to Board review and approval.
44. Design Review. Signage and any other exterior modifications, including but not limited to landscaping and lighting, shall be subject to Design Review approval.
45. Drainage Patterns. The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
46. Electrical Meter. Only one electrical meter fixture may be installed per dwelling unit.
47. Bike Parking. Secure and on-site bike parking for at least 4 bicycles shall be provided for the life of the building.
48. Tenant Notification. The developer shall provide tenant notification, via a lease rider or deed covenant, that each dwelling unit is located in a mixed-use area that includes commercial, food service and entertainment uses, and that each occupant shall not seek to impede their lawful operation.



5TH STREET TOWNHOMES AND WELLNESS OFFICES

2422 5TH STREET, BERKELEY, CA 94710

ARCHITECT/APPLICANT

DEVI DUTTA-CHOUDHURY, AIA
DEVI DUTTA ARCHITECTURE
928 CARLETON STREET
BERKELEY, CA 94710
510/705-1937
hello@devidutta.com

OWNER

ANNA & CARL GOLD
2422 5TH STREET
BERKELEY, CA 94710

LANDSCAPE

MANTLE LANDSCAPE
ARCHITECTURE
930 CARLETON STREET
BERKELEY, CA 94710
510-927-3202

TRAFFIC ENGINEER

ABRAMS ASSOCIATES
1875 OLYMPIC BOULEVARD,
SUITE 210
WALNUT CREEK, CA 94596
925-945-0201

PROJECT DESCRIPTION

CONSTRUCTION OF 2 NEW DWELLING UNITS AND 1 ACUPUNCTURE & WELLNESS OFFICE AT REAR YARD. EXISTING FRONT DUPLEX TO REMAIN.

SHEET LIST ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 PROJECT INFORMATION
- A0.2 AREA DIAGRAMS
- A0.3 SURVEY
- A0.4 STREET STRIP
- A0.5 VICINITY MAP
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED FIRST FLOOR PLAN
- A1.3 PROPOSED SECOND FLOOR PLAN
- A1.4 PROPOSED THIRD FLOOR PLAN
- A2.1 EAST & NORTH ELEVATIONS
- A2.2 WEST & SOUTH ELEVATIONS
- A3.1 PROPOSED BUILDING SECTIONS
- A3.2 PROPOSED BUILDING SECTIONS
- A5.1 OPEN SPACE DIAGRAM
- A6.1 DETAILS
- A7.1 NEIGHBORHOOD CONTEXT
- A7.2 PERSPECTIVE VIEWS

SHEET LIST LANDSCAPE

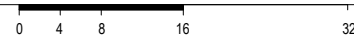
- L1.0 SCHEMATIC MATERIAL PLAN
- L2.0 SCHEMATIC PLANTING PLAN
- L2.1 PROPOSED PLANTING PALETTE



A0.0

COVER SHEET

SCALE:



2422 5TH STREET

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Zoning Submittal

10.15.2019



PROJECT ADDRESS

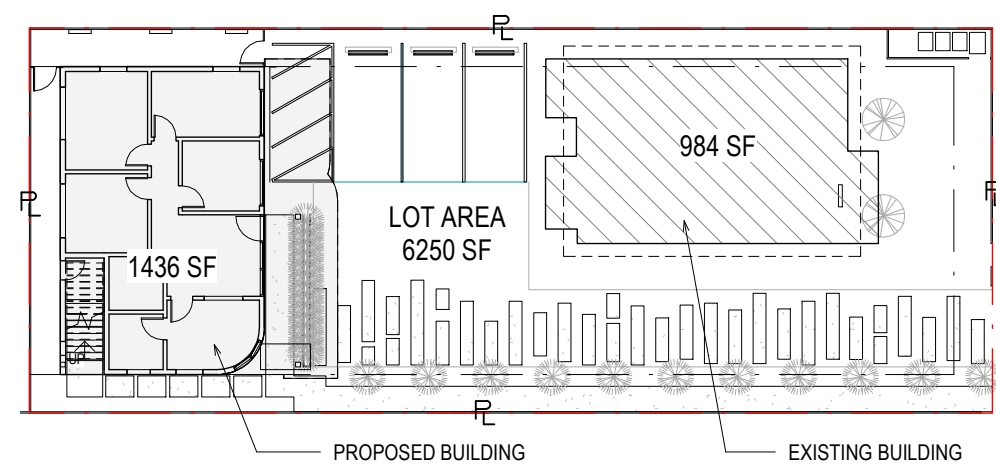
2422 5TH STREET, BERKELEY, CA 74710

ASSESSOR'S PARCEL #:

56-1944-11

ZONING INFORMATION

ZONING DISTRICT: MU-R
FLOOD ZONE: NO
FIRE ZONE: 1
ENV. MGMT AREA: NO
LANDMARKS STRUCTURE OF MERIT: NO



1 LOT COVERAGE DIAGRAM

3/64" = 1'-0"

A0.1

PROJECT INFORMATION

SCALE: 3/64" = 1'-0" 0 4 8 16 32

ZONING DEVELOPMENT STANDARDS

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
NUMBER OF DWELLING UNITS	2	4	5 MAX
AREAS			
LOT SIZE	125' X 50' = 6250 SF	125' X 50' = 6250 SF	40' WIDTH MIN.
TOTAL GROSS FLOOR AREA	1670 SF	1670 SF + 3136 SF = 4806 SF	
NEW DUPLEX AREA		2170 SF	
UNIT 1		1070 SF	
UNIT 2		1100 SF	
MEDICAL OFFICES AREA		967 SF	
FAR	0.27	0.77	1.5
BUILDING FOOTPRINT	984 SF	984 SF + 1436 SF = 2420 SF	
LOT COVERAGE	15.7 %	38.7 %	40% MAX.
IMPERVIOUS SURFACE	2295 SF	2331 SF	
USEABLE OPEN SPACE	3297 SF	645 SF	600 SF MIN.
HEIGHT & STORIES			
AVERAGE	16'-3"	32' - 0"	35' - 0"
MAXIMUM	18' - 1/2"	35' - 0"	35' - 0"
STORIES	2	3	3
SETBACKS			
FRONT:	19'-0"	14' - 9 1/2"	5' - 0"
NORTH SIDE	4' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
SOUTH SIDE	22' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
REAR:	67' - 0"	4' - 0"	NONE (ADJACENT TO NON-RESIDENTIAL)
PARKING SPACES			
RESIDENTIAL*:	1 / UNIT = 2 TANDEM SPACES	(2) PROVIDED VIA JOINT USE PARKING PER BMC 23D.12.060	1 / UNIT = 4 REQUIRED
MEDICAL:	N/A	(3) PROVIDED	1 / 300 SF = 3 REQUIRED
BIKE PARKING: *(2) PARKING WAIVER	1	(3) RESIDENTIAL, (1) COMMERCIAL	1 / 2000 SF NON-RES AREA = 1 REQ

2422 5TH STREET

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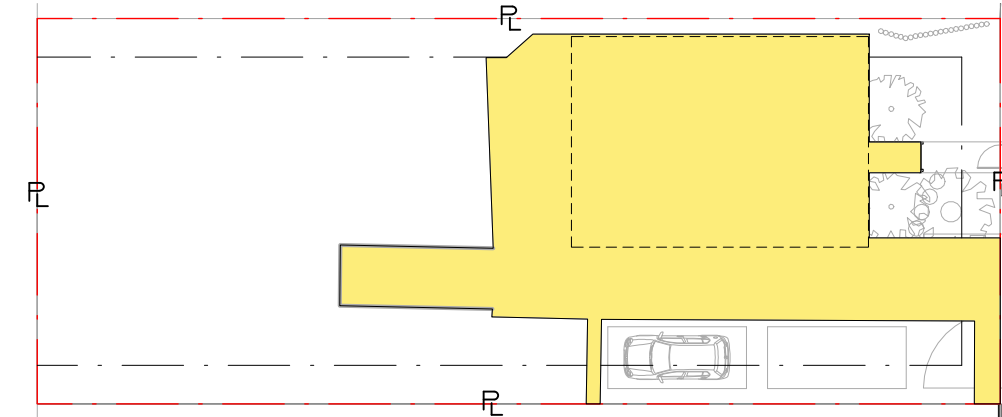
Zoning Submittal

10.15.2019

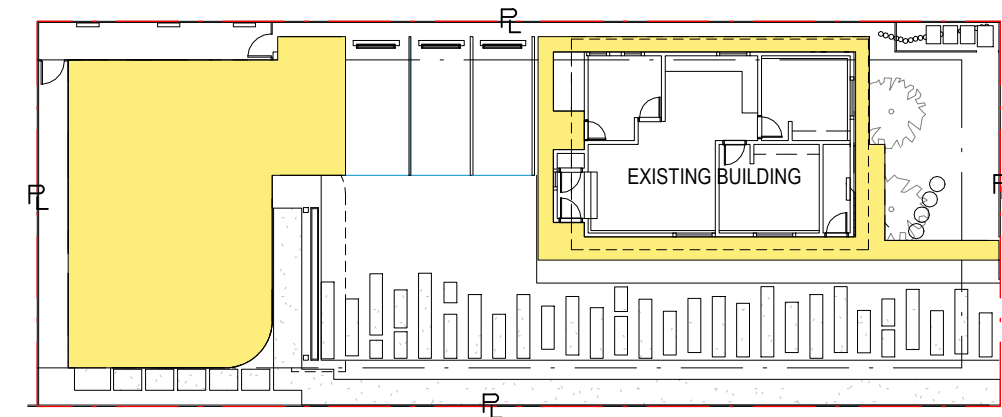


ABBREVIATIONS

A/C	AIR CONDITIONING	JAN.	JANITOR
ADJ.	ADJACENT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR	L.P.	LOW POINT
ALUM.	ALUMINUM	MAX	MAXIMUM
ALT.	ALTERNATE	M.C.	MEDICINE CABINET
APPROX.	APPROXIMATELY	M.D.	MOTION DETECTOR
ARCH.	ARCHITECTURAL	MECH.	MECHANICAL
A.C.T.	ACOUSTIC CEILING TILE	MFR	MANUFACTURER
B.BD	TELEPHONE BACK BOARD	MIN	MINIMUM
BLDG.	BUILDING	MTD.	MOUNTED
BLKG.	BLOCKING	MTL.	METAL
BOT.	BOTTOM	(N)	NEW
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	NO.	NUMBER
C.G.	CORNER GUARD	N.T.S.	NOT TO SCALE
CHG.	CHANGE	O.C.	ON CENTER
CLG.	CEILING	OFF.	OFFICE
CLOS.	CLOSET	OPNG.	OPENING
CLR.	CLEAR	OPP.	OPPOSITE
C.M.U.	CONCRETE MASONRY UNIT	O.T.B.	OPEN TO BELOW
COL.	COLUMN	PR.	PAIR
CONC.	CONCRETE	P-LAM.	PLASTIC LAMINATE
CONN.	CONNECTION	PTD.	PAINTED
CONST.	CONSTRUCTION	PLWD.	PLYWOOD
CORR.	CORRIDOR	P.O.	PRIVATE OFFICE
C.T.	CERAMIC TILE	R	RISER
CTR.	CENTER	R.C.P.	REFLECTED CEILING PLAN
DET.	DETAIL	R.D.	ROOF DRAIN
DIA/O	DIAMETER	REFR.	REFRIGERATOR
DIM.	DIMENSION	REQ.	REQUIRED
DN.	DOWN	RM.	ROOM
DWG.	DRAWING	R.O.	ROUGH OPENING
DS.	DOWNSPOUT	S.C.	SOLID CORE
(E)	EXISTING	S.D.	STORM DRAIN
EA.	EACH	SAF	SELF-ADHERED FLASHING
EL.	ELEVATION	STOR.	STORAGE
ELEC.	ELECTRICAL	SHT.	SHEET
ELEV.	ELEVATOR	SIM.	SIMILAR
EQ.	EQUAL	SCD	SEE CIVIL DRAWINGS
EQUIP.	EQUIPMENT	SED	SEE ELECTRICAL DRAWINGS
EXP.	EXPANSION	SLD	SEE LANDSCAPE DRAWINGS
EXPOS.	EXPOSED	SMD	SEE MECHANICAL DRAWINGS
EXT.	EXTERIOR	SPD	SEE PLUMBING DRAWINGS
F.D.	FLOOR DRAIN	SSD	SEE STRUCTURAL DRAWINGS
FIN.	FINISH	STRL	STRUCTURAL
FL.	FLOOR	T	TREAD
FLASH.	FLASHING	T.B.D.	TO BE DETERMINED
FLUOR.	FLUORESCENT	T&G	TONGUE AND GROOVE
F.O.F.	FACE OF FINISH	TEL.	TELEPHONE
F.O.S.	FACE OF STUD	T.O.	TOP OF
FPRFP.	FIREPROOF	TYP.	TYPICAL
FSD	FIRE SEPARATION DISTANCE	U.O.N.	UNLESS OTHERWISE NOTED
FURR.	FURRING	V.I.F.	VERIFY IN FIELD
GA.	GAGE	WD.	WOOD
GALV.	GALVANIZED	W.P.	WATERPROOF
G.C.	GENERAL CONTRACTOR	WRB	WEATHER RESISTANT BARRIER
GL.	GLASS		
GR.	GRADE		
GYP. BD.	GYP. BOARD		
H.B.	HOSE BIB		
HC	HANDICAPPED		
H.C.	HOLLOW CORE		
HDWR.	HARDWARE		
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
HP	HIGH POINT		
HR.	HOUR		
H.W.	HOT WATER		
INSUL.	INSULATION/INSULATED		
INT.	INTERIOR		



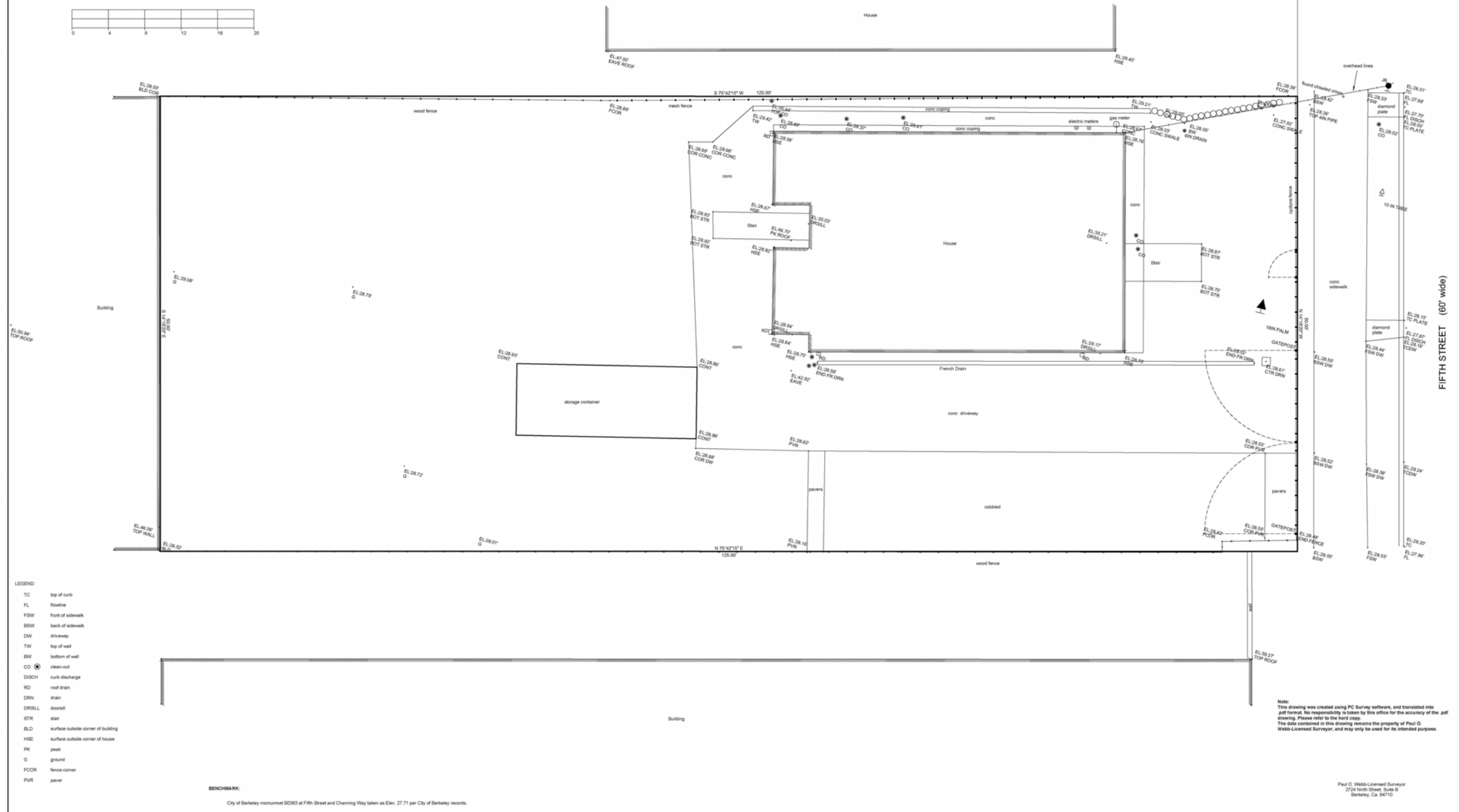
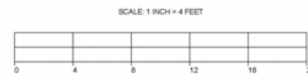
1 EXISTING IMPERVIOUS SURFACE - 2295 SF
3/64" = 1'-0"



2 NEW OR REPLACED IMPERVIOUS SURFACE - 1622 SF
3/64" = 1'-0"

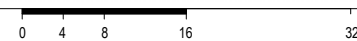


2422 FIFTH STREET, BERKELEY, CA
LOTS 13 & 14, BLOCK 132, CORRECTED MAP OF THE AVERY TRACT
FILED OCTOBER 9, 1890, MAP BOOK 9, PAGE 66,
ALAMEDA COUNTY RECORDS
APN: 56-1944-11 NOVEMBER, 2017



A0.3

SURVEY
SCALE:



2422 5TH STREET

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10.15.2019



EXISTING WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



PROPOSED WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



EXISTING EAST VIEW 2422 5TH STREET

A0.4

STREET STRIP

SCALE:

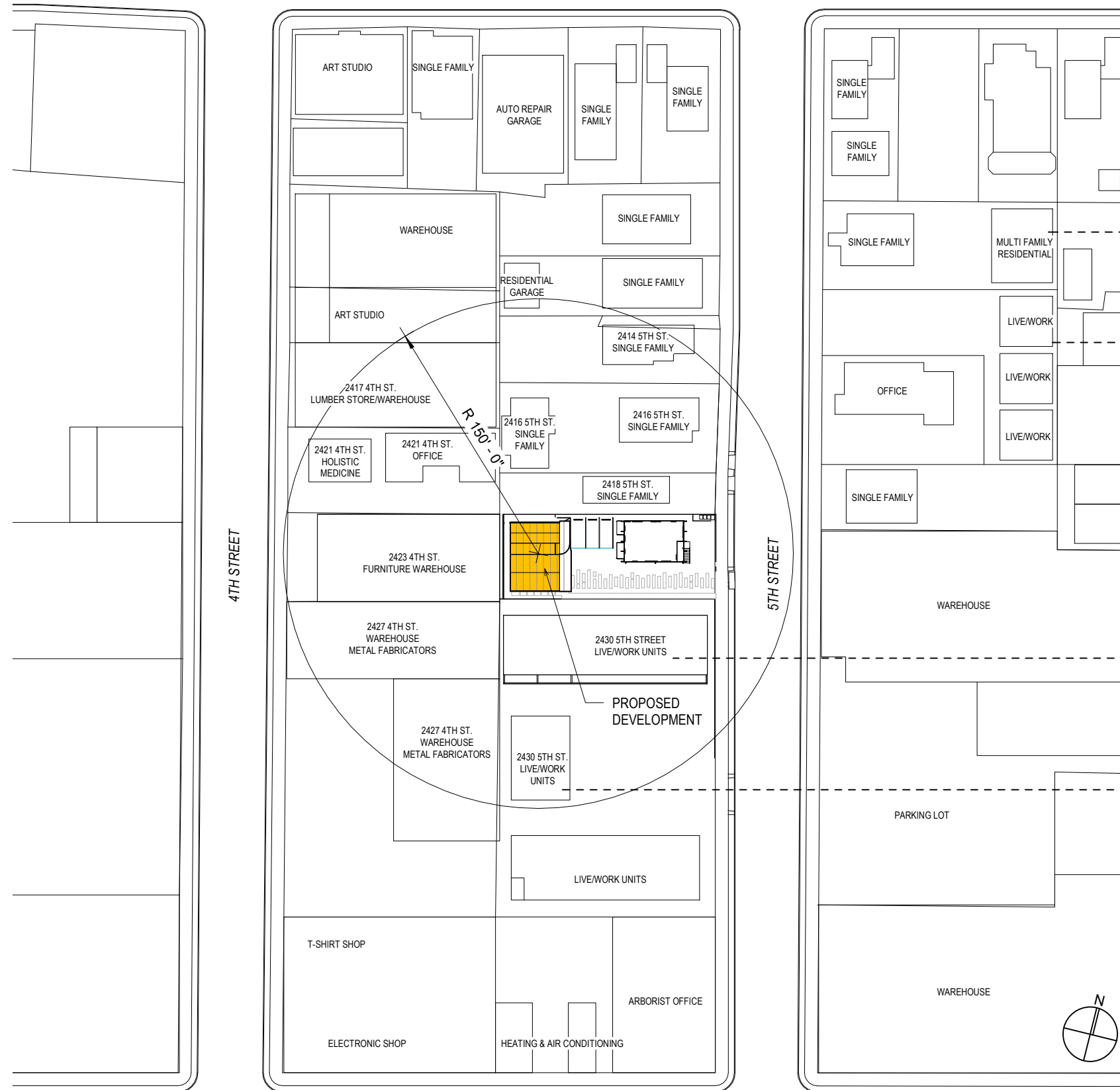


2422 5TH STREET

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A0.5 VICINITY MAP
SCALE: 1/64" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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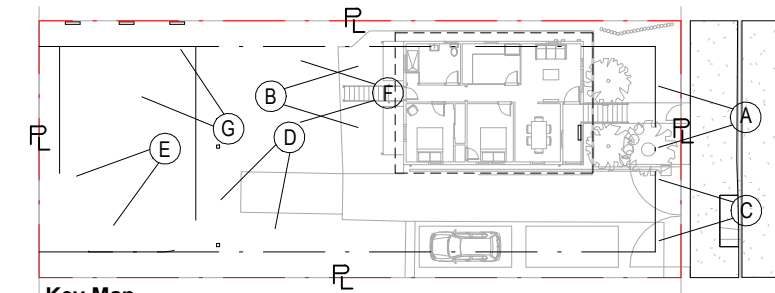
A - EXISTING FRONT OF HOUSE



B - EXISTING BACK OF HOUSE



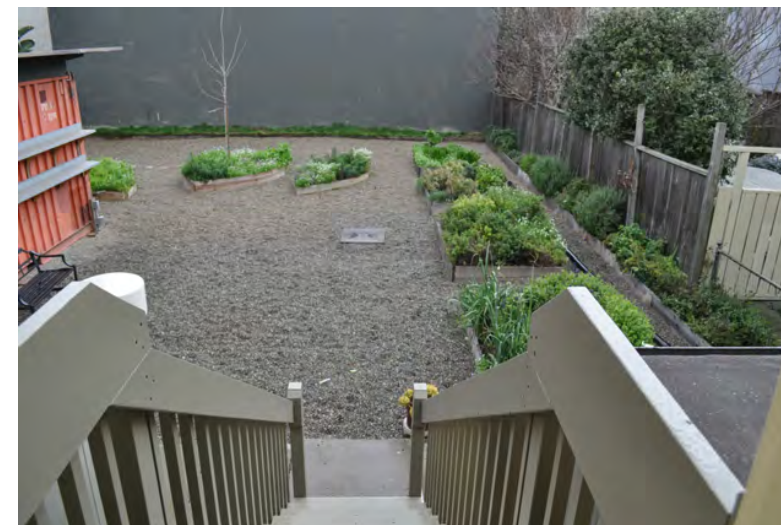
C - EXISTING DRIVEWAY



1 Key Map
1/32" = 1'-0"



D,E - ADJACENT MULTI-FAMILY BUILDING



F - EXISTING REAR STAIR/YARD



G - REAR YARD NORTH SIDE

A0.6

SITE PHOTOS

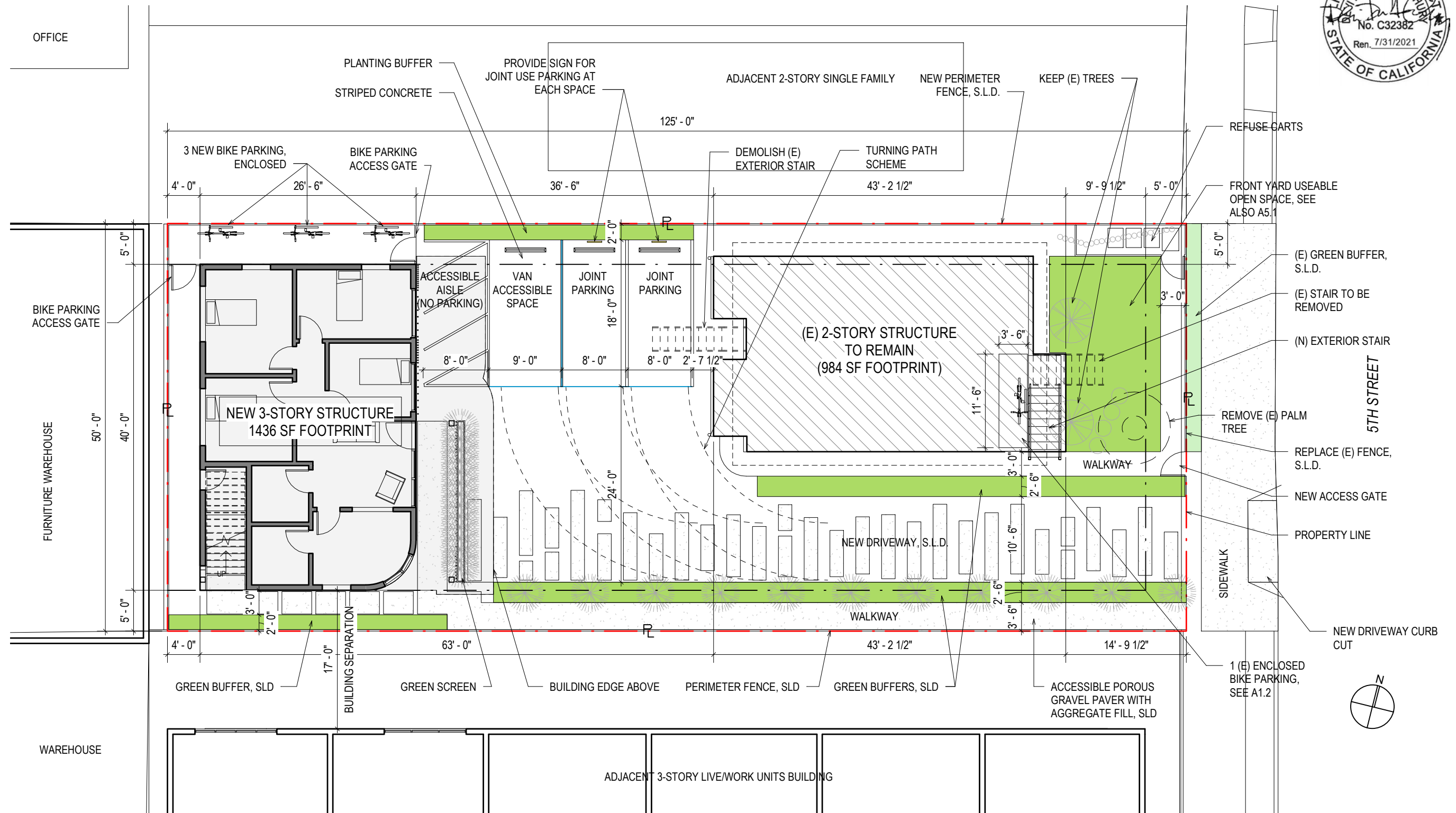
SCALE: 1/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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A1.1

PROPOSED SITE PLAN

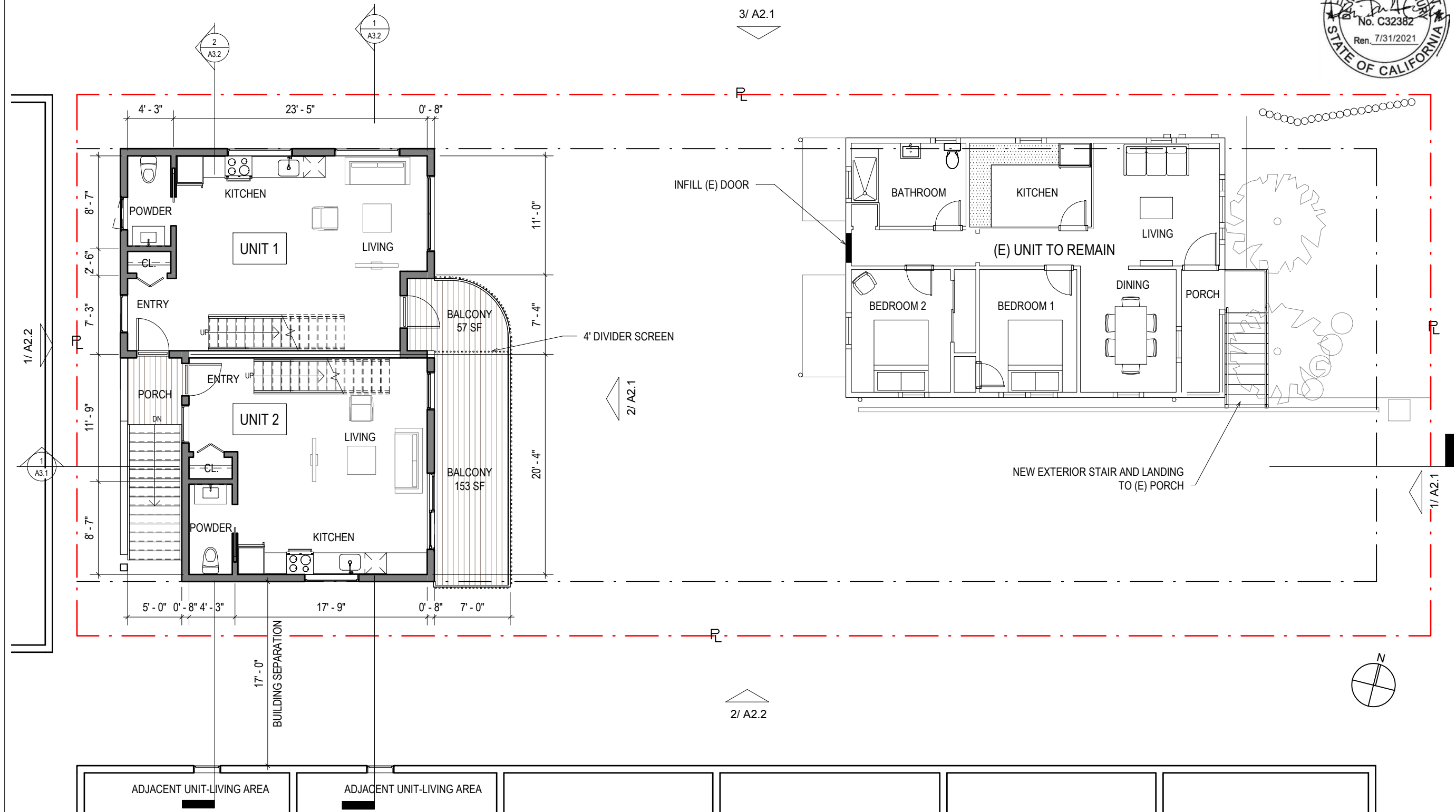
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A1.3

PROPOSED SECOND FLOOR PLAN

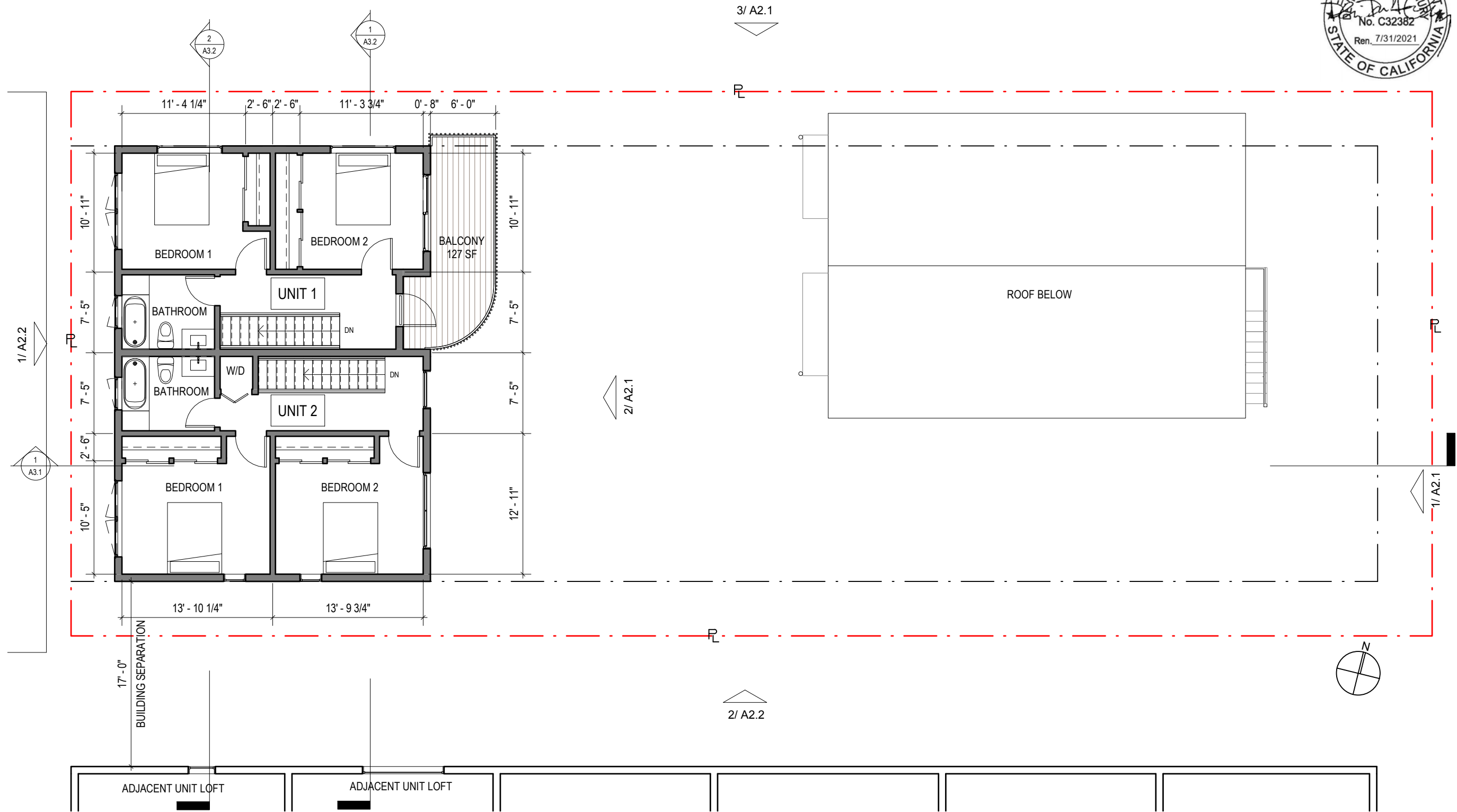
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2422 5TH STREET

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10.15.2019



A1.4

PROPOSED THIRD FLOOR PLAN

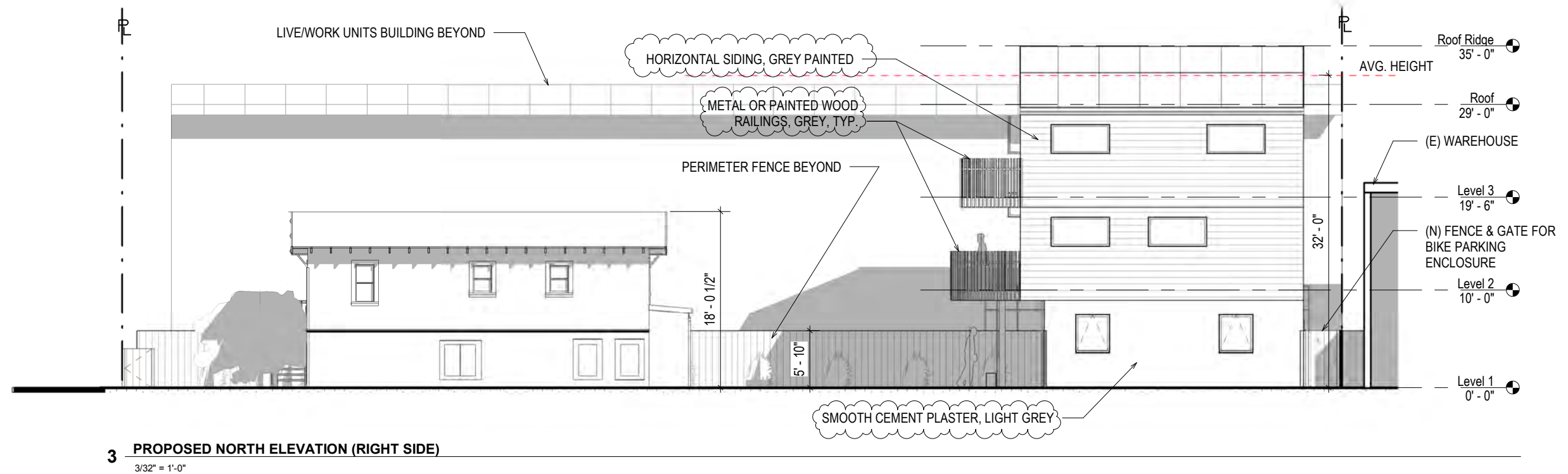
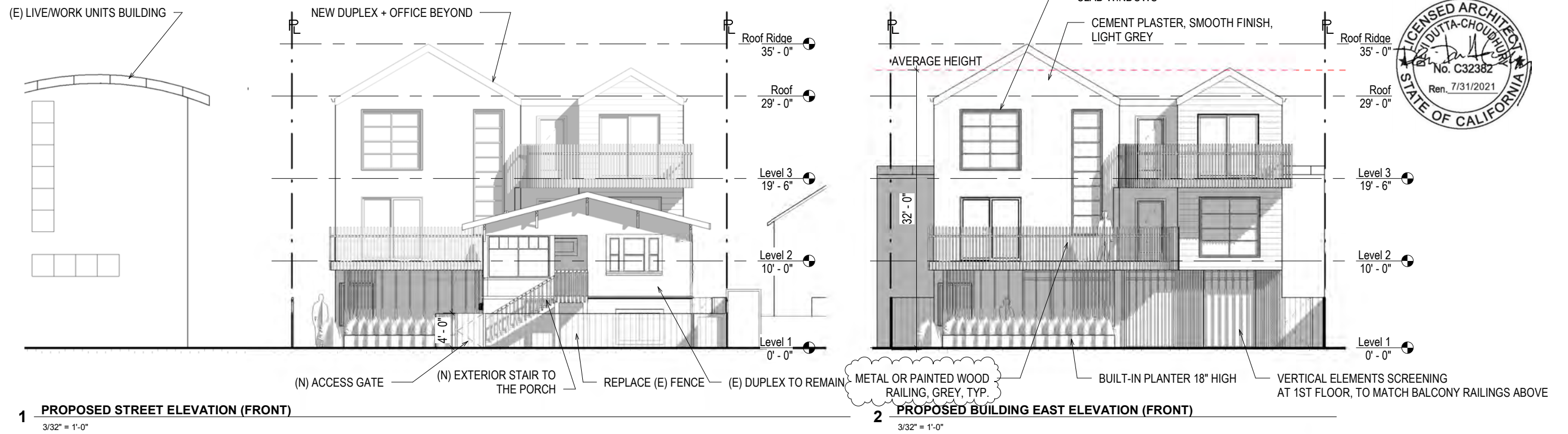
SCALE: 1/8" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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10.15.2019



A2.1

EAST & NORTH ELEVATIONS

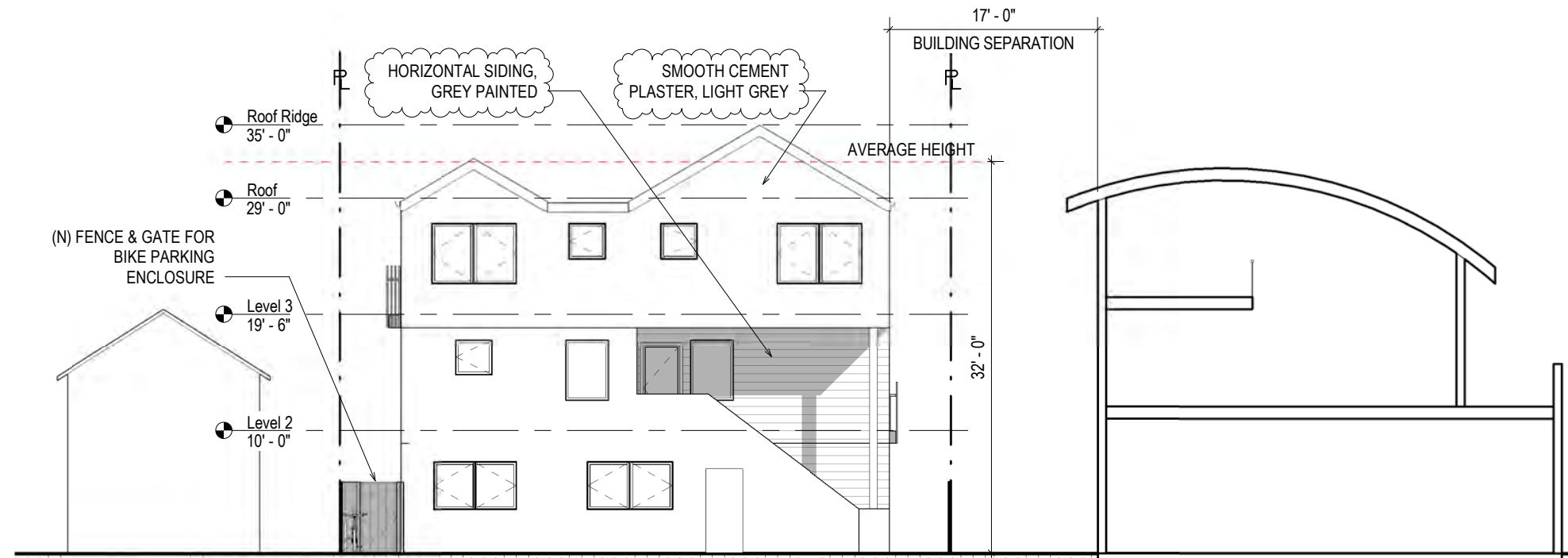
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

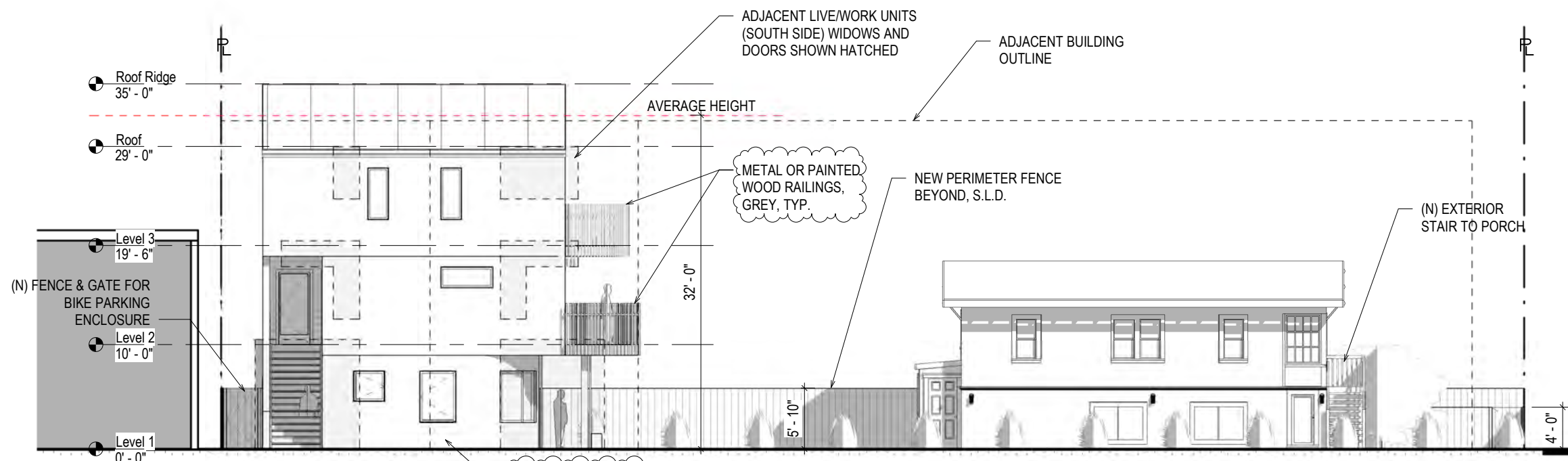
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10.15.2019



1 PROPOSED WEST ELEVATION (BACK)
3/32" = 1'-0"



2 PROPOSED SOUTH ELEVATION (LEFT SIDE)
3/32" = 1'-0"

A2.2

WEST & SOUTH ELEVATIONS

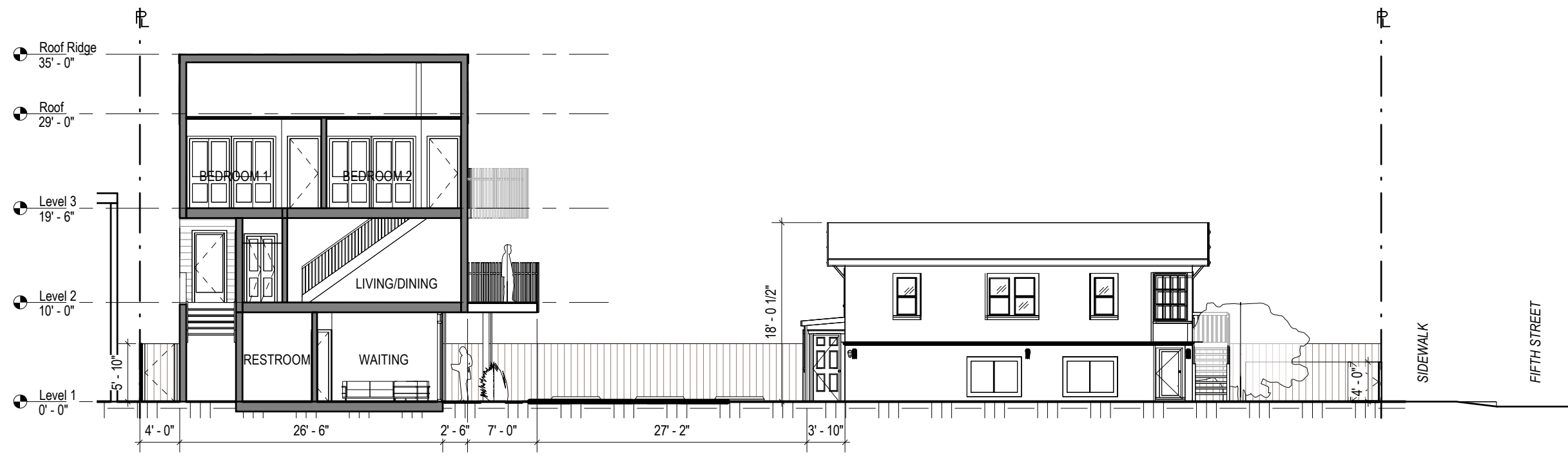
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

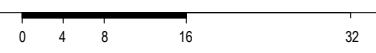
Zoning Submittal

10.15.2019



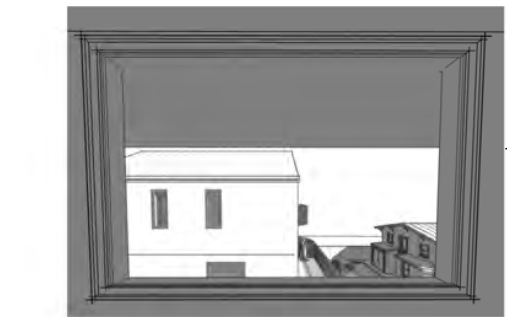
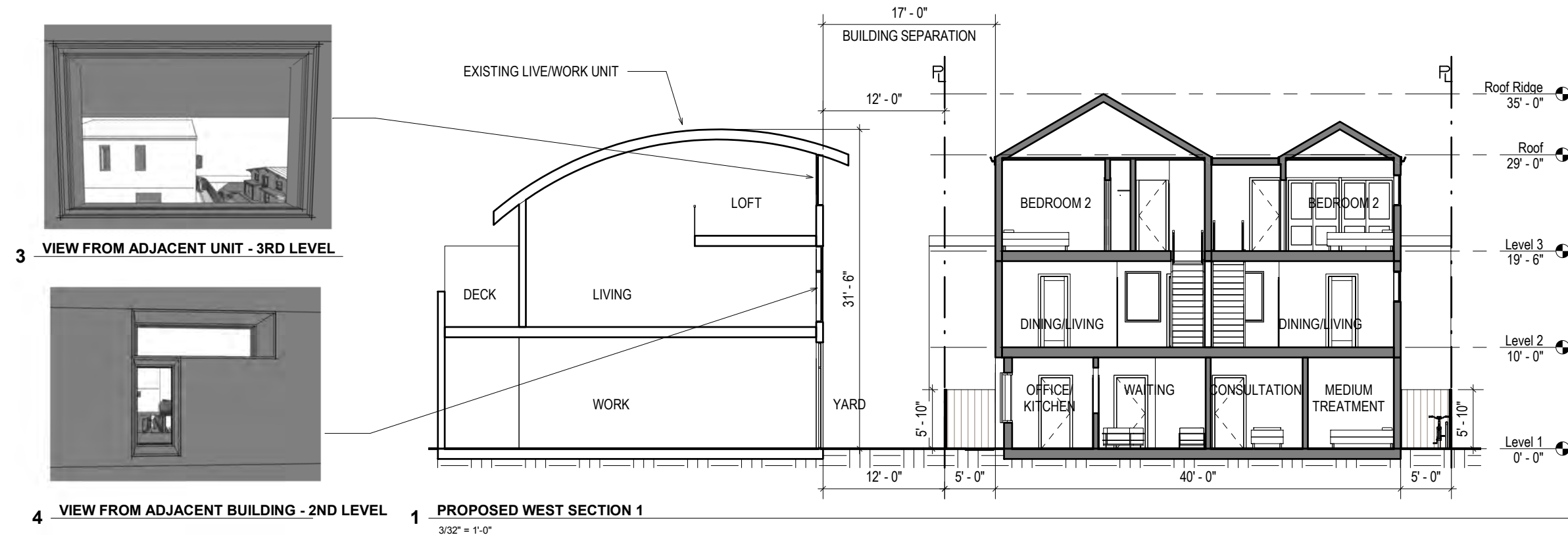
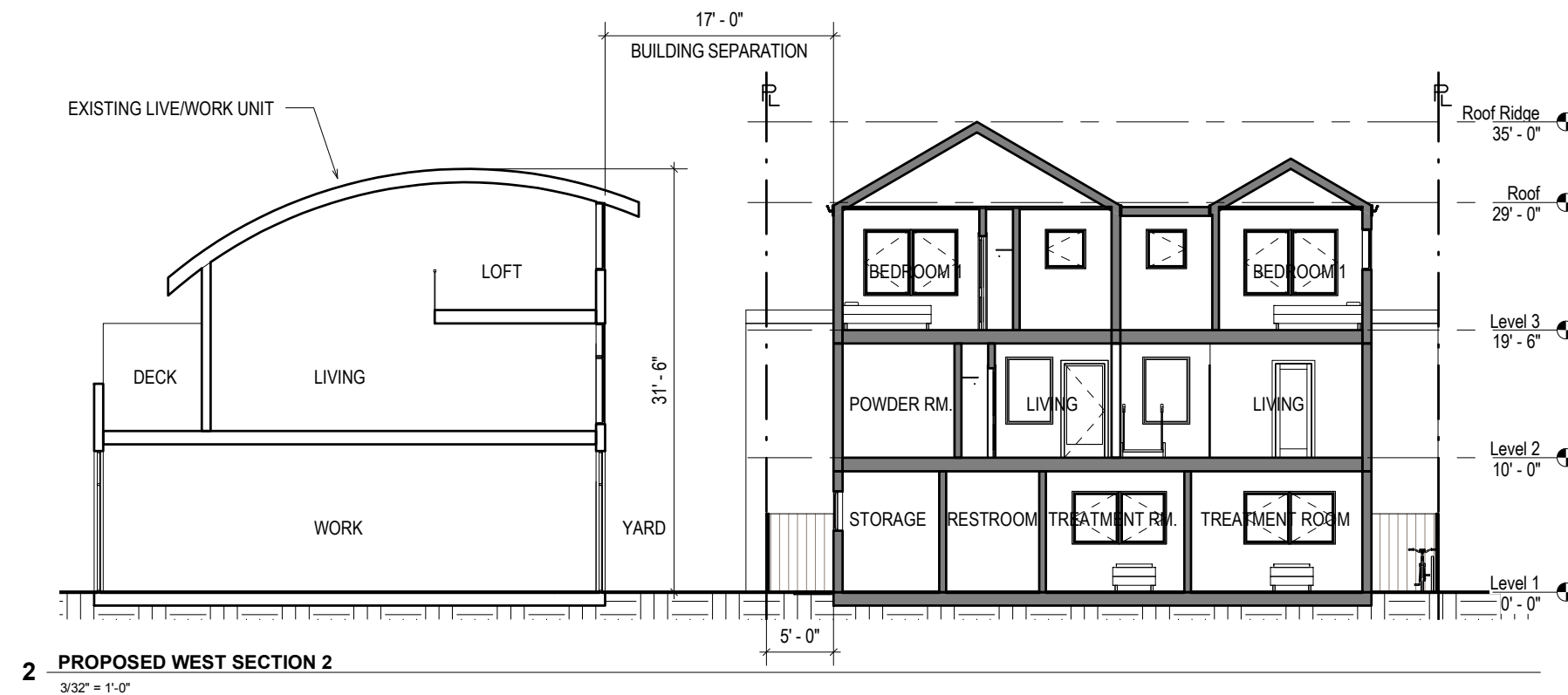
1 PROPOSED NORTH SECTION
3/32" = 1'-0"

A3.1 PROPOSED BUILDING SECTIONS
SCALE: 3/32" = 1'-0"

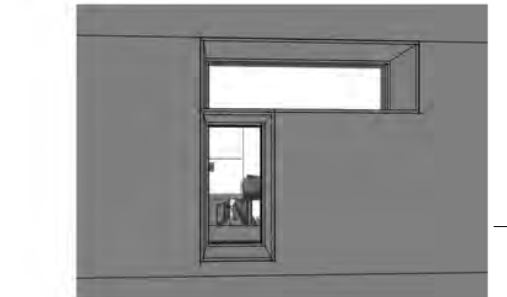


2422 5TH STREET
Devi Dutta Architecture Inc.

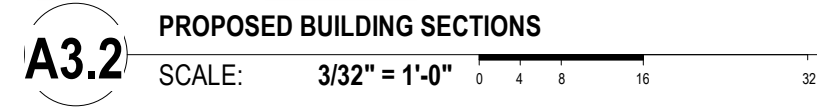
Zoning Submittal
10.15.2019

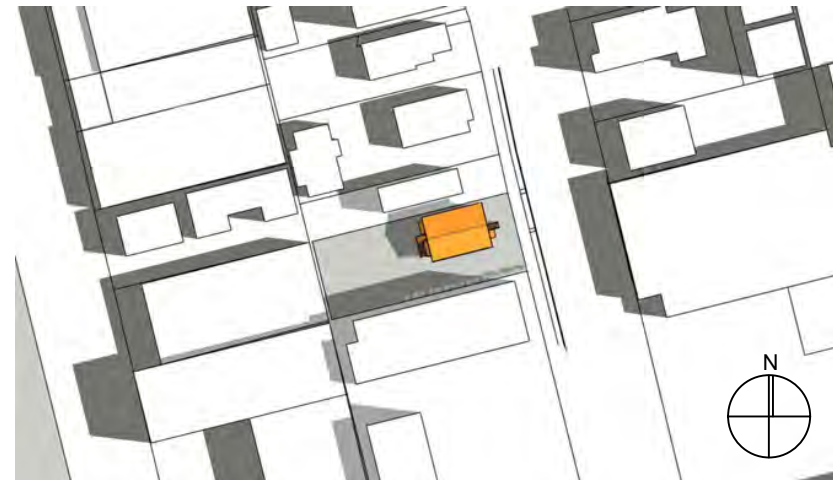


3 VIEW FROM ADJACENT UNIT - 3RD LEVEL

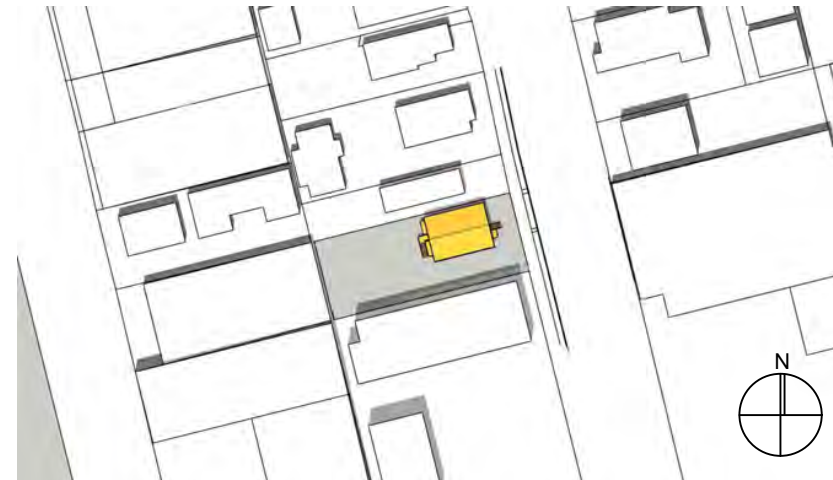


4 VIEW FROM ADJACENT BUILDING - 2ND LEVEL

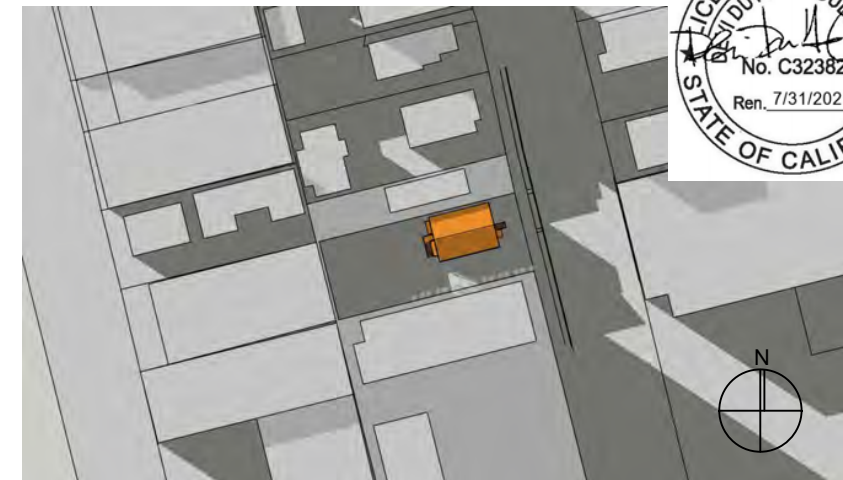




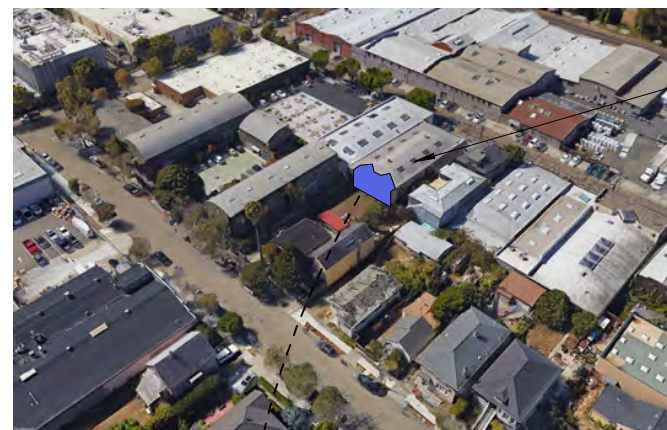
1 EXISTING-JUNE 21 - 2 HR AFTER SUNRISE



2 EXISTING - JUNE 21 - 12.00 PM



3 EXISTING - JUNE 21 - 2 HR BEFORE SUNSET

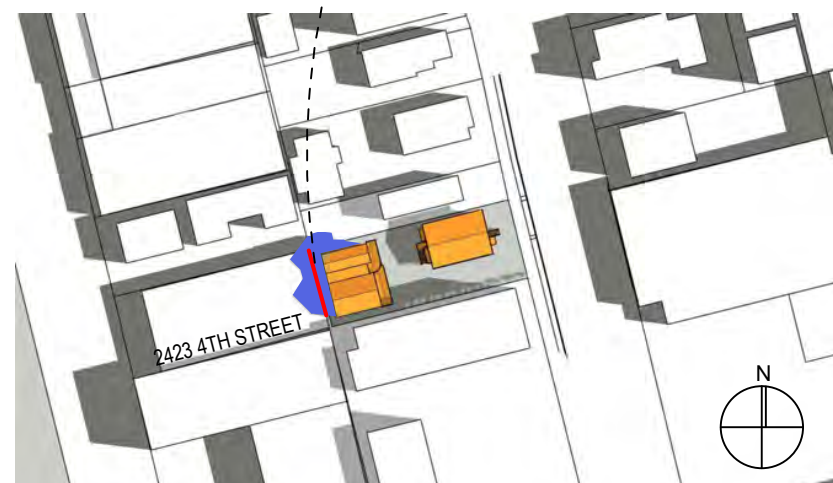
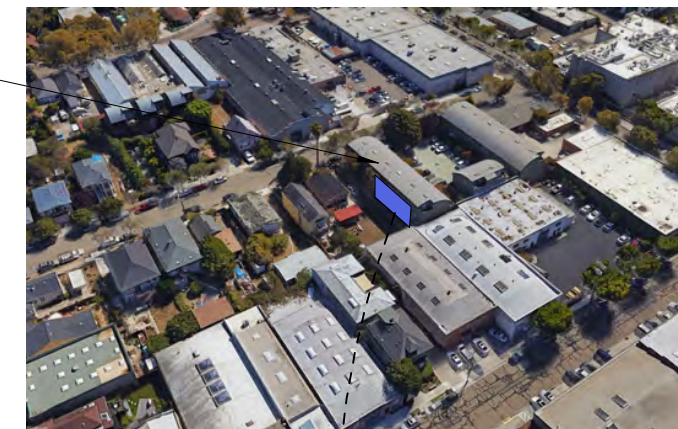


2423 4TH STREET - WAREHOUSE

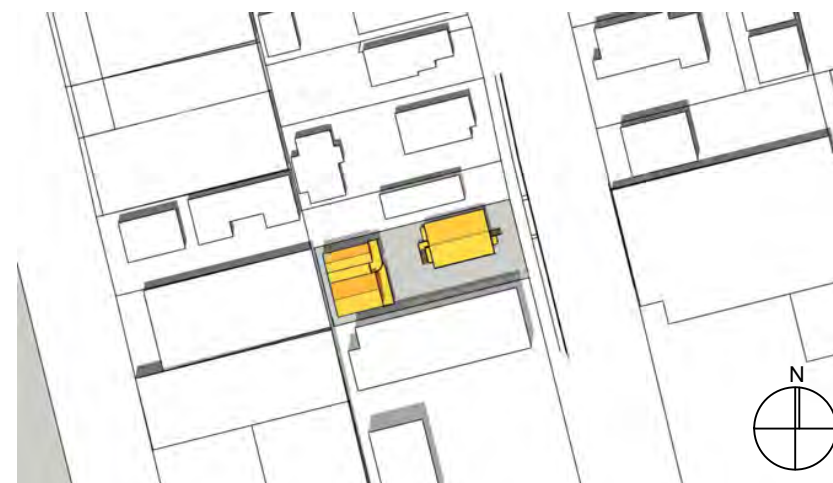
2430 4TH STREET - 3 STORY MULTI-FAMILY
BATHROOM & LIVING (ASSUMED)

SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



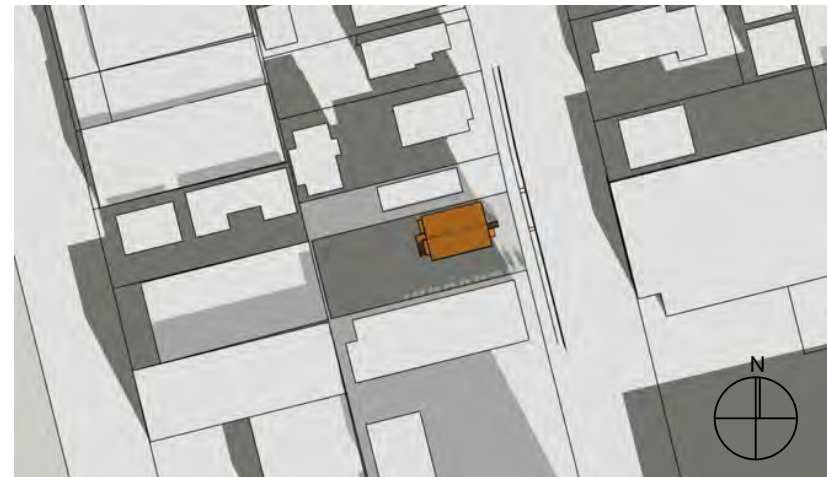
4 PROPOSED - JUNE 21 - 2 HOUR AFTER SUNRISE



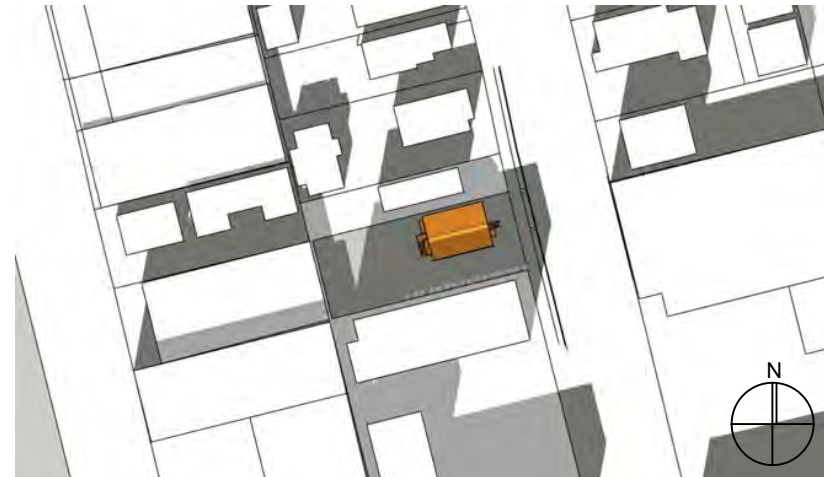
5 PROPOSED - JUNE 21 - 12.00 PM



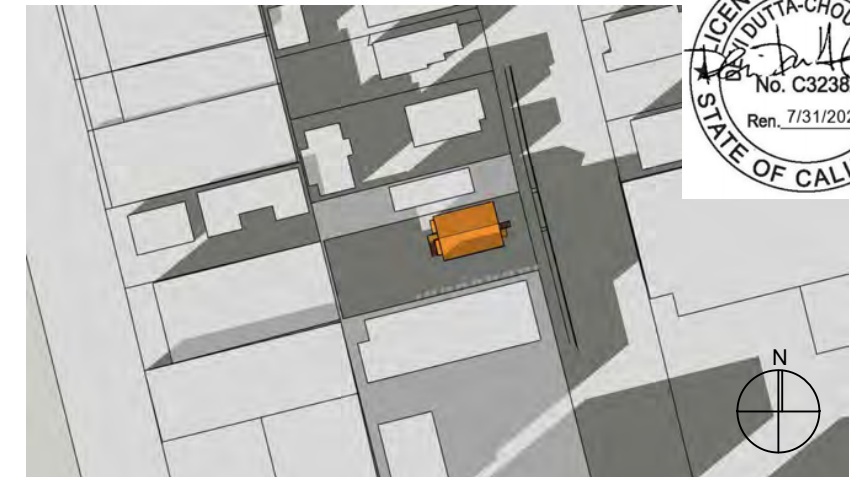
6 PROPOSED - JUNE 21 - 2 HR BEFORE SUNSET



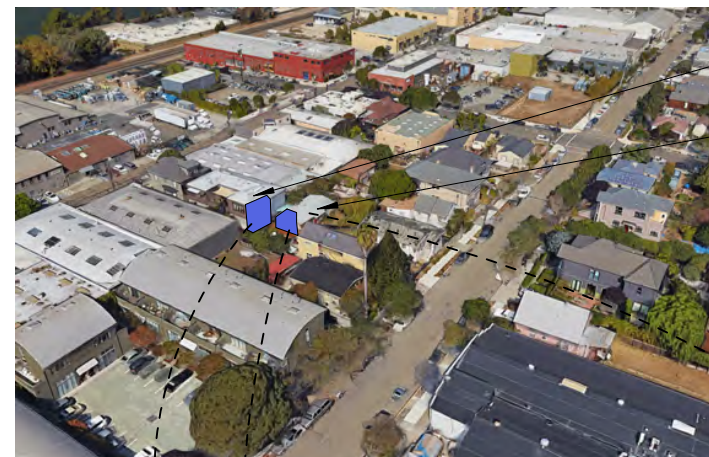
1 EXISTING - DECEMBER 21 - 2 HR AFTER SUNRISE



2 EXISTING - DECEMBER 21 - 12.00 PM



3 EXISTING - DECEMBER 21 - 2 HR BEFORE SUNSET



2421 4TH STREET - OFFICE BUILDING

2416 5TH STREET - 1 STORY SINGLE FAMILY

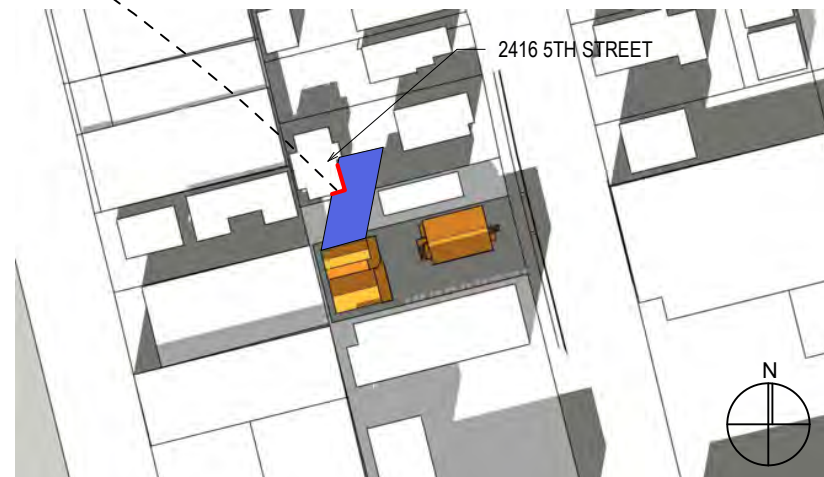
2418 5TH STREET
2 STORY SINGLE FAMILY -
LIVING ROOM (ASSUMED)

SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - DECEMBER 21 - 2 HR AFTER SUNRISE



5 PROPOSED - DECEMBER 21 - 12.00 PM



6 PROPOSED - DECEMBER 21 - 2 HR BEFORE SUNSET

A4.2

SHADOW STUDIES WINTER SOLSTICE

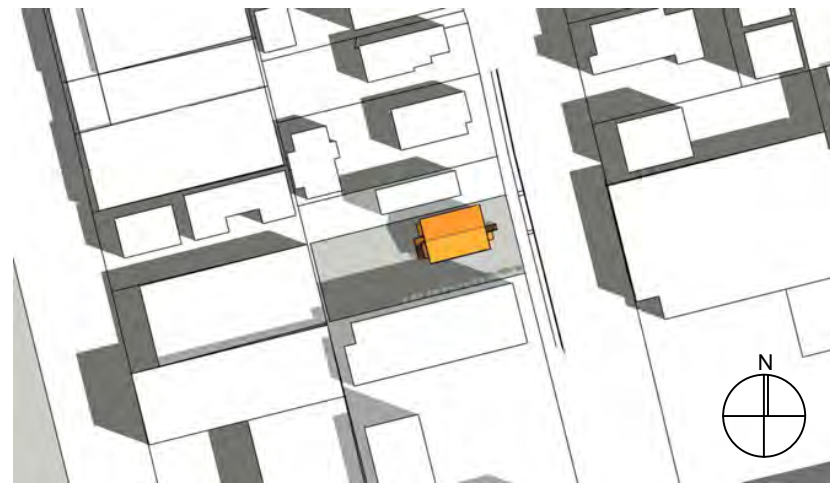
SCALE: As indicated 0 4 8 16 32

2422 5TH STREET

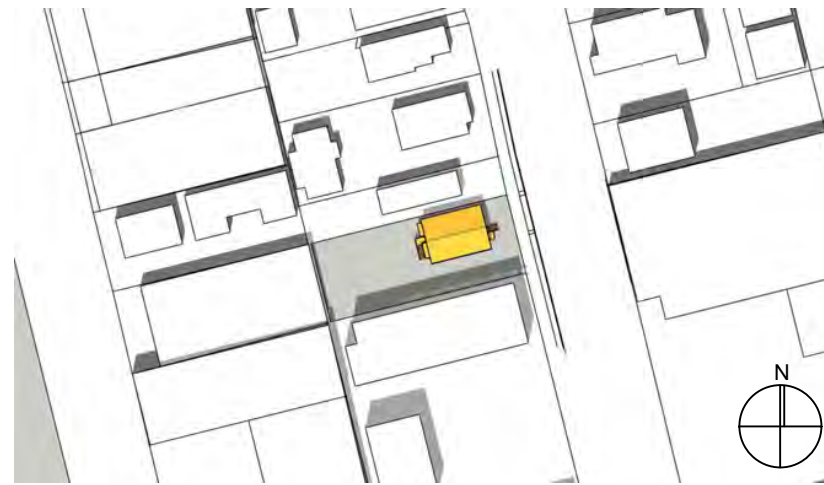
Devi Dutta Architecture Inc.

Zoning Submittal

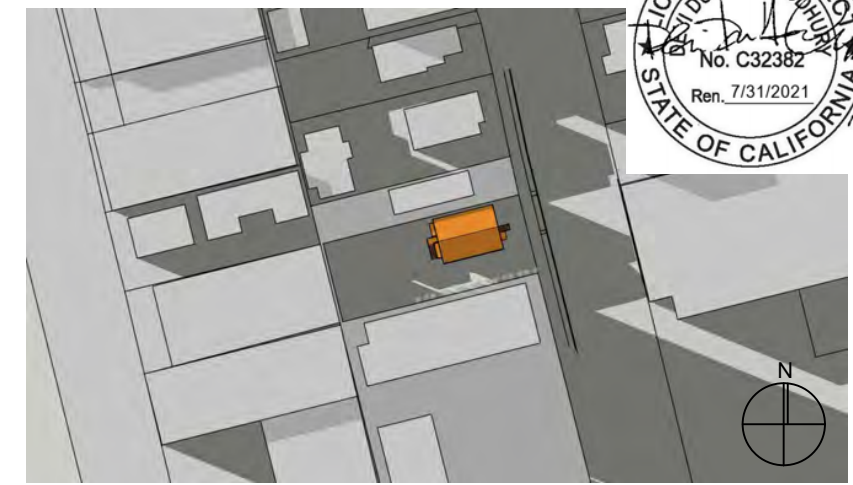
10.15.2019



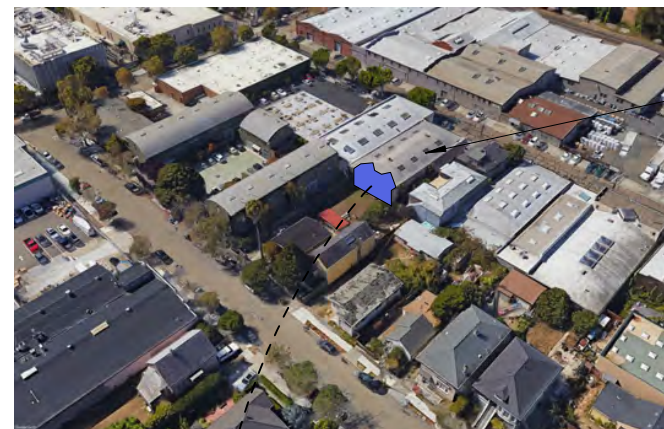
1 EXISTING - MAY 1 - 8.13 AM



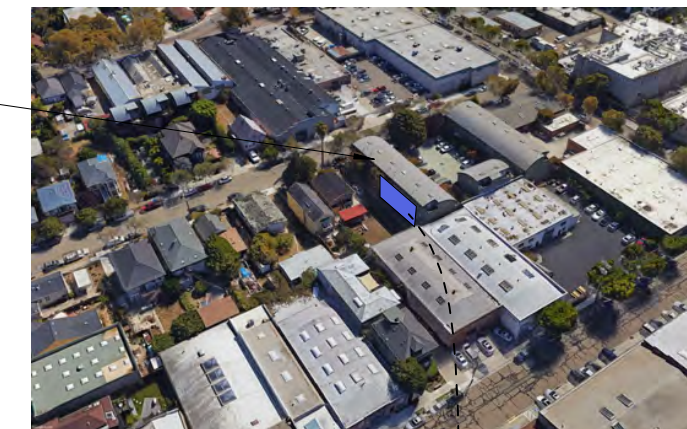
2 EXISTING - MAY 1 - 12.00 PM



3 EXISTING - MAY 1 - 6.00 PM



2423 4TH STREET - WAREHOUSE



2430 5th STREET
3-STORY MULTI FAMILY -
BATH & LIVING (ASSUMED)

SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - MAY1 - 8.13 AM



5 PROPOSED - MAY 1 - 12.00 PM



6 PROPOSED - MAY1 - 6.00 PM

A4.3

SHADOW STUDIES REVIEW DATE

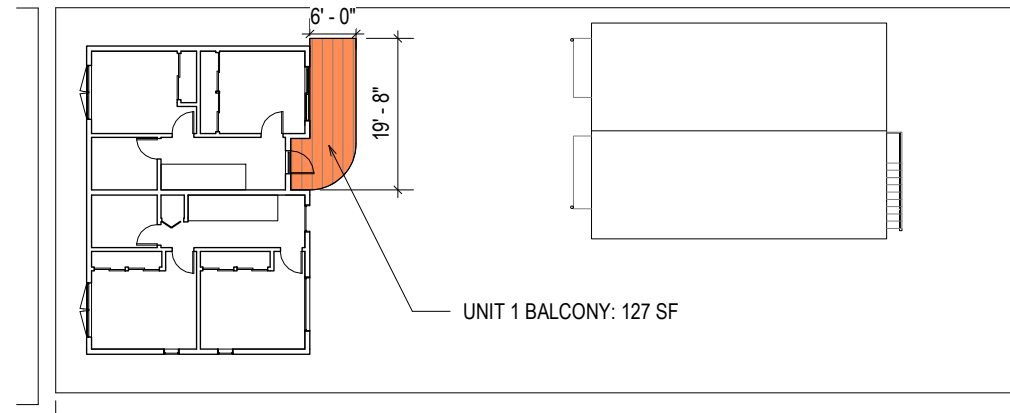
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2422 5TH STREET

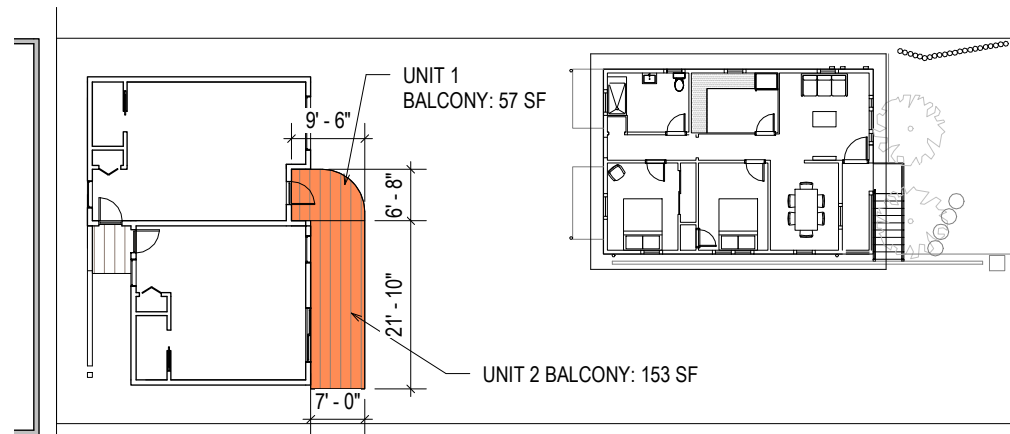
Devi Dutta Architecture Inc.

Zoning Submittal

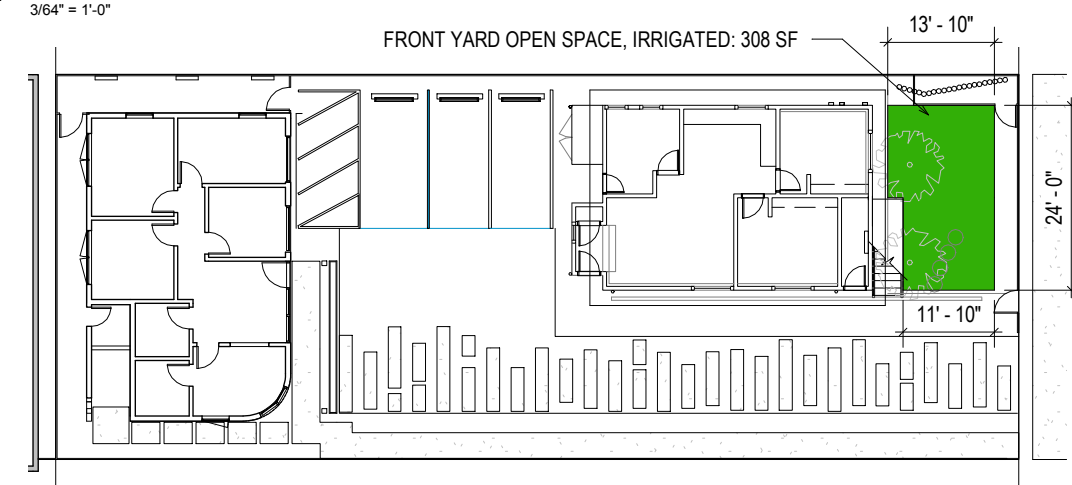
10.15.2019



3 Level 3 - Open Space
3/64" = 1'-0"



2 Level 2 - Open Space
3/64" = 1'-0"



1 Level 1 - Open Space
3/64" = 1'-0"

Ground Floor open space
Balcony

OPEN SPACE AREAS	
Level	Area
Level 1	308 SF
Level 2	210 SF
Level 3	127 SF
TOTAL	645 SF

A5.1

OPEN SPACE DIAGRAM

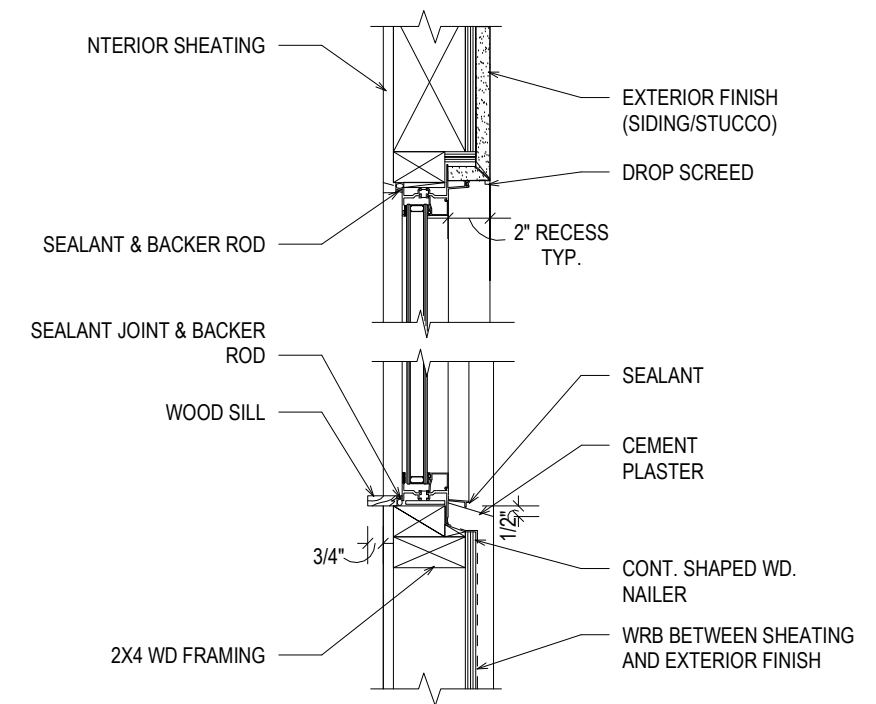
SCALE: 3/64" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



1 TYPICAL NEW WINDOW DETAIL
1 1/2" = 1'-0"

A6.1

DETAILS

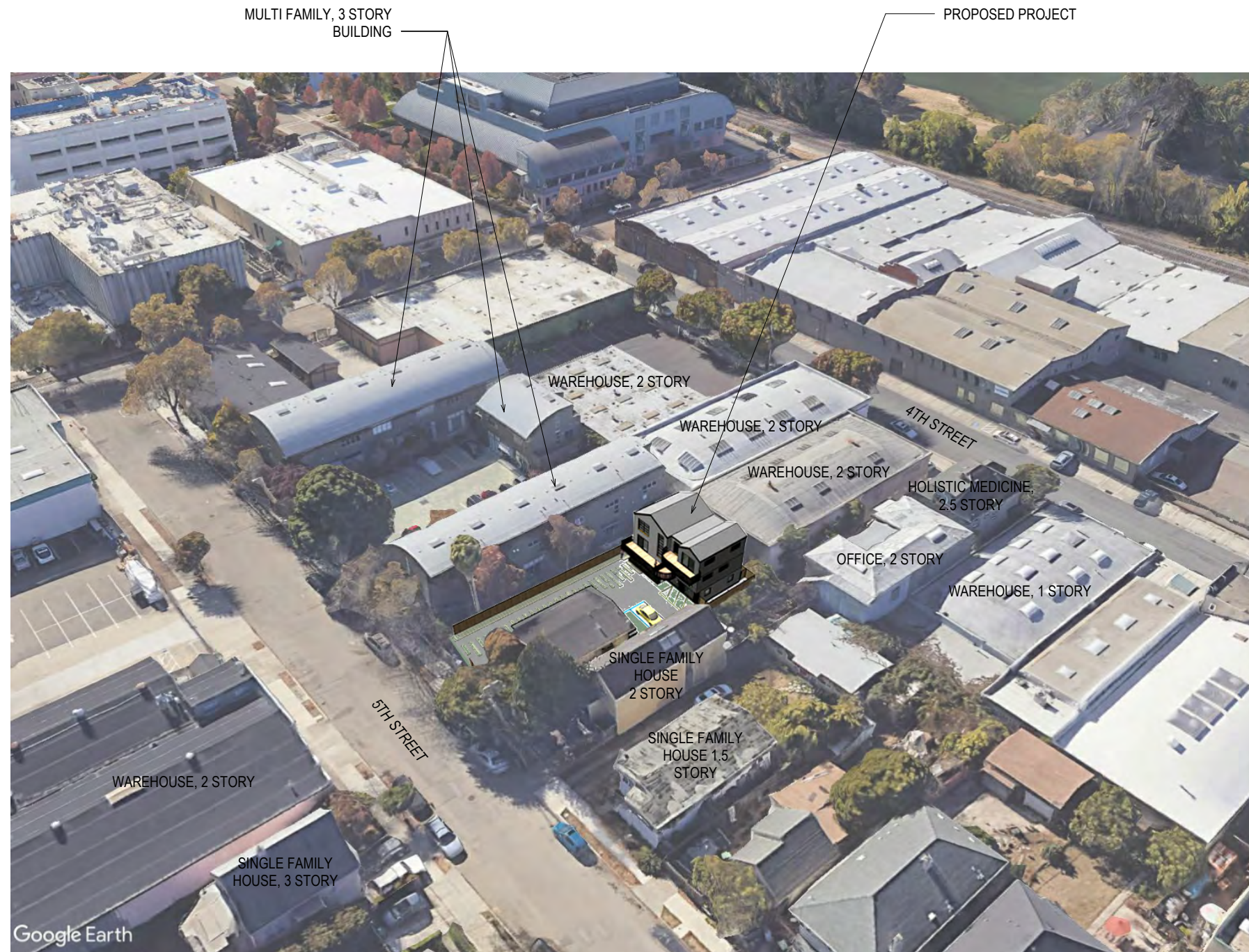
SCALE: 1 1/2" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

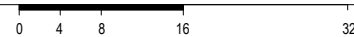
10.15.2019



A7.1

NEIGHBORHOOD CONTEXT

SCALE:



2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



5 SOUTH-WEST PERSPECTIVE



3 ENTRY PERSPECTIVE - LEFT CORNER



2 ENTRY PERSPECTIVE - RIGHT CORNER



4 EAST PERSPECTIVE

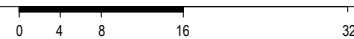


1 EAST ELEVATION

A7.2

PERSPECTIVE VIEWS

SCALE:

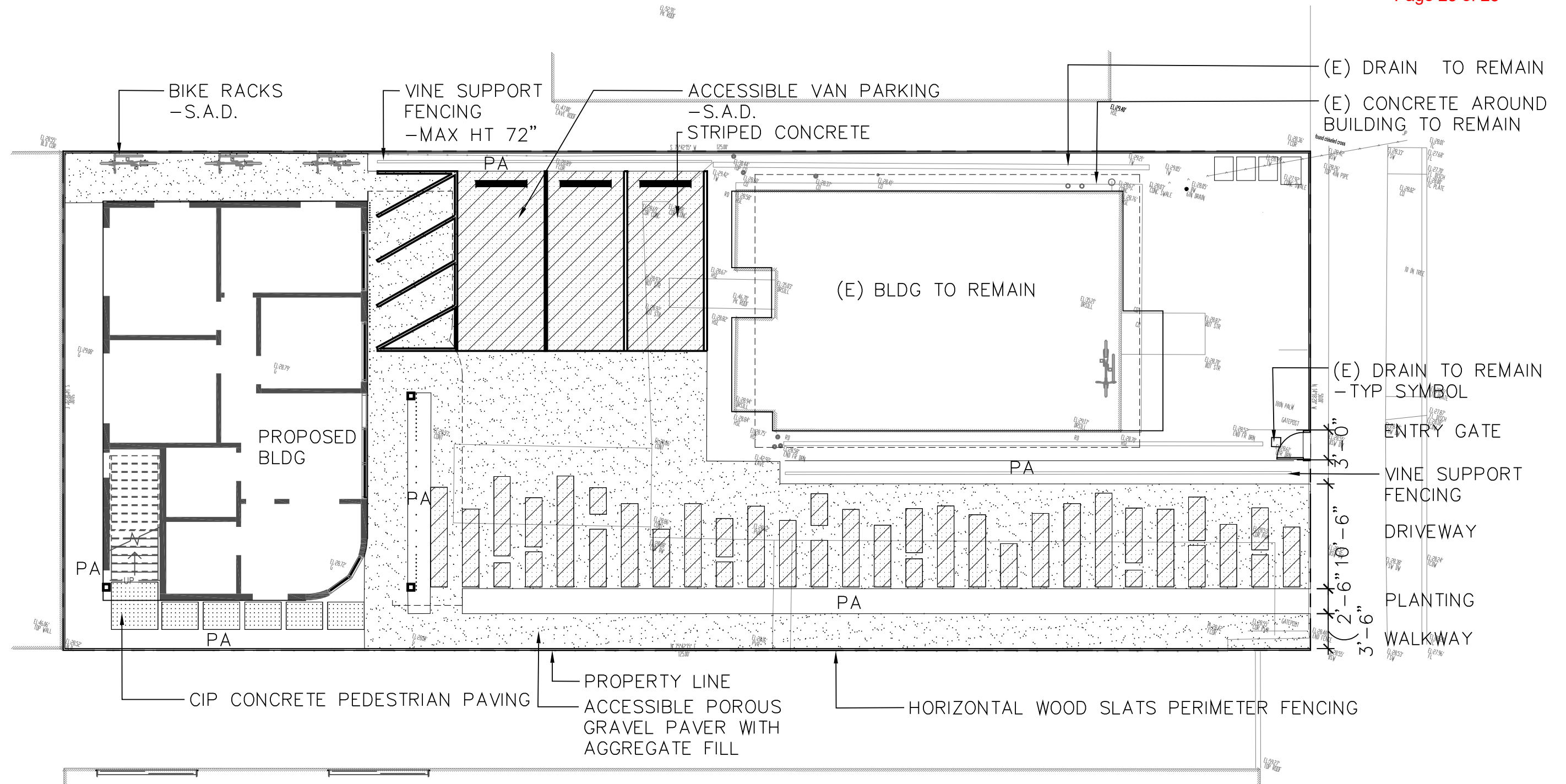


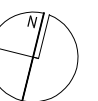
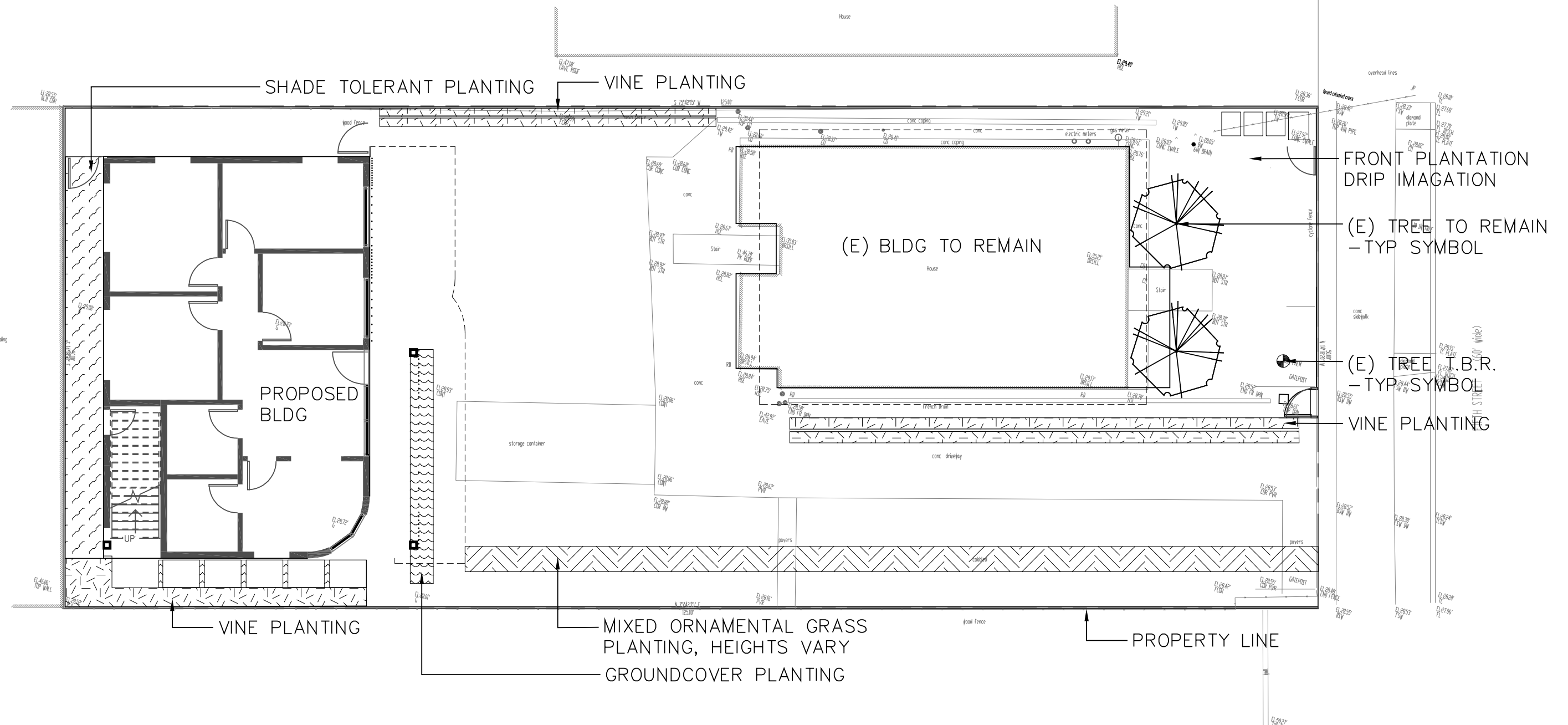
2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019

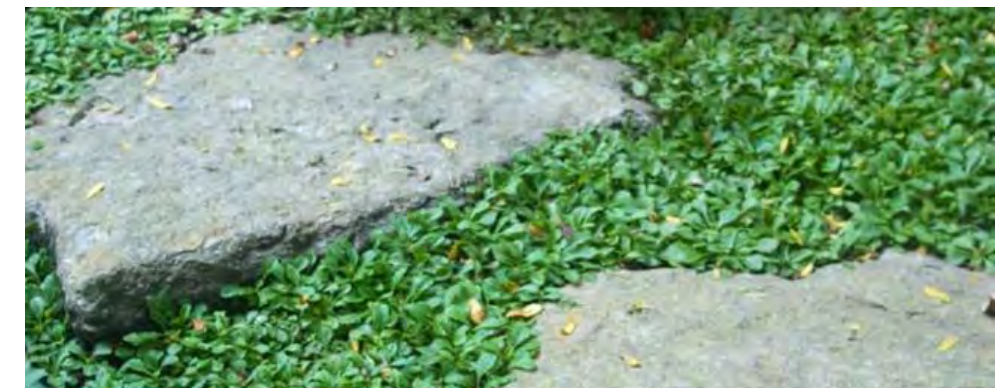
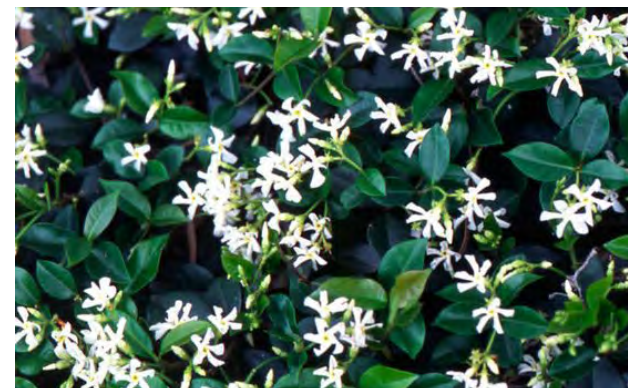






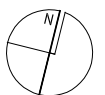
GRASS PLANTING
Carex divulsa + *Pennisetum alopecuroides*

SHADE TOLERANT
Carex dolichostachya, *Mahonia 'Soft Caress'*, *Montia perfoliata*, *Polystichum munitum*



VINE PLANTING

GROUNDCOVER





Z O N I N G A D J U S T M E N T S B O A R D

NOTICE OF PUBLIC HEARING

2422 Fifth Street

Use Permit #ZP2018-0108 to construct a three-story, 4,806-square-foot mixed-use building containing 967 square feet of medical office space and two dwelling units on the rear of a lot with an existing duplex, including a request to waive two residential parking spaces.

The Zoning Adjustments Board of the City of Berkeley will hold a public hearing on the above matter, pursuant to Zoning Ordinance Section 23B.32.020, on **October 24, 2019**, at the **Berkeley Unified School District meeting room, 1231 Addison Street**, (wheelchair accessible). The meeting starts at 7:00 p.m.

A. Land Use Designations:

- General Plan: MU – Mixed Use
- Zoning: MU-R – Mixed Use Residential District

B. Zoning Permits Required:

- Administrative Use Permit under BMC 23E.28.060 to allow a joint parking agreement to satisfy the off-street parking requirement;
- Administrative Use Permit under BMC 23E.84.030.A to establish a new medical office space that is 5,000 square feet or less;
- Use Permit under BMC 23E.84.030.A to establish a mixed-use building;
- Administrative Use Permit under BMC 23E.84.030.A to create two new dwelling units; and,
- Use Permit under BMC 23E.84.080.F to waive two residential parking spaces.

C. CEQA Determination: Categorically exempt pursuant to Section 15303 of the CEQA Guidelines (“New Construction or Conversion of Small Structures”) and Section 15332 (“In-Fill Development Projects”) of the CEQA Guidelines.

D. Parties Involved:

- Applicant: Devi Dutta Architecture, 928 Carleton Street, Berkeley, CA 94710
- Owner: Anna and Carl Gold, 2422 Fifth Street, Berkeley, CA 94710

Further Information:

All application materials are available at the Land Use Planning Division, during normal office hours or online at: <http://www.cityofberkeley.info/zoningapplications>. The Zoning Adjustments Board agenda and all agenda materials regarding this project will be available online 6 days prior to this meeting at: <http://www.cityofberkeley.info/zoningadjustmentsboard>.

Questions about the project should be directed to the project planner, Sharon Gong, at (510) 981-7429 or sgong@cityofberkeley.info.

Written comments or a request for a Notice of Decision should be directed to the Zoning Adjustments Board Secretary at zab@cityofberkeley.info.

Communication Disclaimer:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. **Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record.** If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

Communications and Reports:

Written comments must be directed to the ZAB Secretary at the Land Use Planning Division (Attn: ZAB Secretary), or via e-mail to: zab@cityofberkeley.info. All materials will be made available via the Zoning Adjustments Board Agenda page online at this address: <https://www.cityofberkeley.info/zoningadjustmentboard/>.

Correspondence received by 8:00 AM, on the Thursday before this public hearing, will be provided with the agenda materials provided to the Board. Note that if you submit a document of more than 10 pages, or in color, or with photos, you must provide 15 copies. Correspondence received after this deadline will be conveyed to the Board in the following manner:

- **Correspondence received by Noon Tuesday**, the week of this public hearing, will be conveyed to the Board in Supplemental Communications and Reports #1, which is released the end of the day Tuesday, two days before the public hearing;
- **Correspondence received by Noon Wednesday**, the week of this public hearing, will be conveyed to the Board in Supplemental Communications and Reports #2, which is released the end of the day Wednesday, one day before the public hearing; or
- **Correspondence received by 3 PM Thursday** will be given to the Zoning Adjustment Board just prior to the public hearing.

Members of the public may submit written comments themselves at the meeting. To distribute correspondence at the meeting, please provide 15 copies and submit to the Zoning Adjustments Board Clerk. Correspondence received later, and after the meeting, will be posted to the web site following the meeting.



Accessibility Information / ADA Disclaimer:

This meeting is being held in a wheelchair accessible location. To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at 981-6342 (V) or 981-6345 (TDD) at least three business days before the meeting date. Please refrain from wearing scented products to this meeting.

SB 343 Disclaimer:

Any writings or documents provided to a majority of the Commission regarding any item on this agenda will be made available for public inspection at the Land Use Planning Division, during regular business hours.

Notice Concerning Your Legal Rights:

If you object to a decision by the Zoning Adjustments Board regarding a land use permit project, the following requirements and restrictions apply:

1. If you challenge the decision of the City in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Zoning Adjustments Board at, or prior to, the public hearing.
2. You must appeal to the City Council within fourteen (14) days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, the following requirements apply:
 - A. That this belief is a basis of your appeal.
 - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
 - C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704
Attn: Zoning Adjustments Board

RE: 2422 Fifth Street, Use Permit #ZP2018-0108

Dear Board Members,

I am responding to your Notice of Public Hearing regarding the above referenced property.

I am the owner of Suite E in the Redwood Tree Live Work Condo located at 2430 - 5th Street in Berkeley. My back patio abuts the 2422 Fifth Street property. My windows on the 2nd and 3rd floors overlook the backyard of the subject property. I object to the project as proposed for the following specific reasons:

1. Parking: Parking in this neighborhood is sparse and will become even more limited when the 14-unit apartment building, currently under construction at the corner of 5th and Channing Streets, is completely and occupied. Many more residents and guests will need to use street parking. Therefore, I am requesting that the City of Berkeley deny the applicant's request for a 2 parking space waiver on the proposed project.

2. Light will be blocked: The three-story proposed building will block nearly all the light that enters my unit from the North. The beauty of my unit is how the light enters from both the North and South. The proposed project, as currently designed, will shadow my back patio and prohibit light from entering from the North on the 2nd and 3rd levels. Therefore, I am requesting that the City of Berkeley deny the applicant's request to build the proposed project as currently designed.

3. View will be blocked: I currently have a lovely view of North Berkeley and the Albany hills from my 2nd and 3rd floor windows. Those views will be completely blocked with the project if allowed to be constructed as currently proposed. So again, I am requested the City of Berkeley deny the applicants proposed project as currently designed.

4. Depreciation in Value: With the loss of much needed street parking, natural light and views of North Berkeley and Albany, my unit, and consequently, all other units in the Redwood Tree Live Work Condos, will depreciate. It is not sound public policy to allow new construction that enhances one property at the expense of many other properties. Therefore, once again, I am requesting that the City of Berkeley deny the applicant's request to build the proposed project as currently designed.

I am not opposed to growth and development. However, let's look at this historically. The 2422 Fifth Street lot was originally developed as a single-family home. At some point, it was converted into a duplex, and that is what it is today. If the proposed project is permitted to go forward as currently designed, that single family lot will be transformed into a 4-unit lot with a medical office on site. That's just too much, and it is not what was originally intended for a lot of that size in this neighborhood.

I am fully aware of the shortage of housing in the greater Bay Area. However, this project is not a simple one whereby an owner is proposing to build a small granny or au pair unit in the back yard. The primary purpose of the proposed project is profit. To what extend


does profit outweigh the use and enjoyment and value of neighbor's properties and the neighborhood at large?

Furthermore, the two new rental units in the proposed project will do absolutely nothing to address the dire need this community has for affordable housing. These units will rent for \$3,000 - \$4,000, (or more) per month. Over the recent past, The City of Berkeley has softened its rules and regulations on new construction as the need for affordable housing has increased. However, the two proposed rental units do not support the intent of the City of Berkeley's relaxed zoning and building rules and regulations.

I urge the City of Berkeley to direct the owners of 2422 Fifth Street to return to the drawing board and propose a more modest project,...perhaps a two story project with a rental unit on the second floor and a medical office on the ground level, that sits on the far North side of the lot, and provides the necessary parking spaces as required by the City of Berkeley on all new construction. A more modest project, situated differently on the lot, would likely eliminate all my above concerns and still be profitable for the owners.

Thank you for taking my concerns into account.

Best Regards,



Carol Moor

Owner, 2430 - 5th Street, Suite E, Berkeley, CA 94710

camoor2003@yahoo.com

(510) 290-1088

SUPPLEMENTAL ITEM RD1 - 2422 FIFTH
ZAB 10-24-2019
Page 3 of 9



SUPPLEMENTAL ITEM RD1 - 2422 FIFTH
ZAB 10-24-2019
Page 4 of 9



SUPPLEMENTAL ITEM RD1 - 2422 FIFTH
ZAB 10-24-2019
Page 5 of 9



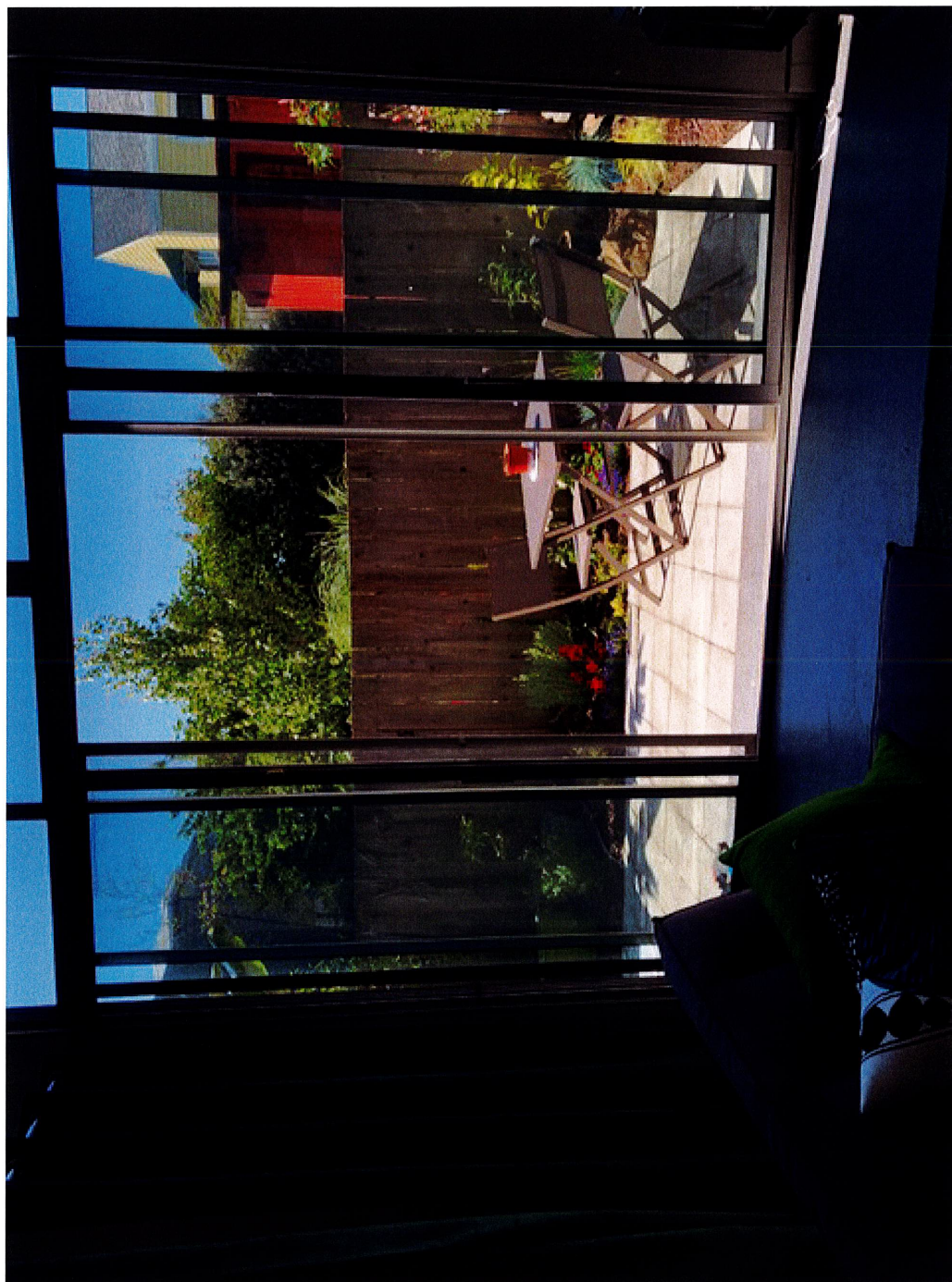
SUPPLEMENTAL ITEM RD1 - 2422 FIFTH
ZAB 10-24-2019
Page 6 of 9



SUPPLEMENTAL ITEM RD1 - 2422 FIFTH
ZAB 10-24-2019
Page 7 of 9



SUPPLEMENTAL ITEM RD1 - 2422 FIFTH
ZAB 10-24-2019
Page 8 of 9



SUPPLEMENTAL ITEM RD1 - 2422 FIFTH
ZAB 10-24-2019
Page 9 of 9



Subject: FW: 2422 Fifth
Attachments: CG-letter.pdf; RW_letter 1.pdf; RW_letter 2.pdf; RW_letter 4.pdf; RW_letter 3.pdf; AG-letter.pdf

From: Devi Dutta-Choudhury [<mailto:hello@devidutta.com>]

Sent: Thursday, October 24, 2019 12:03 PM

To: Gong, Sharon <SGong@cityofberkeley.info>

Subject: RE: 2422 Fifth

I'd like to issue the attached letters from the owners and some correspondence with the neighbors. attached.

Devi Dutta ARCHITECTURE Inc.
928 Carleton Street, Berkeley, CA 94710
[415/794-0923](tel:4157940923) mobile
[510/705-1937](tel:5107051937) office
www.devidutta.com



Dr. Anna Gold statement for 2422 5th st ZAB meeting

Hi. I'm Anna. I live in Albany with my husband Carl, my two boys, Skylar and Clive, Keith Richards the dog and Otto the cat.

In my 15 years of practicing traditional Chinese medicine, I have saved tens of thousands of people from chronic, sometimes debilitating, illnesses. I have helped patients avoid surgery and other unnecessary medical interventions. I have been instrumental in helping hundreds of women and men realize their dreams of starting families, working closely with OB/GYN's and fertility clinics in supporting women get pregnant, through their pregnancies and postpartum recovery. Of the 15 years I have been practicing, 12 of those years have been in downtown San Francisco. In those 12 years, I have started a family of my own. I wanted to have a second office closer to where I lived in the East Bay so that I can carve out more time to see and participate in my children's lives.

My main practice is still in San Francisco and will always be, but I wanted to have an office in Berkeley so that I can lighten my commute a couple of days a week. I chose Berkeley to start my second practice because I have deep roots here. 27 years ago, I graduated from UC Berkeley. My acupuncture mentor, Dr. Robert Zeiger, with whom I apprenticed has had a practice on Telegraph Avenue for forty years. I externed at his Berkeley clinic for five years after receiving my masters degree in Chinese medicine and to this day pop in to discuss cases with him. Being a women's health expert and advocate, I also consult for a skincare company called Marie Veronique located on Solano Avenue in North Berkeley. I chose to have a second practice in Berkeley because of my ties to this city. I feel that establishing a wellness clinic here would greatly benefit the community and the services I can offer will positively impact the lives of its residents.



devi dutta-choudhury <devi.duttachoudhury@gmail.com>

statement

1 message

Carl Gold <carl.steven.gold@gmail.com>

Thu, Oct 24, 2019 at 11:41 AM

To: devi dutta-choudhury <devi.duttachoudhury@gmail.com>

Cc: Anna Hsieh Gold <aquariusmama@gmail.com>, devi dutta-choudhury <hello@devidutta.com>

Here is my statement: feel free to edit if I was still too hard hitting. I tried to be polite but respectfully disagree about everything...

Statement by Carl Gold:

We have received complaints from our neighbors in the condo development next store at 2430 Fifth street and we would like to address some of these complaints directly:

Regarding Parking, It simply not true that there is not enough parking in the neighborhood. We did a parking study and it found there was more than adequate parking for this scale of development. The Bayer facility is at the end of the street, and as there are no residences on half of that block there is so much parking that people are living in mobile homes. My point is that this is not a neighborhood that lacks adequate parking - we don't know why our neighbors would say this.

Regarding the new rental apartments reducing their light from the Northern direction and the quality of their view, we believe this is an unreasonable complaint. We believe this is unreasonable because their condos already shade current and future residents of our property with a 3 story structure from the South, which is much more shading. We are not building a skyscraper, only a building of equal height to the condo development to the South. We are trying to give our future residents as much light as possible, given that they are already shaded from the South by that three story condo development. We believe the zoning regulations protect the rights of neighbors by defining setbacks, floor area and building height and we are within the community standards on all of these dimensions. I respect the right of the neighbors to air their views and disappointment but we don't believe in the merit of these complaints. We realize that in a developed area like this, everyone likes to have an empty yard or better yet a garden or a park next door. So we understand they are sad to lose that amenity, we really do. But I don't think its fair or reasonable that we should be forced to reduce our project so they can enjoy the view, literally looking down on their renter neighbors.

Regarding the claim that the new development will reduce their condo property values, we also don't believe this is a reasonable complaint. We are in a crisis of affordable housing, not a crisis of lack of condo price appreciation. If the condo owners succeed in limiting the size or number of rental units in our project they will achieve the aim of boosting condo prices by suppressing the supply of rental housing. We understand why they want to so, but we think is short sighted and we don't believe its a legitimate reason for slowing or reducing the project.

Our neighbors at 2430 have also accused us of not making an effort to accommodate them. We find this accusation unfair, because in fact they have refused to learn more about the details of our project planning. After a long process with the planning department we concluded that this configuration is the only one that supports everything we are trying to bring to the site. The neighbors argument is that we should reconsider everything we worked so hard to figure out. This will take up more valuable resources in the planning department, and we believe it is a waste of time for the planners (and for the ZAB). The project already meets all the requirements of the community standard set out in zoning and by the planners, so we hope you allow the planners judgement to stand.

Devi Dutta-Choudhury

From: Robb Walker <robb.mw@icloud.com>
Sent: Tuesday, October 15, 2019 8:21 PM
To: Carl Gold
Cc: Devi Dutta-Choudhury
Subject: Meeting with Redwood Tree Studios HOA

Carl,

I have not been able to put together a quorum of HOA member/owners to attend a special meeting with you and Devi to discuss the genesis of your proposed project at 2422, although several individual owners are planning to send letters to the Planning Board and to attend the 10/24 public hearing.

Thank you for your offer to present to us. We appreciate it and perhaps will find an opportunity to meet with you again after the initial ZAB hearing.

Thank you again,

robb m walker
architect • engineer • yacht designer • business projects
m 619.804.3494 | robb.mw@icloud.com
www.robb-walker.format.com

Devi Dutta-Choudhury

From: Devi Dutta-Choudhury <hello@devidutta.com>
Sent: Friday, September 27, 2019 5:25 PM
To: 'Robb Walker'
Subject: RE: 2422 fifth st

follow this link to download the set: <http://gofile.me/34ROX/BIGZrTd8k>

thanks

Devi Dutta ARCHITECTURE Inc.
928 Carleton Street, Berkeley, CA 94710
[415/794-0923](tel:4157940923) mobile
[510/705-1937](tel:5107051937) office
www.devidutta.com



From: Robb Walker <robb.mw@icloud.com>
Sent: Friday, September 27, 2019 8:56 AM
To: Devi Dutta-Choudhury <hello@devidutta.com>
Subject: 2422 fifth st

Devi,

I know that I did receive your response to my letter of 19 June, along with the site section you prepared based on the drawings I provided, however I am unable to find them in my files? Would you be so kind as to resend them?

I apologize for the inconvenience.

Robb

robb m walker
architect • engineer • yacht designer • business projects
m 619.804.3494 | robb.mw@icloud.com
www.robb-walker.format.com

Devi Dutta-Choudhury

From: Robb Walker <robb.mw@icloud.com>
Sent: Wednesday, September 25, 2019 6:26 PM
To: Devi Dutta-Choudhury
Subject: Re: 2422 5th St.

No problem. See you tomorrow.

Robb M Walker
619.804.3494

On Sep 25, 2019, at 18:01, Devi Dutta-Choudhury <hello@devidutta.com> wrote:

The owners nearby, but are both at their jobs during the day so they can't join in person.

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<image001.jpg> <image002.jpg> <image003.gif>

From: Robb Walker <robb.mw@icloud.com>
Sent: Wednesday, September 25, 2019 2:18 PM
To: Devi Dutta-Choudhury <hello@devidutta.com>
Subject: Re: 2422 5th St.

I understand. Yes, I think that it would be helpful (to both of us) if I came in person. I'll come a few minutes before 1230 and we can take the conference call together.
If the Owners are in the East Bay and would like to join in person that's even better.
Thank you very much. See you tomorrow.

Robb M Walker
619.804.3494

On Sep 25, 2019, at 14:06, Devi Dutta-Choudhury <hello@devidutta.com> wrote:

Hi Robb - to be honest, I got spooked by the whole "poison" conversation. I know it wasn't you who said it, and I believe your disdain of it, but it speaks to what the conversations are. My clients and husband even thought I should file a police report, which I haven't done. I want to be helpful in this process, and if you think it would help coming in person, you are free to do so.

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<image001.jpg> <image002.jpg> <image003.gif>

From: Robb Walker <robb.mw@icloud.com>
Sent: Tuesday, September 24, 2019 4:53 PM
To: Devi Dutta-Choudhury <hello@devidutta.com>
Subject: Re: 2422 5th St.

I got invite. So am I understanding that it is not OK for me to come to your office and take the call with you (Owners on conference)?

Robb M Walker
619.804.3494

On Sep 24, 2019, at 16:52, Devi Dutta-Choudhury <hello@devidutta.com> wrote:

You should have received an invite from the owner for a call at 12:30 on Thursday. I agree conference calls aren't the best, but sadly they are a necessary evil these days!

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[415/794-0923](tel:4157940923) mobile
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www.devidutta.com

<image001.jpg> <image002.jpg> <image003.gif>

From: Robb Walker <robb.mw@icloud.com>
Sent: Tuesday, September 24, 2019 9:53 AM
To: Devi Dutta-Choudhury <hello@devidutta.com>
Subject: Re: 2422 5th St.

Devi,

Thanks. 11am Thursday is good. Can I come to your office to make the call and then conference the owners in if they are not available in person? I hate conference calls.

robb m walker
architect • engineer • yacht designer • business projects
m 619.804.3494 | robb.mw@icloud.com
www.robb-walker.format.com

On Sep 24, 2019, at 9:58 AM, Devi Dutta-Choudhury
<hello@devidutta.com> wrote:

Hi Robb, I understood you had architectural or design comments which I could address, but I understand now that is not the case. I spoke with the owners, and they would prefer to be involved in this phone call. We are free on Thursday for a conference call - after 11am anytime. Let us know when and Carl will send a meeting invite.

thanks!
Devi

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[510/705-1937](tel:5107051937) office
www.devidutta.com

<image001.jpg> <image002.jpg> <image003.gif>

From: Robb Walker <robb.mw@icloud.com>
Sent: Monday, September 23, 2019 5:30 PM
To: Devi Dutta-Choudhury <hello@devidutta.com>
Subject: Re: 2422 5th St.

Devi,

Sorry, but I have apparently been unsuccessful in getting my message across to you.

What I would like to talk to you about is not a list of specific "building comments" about your proposed project, and while I have no qualms about putting my comments in writing I do not believe that it would be appropriate to do so with your clients or in a public meeting without discussing my concerns with you first (which is why I offered to meet informally over coffee). We simply need to have a meeting or, at the very least, a telephone call.

If you feel that you need additional time to consider a response after we talk that is, of course, reasonable and acceptable to me.

To my earlier point, I would say that as of now you and I have each probably spent about twice the time corresponding by email as it would have taken us to just meet in the first place, and we have not even gotten to the subject of my concerns. Email is simply not an

effective or productive tool for discussing significant issues.

I will be out of town Tuesday (tomorrow) and Wednesday, back in Berkeley Thursday. Could we please meet or talk by phone on Thursday (I always believe that a personal meeting is better if possible, but I leave it up to you to decide). I can be reached by phone over the next two days.

Thank you,

Robb

robb m walker
architect • engineer • yacht designer • business projects
m 619.804.3494 | robb.mw@icloud.com
www.robb-walker.format.com

On Sep 23, 2019, at 1:59 PM, Devi Dutta-Choudhury
<hello@devidutta.com> wrote:

why don't you send me your comments via email, then we can follow up with a more productive call once I've gathered what you want to say? When I get feedback, I need some time to consider it before I respond. I'd need to consider many aspects (as you know) before making changes.

Devi Dutta ARCHITECTURE Inc.
928 Carleton Street, Berkeley, CA 94710
[415/794-0923](tel:4157940923) mobile
[510/705-1937](tel:5107051937) office
www.devidutta.com

<image001.jpg> <image002.jpg> <image003.gif>

Devi Dutta-Choudhury

From: Robb Walker <robb.mw@icloud.com>
Sent: Monday, September 23, 2019 10:53 AM
To: Devi Dutta-Choudhury
Subject: Re: 2422 5th St.

PS. You can rest assured that I have no interest whatsoever in nit-picking the architecture like the design review people!!! (I have been there myself and wouldn't wish it on anyone!)

Robb M Walker
619.804.3494

On Sep 23, 2019, at 10:48, Robb Walker <robb.mw@icloud.com> wrote:

May I give you a phone call?

Robb M Walker
619.804.3494

On Sep 23, 2019, at 10:50, Devi Dutta-Choudhury <hello@devidutta.com> wrote:

We've been working with the design review committee for over a year on this project so I don't know if more architects is the answer. If you have suggestions, please email them to me so I can see if we can make it work.

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[510/705-1937](tel:5107051937) office
www.devidutta.com

<image001.jpg> <image002.jpg> <image003.gif>

From: Robb Walker <robb.mw@icloud.com>
Sent: Monday, September 23, 2019 8:43 AM
To: Devi Dutta-Choudhury <hello@devidutta.com>
Subject: Re: 2422 5th St.

Devi,
The comment is not mine but it appears that I am responsible for forwarding it by mistake. My sincere apologies to you and to the property owners.

Robb M Walker
619.804.3494

On Sep 23, 2019, at 08:22, Devi Dutta-Choudhury <hello@devidutta.com> wrote:

I'm not going to speculate on what you mean by "I'll bring the poison," but I am no longer comfortable meeting with you in person today. If you have concerns about the project, please send them to me in writing and

I'll respond the best I can. I've never been threatened by a neighbor before.

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[415/794-0923](tel:4157940923) mobile
[510/705-1937](tel:5107051937) office
www.devidutta.com

<image001.jpg> <image002.jpg> <image003.gif>

From: Robb Walker <robb.mw@icloud.com>
Sent: Saturday, September 21, 2019 9:03 AM
To: hello@devidutta.com
Cc: Eric Mason <eric@mason-ig.com>
Subject: Re: 2422 5th St.

Thank you.
Eric Mason, my fellow HOA Board member will be joining us also.
Thx

Robb M Walker
619.804.3494

On Sep 20, 2019, at 21:27, Eric Mason <eric@mason-ig.com> wrote:

Sounds good. I will bring the poison.

On Fri, Sep 20, 2019, 7:50 PM Robb Walker
<robb.mw@icloud.com> wrote:

Eric,
Monday 1pm mtg with
Devi Dutta, 30 mins, her office.

Robb M Walker
619.804.3494

Begin forwarded message:

From: devi dutta
<hello@devidutta.com>
Date: September 20, 2019 at 19:20:27
PDT
To: Robb Walker
<robb.mw@icloud.com>
Subject: Re: 2422 5th St.

Confirmed.

Devi Dutta Architecture

www.devidutta.com sent from
mobile device

On Thu, Sep 19, 2019 at 7:58 PM -
0700, "Robb Walker"
<robb.mw@icloud.com> wrote:

Devi,

Monday 1pm good. 30 minutes
max. Please confirm.

Thx

robb m walker
architect • engineer • yacht designer
• business projects
m 619.804.3494 | [robb.mw@icloud.c
om](mailto:robb.mw@icloud.com)
www.robb-walker.format.com

On Sep 19, 2019, at
6:01 PM, Devi Dutta-
Choudhury
<hello@devidut

From: Zoning Adjustments Board (ZAB)
Subject: FW: Letter to the Board attached
Attachments: 2422 Fifth , Use Permit #ZP2018-0108.pdf

From: Eric Mason [mailto:eric@mason-ig.com]
Sent: Wednesday, October 23, 2019 4:58 PM
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>
Subject: Letter to the Board attached

Re Use permit #ZP2018-0108

Hello:

Please find the attached letter regarding the aforementioned proposed project.

Thanks very much.

Eric

--

Eric Mason
2430 5th Street, Suite F
Berkeley, California 94710
510-647-3700
510-647-3754 fax

intended recipient), you are hereby notified that any retention, dissemination, distribution or copying of the message may be subject to legal restriction or sanction.

Erica Leverett
Eric Mason
2430 5th Street, Suite F
Berkeley C 94710
510-390-3223

October 23, 2019

Via email

City of Berkeley
Land Use Planning Division
ATTN: ZAB Secretary

Re: 2422 5th Street, Use Permit #ZP2018-0108

Dear Madam or Sir:

We are writing to the Planning Division about the proposed project at 2422 5th Street, Use Permit #ZP2018-0108. We appreciate the opportunity to comment.

I and my wife have owned the property at 2430 5th Street, Suite F, in the Redwood Tree Studios, since 2004. Our unit is in the northwest corner of our building; among the units in our complex, ours is closest in proximity to the proposed project. We raise two issues in this letter: concern over the request to waive residential parking spaces, and opposition to the proposed configuration of the structure because it will eclipse some 65% of the light now reaching our studio, which is heavily dependent on northern light.

The parking issue

This morning, Wednesday, October 16, I walked 5th Street between Dwight Way and Channing and counted 35 vehicles parked on both sides of 5th Street, with effectively one space remaining available. Today, I walked the street at mid-day and counted 39 vehicles. See the photo below, taken from Channing and 5th, looking south, on October 16. The parking shortage on our street, which is exacerbated by unfettered RV parking in our neighborhood, has worsened as West Berkeley continues to grow. Another development underway, at 5th and Channing, will add ten townhouses and four live-work spaces to the immediate neighborhood, essentially a half a block from the proposed construction at issue now. That project will bring many cars, and visitors to the immediate neighborhood.

2422 5th Street, Use Permit #ZP2018-0108

October 23, 2019

2



We oppose the current request by the owners of the proposed development at 2422 5th Street that two parking spaces be waived. There are often few or no parking spaces available on our street during weekdays owing to the addition of housing and the many thriving commercial properties in use nearby. This neighborhood is under significant parking pressure and it is only going to get worse. We believe that the project must allow for off-street parking for all of its residents and for all of its visitors to the commercial enterprise contemplated.

The proposed construction

Our unit is lit entirely by windows on the south and north sides of our space. Light from the north side illuminates all three floors of our space, but mainly the ground floor studio. The photo below, looking north, from the ground floor of our space, shows how much light we receive indirectly from the north.

2422 5th Street, Use Permit #ZP2018-0108
October 23, 2019
3



We understand that the proposed building height exceeds that of our complex, and that the three-story building adjacent to our unit will be built *five feet* from our fence line. If built as proposed, the new construction will eclipse some 65% of the northern (artist's light) and nearly block out our view of the sky from inside our first and second floors. Limiting the construction to two floors, instead of three, will eclipse some 48% of the light we now receive. See the drawings attached to this letter which illustrate this problem.

The splashing light received by our corner unit is the very thing that characterizes the space and in fact it was, for us, the reason we bought it in 2004. We believe that should this project go forward, it will have a dire impact on our enjoyment of our space, on its value, and on the property values throughout the Redwood Tree studios complex.

We want to underscore that we are in favor of the development of West Berkeley. However, we believe any new development must factor in the effects on the neighborhood and the effects on existing buildings and direct neighbors.

We have suggested to our neighbors and their architect that they consider a couple of ideas: changing the location of the proposed building, and/or lowering the proposed height of the

SUPPLEMENTAL ITEM RD2 - 2422 FIFTH
ZAB 10-24-2019
Page 17 of 26

2422 5th Street, Use Permit #ZP2018-0108
October 23, 2019
4

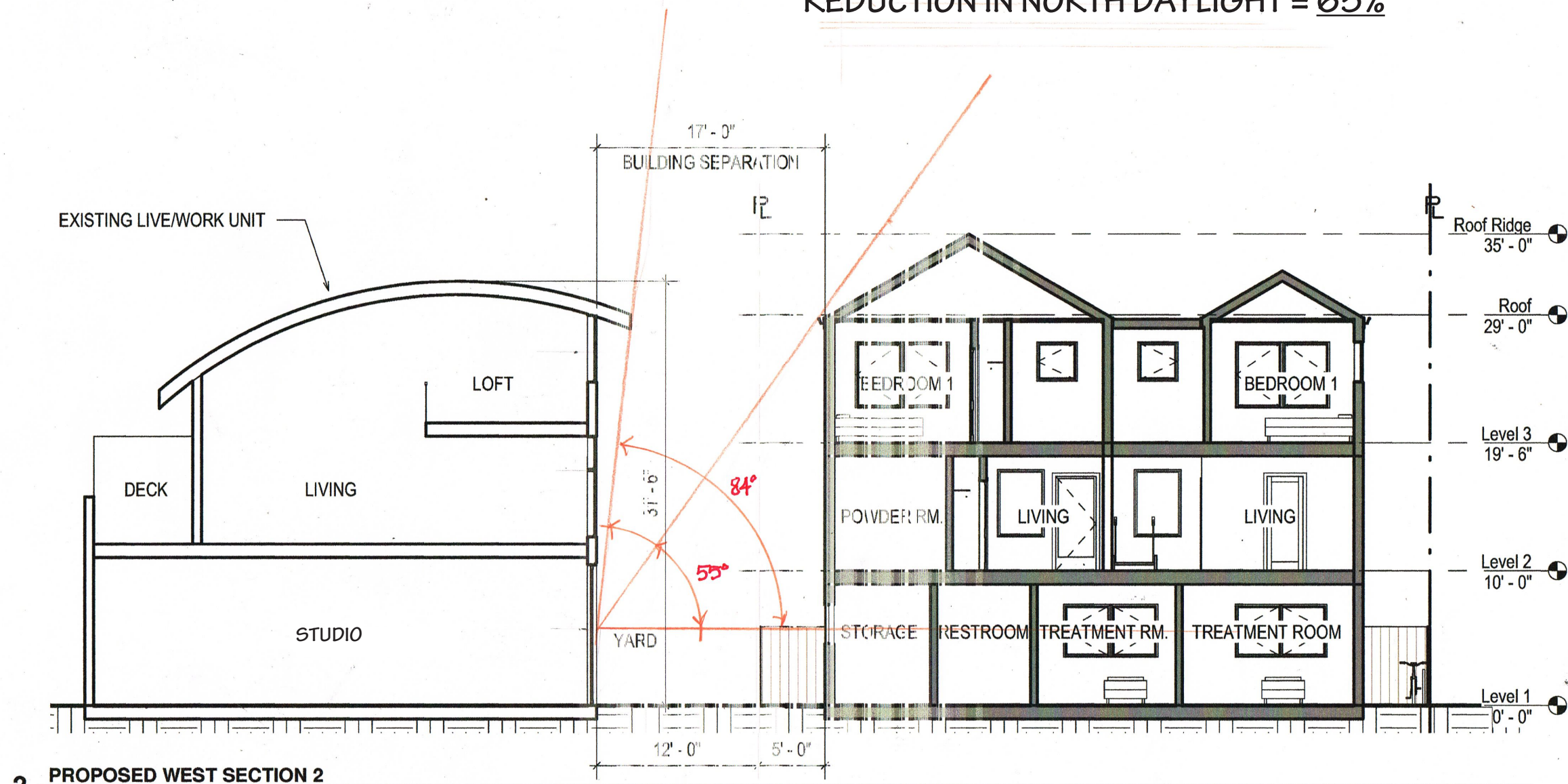
building, so that it doesn't block our light and sky. We believe that a cooperative approach is fair, and that perhaps limiting ceiling heights, or building to only two stories, would allow for our neighbors to use their space while not boxing us in and changing the defining characteristics of our home.

Thanks for your consideration of our concerns.

Sincerely,

Erica Leverett and Eric Mason

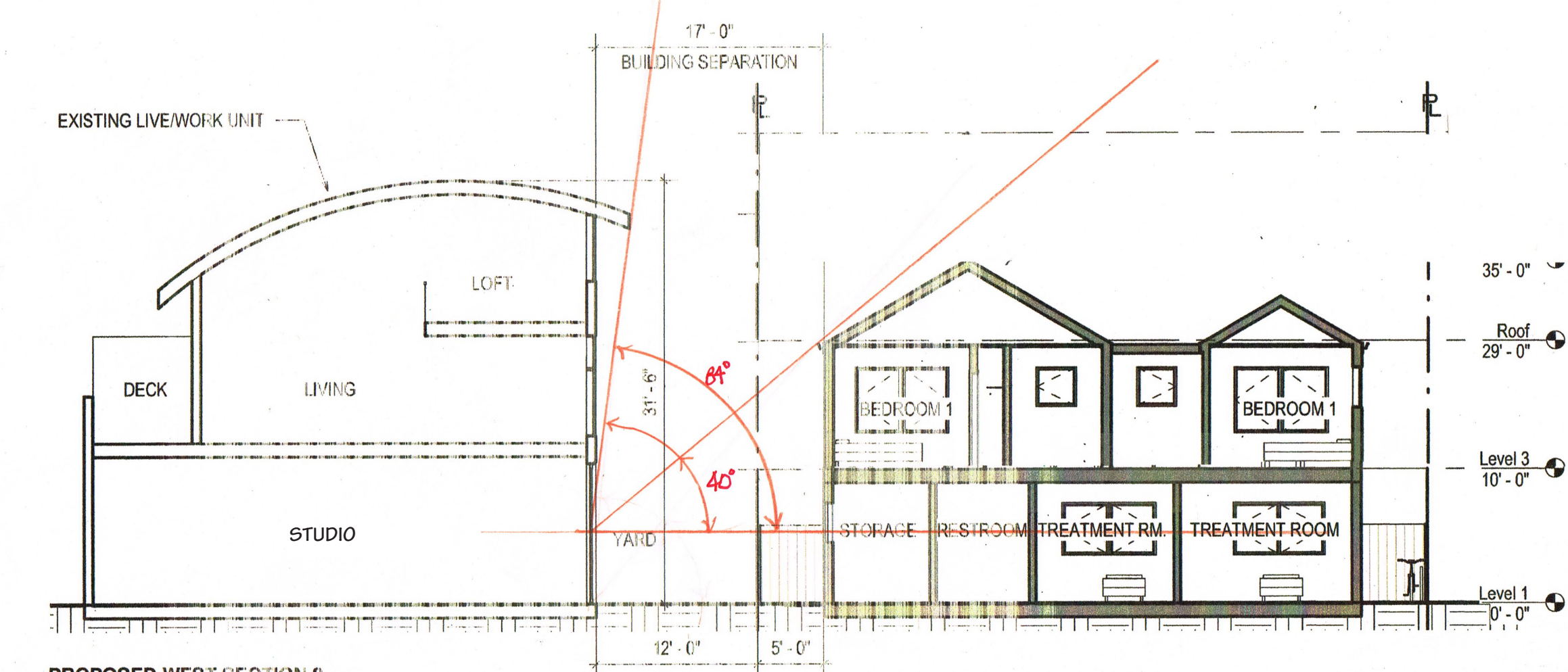
REDUCTION IN NORTH DAYLIGHT = 65%



2 PROPOSED WEST SECTION 2

3/32" = 1'-0"

REDUCTION IN NORTH DAYLIGHT = 48%



From: Robb Walker <robb.mw@icloud.com>
Sent: Wednesday, October 23, 2019 9:47 AM
To: Zoning Adjustments Board (ZAB)
Subject: ATTN ZAB Secretary, re: Public comment, 2422 Fifth St, Use Permit #ZP2018-0108

To the Commissioners of ZAB:

We are property owners and residents at the Redwood Tree Studios (RTS), located immediately to the south of the subject property at 2430 Fifth Street. Our unit, Studio G, is not directly impacted by the proposed development, however our community is and we are therefore opposed to the development at 2422 Fifth St. as currently proposed. We request that the City of Berkeley deny Use Permit #ZP2018-0108 application as currently proposed.

Our specific concerns and objections are as follows:

1. Parking impacts and requested parking waiver: Parking in the mixed use business-residential neighborhood along 5th street is severely impacted during the day due to the number of active businesses & employers, active commercial traffic servicing these businesses, and the growing number of residents in this neighborhood in transition. As indicated in the attached photos, all available street parking is occupied during daytime business hours and there is no controlled residential street parking, resulting in little or no available parking for residents or for clientele of surrounding businesses. There is currently a 14 unit development under construction at the NW corner of Fifth and Channing (which most Redwood Tree Studios owners supported) and additional proposed projects in the pipeline, which will continue to add additional parking burden to the neighborhood and exacerbate the parking shortage. New proposed development projects in the neighborhood must support their own parking requirements as required by zoning codes, and we are therefore opposed to the requested parking waiver of 2 parking spaces.
2. Proximity to existing (Redwood Tree Studios) building: The subject project proposes a 3 story building located along the minimum side lot setback along the (south) property line between 2422 and 2430 Fifth St, placing the proposed building almost entirely in perpetual shadow from the existing (Redwood Tree Studios) building and blocking essentially all access of northern natural daylight to the existing RTS building. The proposed configuration will negatively impact quality of life in both the existing and proposed new buildings (and neighborhood) and could be successfully mitigated by proposing a smaller scale building located towards the NW corner of the subject property.
3. Proposed density: The project proposes to add two market rate residential units and a commercial space (medical office) to an existing property which already contains two residential units and has inadequate space to accommodate the additional zoning code required parking for the proposed uses (hence the request to waive two residential parking spaces). The residential density as proposed is too high for the subject property, as indicated by the site's inability to accommodate the required parking.

The proposed project adds two additional market-rate rental units which will not contribute towards a solution to Berkeley's dire need for additional affordable housing. The project appears to be configured and designed purely to maximize the financial value of the property at the expense of the adjacent properties and the immediate surrounding neighborhood.

We (and most of our fellow owner/residents at Redwood Tree Studios) are not opposed to development in the neighborhood. In fact, the live-work development currently under construction on the NW corner of Fifth St. and Channing achieved strong neighborhood support, including the property owners at RTS, once the developer started to work with the neighborhood in order to understand and address their concerns (the owners and architect of the proposed project at 2422 Fifth do not seem to be inclined to work collaboratively with the neighborhood to identify a mutually acceptable solution). In the end the project under construction at Fifth & Channing won wide support, and most of the neighborhood residents believe that it will enhance and improve the value of the entire neighborhood.

We urge ZAB and the City of Berkeley Planning Dept. to deny the current application and to direct the property owners to return to the drawing board and work with the neighborhood to propose a more modest project consisting of a two story building consisting of a medical office space at ground level with one market rate rental unit above, located along the northern boundary of the site, and which provides the necessary zoning code required parking as required for all new construction in the City of Berkeley. We believe that a more modest project, situated differently on the site, has a good chance of overcoming the current objections and gaining widespread neighborhood support while still being financially profitable to the property owners over the long term.

Thank you for considering our concerns,

Robb Walker / Rowena Carlson
Owners, 2430 Fifth St., Studio G, Berkeley, CA 94710

robb m walker
architect • engineer • yacht designer • business projects
m 619.804.3494 | robb.mw@icloud.com
www.robb-walker.format.com

SUPPLEMENTAL ITEM RD2 - 2422 FIFTH
ZAB 10-24-2019
Page 22 of 26



SUPPLEMENTAL ITEM RD2 - 2422 FIFTH
ZAB 10-24-2019
Page 23 of 26



SUPPLEMENTAL ITEM RD2 - 2422 FIFTH
ZAB 10-24-2019
Page 24 of 26



SUPPLEMENTAL ITEM RD2 - 2422 FIFTH
ZAB 10-24-2019
Page 25 of 26



SUPPLEMENTAL ITEM RD2 - 2422 FIFTH
ZAB 10-24-2019
Page 26 of 26



The neighbor who shares the western border of our property is planning to build a two-story, two-unit building on his property where a two-story building already exists. This building would span the entire back fence of our land and would be so high it would pose an unreasonable deficit to light. We would ~~would~~ ^{unfortunately,} also no longer be able to see the sky from our home. We ask that he reconsider this plan and create an alternative.

1. Paige Sorvillo, tenth st. Berkeley.
2. Bryna Boyle 490 Addison St Berkeley
3. ASIF DALVI 9th st Berkeley
4. John Estrada 9th 2110 Berkeley
5. MICHAEL CAOMBO 2101 NINTH ST
6. ARTIE PHILIPAW 2035 9th
7. GILBERT HERRERA 2121 7th Berkeley ca 94710
8. ERIC GARLAND 2016 A 9th St, Berkeley 94710
9. Diane Lee 2018 9th St #F
10. Armael Malinis 2022 9th St. Berkeley 94710
11. Siamak Siam Pazirandeh 2135 9th st
12. Rachele Hedges 2126 9th St Berkeley 94710
13. BARBARA GREGORY 1011 ALLSTON WAY BERKELEY 94710
14. Matt Lazarus Allston Way
15. William Price 2105 Eighth St, Berkeley
16. TINA RIFFE 1013 ADDISON ST 94710
17. Murray Gordon 1020 Addison St. Berkeley 94710
18. Maryann O'Sullivan 2337-9th St 94710
19. Rick Oberlin 1007 Allston Way, Berkeley
20. Bhawisa Purnar 490 ~~9th~~ University Ave. Berkeley 94710

Late Communications
Zoning Adjustments Board

OCT 24 2019
RECEIVED
Planning

- 21. Brian Fulton 2111 Ninth St.
- 22. Lisa Zhou 2128 9th St.
- 23. JOHN McMEGEE 2114 9th St.
- 24. Gayra Haynes 2112 8th St
- 25. Robert Ford 2115 8th St
- 26. V. Kuan 2108 8th St
- 27. ~~William Kuan~~ 2014 9th St
- 28. Sasha Rasmussen 2014 9th St.
- 29. KURL DAPUA 2014 9th St.

ITEM #: 1 ZAB DATE: 10/24/2019

CITY OF BERKELEY
ZONING ADJUSTMENTS BOARD
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2422 Fifth St. # ZP 2018-0108
(Project Address)

NAME Carol Moor
(Please Print- to be sure we spell your name correctly)

SUPPORT _____ OPPOSITION
(Optional)

RESIDENT _____ BUSINESS OWNER
OTHER _____

SIGNATURE: Carol A. Moor

PHONE (510) 290-1088 DATE 10/24/2019
(In case we would like to contact you)

ITEM #: ZP-2018-0108 ZAB DATE: 10/24/2019

CITY OF BERKELEY
ZONING ADJUSTMENTS BOARD
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2422 Fifth Street
(Project Address)

NAME SONJA KASSUBA
(Please Print- to be sure we spell your name correctly)

SUPPORT _____ OPPOSITION
(Optional)

RESIDENT BUSINESS OWNER
OTHER _____

SIGNATURE: Sonya Kassuba

PHONE 415 290 1963 DATE 10/24/2019
(In case we would like to contact you)

ITEM #: 2 ZAB DATE: 10.24.19

CITY OF BERKELEY
ZONING ADJUSTMENTS BOARD
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2422 5th St.
(Project Address)

NAME ERICA LEVERETT
(Please Print- to be sure we spell your name correctly)

SUPPORT _____ OPPOSITION
(Optional)

RESIDENT BUSINESS OWNER _____
OTHER _____

SIGNATURE: Erica Leverett

PHONE 510-390-3223 DATE 10.24.19
(In case we would like to contact you)

ITEM #: 2 ZAB DATE: 10/24/19

CITY OF BERKELEY
ZONING ADJUSTMENTS BOARD
REQUEST TO ADDRESS THE BOARD

AGENDA TOPIC 2422 FIFTH ST
(Project Address)

NAME ROBB WALKER
(Please Print- to be sure we spell your name correctly)

SUPPORT _____ OPPOSITION
(Optional)

RESIDENT BUSINESS OWNER _____
OTHER _____

SIGNATURE: Robb Walker

PHONE 619-804-3494 DATE 10/24/19
(In case we would like to contact you)

>> YES.

>> MATTHEWS.

>> YES.

>> MATTHEWS.

>> YES.

>> AND BOARD MEMBER O'KEEFE.

>> S. O'KEEFE: YES, THAT PASSES FOR DEAKIN STREET AND VINE STREET YOU HAVE YOUR USE PERMITS AND THE MINUTES ARE APPROVED. ACTION CALENDAR. JUST TO REVIEW, WE HAVE FIVE ITEMS, FIRST WE'LL HEAR 2422 FIFTH STREET THEN 8TH STREET, LEROY, SHATTUCK FOLLOWED BY DURANT. OKAY. AND WE'LL BEGIN. STAFF REPORT FOR 5TH STREET PLEASE.

>> OKAY. THANK YOU. I'LL TRY TO PULL THE ZONING MAP UP. SO THIS IS FOR A PROPOSAL TO CONSTRUCT A THREE-STOREY 4,806 SQUARE FOOT MIXED USE BUILDING CONTAINING 96700 FEET OF OFFICE SPACE WITH AN EXISTING DUPLEX. THERE WILL BE PERMITS TO CREATE TWO NEW DWELLING UNITS TO ESTABLISH NEW MEDICAL OFFICE SPACED THAT IS 5,000 SQUARE FEET OR LESS. TO WAIVE TWO RESIDENTIAL PARKING SPACES AND ALLOW A JOINT PARKING AGREEMENT BETWEEN THE RESIDENTIAL AND COMMERCIAL USES. IT'S LOCATED IN THE MUR DISTRICT. THE SITE TO THE FRONT A SINGLE-FAMILY DWELLING AND WAREHOUSE TO THE EAST. THE SITE FRONTS A SINGLE-FAMILY DWELLING AND WAREHOUSE TO THE EAST AND ADJACENT TO SINGLE FAMILY DWELLINGS TO THE NORTH, A WAREHOUSE TO THE WEST AND A LIVE/WORK

BUILDING TO THE SOUTH. THE PROJECT COMPLIES WITH DEVELOPMENT STANDARDS FOR FAR, HEIGHTS AND USABLE. THE REQUEST TO WAIVE TWO RESIDENTIAL PARKING MEETS THE PERMIT FINDINGS AND IS SUPPORTED BY A PARKING SURVEY REVIEWED BY THE TRANSPORTATION DIVISION WHICH CONFIRMED THAT THE EVENING PARKING SUPPLY IS ADEQUATE TO SPORT WAIVER FOR TWO RESIDENTIAL. THE PERMIT FINDING FOR JOINT PARKING IS ALSO MET TO ALLOW A JOINT AGREEMENT TO SHARE THREE PARKING SPACES BETWEEN THE REQUIREMENT FOR THE MEDICAL OFFICE AND THE TWO-SPACE REQUIREMENT FOR DWELLING, THAT'S THE DUPLEX AFTER THE WAIVER FOR THE TWO RESIDENTIAL PLACES ARE GRANTED. SHADOWS WOULD BE REGION FOR THE NEIGHBORHOOD AND WOULD OWE -- REASONABLE FOR THE NEIGHBORHOOD AND WOULD OCCUR AROUND THE MORNING, NOON OR EVENING HOUR BUS GENERALLY NO MORE THAN ONCE PER DAY DURING NO MORE THAN ONE SEASON PER YEAR. THE BUILDING WOULD BE 36½ FEET FROM THE EXISTING FRONT DWELLING. THE DUPLEX. 17 FEET FROM THE LIVE/WORK BUILDING TO THE SOUTH. FOUR FEET FROM THE WAREHOUSE TO THE WEST. 35 FEET FROM THE SINGLE-FAMILY DWELLING DIRECTLY TO THE NORTH AND APPROXIMATELY 20 FEET FROM THE SINGLE-FAMILY DWELLING TO THE NORTH -- THE LOT DIRECTLY NORTH AND A LITTLE BIT EAST OFFER THE REAR DWELLING. SO THE SITING OF THE PROPOSED MIXED USE BUILDING SATISFIES ALL SETBACK REQUIREMENTS WOULD PROVIDE ADEQUATE AIR ON SITE. LIVE/WORK BUILDING IS 17 FEET AWAY WHICH IS A REASONABLE BUFFER BETWEEN DWELLINGS THAT GIVEN THAT IN RESIDENTIAL ZONING

DISTRICTS, THE MINIMUM BUFFER BETWEEN BUILDINGS AT THE SIDE IS TYPICALLY 8 FEET. FINALLY STAFF AGREES THAT THE PROJECT MEETS APPROVAL AND THE FINDINGS FOR NON-DETRIMENT CAN BE MET FOR THE PROJECT. THANK YOU.

>> S. O'KEEFE: ANY QUESTIONS FOR STAFF AT THIS TIME? SEEING NONE, WE'LL INVITE THE APPLICANTS UP. IS THE APPLICANT HERE? IS THAT MICROPHONE ON?

>> HELLO.

>> S. O'KEEFE: YOU HAVE THREE -- OR FIVE MINUTES. FIVE POINTS TO MAKE A STATEMENT.

>> MY NAME IS DEVI. I'M THE ARCHITECT. THESE ARE MY CLIENTS AND THIS IS KIND OF A FUN PROJECT FOR US BECAUSE I'VE KNOWN ANNA SINCE COLLEGE FOR 30 YEARS. NOW OUR KIDS ARE GROWING UP TOGETHER. SHE'S A WELLNESS AND FERTILITY DOCTOR. THIS IS AN OPPORTUNITY TO BE CLOSER TO HOME A COUPLE OF DAYS A WEEK. HER PRIMARY OFFICE IS IN SAN FRANCISCO. I CALLED ABOUT THIS PROPERTY A FEW YEARS AGO. THEY LOOKED FOR A LONG TIME FOR A LOT IN BERKELEY THAT WOULD -- HOW DO I CHANGE.

>> S. O'KEEFE: YOU HAVE NO CONTROL OVER THAT. DO YOU HAVE A SLIDE SHOW IN THERE WE GO.

>> YES, SO THEY LOOKED FOR A LONG TIME FOR A LOT IN THIS ZONE BECAUSE IT'S ONE OF THE FEW THAT ALLOW MEDICAL USE IN THE CITY. THIS IS A MIXED USE ZONE. AS YOU HEARD FROM SHARON, THERE ARE WAREHOUSES AND COMMERCIAL, AND LIVE/WORK AND SINGLE FAMILY.

THE EXISTING HOUSE IS GOING TO REMAIN. WHEN WE STARTED THIS PROJECT ACTUALLY -- YOU SEE PROPOSED STRUCTURE IS TO THE BACK OF THE HOUSE TO ALLOW FOR PARKING AND SEPARATION OF THE BUILDING. THE NEIGHBORHOOD IS VERY MIXED. THERE IS LIVE/WORK TO THE SOUTH AND LOTS OF WAREHOUSES FURTHER WEST AND A MIX OF WAREHOUSE AND RESIDENTIAL ON THIS BLOCK. AS YOU CAN SEE, THE DEVELOPMENT NORTH IS OF A SIMILAR SCALE IS WHAT WE'RE PROPOSING. A OLDER HOUSE IN THE FRONT, NEWER STRUCTURE IN THE BACK. WHEN WE STARTED THE PROJECT, WE WANT ODD CONVERT THE FRONT HOUSE TO OFFICES. BUT AFTER MANY MONTHS OF WORKING WITH THE CITY AND ANSWERING COMMENTS AND WORKING WITH DESIGN REVIEWS, RENT BOARD VIEW WAS THAT THIS SHOULD REMAIN HOUSING. IT'S AFFORDABLE AND WOULD BE UNDER RENT CONTROL BECAUSE IT IS OLDER HOUSING. SO WE HAD TO RE-THINK THE PLAN MOVE THE OFFICES TO THE BACK. SO WE'LL RETAIN THE FRONT HOUSE AS RENT CONTROLLED HOUSING AND HAVE THE NEW BUILDING AT THE BACK TO SPORT WELLNESS CLINIC AND THE TWO RENTAL UNITS ABOVE. SO THE PLANS YOU SEE ARE THE RESULT OF A LOT OF MASSAGING WITH THE CITY, WORKING WITH THE TRAFFIC ENGINEER. WORKING WITH THE RENT BOARD AND DESIGN REVIEW AND LANDSCAPE AND THAT YOU WILL. WE'VE BEEN THROUGH A LONG PROCESS. I THINK THIS RESULTED IN A NICE PROJECT. WE UNDERSTAND THE NEIGHBORS HAVE SOME CONCERNS, ESPECIALLY THE TWO BACK UNITS. YOU CAN SEE THEM THIS RENDERING. THEY LOOK AT THE BUILDING FROM THE NORTH SIDE. THEY HAVE SOUTHERN ACCESS AND WE ARE 17 FEET AWAY. THE REASON WE

ARE A HERE IS BECAUSE OF THE MEDICAL USE. IF THIS WERE AN ALL-RESIDENTIAL BUILDING, IT WOULDN'T BE A USE PERMIT PROJECT. WE'RE UNDER LOT COVERAGE AND UNDER DENSITY AND UNDER F.A.R. IF WE WERE TO REVISE THIS PROJECT, IT WOULD BE BIGGER AND WE WOULDN'T BE HERE. BUT THEY'RE COMMITTED TO DOING THIS.

>> I'M DR. ANNA GOLD AND I WANT TO SAY MY MAIN PRACTICE IS IN SAN FRANCISCO. I SPECIALIZE IN FERTILITY AND PAIN MANAGEMENT. I CHOSE BERKELEY TO START MY SECOND PRACTICE BECAUSE I HAVE DEEP ROOTS HERE. YOU WENT TO BERKELEY. I MENTORED WITH DR. ROBERT ZEIGER ON TELEGRAPH AVENUE. HE'S STILL MY MENTOR AND I'M A CONSULTANT WITH A SKIN CARE COMPANY. I HAVE A LOT OF TIES HERE. I LIVE IN ALBANY WITH MY CHILDREN AND HUSBAND. I REALLY, REALLY WANTED TO PRACTICE IN BERKELEY AND WE LOOKED FOR 18 MONTHS TO FIND THIS SPOT. I'M EXCITED TO START WORKING HERE.

>> I'LL INTRODUCE MYSELF. I'M ANNA'S HUSBAND, CARL.

>> S. O'KEEFE: THANK YOU FOR RESPECTING THE TIME LIMIT. I HOPE EVERYBODY TONIGHT -- THAT'S HOW IT'S DONE. WE HAVE A LOT OF PEOPLE. WE HAVE A LOT OF SPEAKER CARDS. LET'S ALL APPRECIATE TO RESPECT THE TIME LIMITS. THANK YOU. ARE THERE ANY QUESTIONS FOR THE APPLICANT? JOHN.

>> THANK YOU, A COUPLE OF THINGS. I DIDN'T GET A SENSE OF THE MEDICAL PRACTICE ITSELF. IS IT PRIMARILY CONSULTATION? ARE THERE THINGS SUCH AS BIO WASTE?

>> SO I'M AN ACUPUNCTURIST. IT WOULD BE ACUPUNCTURE.

>> AND THAT'S BEEN THOUGHT OUT?

>> YES.

>> I ASSUME THAT HAS TO BE CERTIFIED AND PERMITTED AND EVERYTHING ELSE.

>> YES, OF COURSE.

>> AND INSPECTED.

>> YES. EVERY YEAR I GET MY LICENSE RENEWED BECAUSE I BILL INSURANCE AS WELL, THEY HAVE MEMBERS FROM THE CONTRACTING COMPANYING COME AND INSPECT AND SIGN OFF. THERE ARE DEFINITELY -- THERE ARE CONTACTS WE HAVE TO GO THROUGH. WITH THE MEDICAL WASTE QUESTION, IT'S BASICALLY BIOHAZARD DISPOSALS THAT WE SEND TO SPECIFIC COMPANIES.

>> THERE ARE COMPANIES THAT TAKE CARE OF THAT.

>> YES. I'VE BEEN PRACTICES IN SAN FRANCISCO FOR 15 YEARS AND I BASELY USE A MAIL ORDER COMPANY THAT GIVES ME CONTAINS AND WE PUT THE USED NEEDLES IN AND WE CAN'T TAKE THE TOP OFF.

>> RIGHT.

>> IT SEALS ONE WAY AND WE SHIP IT OFF.

>> I'M SOMEWHAT FAMILIAR. GREAT. SECOND THING I WANT TO GET TO THE RENT-CONTROLLED UNITS. I DON'T THINK THERE IS ANYTHING IN THE CONDITIONS. COULD WE PUT SOMETHING IN THE CONDITIONS THAT THEY'LL REMAIN RENT CONTROL? BECAUSE I DON'T THINK SEE ANYTHING IN THE FINDINGS THAT INDICATE THAT OTHER THAN THE NARRATIVE.

>> I THINK THE RENT BOARD HAS THAT. IF THERE IS A DESIRE IS

TO ADD LANGUAGE THAT REFERENCES ANY CODES THAT YOU ARE CONCERNED ABOUT, YOU CAN PROPOSE THAT CONDITION OF AWE APPROVAL. THERE ARE NO CHANGES PROPOSED TO THE FRONT BUILDING THAT HAS THE RENT CONTROL.

>> THEY'RE NOT GOING TO BE IMPACTED BY ANY OF THE CONSTRUCTION. EXCEPT I THOUGHT ONE OF THE STAIRCASES IS GOING TO BE MOVED.

>> YES, RIGHT NOW THE BACK STAIR GOES UP.

>> WHAT HAPPENS? IS THAT GOING TO BE TAKEN CARE OF FIRST? DOES THAT IMPACT THE TENANTS IS WHAT I'M ASKING.

>> WHAT DO THEY USE THAT FOR NOW? IT COULD BE DONE FIRST OR LAST. IT'S NOT A CRITICAL PART OF THIS PROJECT.

>> OKAY. OKAY. ALL RIGHT. THANK YOU. I IF PEOPLE AGREE WITH ME, I WOULD LIKE A STANDARD CONDITION.

>> S. O'KEEFE: WE CAN SAVE THAT FOR COMMENTS. ARE THERE ANY OTHER QUESTIONS FOR THE APPLICANT? SEEING NONE, I'D LIKE TO INVITE -- WE HAD TWO -- NO, WE HAVE FOUR SPEAKER CARDS. SO I'D LIKES TO INVITE YOU TO COME UP. WE'LL DO TWO MINUTES. ROB WALKER FOLLOWED BY CAROL MOORE FOLLOWED BY SONIA FOLLOWED BY ERIKA. YOU EACH HAVE TWO MINUTES AND PLEASE, EVERYBODY STICK TO THE TIME THAT HAS BEEN ALLOTTED.

>> I'M ROB WALKER. I LIVE IN THE REDWOOD TREE STUDIOS SOUTH OF THE PROPERTY. I'M NOT ONE OF THE UNIT OWNERS. I'M AN OWNER AND RESIDENT. I'M NOT ONE OF THE UNIT OWNERS THAT IS DIRECTLY

IMPACTED BY THE BUILDING BUT I'M CONCERNED WITH THE IMPACT ON OUR PROJECT AS A WHOLE AND ON THE NEIGHBORHOOD. I'VE SENT IN A MORE DETAILED LETTER THAT I HOPE YOU'VE SEEN. I WANTED TO HIT OUR MAIN CONCERNS. FIRST, THE SEVERELY IMPACTED PARKING IN THE NEIGHBORHOOD. I DON'T THINK I AGREE WITH THE PARKING STUDY BECAUSE THE SITUATION THAT WE LIVE WITH IS SEVERELY IMPACTED PARKING FROM QUITE EARLY IN THE MORNING, SOMETIMES AS EARLY AS 5:00 A.M. TO WELL AFTER BUSINESS CLOSING HOURS AT 5:00 P.M. THE IMPACTS COME FROM NUMEROUS BUSINESSES AND EMPLOYEE PARKING EVERY DAY IN THE AREA. SOME AT NON-STANDARD HOURS. A GREAT DEAL OF COMMERCIAL TRAFFIC INCLUDING DOUBLE PARKED TRUCKS AND THAT SORT OF THING BECAUSE WE HAVE A LOT OF LIGHT MANUFACTURING IN THE NEIGHBORHOOD. WE ALSO ALREADY HAVE A FAIRLY SIGNIFICANT PROBLEM WITH OVERFLOW RESIDENTIAL PARKING. SO THERE ARE A NUMBER OF RESIDENTIAL CARS PARKED ON STREET GENERALLY 24 HOURS A DAY LESS AT NIGHT. AND ALSO AS I THINK YOU ARE WELL AWARE, WE HAVE A SIGNIFICANT RV PARKING IN THE NEIGHBORHOOD. SIGNIFICANT PROBLEM. OUR SECOND CONCERN AS I'VE WRITTEN ABOUT IS THE SIZE OF THE BUILDING AND THE PROXIMITY TO THE NORTHERN WING OF THE RED WOOD TWO STUDIOS. IT'S SETBACK 17 FEET. NO DISAGREEMENT THERE. BUT WE BELIEVE -- I DON'T SEE THE CLOCK.

>> S. O'KEEFE: I NOTICED THAT.

>> I CAN WRAP IT UP. SO WE THINK THE PROXIMITY IF THE BUILDING IS SUCH THAT IT'S GOING TO SEVERELY BLOCK THE SKY AND

THE DAYLIGHT FROM TWO TO THREE UNITS ON THE REDWOOD TWO STUDIOS AND PUT THE NEW PROPOSED BUILDING IN SHADOW FOR A SIGNIFICANT PORTION OF THE TIME. WE SUGGESTED THAT WILL WE THOUGHT PERHAPS A TWO-STOREY BUILDING LOCATED TO THE NORTH MIGHT BE A BETTER SOLUTION THAT THE NEIGHBORHOOD WOULD LIKE TO WORK WITH THEM ON. THAT'S A SUGGESTION THERE. DENSITY AS DEVI HAS STATED, WE'RE ADDING TWO MARKET RATE AND A MEDICALS TO HAVE TWO RENTAL UNITS. IT SEEMS TO ME THE PARKING WAIVER REQUEST SORT OF INDICATES THAT WHAT IS BEING PROPOSED FOR THE SITE IS A LITTLE TOO MUCH BECAUSE IT CAN'T SERVICE ITS OWN PARKING. I BELIEVE IT'S IMPORTANT GOING FORWARD IN THE NEIGHBORHOOD THAT NEW PROPOSED PROJECTS CAN SERVICE THEIR OWN PARKING BECAUSE WE DON'T HAVE IT AVAILABLE ON THE STREET. AND FINALLY, I WANTED TO MENTION IN GENERAL, WE LIKE THE NEIGHBORHOOD AND WE'RE IN FAVOR OF DEVELOPMENT. I REFERENCED THE PROJECT -- 14-UNIT PROJECT CURRENTLY UNDER CONSTRUCTION AT FIFTH AND CHANNING. THIS PROJECT WENT THROUGH A SIGNIFICANT COLLABORATION WITH THE COMMUNITY. IN THE END, GENERATED TREMENDOUS SUPPORT INCLUDING, I BELIEVE, ALL 14 OWNERS OF THE REDWOOD TREE STUDIOS. WE LIKE TO GET PROJECTS THAT WE THINK ARE GOOD FOR THE NEIGHBORHOOD. I AM ASKING YOU TO DENY THE PROPOSE AND ASK CARL AND ANNA TO COME AND WORK WITH THE NEARBY RESIDENTS THAT WE THINK MUTUALLY BENEFITS EVERYONE.

>> S. O'KEEFE: CAROL MOORE.

>> I'M CAROL MOORE AND I'M ALSO A RESIDENT AND OWNER OF THE

REDWOOD TREE LOT. I WILL BE DIRECTLY IMPACTED. MY UNIT IS THE SECOND UNIT FROM THE WEST. SO I WILL BE DIRECTLY IMPACTED BY THIS BUILDING. I THINK YOU ALL HAVE MY NOTES THAT I WROTE, MY COMMENT AND PHOTOGRAPHS WITH PHOTOGRAPHS SHOWING WHAT I FEEL MY WINDOWS NOW AND WHAT I WILL SEE INSTEAD WILL BE THE SIDE OF A WALL OR A STUCCO WALL. I'LL SIMPLY SEE THE SIDE OF THE BUILDING. ASIDE FROM THE VIEW, THE ISSUE IS THE VIEW, THE LIGHT -- I TAKE ISSUE ALSO WITH THE SHADOW STUDY BECAUSE I THINK IT'S WRONG. THAT SIDE OF MY UNIT WILL BE IN SHADOW I THINK MOST OF THE DAY, MOST OF THE YEAR. GRANTED THERE IS A 17-FOOT SETBACK FROM OUR BUILDING, BUT IT REALLY IS ONLY 5 IT FEET FROM OUR BACK PATIO WALL. SO IT'S CLOSE TO OUR PROPERTY. ONLY 5 FEET, NOT 7 FEET. 7 FEET FROM THE BUILDING BUT WE HAVE A PATIO BACK THERE. I AM CONCERNED ABOUT THIS PARKING. WE HAVE SOME SERIOUS PARKING ISSUES IN THE AREA THAT HAVE INCREASED SINCE I MOVED INTO MY UNIT. I MOVED THERE A YEAR AGO. THAT GOING TO GET WORSE. WHEN THE 14-UNIT BUILDING IS COMPLETED A HALF A BLOCK AWAY, WE'RE GOING TO HAVE MORE AND MORE PARKING ISSUES. AND I GUESS ASIDE FROM THAT, THE LIGHT, I KNOW YOU DON'T CARE ABOUT PEOPLE LOSING THEIR VIEWS. I CARE. I KNOW THAT IS NOT SOMETHING TO PREVENT YOU FROM ALLOWING IT, BUT I AM CONCERNED ABOUT THE LIGHT.

>> S. O'KEEFE: TERESA HAS A QUESTION FOR YOU MISS MOORE.

>> T. CLARKE: SO YOU SAID LIGHT THAT INJURES YOUR UNIT FROM THE NORTH. COULD YOU EXPLAIN HOW IT ENTERS FROM THE NORTH.

>> IT'S NOT DIRECT.

>> T. CLARKE: SO YOU'LL HAVE REFLECTED LIGHT FROM THE BUILDING.

>> THE BUILDING IS CLOSE.

>> T. CLARKE: HOW CLOSE?

>> 17 FEET. BECAUSE WE HAVE A PATIO. WE HAVE A PATIO AND I THINK IN THE PHOTO YOU CAN SEE THE PATIO IS ALL LIT. THERE IS A FENCE. A PATIO BACK FENCE THAT IS A PROPERTY LINE FENCE. THE BUILDING IS ONLY 5 FEET FROM THE PROPERTY LINE.

>> T. CLARKE: OKAY.

>> AND SO THAT BUILDING GOES UP, THAT WILL BLOCK.

>> T. CLARKE: IT'S NOT DIRECT LIGHT COMING FROM THERE. THE OTHER QUESTION I HAVE IS DOES YOUR APARTMENT BUILDING HAVE PARKING ON SITE?

>> YES.

>> SO YOU HAVE A PARKING SPOT ON SITE.

>> I HAVE A PARKING SPOT ON SITE, BUT THERE ARE TWO OF US THAT LIVE THERE AND A MOTORCYCLE.

>> S. O'KEEFE: NEXT UP IS SONYA.

>> I'M SONYA, I'M A RESIDENT THAT LIVES SHORTLY ACROSS AND I'M A PHYSICIAN MYSELF. SO I THINK IT'S GREAT THAT THERE IS NO MORE HOUSING BEING DEVELOPED. I DO -- WHEN I LOOK AT THE PLANS THAT I SAW ON LINE, I SEE A PRACTICE WITH THREE TREATMENT ROOMS. SO I WOULD IMAGINE THAT THERE IS GOING TO BE AT LEAST FIVE

PEOPLE IN THE RESIDENTIAL UNIT. I ECHO THE PREVIOUS SNEAKERS I LIVED IN THIS ENABLED FOR TWO YEARS. THE EXISTING AND INCREASING PARKING NEEDS. IT'S GREAT THAT WE HAVE A DIVERSE COMMUNITY. BUT THERE IS A SHORTAGE OF PARKING FOR PEOPLE WHO DO NOT HAVE PARKING ON THEIR PROPERTY AS IT IS. WHEN I COME HOME FROM WORK, THERE IS OFTEN NO PARKING AVAILABLE. I DISAGREE WITH WHOEVER DID THAT ASSESSMENT. IT'S GREAT TO HAVE -- WE HAVE CHANGE, WE NEED NEW BUSINESS, BUT I COME TO ENCOURAGE PLANNING IN THE FUTURE. THERE IS INDUSTRIAL-TYPE BUILDING ACROSS THAT HAVE A LARGE PARKING LOT THAT IS CURRENTLY NOT OCCUPIED. ONE OTHER SOLUTION IS THE OTHER BUSINESS OWNERS DO NOT HAVE A CONTRACTUAL OBLIGATION TO LEAVE LOT FROM UNUSED PARKING INSTEAD OF COMPROMISING AN EXISTING SHORTAGE. THAT WOULD BE MY IDEA OF FIND AN EXISTING SOLUTION OR GUARANTEE WHOEVER COMES TO THE PRACTICE DOWN THE ROAD HAVE A POSSIBILITY OF PARKING AND IT'S NOT IMPAIRING THE NEIGHBOR WHOSE LIVE THERE.

>> S. O'KEEFE: THANK YOU, QUESTION.

>> MY QUESTION IS THIS: THE EXISTING BUILDING THAT YOU LIVE IN, IS IT NOT THREE STOREYS?

>> YES IT IS.

>> THANK YOU VERY MUCH.

>> S. O'KEEFE: THANK YOU. LAST SPEAKER I HAVE FOR THIS ITEM IS ERIKA LEVERIT.

>> I'M ERIKA AND I LIVE IN THE UNIT ON THE CORNER

RIGHT -- MOST AFFECTED UNIT IN THE LIVE/WORK UNIT BEHIND THE DEVELOPMENT. WE WANT TO WELCOME YOUR BUSINESS, WE'RE PRO DEVELOPMENT IN THE NEIGHBORHOOD. BUT THE TWO CONCERNS I HAVE THAT THERE ARE THE PARKING. THE NEIGHBORHOOD IS -- THE PARKING IS A BIG PROBLEM IN OUR NEIGHBORHOOD. YES, I HAVE A PARKING SPACE, BUT IF MY MOM COMES OVER FOR DINNER OR LUNCH, OR SOMEONE COMES INTO THE BUSINESS, IT'S TOTALLY IMPOSSIBLE TO FIND PARKING ON STREET THESE DAYS. THAT'S CONCERN NUMBER ONE. CONCERN NUMBER TWO IS WE HAVE A LIGHT STUDY BY THE BUILDING SCIENTIST THE SAME ONE THAT DID THE BERKELEY LIBRARY WEST VERSION. IT'S DIFFERENT. IT SHOWS THAT WE LOSE 65% OF OUR LIGHT IN OUR APARTMENT. ALL OF OUR LIGHT COMES THROUGH NORTH AND SOUTH-FACING WINDOWS. IT'S NOT DIRECT LIGHT, BUT THAT'S THE ONLY LIGHT WE GET. THE MOST DEFINING CHARACTERISTIC, THE MOST APPEALING THINGS ABOUT THE UNITS IS THE LIGHT THAT THEY GET. SO IT'S DISTURBING THAT WE COULD LOSE THAT MUCH OF OUR LIGHT AND LIKE I SAID, ACCORDING TO OUR LIGHT STUDY, IT'S 65%. I DON'T DO LIGHT STUDIES SO I COULDN'T ANSWER FOR THAT. THIS IS THE CONCERN. I WANT IT TO HAPPEN, I JUST THINK THERE ARE SOLUTIONS TO SOME OF THE BUGABOOS, BUT THAT'S WHAT WE'RE CONCERNED ABOUT.

>> S. O'KEEFE: THANK YOU VERY MUCH. CAN I A QUESTION FOR YOU.

>> IN ADDITION TO MY QUESTION REGARDING OF THE STOREY, HOW MANY UNITS ARE IN THE BUILDING?

>> 14.

>> AND WHEN WAS THAT BUILDING COMPLETED?

>> I THINK 1999.

>> THANK YOU.

>> S. O'KEEFE: THAT WAS OUR LAST SPEAKER CARD. ANYONE ELSE WHO WOULD LIKE TO SPEAK? COME ON UP. YOU HAVE TWO MINUTES.

>> I WANTED -- I DON'T KNOW IF YOU SAW THE LIGHT STUDY. DID YOU SEE THAT? THAT WAS DONE BY ARCHITECT OF THE WEST BERKELEY LIBRARY WHICH WAS BUILT TO -- DEPENDS ON AND BUILT TO ALLOW THE NORTH LIGHT TO LIGHT THE BUILDING THROUGHOUT THE DAY. SO THIS IS A GUY WHO KNOWS ABOUT LIGHT. THE BEST LIGHT IS FROM THE NORTH. DIFFUSED LIGHT IS BETTER THAN REFLECT LIGHT AND DIRECT SUNLIGHT. IF THIS BUILDING GOES IN, WE'LL GET SOME REFLECTED LIGHT AND IT'S GLARE. IT HAS TO BE DIFFUSED WITH KIND OF COVERING ON THE WINDOWS OR CUTTING IT OFF BECAUSE IT'S NOT -- YOU CAN'T WORK IN THAT KIND OF LIGHT. I WANT THAT TO BE CLEAR. THE OTHER THING IS I PUT A PICTURE OF THE STREET ON -- IN MID-OCTOBER LIKE 10:00 IN THE MORNING. YOU CAN SEE THERE IS NO PARKING. I LOOKED YESTERDAY AT 10:30, THERE WERE 39 VEHICLES ON THE BLOCK BETWEEN DWIGHT AND CHANNING. NO PARKING. THERE IS A PARKING PROBLEM THERE. IT'S EXACERBATED BY THE CITY'S FAILURE TO ENFORCE THE RV PARKING PROBLEM.

>> S. O'KEEFE: THERE IS A QUESTION FOR YOU.

>> AS FAR AS THE LAYOUT OF THE UNITS IN YOUR BUILDING, ARE

THERE MIKE LOFTED UNITS?

>> EACH UNIT IS THREE LEVELS. THE BOTTOM LEVEL HAS 12-FOOT CEILINGS AND EMITS MOST LIGHT. SECOND LEVEL HAS A BIG CEILING AND THIRD LEVEL HAS ESSENTIALLY A BEDROOM AND A BATHROOM ON THE TOP. THEY'RE LIVE/WORKSPACE.

>> S. O'KEEFE: OKAY. ANYONE ELSE LIKE TO SPEAK ON THIS ITEM? SEEING NONE, I'M GOING TO ALLOW THE APPLICANT TEAM THREE MINUTES TO RESPOND TO ANYTHING THAT YOU HEARD OR ANYTHING YOU'D LIKE TO ADD THEN WE'LL BRING IT BACK FOR BOARD COMMENTS.

>> OKAY. SO TO ADDRESS THOSE -- ADDRESSING THE COMPLAINTS FIRST, REGARDING PARKING, I DON'T KNOW WHAT TO SAY. THE STUDIES SAY THERE IS ENOUGH PARKING. IT'S TRUE AT THE END OF THE BLOCK IS THE BAYER PLANT AND NO RESIDENCES OR BUSINESSES ON THE BLOCK. I ASSUME THAT THE PARKING STUDY REFLECTS THAT. PEOPLE USUALLY DON'T PARK MOBILE HOMES IN BUSY AREAS. THAT'S ANOTHER TOPIC. THERE IS SOME EXAGGERATION GOING ON. REGARDING THE REDUCING OF THE LIGHT, I WILL ACTUALLY THINK IT'S AN UNREASONABLE COMPLAINT BY THE CONDO RESIDENTS BECAUSE THEY'RE ALREADY THREE STOREYS HIGH TO THE SOUTH AND THEY'RE BLOCKING THE DIRECT LIGHT TO THE CURRENT AND FUTURE RESIDENTS ON OUR PROPERTY FROM THE SOUTH. THEY'RE SAYING IN EFFECT THAT THE RESIDENTS OF OUR PROPERTY SHOULD ONLY HAVE TWO FLOORS AND BE BENEATH THEM SO THAT THEY CAN LOOK DOWN ON THE RENTERS TO THE NORTH AND GET THEIR UNOBSTRUCTED NORTHERN LIGHT WHILE THE RENTERS WILL GET LOTS OF LIGHT FROM THE

SOUTH. WE'RE NOT TRYING TO BUILD A SKYSCRAPER, WE'RE TRYING TO BUILD A STRUCTURE THAT MATCHES THE STRUCTURE IN THE NEIGHBORHOOD TO THE SOUTH. I MEAN, I FEEL BAD BECAUSE I APPRECIATE THAT IN AN URBAN AREA, EVERYONE LIKES TO HAVE AN EMPTY LOT OR A PARK OR SOMETHING NEXT DOOR. I MYSELF WOULD VERY MUCH LIKE TO HAVE AN EMPTY LOT OR PARK NEXT TO MY HOUSE. IN THE DEVELOPING URBAN AREA, WE CAN'T ALL HAVE EMPTY LOTS NEXT TO OUR HOUSE. I DON'T KNOW WHAT TO SAY, I FEEL BAD THAT SOME PEOPLE WILL BE IMPACTED BUT THE BENEFIT WOULD OUTWEIGH THAT. IN THE WRITTEN COMPLAINTS, SOME OF THE RESIDENTS OF THE CONDO DEVELOPMENT SAYS THIS WILL NEGATIVE IMPACT THEIR PROPERTY VALUES. WE'RE IN THE MIDDLE OF A CRISIS OF AFFORDABLE HOUSING. WE'RE NOT HAVING A CRISIS BECAUSE ALL THE CONDO PRICES ARE CRASHING. CONDO PRICES HAVE DOUBLED IN THE LAST 10 YEARS. RENTAL PRICES ARE WAY UP. CONDO PRICES ARE WAY UP. I DON'T KNOW THE EXACT APPRECIATION, BUT WE'RE NOT HAVING A LOW-HOUSING CRISIS. WE HAVE A CRISIS OF NOT ENOUGH RENTAL HOUSING. CLEARLY THIS IS THE CASE THAT BY SUPPRESSING RENTAL HOUSING ON THIS DEVELOPMENT, THE CONDO RESIDENTS WILL BE BOOSTING THEIR OWN HOUSING PRICES FOR THE LONG RUN BY SUPPRESSING THE SUPPLY. PEOPLE DON'T SAY THAT, BUT THAT'S THE EFFECT OF THESE THINGS.

>> S. O'KEEFE: AND I WANT TO SAY, TO AUDIENCE, THE EXPECTATION OF THIS MEETING IS THAT YOU WILL BE RESPECTFUL WHILE SOMEONE IS HAVING THEIR TIME TO SPEAK. THE WAY THAT WORKS IS IF

SOMEONE IS AT THE MICROPHONE, THERE WILL NOT BE COMMENTS FROM THE AUDIENCE. THAT IS NOT RESPECTFUL OR ACCEPTABLE. ARE THERE ANY MORE QUESTIONS FOR THE APPLICANT? IGOR.

>> I. TREGUB: I WANTED TO ASK THE APPLICANT TO REMIND US OR LET US KNOW WHAT KIND OF ATTEMPTS WERE MADE TO MITIGATE FOR POSSIBLE IMPACTS -- THE ONE I FOUND MOST COMPELLING WAS THE LOSS OF SOME SUNLIGHT TO THE LIVE/WORK UNITS OF THE SPEAK THAT ARE WENT UP. THERE IS ONLY SO MUCH THAT ONE CAN DO IN AN URBAN AREA. GIVEN THE LIMITATIONS WHAT KIND OF MITIGATIONS, IF ANY, WERE ATTEMPTED.

>> WE TRIED TO MAKE THE BUILDING AS COMPACT AS POSSIBLE. WE'RE UNDER LOT COVERAGE. WE KEPT A LARGE OPEN SPACE BETWEEN THE TWO BUILDINGS. WHEN WE ROB SHARED THE DRAWINGS WE WERE ABLE TO PUT THOSE IN CONTEXT SO WE COULD SEE WHERE WINDOWS OVERLAPPED SO WE CHANGED OUR WINDOW PATTERN TO LEVERS TO ADDRESS ANY PRIVACY ISSUES THAT WOULD BE MITIGATED BY ADDRESSING THAT. MY APPROACH -- I'VE BEEN HERE MANY TIMES -- IS TO TRY TO COME IN WITH THE BEST SHAPE BEFORE HAVING IT MASSAGED DOWN. THE BACK OF THE LOT IS COMPACT. WE PUT OUR BEST PROJECT FORWARD.

>> I. TREGUB: THANK YOU.

>> I WAS WONDERING ABOUT THE TENANTS IN THE FRONT. ARE THEY CURRENTLY -- THERE ARE CURRENTLY TENANTS THERE AND THEY'RE GOING TO REMAIN?

>> THE TENANTS HAVE EXPRESSED ONCE THE CONSTRUCTION STARTS,

THEY'RE GOING TO MOVE OUT.

>> YOU'RE GOING TO HAVE NEW TENANTS IN.

>> WE'RE PROBABLY GOING TO WAIT UNTIL THE CONSTRUCTION IS OVER. THEN THE TOP UNIT IS UNOCCUPIED RIGHT NOW. I'M USING IT JUST LIKE A SPACE TO GO AND WORK AWAY FROM MY FAMILY. THERE IS ONE UNIT THAT'S BEING RENTED RIGHT NOW.

>> AND WHEN YOU BUILD THE NEW BUILDING, THIS DUPLEX IS GOING TO BE UNDER RENT CONTROL.

>> CORRECT.

>> SO WHEN YOU HAVE TO RENT AGAIN, IT WILL GO BACK UP TO MARKET RATE WHEN YOU FIRST OPEN IT UP, IS THAT CORRECT?

>> I THINK THAT'S CORRECT.

>> AND THE OTHER TWO -- YOU SAID THAT THERE IS AN AFFORDABLE HOUSING CRISIS. I'M WONDERING HOW YOU'RE GOING TO IMPACT THAT AFFORDABLE HOUSING CRISIS. IT WAS UNCLEAR YOU WERE GOING TO MAKE THEM BELOW-MARKET RATE.

>> THEY FALL UNDER -- THE NEW UNITS ARE NOT RENT CONTROLLED THE WAY THE LAWS ARE SET UP. BUT THE OLD ONES ARE BECAUSE THEY WERE BUILT PRE1980.

>> I WAS CONFUSED ABOUT WHAT CARL SAID ABOUT AFFORDABLE HOUSING ISSUE.

>> ADDING RENTAL UNITS CHIPPED AWAY AT THE AFFORDABLE HOUSING ISSUE. WE'RE NOT TRYING TO SELL THEM OFF AS CONDOS. WE'RE GOING IT STAY INVESTED IN THE COMMUNITY AND KEEP THEM AS

RENTALS SUBJECT TO THE REGULATIONS IN BERKELEY. WE ARE NOT DOING THE PROGRAM SPECIFICALLY FOR -- THERE IS A PROGRAM FOR LIKE LOW-INCOME HOUSING BUT WE DON'T HAVE THE RESOURCES TO MONITOR OR MANAGE THAT.

>> I WANTED TO MAKE THAT CLEAR.

>> IT'S NOT A SPECIFICALLY LOW INCOME PROJECT.

>> THEN MY QUESTION ABOUT THE PARKING, SO IT LOOKED LIKE THERE ARE FOUR TREATMENT ROOMS, IS THAT RIGHT?

>> I THINK ONE OF THE ROOM IS A CONSULTATION ROOM.

>> SO ONE CONSULTATION AND THREE TREATMENT. ONE IS LIKE A COMBINED CONSULTATION STORAGE ROOM AND MEDICINE CABINETS.

>> SO YOU ARE EXPECTING TO HAVE APPROXIMATELY -- PLUS THE PEOPLE WAITING, YOU'RE EXPECTING THERE WILL BE THREE OR FOUR CLIENTS?

>> I EXPECT TO HAVE TWO CLIENTS AN HOUR. I TOGGLE -- WHAT I HAVE IN MY SAN FRANCISCO PRACTICE IS I HAVE THREE ROOMS AND I BOOK PEOPLE ON THE HOUR AND THE HALF HOUR. AND THEN I USE THE EXTRA ROOM FOR CHANGING. IF SOMEONE GOES OVER OR LATE THEN I HAVE AN EXTRA ROOM TO GET PEOPLE IN ON TIME.

>> YOU SAID YOU LIVE IN ALBANY. ARE YOU GOING TO DRIVE IN AND USE A PARKING SPACE FOR YOUR CAR?

>> I RIDE MY BIKE SOMETIMES AND IN THE WINTER, I'LL BE DRIVING, YES.

>> RIGHT NOW THERE IS PARAGRAPHING FOR THE DUPLEX IN THE

FRONT.

>> CORRECT.

>> THE TWO PARKING SPACES THAT ARE GOING TO BE SHARED, ARE THEY -- THEY'RE GOING TO BE SHARE ADD AMONG THE FOUR UNITS?

>> SHARED AMONG THE FOUR UNITS?

>> IN THE HOURS OF OPERATION OF THE MEDICAL OFFICE, THEY WOULD BE AVAILABLE FOR MEDICAL USE. AFTER HOURS LIKE 4:00 OR 5:00 THEY WOULD TURN OVER TO THE RESIDENTS. I ASSUME THEY'D BE ASSIGNED TO A CERTAIN UNIT.

>> S. O'KEEFE: WE HAVE A QUESTION FOR THE APPLICANT. LEE.

>> I JUST HAD A QUESTION, YOU WERE SAYING THAT YOU HAD ONE TENANT THAT ARE STAYING THERE. DO YOU KNOW HOW LONG THEY'VE BEEN THERE?

>> THEY'VE BEEN THERE FOR A YEAR AND A HALF. LIKE OVER A YEAR.

>> DID YOU OWN THE PROPERTY AT THE TIME?

>> THEY'RE MOVING BECAUSE THEY HAD A BABY THREE MONTHS AGO. I DON'T KNOW IF THEY'RE HERE TONIGHT, BUT THEY'RE GOING TO STAY AS LONG AS THEY CAN BASICALLY.

>> S. O'KEEFE: OKAY. THANK YOU VERY MUCH. WE'RE GOING TO CLOSING THE PUBLIC HEARING. AND WE'RE GOING TO BRING IT BACK TO THE BOARD FOR COMMENT. ULTIMATELY A DECISION. COMMENTS.

TERESA -- IGOR.

>> I. TREGUB: I WAS GOING TO MAKE A MOTION TO APPROVE IT

WITH ONE NEW CONDITION AND THIS IS TO JOHN'S POINT EARLIER. THIS IS SIMILAR TO A CONDITION WE ADDED A FEW MEETINGS AGO. IN A SIMILAR SITUATION. AND IF IT CAN BE FOR THE BETTER, I CERTAINLY DEFER TO YOU, JOHN, OR LEAH. BUT THE LANGUAGE I'M PROPOSING IS THAT BMC 13.76 WHICH IS THE RENT STABILIZATION ORDINANCE SHALL CONTINUE TO APPLY TO THE TWO EXISTING RENT-CONTROLLED UNITS AND ANY PRESENT OR FUTURE OCCUPANTS.

>> I WILL SECOND YOUR MOTION.

>> WE HAVE A MOTION AND A SECOND. TERESA, DO YOU WANT TO SPEAK?

>> YOU TOOK THE WORDS OUT OF MY MOUTH, IGOR.

>> S. O'KEEFE: ALL RIGHT.

>> I APPRECIATE YOUR NOT FIGHTING THE TWO RENT-CONTROLLED UNITS AND THEY'LL CONTINUE TO STAY. I ACTUALLY THOUGHT IT WAS A GREAT PROJECT BUT UNCONCERNED THAT THERE IS SO MUCH CONCERN BY THE COMMUNITY. I CAN'T SAY NOW IT'S ENOUGH FOR ME TO VOTE TO DENY THE PROJECT, BUT I REALLY THINK IT'S IMPORTANT THAT YOU REACH OUT TO THEM. I CAN'T IMAGINE HOW THAT UNIT IS NOT GOING TO HAVE A HUGE LIGHT AND I THINK THAT -- AGAIN, I DON'T FEEL IT'S ENOUGH FOR ME TO SAY THAT, BUT WE'VE SEEN OTHER PROJECTS WHERE PEOPLE ARE ABLE TO INTERACT WITH THE NEIGHBORS BETTER SO I ENCOURAGE YOU TO FIGURE OUT HOW TO DO THAT. OBVIOUSLY I DON'T KNOW ANYTHING ABOUT WHAT THE SITUATION IS, BUT IT'S A SMALL COMMUNITY. YOU'RE GOING TO LIVE CLOSELY. SO YOU'RE GOING TO NEED

TO DO -- YOU'LL WANT TO ADDRESS THAT ESPECIALLY FOR THE UNITS THAT ARE GOING TO BE IMPACTED.

>> I WOULD ALSO LIKE TO ENCOURAGE YOU TO DISCUSS THIS WITH THE NEIGHBORS. IT SEEM LIKE YOU COULD DO MITIGATION LIKE LANDSCAPING TO DIFFUSE THE LIGHT SO THEY'RE NOT LOOKING AT A BLANK WALL. THAT SEEMS LOOK A REASONABLE ACCOMMODATION THAT COULD BE MADE. AND ALSO, IF YOU WOULD CONSIDER THE PARKING ISSUES. I FEEL THAT ON THE DAYS WHEN YOU DO DRIVE IN AND YOU HAVE THREE CLIENTS THERE, WHERE ARE THEY GOING IT PARK? AND HOW ARE THEY GOING TO GET IN AND OUT. ONE OF THE SPACES IS AN ADA SPACE. IF YOU DON'T HAVE PEOPLE THAT REQUIRE THAT, ONLY TWO SPACES ARE AVAILABLE, SO JUST THINKING ABOUT WHAT THEY SAID ABOUT RENTING A SPACE OR HAVING AN AGREEMENT WITH ANOTHER PROJECT IN THE AREA MIGHT BE A GOOD SOLUTION. THANK YOU.

>> S. O'KEEFE: DOHEE.

>> I AM IN FAVOR OF APPROVING THE PROJECT BUT IN TERMS OF PARKING AS SOME OF THE BOARD MEMBERS HAVE SAID. IT WOULD BE NICE TO KIND OF JUST BE MINDFUL OF THAT PARKING PRESSURE IN THE NEIGHBORHOOD. I ALSO WANTED TO STATE THAT THE LANGUAGE THAT WE USE FOR PARKING SEEMS GENERAL WHEN WE REFER TO MOBILE HOMES AND RV, I FEEL LIKE THAT'S ANOTHER ISSUE THAT WE SHOULD BE CONSCIENTIOUS OF WHEN BE MORE DETAILED ABOUT. EVEN IF PARKING -- BERKELEY IS NOT KNOWN FOR HAVING A LOT OF PARKING SPACES. I THINK WE SHOULD BE MORE CONSCIENTIOUS.

>> S. O'KEEFE: IGOR.

>> I. TREGUB: THANK YOU. I AGREE WITH MANY OF THE COMMENTS MY COLLEAGUES HAVE MADE. I THINK THE COLLEAGUES WHO KNOW ME WELL ENOUGH KNOW WHERE I STAND ON PARKING. HOWEVER, THE CONCERN THAT ARE ALWAYS MORE COMPELLING TO ME TEND TO BE IMPACTS ON SUNLIGHT. SO I APPRECIATE IT BE BECAUSE I'VE SEEN YOU HERE BEFORE, AND I KNOW THAT YOU STRIVE TO MINIMIZE THE IMPACTS OF THE PROJECTS YOU BRING EVEN BEFORE -- WHAT SOME APPLICANTS DON'T DO. SOME BRING THE BIGGEST BOX THEY CAN GET INTO THE EXISTING ZONING AND WORK -- GO THROUGH A TENUOUS PROCESS TO THEN GET THE ZONING BOARD TO REQUIRE MITIGATION. I APPRECIATE YOUR NOT DOING THAT. I THINK TO THE EXTENT THERE MIGHT BE OPPORTUNITIES TO CONTINUE TO WORK OUT THESE CONCERNS WITH THE NEIGHBORS, I CERTAINLY WOULD ENCOURAGE THAT SINCE YOU ARE ALSO A NEIGHBOR, YOU HAVE BEEN A NEIGHBOR HAVING OWNED THAT PROPERTY. AND FOR THE NEIGHBORS, THERE ARE GOING TO BE NEW ONES MOVING IN AND SO THERE IS ALWAYS -- THESE ARE NOT EASY THINGS TO WORK OUT GIVEN THE URBAN LANDSCAPE. I'M GETTING THE CLOCK. [LAUGHTER]

>> S. O'KEEFE: THANK YOU IGOR. TERESA, YOU'RE ON.

>> BECAUSE THE APPLICANT IS ASKING TO WAIVE TWO RESIDENTIAL PARKING SPACES AND WE HAVE A COMMERCIAL AND RESIDENTIAL USE AND THEY DID SPEAK ABOUT THEIR INTENT, I'D LIKE TO SEE A FRIENDLY AMENDMENT TO ADD A CONDITION OF APPROVAL FOR A PARKING MANAGEMENT PLAN FOR STAFF REVIEW WHICH PRIORITIZES THE

PARKING -- THE SHARED USE OF THE PARKING AND ALLOWS THE ANY LOW INCOME TENANTS TO HAVE PRIORITY IF NEEDED IN THE RENT-CONTROLLED UNITS. I THINK A PARKING MANAGEMENT PLAN COULD ALLOW TANDEM PARKING IN THE BACKYARD IF PIANO KNEAD NEEDED AND I WOULD ENCOURAGE THEM TO CREATE A PLAN LIKE THAT IS ACCEPTABLE TO EVERYBODY.

>> S. O'KEEFE: IS THE MOTION MAKER AND THE SECONDER.

>> I. TREGUB: I AM FRIENDLY TO THAT.

>> I'M GOING TO ASK THE APPLICANT ALSO IF THAT IS ACCEPTABLE. IF YOU CAN WORK THROUGH THAT. THANK YOU. IT'S OKAY WITH ME.

>> S. O'KEEFE: ALEX.

>> QUICKLY. I JUST WANT TO COMMENT ON THE NEIGHBORS PARKING COMPLAINTS. WE GET THIS A LOT. ESPECIALLY IN WEST BERKELEY. I JUST DON'T WANT TO CONFUSE THE PARKING ISSUES WITH A LOT OF NEW DEVELOPMENT THAT WE'RE SEEING. WE HAVE LEGITIMATE PARKING ISSUES AND I THINK ONE OF THE SPEAKER SAYS IN LARGE PART COUNCIL'S FAILURE TO DEAL WITH RVS AND PARKING IN GENERAL AND ALLOW BEING BERKELEY TO BECOME A WILD WEST OF BERKELEY. I LIVE IN WEST BERKELEY ALSO AND IT'S A BIG ISSUE BUT A SEPARATE ISSUE. IT'S NOT AN ISSUE WE'RE GOING TO SOLVE TONIGHT. THAT'S I'M GOING TO SPORT PROJECT.

>> I JUST WANTED TO SAY TO THE APPLICANTS, I THINK IT'S IMPORTANT TO LET YOU KNOW YOU'VE DONE A GREAT PROJECT HERE.

YOU'VE GOT UNDER LOT COVERAGE AND I DON'T THINK YOU WERE EVER
LOOKING AT THIS FROM INTENDING TO FIGHT AFFORDABLE OR LOW-INCOME
HOUSING, YOU'VE EMBRACED THAT. AS WE HAVE DISCUSSIONS LIKE THIS
AND THE NEIGHBORS NEED TO WORK OUT CERTAIN AREAS OF MITIGATION
OR WAYS TO MAKE COMPROMISES, IT'S NOT ON THE BURDEN OF THE
RESPONSIBILITY OF THE APPLICANT, I THINK THE NEIGHBOR TO THE
SOUTH ALSO NEEDS TO BE OPEN TO MAKING SURE THAT THEY ARE MOVING
FORWARD AS A GOOD NEIGHBOR TO THIS NEW INCOMING POTENTIALLY
INCOMING APPLICANT THAT MAY BE APPROVED HERE TONIGHT. I WILL
SUPPORT THIS PROJECT. I THINK THAT YOU'VE DONE A WONDERFUL
INFILL JOB WITH IT.

>> S. O'KEEFE: OKAY. LET'S HAVE A VOTE. SORRY, LEAH WOULD
LIKE TO MAKE IT A COMMENT.

>> WHILE TRYING TO PRIORITIZE SOMEONE WHO IS LOW INCOME IS
A CREATIVE NEW IDEA, BUT I GUESS I WOULD ASK THAT YOU
CONSIDER -- YOU UNDER THE LAW HAVE TO, IF SOMEONE APPLIES FOR
SECTION 8, YOU HAVE TO CONSIDER THEM, THAT YOU COULD ACTIVELY
SEEK OUT TENANTS BECAUSE IT'S A NARCOTIC RENT THAT THEY'RE
SUPPOSED TO PAY BY HUD. THAT'S THE ONLY WAY YOU GET IT. IF
YOU'RE ABLE TO CHARGE AS MUCH AS YOU WANT, WE HAVE LOTS OF
PEOPLE WITH ELDERS, FOLKS WHO ARE DISABLED THAT HAVE SECTION 8
VOUCHERS THAT CAN'T FIND HOUSING IN BERKELEY THAT ARE FROM HERE.
THAT WOULD MAKE A HUGE DIFFERENCE. BECAUSE YOU'LL STILL GET
MARKET RENT BUT IT WILL BE A SUBSIDY. THAT IS BEING -- MAKING A

BIG DIFFERENCE AND ADDRESS THE WELLNESS IN OUR COMMUNITY.

>> S. O'KEEFE: MAYBE IF THEY HAVE HEALTH PROBLEMS THEY CAN GO TO YOU.

>> THANK YOU, LEAH. I'D LIKE TO HAVE A ROLL CALL. DO WE NEED TO RESTATE THE MOTION?

>> I THINK SO. THERE ARE TWO REVISIONS FOR CONDITIONS OF APPROVAL, ONE RELATES TO THE APPLICABILITY OF BMC 13.06. AND WILL APPLY TO FUTURE AND EXISTING TENANTS AND THE CONDITION OF APPROVAL TO DEVELOP A PARKING MANAGEMENT PLAN.

>> CHAIR O'KEEFE: ROLL CALL.

>> BOARD MEMBER CLARKE.

>> YES.

>> SELAWSKY.

>> YES.

>> BOARD MEMBER KIM.

>> YES.

>> BOARD MEMBER TREGUB.

>> YES.

>> BOARD MEMBER SIMON-WEISBERG.

>> YES.

>> BOARD MEMBER CHING.

>> YES.

>> BOARD MEMBER MATTHEWS.

>> YES.

>> SHARENKO.

>> YES.

>> AND CHAIR O'KEEFE.

>> YES, THAT PASSES. YOU HAVE YOUR USE PERMIT. IT'S APPEALABLE TO THE CITY COUNCIL. GOOD LUCK.

>> S. O'KEEFE: THAT CONCLUDES THE ORIGINAL CONSENT CALENDAR. WE'LL NOW MOVE ON TO THE ORIGINAL ACTION CALENDAR STARTING WITH 8TH STREET. AND A MOMENT WE WILL HAVE A STAFF REPORT FOR 8TH STREET. IN A MOMENT, WE'LL HAVE A STAFF REPORT FOR 8TH STREET.

>> SHALL I BEGIN?

>> S. O'KEEFE: GIVE THE APPLICANT 30 SECONDS.

>> ARE WE READY FOR THE STAFF REPORT?

>> THIS IS A USE PERMIT APPLICATION FOR 2015-8TH STREET. THIS IS TO CONSTRUCT A NEW TWO-STOREY DETACHED TWO UNIT BUILDING CONTAINING TWO ENCLOSED PARKING SPACE FOR A TOTAL OF FOUR DWELLING UNITS ON THE PARCEL TO REDUCE THE MINIMUM REAR YARD SETBACK FROM 15 TO ONLY 5 FEET, TO CREATE A ROOF DECK ON A PORTION OF THE NEW BUILDING AND ESTABLISH TWO NEW UNCOVERED PARKING SPACES FOR A TOTAL OF FOUR PARKING PLACES. THE PARCEL IS ZONED R-4 WHICH IS MULTI-FAMILY RESIDENTIAL AND IT'S DESIGNATED AS A HIGH-DENSITY RESIDENTIAL AREA. FOR THIS PARTICULAR PROPOSAL, THIS PROJECT REQUIRES USE PERMIT APPROVAL CONSTRUCT A DWELLING UNIT IN THE R-4 DISTRICT AND APPROVAL TO REDUCE THE



I. ZONING PROJECT APPLICATION FORM

RECEIVED

MAY 24 2018

LAND USE PLANNING

(This box for staff use only.)

ZP201 8-0108 w/ORSL2018-0006 PLN201 _____

Administrative Use Permit Pre-Application
 Use Permit / Variance
 Modification of any of the Above

Intake Planner: VICKY SCHLEPP

• **Project Address:** 2422 5TH STREET, BERKELEY Unit/Suite #: _____

Project Description: CONVERSION OF EXISTING DWELLING UNIT INTO ACUPUNCTURE & WELLNESS OFFICES AND CONSTRUCTION OF NEW DUPLEX.

• **Property Owner Name:** ANNA & CARL GOLD

Owner's Mailing Address: 2422-5TH STREET, BERKELEY, CA

Phone #: 510-691-0757 x | Home Mobile Business E-mail: aquariumama@gmail.com

• **Applicant Name** (or write "same"): DEVI DUTTA ARCHITECTURE

Applicant's Mailing Address: 928 CARLETON STREET, BERKELEY, 94710

Phone #: 510-705-1937 Home Mobile Business E-mail: hello@devidutta.com

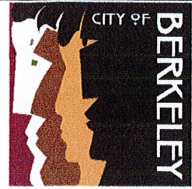
For projects involving <u>only</u> the following four items and <u>none</u> of the items on pages 2-3 of this form, please refer to the handout indicated in the right-hand column <u>instead</u> of filling out this form.	
1. Converting existing Rental or Tenant In Common (TIC) Units to Condominiums?	Refer to the "Condominium Conversion Procedures: Guide for Applicants"
2. Demolition of, or exterior alterations to, a designated City of Berkeley Landmark, Structure of Merit, or structure in a City Historic District (or interior alterations to such buildings if publicly owned)?	Refer to the "Landmark Preservation Commission: Structural Alteration Permit and Design Review Submittal Requirements"
3. Application to designate a City Landmark, Structure of Merit or Historic District?	Refer to the "Landmark, Structure of Merit or Historic District Designation Form"
4. Exterior changes (including signs) to (1) any structure (new or existing) in a non-residential zoning district OR (2) a commercial or mixed-use building in the R-4 District?	Refer to the Design Review Submittal Packet
Continued on Page 2	

PLANNING & DEVELOPMENT

Land Use Planning Division, 1947 Center Street, 2nd Floor, Berkeley, CA 94704

Tel: 510.981.7410 TDD: 510.981.6903

Fax: 510.981.7420 Email: Planning@CityofBerkeley.info

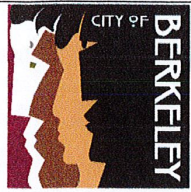


I. ZONING PROJECT APPLICATION FORM

Submittal Requirements Checklist – Instructions

1. Complete the checklist below and **sign the bottom of page 3.** (*Owner must also sign, or provide a letter authorizing the applicant to sign on the owner's behalf.*)
2. For each question for which you check "yes", review the Zoning Project Submittal Requirements to learn more and to provide the item indicated in the right-hand column.
3. **Submit a pdf copy of the entire application, along with the paper application to the Planner at the Permit Service Center, Zoning Counter.**

Does the project include:	No	Yes	Handout / Application Requirement
1. Any work requiring an Administrative Use Permit, Use Permit, Variance, or Modification of any these permits?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Required For All Projects
2. Any new structure(s), addition(s), demolition(s), exterior alteration(s), or change(s) of use?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Required For All Projects Involving Construction
3. A new main building, OR a new accessory building/structure or main building addition within 2 feet of a required setback?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary/Topographic Survey
4. More than 50 cubic yards of grading?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Grading Plan
5. A request to waive or reduce required parking?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking Survey
6. (1) a building over three stories in height, (2) a Density Bonus, (3) an FAR over 2.0, (4) over 10,000 sq. ft. of gross floor area; OR any wireless installation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Photo Simulations
7. A new main building or an addition exceeding 14 feet in average height in the 'H' Overlay District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Section Drawings Story Poles
8. A new main building or an addition exceeding 14 feet in average height on a site adjacent to a residential use?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shadow Study
9. A new main building (except accessory buildings/structures)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Street Strip Elevation
10. Creation of (1) 5 or more dwelling or live/work units, or (2) additional condominium units resulting in 5 or more condominium units on the site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Housing Affordability Statement Applicant Anti-Discriminatory Housing Policies
11. Under Government Code Section 65915: a. A request for a Density Bonus? b. A request for any concessions or incentives in addition to a Density Bonus?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Housing Affordability Statement Additional Incentives or Concessions Documents
12. Creation of (1) 10 or more dwelling units, (2) 5,000 sq. ft. of floor area, OR (3) 25 or more peak hour vehicle trips (based on ITE trip generation rates)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Traffic Impact Analysis
13. Creation or replacement of 2,500 square feet or more of impervious surface area? (Includes additions and new buildings but not routine maintenance and re-surfacing).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Stormwater Requirements Checklist
14. Any new dwelling unit(s), or addition or renovation of 10,000 sq. ft. or more of non-residential space?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Green Building Checklist Energy Efficiency Analysis (<i>nonresidential mixed-use only</i>)
15. 2,500 sq. ft. or more of new landscape area or 2,500 sq. ft. or more of rehabilitated landscape?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Berkeley Water Efficient and Bay Friendly Landscape Requirements
16. A new building on a site with a history of soil and/or groundwater contamination or within Environmental Management Areas?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Phase I or II Assessment
17. A new building or addition in a liquefaction, landslide, or fault zone shown on the "Environmental Constraints Map"	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Seismic Hazard Investigation
18. Federal funding, either directly or through the City of Berkeley Housing Trust Fund?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Area of Potential Effects (APE) Statement
19. A new business, or a new commercial space with tenant/operator already selected? (Does not include home occupations.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Zoning Use Questionnaire



I. ZONING PROJECT APPLICATION FORM

Page 3 of 4

You must disclose whether or not any of the following are true of the project:	No	Yes
<ul style="list-style-type: none"> Over 7,500 square feet of office, retail, restaurant, hotel, lodging, manufacturing, light industrial, research and development, warehouse or storage? If so, Affordable Child Care and Affordable Housing Fees apply. Refer to Council Resolutions #66,618-N.S. & #66,617-N.S. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Any new commercial or industrial building, more than five or more Dwelling Units; or an addition or more than 10,000 square feet. If so, Percent for Public Art on Private Projects Program applies, per BMC Chapter 23C.23. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Project involves the elimination or rehabilitation of any dwelling units, and/or are any of the dwelling units on the property controlled rental units? If so, your application will be referred to the Rent Stabilization Board. No action is required on your part. You may contact them at (510) 981-7368 if you have any questions. 	<input type="checkbox"/>	x1
<ul style="list-style-type: none"> Construction activity within the drip line of a Coast Live Oak tree with circumference over 18" at 4'-6" above ground (or 26" aggregate circumference for multi-trunked trees)? If so, the Moratorium on the removal of Coast Live Oaks Ordinance applies, per BMC Chapter 6.52. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Removal of 25% or more of a main building's exterior walls and roof (including replacement of existing structural members)? If so, the Demolition Ordinance may apply, per BMC Chapter 23C.08. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Smoke Shops or Drug Paraphernalia? 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Cultivation, Distribution, Manufacture or Sale of Cannabis? 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Demolition or substantial change of a building >40 years old? If so, the Demolition Ordinance will apply, per BMC Chapter 23C.08, as well as Section 15300.2 of the CEQA Guidelines. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Construction on a parcel that is within 40' of an open creek or 25' of a culverted creek? If so, the Preservation and Restoration of Natural Watercourses Ordinance applies, per BMC Chapter 17.08 	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Under penalty of perjury, I certify that:

- (1) the above information is true and complete to the best of my knowledge, and
- (2) the attached paper and electronic copies of this application are the same.

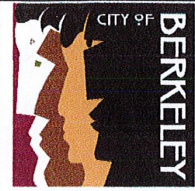
(*Owner's signature, or signed letter authorizing applicant to apply on owner's behalf, is required for all applications.)

Applicant Signature:
Printed: DEVI DUTTA-CHOUDHURY

Owner's Signature: Anna Gold
Printed: ANNA HSIEH GOLD

Date: 5/12/18

Date: 5/14/18

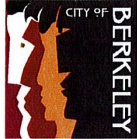


I. ZONING PROJECT APPLICATION FORM

(This page is for staff use only.)

Zoning District(s): MUR

Zoning Section	Description
1. 23 <u>E 94.030</u>	<u>UP/AUP</u> to New duplex
2. 23 <u>E 94.030</u>	<u>UP/AUP</u> to Medical office
3. 23 <u>E 94.030</u>	<u>UP/AUP</u> to Combination of residential/ commercial use
4. 23 <u>E 94.080.F</u>	<u>UP/AUP</u> to Waive residential parking
5. 23 <u>E 94.090.I</u>	<u>UP/AUP</u> to eliminate dwelling unit
6. 23 _____	UP/AUP to
7. 23 _____	UP/AUP to
8. 23 _____	UP/AUP to
9. 23 _____	UP/AUP to



CITY OF BERKELEY

Permit Service Center
1947 Center St, 3rd floor
Berkeley, CA 94704

Receipt Date:

5/25/2018

Receipt Number:

537235

**RECEIPT
ZP2018-0108**

Applicant Information

Devi Dutta
928 CARLETON ST
BERKELEY CA 94710-2637

Property Information

Parcel Number: 056 194401100

Project Information

Type: Planning
Group: Zoning Permit
Category: NA
Sub-Category: NA
Project: 2422 Fifth Street
Work Description: Convert existing dwelling unit into a medical office. Construct duplex at rear of property. Waive one residential parking space.

Location

2422 FIFTH St
BERKELEY, CA 94710

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LAND USE PLANNING

Payor: Anna H. Gold	Payment Status: Paid	Date Printed: 5/25/2018
Cashier: BLECKY	Payment Method: Check	Check #: 1421
Fees:		Amount
UPPH020 - UPPH: Base Tier 2 - Complex Projects (< 24 hrs staff time)		\$4800.00
UPPH060 - UPPH: Additional Use Permit (on same project)		\$800.00
UPPH070 - UPPH: ZAB Public Hearing Fee		\$1025.00
RM - Records Management		\$50.00
AUP080 - AUP: Additional Administrative Use Permits		\$800.00
CPF1 - Community Planning Fee		\$120.00
ADDCPF - Community Planning Fee (15%)		\$840.00
Property Address: 2422 FIFTH St BERKELEY, CA 94710	Total:	\$8435.00

Applicant Statement

2422-5th Street is located in southwest Berkeley in the MU-R Mixed-Use Residential District. The purpose of this zoning district as stated in the Berkeley Municipal Code is to combine residential, live/work, light industrial, arts and crafts and other compatible uses, and strengthen residential concentrations which exist within the District. The existing property at 2422-5th Street consists of a craftsman style golden duplex structure consisting of an upper unit with access from a front stair, and a lower unit with access from the left side yard. There is a large vacant rear yard. To the north is a single family home. To the south is a large live/work, multi-unit development with a long 3-story wall along the north side. To the west is a furniture warehouse, located in the MULI district. The rest of the neighborhood is similarly mixed, with warehouses and businesses mixed with residential and live/work uses.

The owner, Anna Gold, is an established acupuncture and wellness practitioner with a focus in fertility. Her current medical offices are in San Francisco, and she would like to move her primary business to this Berkeley location, which is allowed by the MU-R zoning. She has a young family that will likely live in this development.

The owner intends to maintain the mixed-use character of the neighborhood by converting the existing upper unit into Acupuncture and Wellness offices, and adding a 2-residential unit duplex at the rear yard. The existing lower unit in the existing structure is to remain as is. The duplex will consist of a 2-bedroom, and 3-bedroom unit with one parking space for each unit at a covered area at ground level. Designated as a medical office, the acupuncture offices require 3 parking spaces which are provided on site. Most of the changes to the existing structure will be minor interior changes to accommodate the new use, and structural upgrades. We are also adding a small lift to the front deck to allow accessibility for all visitors. We request a parking waiver for 1 parking space for the third residential unit at the site. The project meets all of the other development standards for the MU-R zoning, including setbacks, height, lot coverage and open space. Additional parking can be accommodated in the shared driveway for visitors or guests, and in the evenings and weekends as the medical use operates during 9am-4pm business hours only. If a parking waiver request is not accepted, the additional parking space can be provided adjacent to the accessible parking stall in lieu of excess open space.

The (2) 3-story townhomes are acoustically separated from each other, allowing privacy to tenants. Ground level private open space is provided for each unit, and one unit has a deck. Each duplex unit has an assigned parking space which is covered. The driveway will be constructed with permeable paving, which would allow the space to also be used for recreation.

The new building design follows traditional design principles of gabled roofs and bay windows that echo some of the neighboring structures, and also has more modern features such as cement plaster and metal panel finishes, and large windows. Residential parking is screened from the neighborhood with a gate and planting buffer to the south and north. The palette is neutral and simple, consisting of grey cement plaster and painted wood siding. The decks will have perforated metal railings.

This is a low-impact project that fits in well with the neighborhood character and typology.



PROPOSED PROJECT

PROJECT INFORMATION
2422 1st Street, BERKELEY
Conversion of existing dwelling unit
into two apartment offices & new
construction of duplex.

APPLICANT INFORMATION
Devi Dutta Architecture
425 Carleton Street
Berkeley, CA 94710
510/708-1937

For more information check the
Planning Department webpage:
www.ci.berkeley.ca.us/planning
or call 510/981-7410

PUBLIC NOTICES:

EG # 0005648



**2422 5TH ST
BERKELEY
CA 94710
5/14/2018**

PROJECT DESCRIPTION:

CONVERSION OF UPPER UNIT OF EXISTING DUPLEX INTO ACUPUNCTURE & WELLNESS OFFICES. ADDITION OF NEW DUPLEX AT REAR YARD; EXISTING LOWER RESIDENTIAL UNIT TO REMAIN.

ARCHITECT:

DEVI DUTTA-CHOUDHURY, AIA
DEVI DUTTA ARCHITECTURE INC.
928 CARLETON STREET
BERKELEY, CA 94710
510-705-1937
hello@devidutta.com

OWNER:

ANNA & CARL GOLD
2422 5TH ST
BERKELEY, CA 94710





EXISTING WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



PROPOSED WEST VIEW 2422 5TH STREET



EXISTING EAST VIEW 2422 5TH STREET



A - EXISTING FRONT OF HOUSE



B - EXISTING



C - EXISTING FRONT YARD



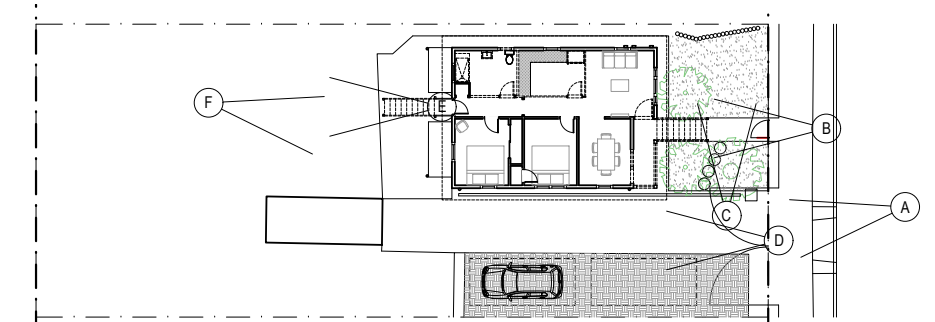
D - EXISTING DRIVEWAY



E - EXISTING REAR STAIR/YARD



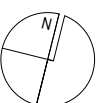
F - EXISTING BACK OF HOUSE



A0.4 **SITE PHOTOS**
SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18





PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704
 Tel: 510.981.7410 TDD: 510.981.6903 Fax: 510.981.7420 Email:
Planning@CityofBerkeley.info

DATE STAMP HERE

ZONING USE QUESTIONNAIRE

Property Address 2422 5TH STREET Permit # _____
 Applicant Name DEVI DUTTA ARCHITECTURE Phone # 510-705-1937
 Name of Property Owner (if different from applicant) ANNA HSIEH GOLD Phone # 510-691-0757
 Proposed Use ACUPUNCTURE OFFICE Previous Use SINGLE FAMILY RES.
 Describe your business: ACUPUNCTURE SEVICES

Does your business include the sale of: Drug Paraphernalia? Tobacco? Alcohol Medical Marijuana?

What are adjacent uses (sides and rear?) SINGLE & MULTI FAMILY, WAREHOUSE AT REAR

Is this an existing building? Yes No

If yes, has a Change of Occupancy Inspection been made by the Building and Safety Division?

Yes _____ No

What changes will be made to the building? MINOR MODIFICATION FOR ACCESSIBILITY & USE

List days and hours of operation: Monday - Thursday: 9AM-4PM Friday: 9AM-4PM
 Saturday: 9AM-4PM Sunday: CLOSED

Is the transaction contingent on obtaining a Use Permit? Yes No Explain _____

How many employees will you have (including yourself)? Total 2 Per Shift _____

How many customers do you expect at one time? 2 When will be your busiest hours? 9AM-4PM

Is there an existing parking lot? Yes No Do you share it with any other use? _____

Will you provide parking for customers? Yes No How many spaces? 3 SPACES

Will you provide parking for employees? Yes No How many spaces? _____

Will parking be on the same property? Yes No If not, explain: _____

From what area do you expect the majority of your customers:

Immediate neighborhood _____ Several neighborhoods Passing Traffic _____ City-wide _____ Larger area _____

Will you be selling any alcoholic beverages for off-site consumption? Yes _____ No

If yes, have you applied for an off-sale license from the State Department of Alcoholic Beverage Control? Yes _____ No

Will you be selling beverages in containers subject to California Redemption Value (CRV)? Yes _____ No

ADDRESS: _____ DATE: _____

ESTABLISHMENTS SERVING FOOD OR DRINK

Proposed seating (#) _____ Maximum allowable capacity under Building Code (#) _____

What type of cooking will you feature? _____

How will cooking odors be controlled? _____

What arrangement will be made for recycling? _____

Alcoholic Beverages

Will you serve beer? _____ Wine? _____ Liquor? _____

With meals only? _____ Separately? _____ At a bar? _____

Have you applied for a license from Department of Alcoholic Beverage Control? Yes _____ No _____

Music

Will you provide live entertainment? Yes _____ No _____ Of what type? _____

Will there be live music? _____ Recorded? _____ Amplified at what level? _____

Will sound control be provided? Yes _____ No _____

What are the assurances that sound control will be adequate? _____

When will sound controls be installed? _____

Who is responsible for assuring that the business operates as described above?

[PRINT NAME] ANNA HSIEH GOLD _____

Signature Anna Gold Date 5/14/18



PLANNING & DEVELOPMENT

Land Use Planning, 2120 Milvia Street, Berkeley, CA 94704
Tel: 510.981.7410 TDD: 510.981.7474 Fax: 510.981.7420
Email: Planning@ci.berkeley.ca.us

II.E. HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to the Permit Streamlining Act (PSA), a development permit application may not be accepted as complete unless and until the applicant has submitted a signed statement indicating whether the proposed project site or any alternative site(s) is on the lists of hazardous waste sites compiled pursuant to Government Code Section 65962.5 by the California Secretary for Environmental Protection.

Data lists / maps are available at the following websites (check multiple lists and categories):

<http://www.calepa.ca.gov/SiteCleanup/CorteseList/>

<http://www.envirostor.dtsc.ca.gov/public/>

<https://geotracker.waterboards.ca.gov/>

Applicant's Information:

Name: DEVI DUTTA ARCHITECTURE

Street Address: 928 CARLETON STREET, BERKELEY

City, State, Zip Code: BERKELEY, CA, 94710

Phone Number: 510-705-1937

Project Information:

Address: 2422 5TH STREET

City, State, Zip Code: BERKELEY, CA, 94710

Assessor's book, page, and parcel number: 056 194401100

Specify any list pursuant to Section 65962.5 of the Government Code:

NONE

Regulatory identification number: _____

Date of list: 4/30/18

Applicant's verification:

Signature:  Date: 5/11/18



PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704
Tel: 510.981.7410 TDD: 510.981.6903 Fax: 510.981.7420 Email: Planning@CityofBerkeley.info

TABULATION FORM

Project Address: 2422 5TH STREET Date: 5/10/2018
 Applicant's Name: DEVI DUTTA ARCHITECTURE
 Zoning District MIXED USE RESIDENTIAL (MUR)

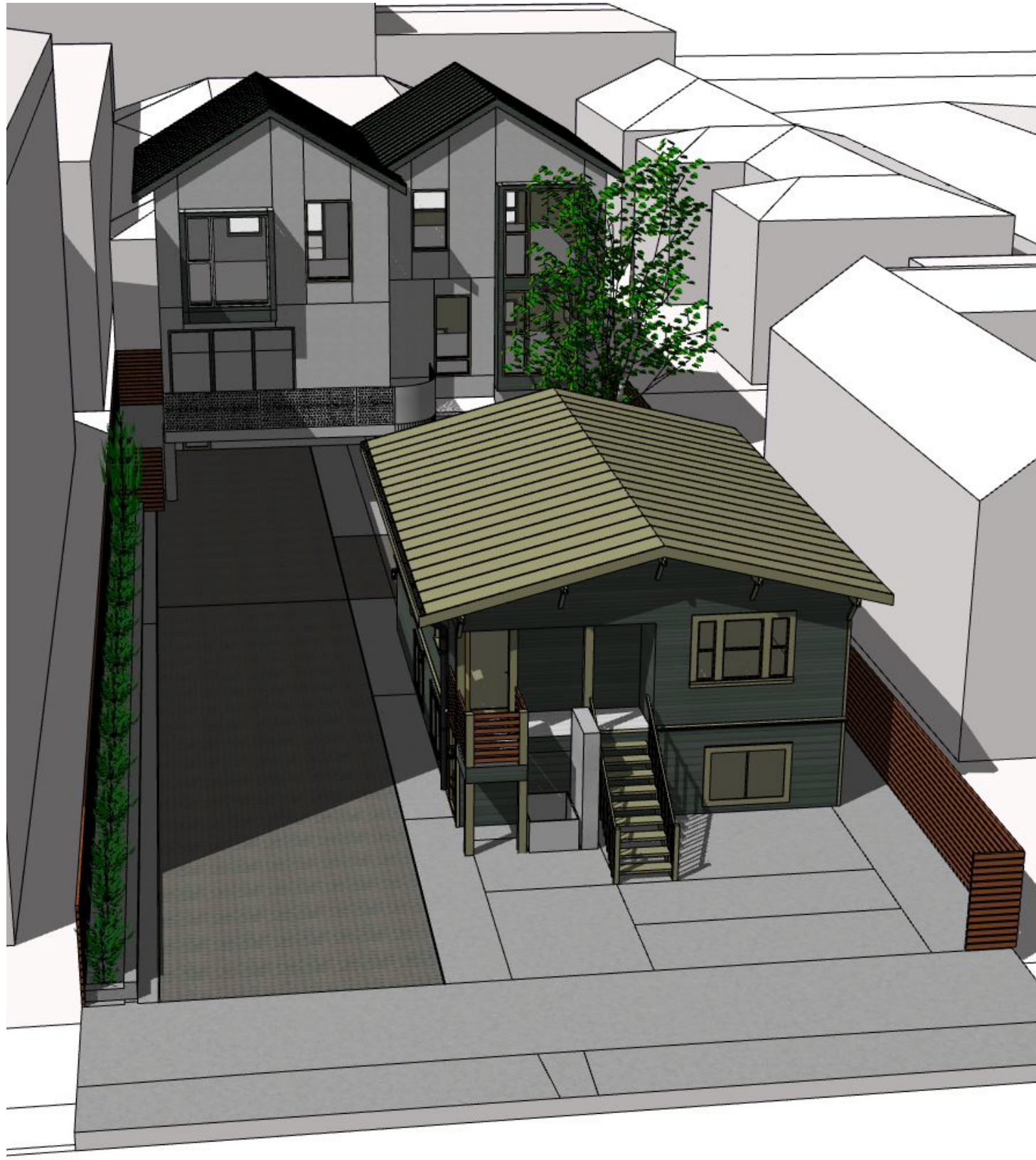
Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units, Parking Spaces & Bedrooms			
Number of Dwelling Units (#)	2	3 + OFFICE	$\frac{1 \text{ DU}}{1250} = \frac{6250}{1250} = 5$ ALLOWABLE UNITS
Number of Parking Spaces (#)	2	3 RES. 3 MEDICAL	1/UNIT RES1/200
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)	4	7	-
Yards and Height			
Front Yard Setback (Feet)	19'	19'	5'
Side Yard Setbacks: (facing property)			
Left: (Feet)	20'	5'	NONE
Right: (Feet)	4'	5'	NONE
Rear Yard Setback (Feet)	67'	5'	NONE ADJACENT TO NON RES.
Building Height* (# Stories)	2	3	3
Average* (Feet)	16'-3"	31'-5 1/2"	-
Maximum* (Feet)	18'	35'	35'
Areas			
Lot Area (Square-Feet)	6250	6250	40' WIDTH MIN.
Gross Floor Area* (Square-Feet) Total Area Covered by All Floors	1701	4624	-
Building Footprint* (Square-Feet) Total of All Structures	984 (INCL STAIRS)	2256	-
Lot Coverage* (%) (Footprint/Lot Area)	15.7%	36%	<40%
Useable Open Space* (Square-Feet)	3297 SF	862 SF	150/UNIT = 450 SF
Floor Area Ratio* Non-Residential only (Except ES-R)	N/A		

*See Definitions – Zoning Ordinance Title 23F.

Revised: 05/15

PROPOSED PROJECT



PROJECT INFORMATION

2422 5th Street, BERKELEY

Conversion of existing dwelling unit into acupuncture offices & new construction of duplex.

APPLICANT INFORMATION

Devi Dutta Architecture

928 Carleton Street

Berkeley, CA 94710

510/705-1937

For more information check the Planning Department webpage:
www.ci.berkeley.ca.us/planning
or call 510/981-7410

PUBLIC NOTICES:

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NEW HOME RATING SYSTEM, VERSION 7.0
MULTIFAMILY CHECKLIST

Total Points Targeted: 66

Certification Level:

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Community (2) Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites CALGreen Mandatory, E5.2, H6.1, J5.1, O1, O7.

Directions for Use: Column A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the blue "points achieved" column.

The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual. For more information please visit www.builditgreen.org/greenpointrated
Build It Green is not a code enforcement agency.

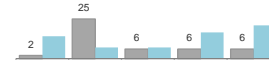
A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater and certified by Build It Green.

New Home Multifamily Version 7

Project Name: 2422 5th Street
Project Street: 5th Street
Project City: Berkeley
Project Zip: 94710

POINTS REQUIRED

■ Minimum Points
■ Targeted Points



Measures		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
		Possible Points						
CALGreen								
Yes	CALGreen Res (REQUIRED)	4	1	1	1	1		
A. SITE								
Yes	A1. Construction Footprint (Site Preservation Plan Beyond Local Ordinance or 40% of Site Undeveloped)	1				1		
A2. Job Site Construction Waste Diversion								
No	A2.1 75% C&D Waste Diversion (Including Alternative Daily Cover)	0				2		
No	A2.2 65% C&D Waste Diversion (Excluding Alternative Daily Cover)	0				2		
No	A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility	0				1		
No	A3. Recycled Content Base Material (Minimum 25% Post-Consumer Content)	0				1		
Yes	A4. Heat Island Effect Reduction (Non-Roof)	1	1					
No	A5. Construction Environmental Quality Management Plan Including Flush-Out	0			1			
A6. Stormwater Control: Prescriptive Path								
Yes	A6.1 Permeable Paving Material	1					1	
Yes	A6.2 Filtration and/or Bio-Retention Features	1					1	
Yes	A6.3 Non-Leaching Roofing Materials	1					1	
No	A6.4 Smart Stormwater Street Design	0	1					
No	A7. Stormwater Control: Performance Path (Treat 85% of Annual Runoff Onsite)	0					3	
B. FOUNDATION								
Yes	B1. Fly Ash and/or Slag in Concrete (Minimum of 30%)	1				1		
N/A	B2. Radon-Resistant Construction	0		2				
Yes	B3. Foundation Drainage System	2				2		
N/A	B4. Moisture Controlled Crawlspace	0		1				
B5. Structural Pest Controls								
Yes	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections	1				1		
Yes	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation	1				1		
C. LANDSCAPE								
68.00%	Enter the landscape area percentage. Points capped at 3 for areas less than 15%.							
TBD	C1. Plants Grouped by Water Needs (Hydrozoning)						1	
TBD	C2. Three Inches of Mulch in Planting Beds						1	
C3. Resource Efficient Landscapes								
Yes	C3.1 No Invasive Species Listed by Cal-IPC	1				1		
Yes	C3.2 Plants Chosen and Located to Grow to Natural Size (Limited Maintenance)	1				1		
Yes	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	3					3	
C4. Minimal Turf in Landscape								
Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	2					2	
Yes	C4.2 Turf on a Small Percentage of Landscaped Area	2					2	
No	C5. Trees to Moderate Building Temperature (at least 50% of West Facing Glazing and Walls Shaded)	0	1	1			1	
TBD	C6. High-Efficiency Irrigation System						2	
TBD	C7. One Inch of Compost in the Top Six to Twelve Inches of Soil (with Soil Testing)						2	
TBD	C8. Rainwater Harvesting System						3	
TBD	C9. Recycled Wastewater Irrigation System						1	
TBD	C10. Submeter or Dedicated Meter for Landscape Irrigation						2	
TBD	C11. Landscape Meets Water Budget						1	
C12. Environmentally Preferable Materials for Site								
TBD	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing					1		
TBD	C12.2 Play Structures and Surfaces Have an Average Recycled Content ≥20%					1		
Yes	C13. Reduced Light Pollution (Exterior lighting fixtures shielded and directed downward)	1	1					
TBD	C14. Large Stature Tree(s)		1					
No	C15. Third Party Landscape Program Certification	0					1	
No	C16. Maintenance Contract with Certified Professional	0					1	
No	C17. Community Garden	0	2					
D. STRUCTURAL FRAME AND BUILDING ENVELOPE								

Project Name: 2422 5th Street Project Street: 5th Street Project City: Berkeley Project Zip: 94710		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
D1. Optimal Value Engineering							
TBD	D1.1 Joists, Rafters, and Studs at 24 Inches on Center			1		2	
TBD	D1.2 Non-Load Bearing Door and Window Headers Sized for Load					1	
TBD	D1.3 Advanced Framing Measures					2	
TBD	D2. Construction Material Efficiencies (Pre-assembled wall and roof framing for at least 80% of project)					1	
D3. Engineered Lumber							
No	D3.1 Engineered Beams and Headers	0				1	
Yes	D3.2 Wood I-Joists or Web Trusses for Floors	1				1	
Yes	D3.3 Engineered Lumber for Roof Rafters	1				1	
TBD	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications					1	
Yes	D3.5 OSB for Subfloor	0.5				0.5	
No	D3.6 OSB for Wall and Roof Sheathing	0				0.5	
TBD	D4. Insulated Headers		1				
D5. FSC-Certified Wood							
TBD	D5.1 Dimensional Lumber, Studs, and Timber					6	
TBD	D5.2 Panel Products					3	
D6. Solid Wall Systems							
TBD	D6.1 At Least 90% of Floors					1	
TBD	D6.2 At Least 90% of Exterior Walls		1			1	
TBD	D6.3 At Least 90% of Roofs		1			1	
TBD	D7. Energy Heels on Roof Trusses		1				
16 inches	D8. Overhangs and Gutters	1	1			1	
D9. Reduced Pollution Entering the Home from the Garage							
No	D9.1 Detached Garage	0			2		
Yes	D9.2 Mitigation Strategies for Attached Garage	1			1		
D10. Structural Pest and Rot Controls							
Yes	D10.1 All Wood Located At Least 12 Inches Above the Soil	1				1	
TBD	D10.2 Wood Framing Treating With Borates or Factory-Impregnated, or Wall Materials Other Than Wood					1	
Yes	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms, Utility Rooms, and Basements)	2		1		1	
E. EXTERIOR							
Yes	E1. Environmentally Preferable Decking	1				1	
TBD	E2. Flashing Installation Third-Party Verified					2	
No	E3. Rain Screen Wall System	0				2	
TBD	E4. Durable and Non-Combustible Cladding Materials					1	
E5. Durable Roofing Materials							
Yes	E5.1 Durable and Fire Resistant Roofing Materials or Assembly	1				1	
TBD	E5.2 Roofing Warranty for Shingle Roofing	N	R	R	R	R	R
No	E6. Vegetated Roof	0	2	2			
F. INSULATION							
F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content							
TBD	F1.1 Walls and Floors					1	
TBD	F1.2 Ceilings					1	
F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions							
TBD	F2.1 Walls and Floors			1			
TBD	F2.2 Ceilings			1			
F3. Insulation That Does Not Contain Fire Retardants							
TBD	F3.1 Cavity Walls and Floors			1			
TBD	F3.2 Ceilings			1			
TBD	F3.3 Interior and Exterior Insulation			1			
G. PLUMBING							
G1. Efficient Distribution of Domestic Hot Water							
Yes	G1.1 Insulated Hot Water Pipes	1		1			
Yes	G1.2 WaterSense Volume Limit for Hot Water Distribution	1				1	
Yes	G1.3 Increased Efficiency in Hot Water Distribution	2				2	
G2. Install Water-Efficient Fixtures							
Yes	G2.1 WaterSense Showerheads 1.8 gpm with Matching Compensation Valve	2				2	
Yes	G2.2 WaterSense Bathroom Faucets with 1.0gpm or less	1				1	
≤1.28 gpf	G2.3 WaterSense Toilets with a Maximum Performance (MaP) Threshold of No Less Than 500 Grams 1.28gpf OR 1.1 gpf	1				2	
TBD	G2.4 Urinals with Flush Rate of ≤ 0.1 Gallons/Flush					1	
TBD	G3. Pre-Plumbing for Graywater System					1	
TBD	G4. Operational Graywater System					3	
TBD	G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout					1	
Yes	G6. Submeter Water for Tenants	2				2	
H. HEATING, VENTILATION, AND AIR CONDITIONING							
H1. Sealed Combustion Units							

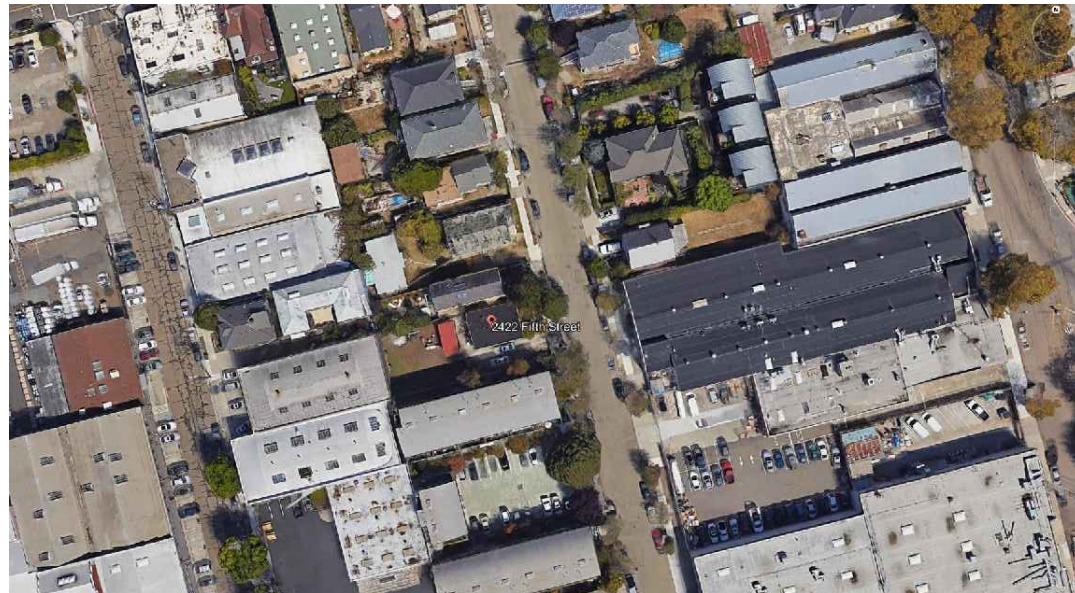
Project Name: 2422 5th Street Project Street: 5th Street Project City: Berkeley Project Zip: 94710		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
TBD	H1.1 Sealed Combustion Furnace				1		
TBD	H1.2 Sealed Combustion Water Heater				2		
TBD	H2. High Performing Zoned Hydronic Radiant Heating System			1	1		
	H3. Effective Ductwork						
TBD	H3.1 Duct Mastic on Duct Joints and Seams			1			
TBD	H3.2 Pressure Balance the Ductwork System			1			
Yes	H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified	1			1		
	H5. Advanced Practices for Cooling						
TBD	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms			1			
Yes	H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At Least One Room in 80% of Units	1		1			
	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality						
TBD	H6.1 Meet ASHRAE Standard 62.2-2010 Ventilation Residential Standards		R	R	R	R	R
TBD	H6.2 Advanced Ventilation Standards				2		
TBD	H6.3 Outdoor Air is Filtered and Tempered				1		
	H7. Effective Range Design and Installation						
TBD	H7.1 Effective Range Hood Ducting and Design				1		
TBD	H7.2 Automatic Range Hood Control				1		
TBD	H8. High Efficiency HVAC Filter (MERV 13+)				1		
TBD	H9. Advanced Refrigerants				1		
I. RENEWABLE ENERGY							
TBD	I1. Pre-Plumbing for Solar Water Heating			1			
Yes	I2. Preparation for Future Photovoltaic Installation	1		1			
0.00%	I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)	0		25			
	I4. Net Zero Energy Home						
TBD	I4.1 Near Zero Energy Home			2			
TBD	I4.2 Net Zero Electric			4			
TBD	I5. Energy Storage System			1			
TBD	I6. Solar Hot Water Systems to Preheat Domestic Hot Water			4			
TBD	I7. Photovoltaic System for Multifamily Projects			8			
J. BUILDING PERFORMANCE AND TESTING							
TBD	J1. Third-Party Verification of Quality of Insulation Installation				1		
TBD	J2. Supply and Return Air Flow Testing			1	1		
TBD	J3. Mechanical Ventilation Testing				1		
TBD	J4. Combustion Appliance Safety Testing				1		
	J5. Building Energy Performance						
0.00%	J5.1 Home Meets or Exceeds Energy Compliance Pathway	0		25+			
0.00%	J5.2 Non-Residential Spaces Outperform Title 24	0		15			
TBD	J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst			1			
TBD	J7. Participation in Utility Program with Third-Party Plan Review			1			
TBD	J8. ENERGY STAR for Homes			1			
No	J9. EPA Indoor airPlus Certification				1		
TBD	J10. Blower Door Testing				3		
Yes	J11. Compartmentalization of Units (Minimize uncontrolled pathways for indoor air pollutants between units)	2		1	1		
K. FINISHES							
	K1. Entryways Designed to Reduce Tracked-In Contaminants						
Yes	K1.1 Entryways to Individual Units (Deliberate hard surface at entrances and permanent assembly for shoe storage)	1			1		
Yes	K1.2 Entryways to Buildings (Deliberate hard surface at entrances and built-in, permanent walk-off mat or grill)	1			1		
TBD	K2. Zero-VOC Interior Wall and Ceiling Paints				2		
TBD	K3. Low-VOC Caulks and Adhesives				1		
	K4. Environmentally Preferable Materials for Interior Finish						
TBD	K4.1 Cabinets					2	
TBD	K4.2 Interior Trim					2	
TBD	K4.3 Shelving					2	
TBD	K4.4 Doors					2	
TBD	K4.5 Countertops					1	
	K5. Formaldehyde Emissions in Interior Finish Exceed CARB						
TBD	K5.1 Doors				1		
TBD	K5.2 Cabinets and Countertops					2	
TBD	K5.3 Interior Trim and Shelving					2	
TBD	K6. Products That Comply With the Health Product Declaration Open Standard					2	
TBD	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion					2	
No	K8. Comprehensive Inclusion of Low Emitting Finishes				1		
TBD	K9. Durable Cabinets (Plywood for casework and doors, ball bearing drawer slides, dovetail joints, two directional metal hinges)					2	
TBD	K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes					1	
L. FLOORING							
TBD	L1. Environmentally Preferable Flooring					3	

Project Name: 2422 5th Street Project Street: 5th Street Project City: Berkeley Project Zip: 94710		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
TBD	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential				3		
TBD	L3. Durable Flooring (All flooring is hard surface)					1	
TBD	L4. Thermal Mass Flooring			1			
M. APPLIANCES AND LIGHTING							
Yes	M1. ENERGY STAR® Dishwasher	1					1
	M2. Efficient Clothes Washing and Drying						
TBD	M2.1 CEE-Rated Clothes Washer			1			2
Yes	M2.2 Energy Star Dryer	1		1			
TBD	M2.3 Solar Dryer/ Laundry Lines			0.5			
TBD	M3. Size-Efficient ENERGY STAR Refrigerator			2			
	M4. Permanent Centers for Waste Reduction Strategies						
TBD	M4.1 Built-In Recycling Center					1	
TBD	M4.2 Built-In Composting Center					1	
	M5. Lighting Efficiency						
TBD	M5.1 High-Efficacy Lighting			2			
TBD	M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed by Lighting Consultant			2			
TBD	M6. Electric Vehicle Charging Stations and Infrastructure			2			
TBD	M7. Central Laundry						1
TBD	M8. Gearless Elevator			1			
N. COMMUNITY							
	N1. Smart Development						
TBD	N1.1 Infill Site		1			1	
TBD	N1.2 Designated Brownfield Site		1			1	
TBD	N1.3 Conserve Resources by Increasing Density			2		2	
TBD	N1.4 Cluster Homes for Land Preservation		1			1	
	N1.5 Home Size Efficiency	0				9	
3751	Enter the area of the home, in square feet						
7	Enter the number of bedrooms						
	N2. Home(s)/Development Located Near Major Transit Stop						
TBD	N2.1 Within 1 Mile of a Major Transit Stop		1				
Yes	N2.2 Within 1/2 mile of a Major Transit Stop	2	2				
	N3. Pedestrian and Bicycle Access						
	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services	0	2				
0	Enter the number of Tier 1 services						
5	Enter the number of Tier 2 services						
Yes	N3.2 Connection to Pedestrian Pathways	1	1				
Yes	N3.3 Traffic Calming Strategies	2	2				
Yes	N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide	1	1				
TBD	N3.5 Bicycle Storage for Residents		1				
TBD	N3.6 Bicycle Storage for Non-Residents		1				
1 space per unit	N3.7 Reduced Parking Capacity	2	2				
	N4. Outdoor Gathering Places						
Yes	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents	1	1				
No	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services	0	1				
	N5. Social Interaction						
Yes	N5.1 Residence Entries with Views to Callers	1	1				
Yes	N5.2 Entrances Visible from Street and/or Other Front Doors	1	1				
Yes	N5.3 Porches Oriented to Street and Public Space	1	1				
	N6. Passive Solar Design						
TBD	N6.1 Heating Load			2			
TBD	N6.2 Cooling Load			2			
	N7. Adaptable Building						
TBD	N7.1 Universal Design Principles in Units		1		1		
TBD	N7.2 Full-Function Independent Rental Unit		1				
	N8. Resiliency						
TBD	N8.1 Vulnerability Assessment (Cal-Adapt, Fortified Standard, HAZUS, FEMA P58, or Seismic Evaluation)		1		1	1	
TBD	N8.2 Strategies to Address Assessment Findings		1		1	1	
	N9. Social Equity						
TBD	N9.1 Diverse Workforce (Supplier Diversity or Local Hire)		1			1	
TBD	N9.2 Community Location (Disadvantaged Community)		1		1		
	N10. Affordability						
No	N10.1 Dedicated Units for Households Making 80% of AMI or Less	0	2				
No	N10.2 Units with Multiple Bedrooms for Households Making 80% of AMI or Less	0	1				
No	N10.3 At Least 20% of Units at 120% AMI or Less are For Sale	0	1				
	N11. Mixed-Use Developments						
No	N11.1 Live/Work Units Include a Dedicated Commercial Entrance	0	1				

Project Name: 2422 5th Street Project Street: 5th Street Project City: Berkeley Project Zip: 94710		Points Achieved	Community	Energy	IAQ/Health	Resources	Water
Yes	N11.2 At Least 2% of Development Floor Space Supports Mixed Use	1	1				
No	N11.3 Half of the Non-Residential Floor Space is Dedicated to Community Service	0	1				
O. OTHER							
Yes	O1. GreenPoint Rated Checklist in Blueprints	Y	R	R	R	R	R
TBD	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors			0.5		1	0.5
TBD	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs			0.5	0.5	0.5	0.5
TBD	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals			0.5	0.5	0.5	0.5
O5. Home System Monitors							
TBD	O5.1 Energy Home System Monitors			1			
TBD	O5.2 Water Home System Monitors					1	
O6. Green Building Education							
TBD	O6.1 Marketing Green Building		2				
TBD	O6.2 Green Building Signage			0.5			0.5
TBD	O7. Green Appraisal Addendum		R	R	R	R	R
TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation					1	
TBD	O9. Residents Are Offered Free or Discounted Transit Passes		2				
TBD	O10. Vandalism Deterrence Practices and Vandalism Management Plan					1	
TBD	O11. Smokefree Buildings				2		
TBD	O12. Integrated Pest Management Plan					1	
P. DESIGN CONSIDERATIONS							
P1. Acoustics: Noise and Vibration Control							
	Enter the number of Tier 1 practices		1		1		
	Enter the number of Tier 2 practices						
P2. Mixed-Use Design Strategies							
TBD	P2.1 Tenant Improvement Requirements for Build-Outs				1		1
TBD	P2.2 Commercial Loading Area Separated for Residential Area				1		
TBD	P2.3 Separate Mechanical and Plumbing Systems				1		
P3. Commissioning							
TBD	P3.1 Design Phase			1	1		
TBD	P3.2 Construction Phase			2	1		
TBD	P3.3 Post-Construction Phase			2	1		
TBD	P4. Building Enclosure Testing		1	1	1		
Summary							
Total Available Points in Specific Categories		374	46	111	69	94	54
Minimum Points Required in Specific Categories		50	2	25	6	6	6
Total Points Achieved		65.5	14.0	7.0	7.0	16.5	21.0

PROJECT:

**2422 5TH ST
BERKELEY, CA 94710**



SHEET INDEX:

- A0.0 COVER
- A0.1 SURVEY MAP
- A0.2 STREET PHOTOGRAPHS
- A0.3 VICINITY MAP
- A0.4 SITE PHOTOS

- A1.0 PROPOSED SITE PLAN
- A1.1 EXISTING/DEMO GROUND FLOOR
- A1.2 EXISTING/DEMO 2ND FLOOR
- A1.3 EXISTING/DEMO ELEVATIONS
- A1.4 EXISTING/DEMO ELEVATIONS

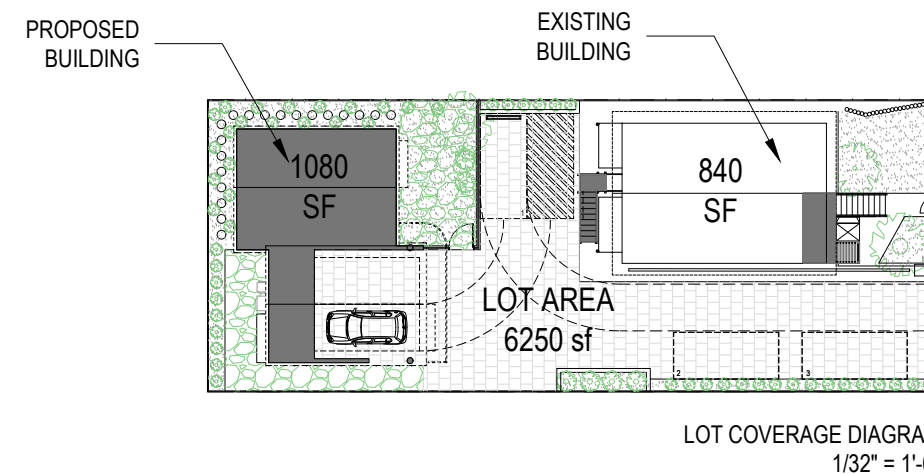
- A2.0 PROPOSED GROUND FLOOR PLAN
- A2.1 PROPOSED 2ND FLOOR PLAN
- A2.2 PROPOSED 3RD FLOOR PLAN
- A2.3 PROPOSED ROOF PLAN

- A3.0 PROPOSED ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A3.2 PROPOSED ELEVATIONS

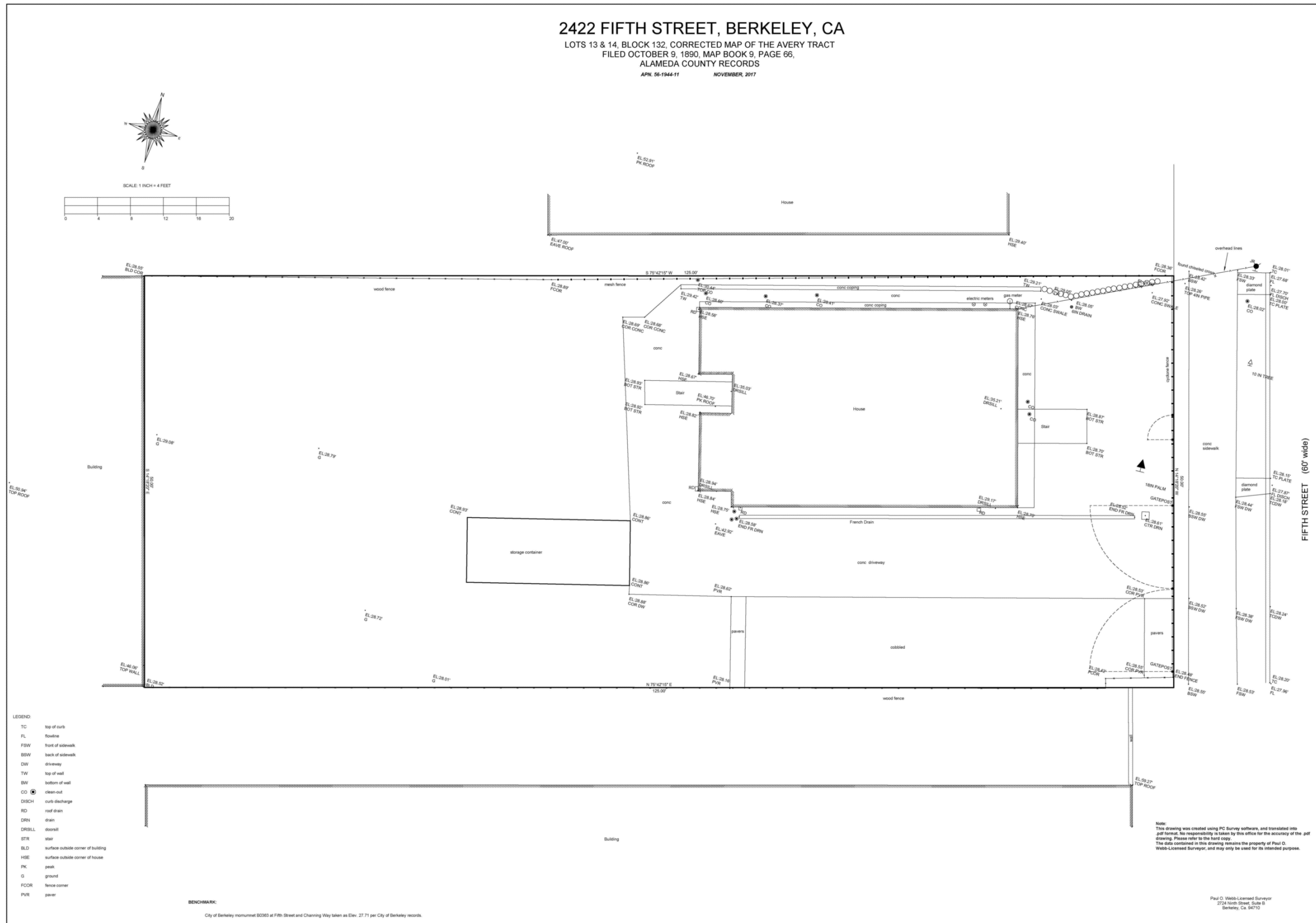
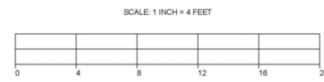
- A4.0 PROPOSED SECTIONS
- A4.1 PROPOSED SECTIONS

- A5.0 SHADOWSTUDIES SUMMER SOLSTICE
- A5.1 SHADOWSTUDIES WINTER SOLSTICE
- A5.2 SHADOWSTUDIES APRIL REVIEW
- A5.3 OPEN SPACE

ZONING TABLE			
ZONING DISTRICT	MUR: MIXED USE RESIDENTIAL		
DEVELOPMENT STANDARDS	REQUIRED / PERMITTED	EXISTING	PROPOSED
FAR	1.5 FOR RESIDENTIAL	$\frac{1783}{6250} = 0.285$	$\frac{4659}{6250} = 0.745$
DENSITY RESIDENTIAL	1 DU/1250 SF LOT AREA = $\frac{6250}{1250} = 5$ ALLOWABLE UNITS	2 UNITS	3 UNITS + OFFICE
LOT SIZE	40' WIDTH MINIMUM	50' X 125'	50' X 125'
HEIGHT, RESIDENTIAL	35'	18'	35'
HEIGHT, NON-RES.	35'	-	18'
YARDS	FRONT: 5' SIDE: 5', ADJACENT TO RESIDENTIAL REAR: NONE, ADJACENT TO NON-RES.	19'-0" 4'-0" 67'-0"	19'-0" 5'-0" 5'-10'
OPEN SPACE	150SF / DWELLING UNIT X 3 = 450SF	3297 SF	870 SF
PARKING, RESIDENTIAL	1/ UNIT	1/ UNIT = 2 TANDEM SPACES	2 RESIDENTIAL
PARKING, MEDICAL	$\frac{1}{300}$ SF	-	3 MEDICAL
BIKE PARKING	$\frac{1}{2000}$ SF NON-RES. AREA = 1 REQUIRED	-	2 PROVIDED
OCCUPANCY TYPE	-	-	R-3 OCCUPANCY
CONSTRUCTION TYPE	-	-	VB



2422 FIFTH STREET, BERKELEY, CA
LOTS 13 & 14, BLOCK 132, CORRECTED MAP OF THE AVERY TRACT
FILED OCTOBER 9, 1890, MAP BOOK 9, PAGE 66,
ALAMEDA COUNTY RECORDS
APN: 56-1944-11 NOVEMBER, 2017



- LEGEND:
- TC top of curb
 - FL roadside
 - FSW front of sidewalk
 - BSW back of sidewalk
 - DW driveway
 - TW top of wall
 - BW bottom of wall
 - CO clean-out
 - DISCH curb discharge
 - RD roof drain
 - DRN drain
 - DRSILL door sill
 - STR stair
 - BLD surface outside corner of building
 - HSE surface outside corner of house
 - PK peak
 - G ground
 - FCOR fence corner
 - PVR paver

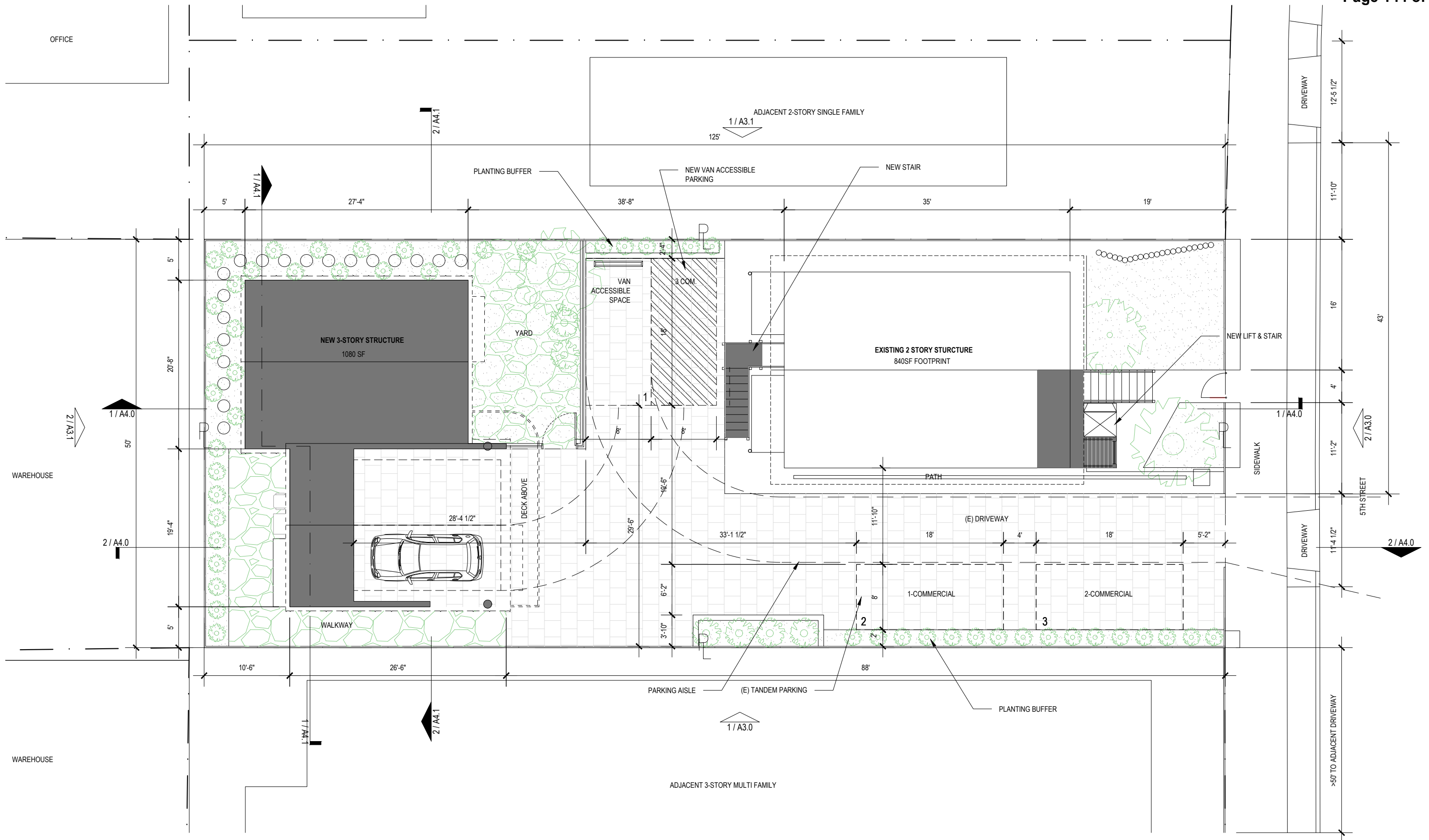
BENCHMARK

City of Berkeley monument B2053 at Fifth Street and Channing Way taken as Elev. 27.71 per City of Berkeley records.

Note:
This drawing was created using PC Survey software, and translated into pdf format. No responsibility is taken by this office for the accuracy of the pdf drawing. Please refer to the hard copy.
The data contained in this drawing remains the property of Paul O. Webb-Licensed Surveyor, and may only be used for its intended purpose.

Paul O. Webb-Licensed Surveyor
2724 North Street, Suite B
Berkeley, Ca 94710

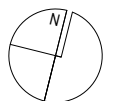




A1.0 PROPOSED SITE PLAN
SCALE: 3/32"=1'-0"

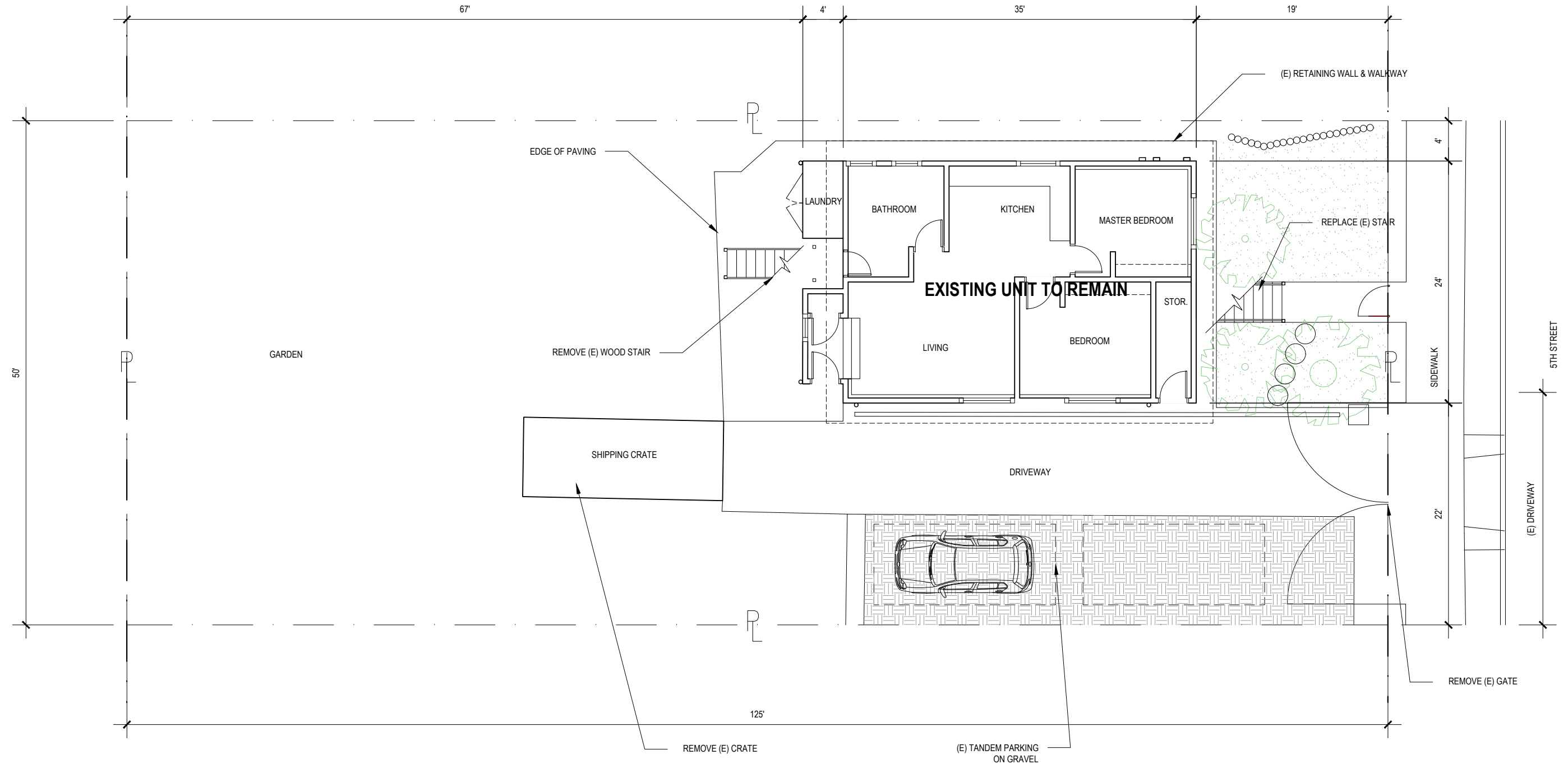
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18



WALL LEGEND:

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN



A1.1

EXISTING/DEMO GROUND FLOOR PLAN

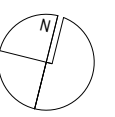
SCALE: 3/32"=1'-0"

2422 5TH STREET

DEVI DUTTA ARCHITECTURE

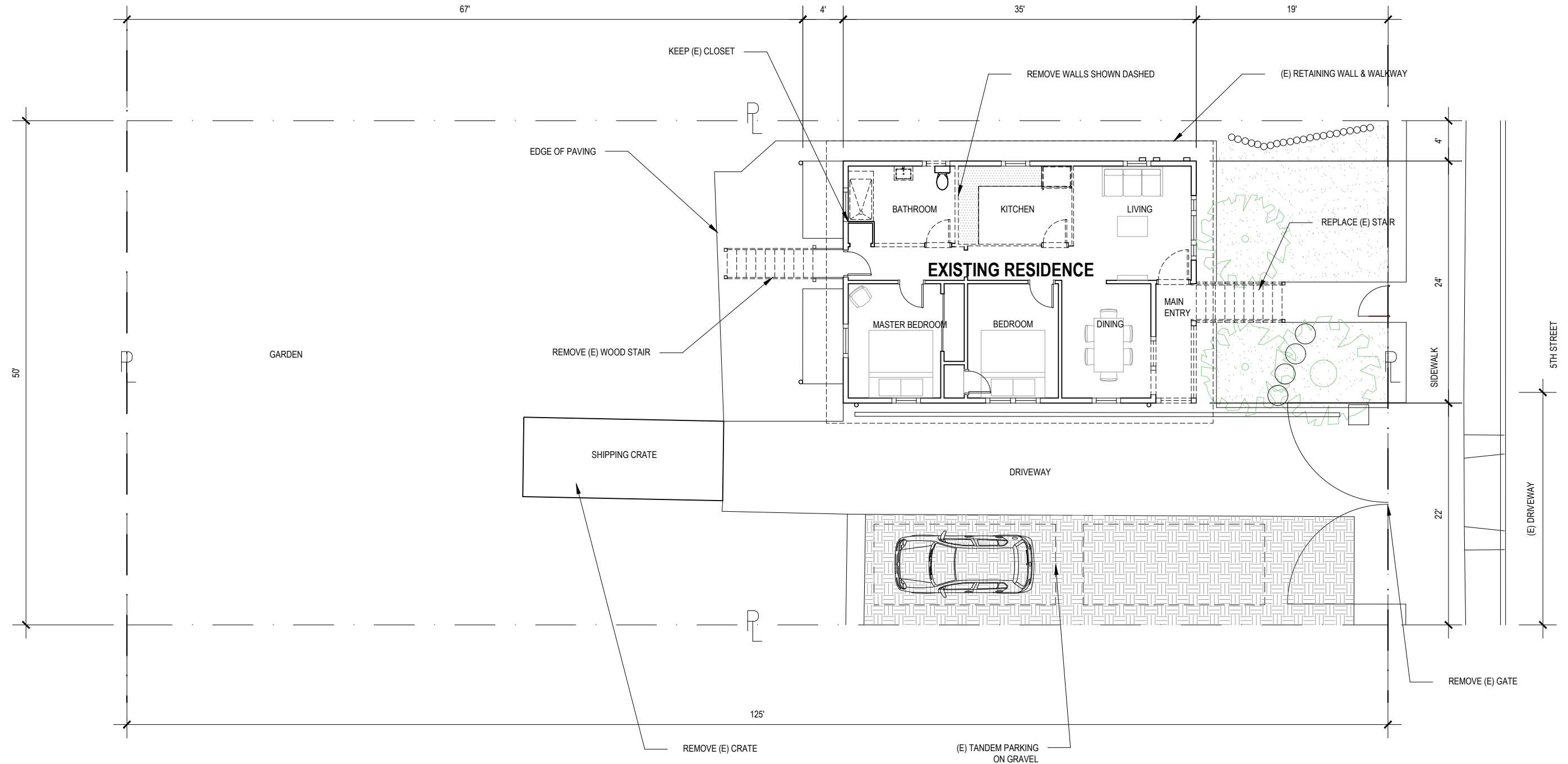
ZONING

5.21.18



WALL LEGEND:

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN



EXISTING/DEMO 2ND FLOOR PLAN

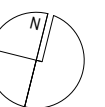
SCALE: 3/32"=1'-0"

2422 5TH STREET

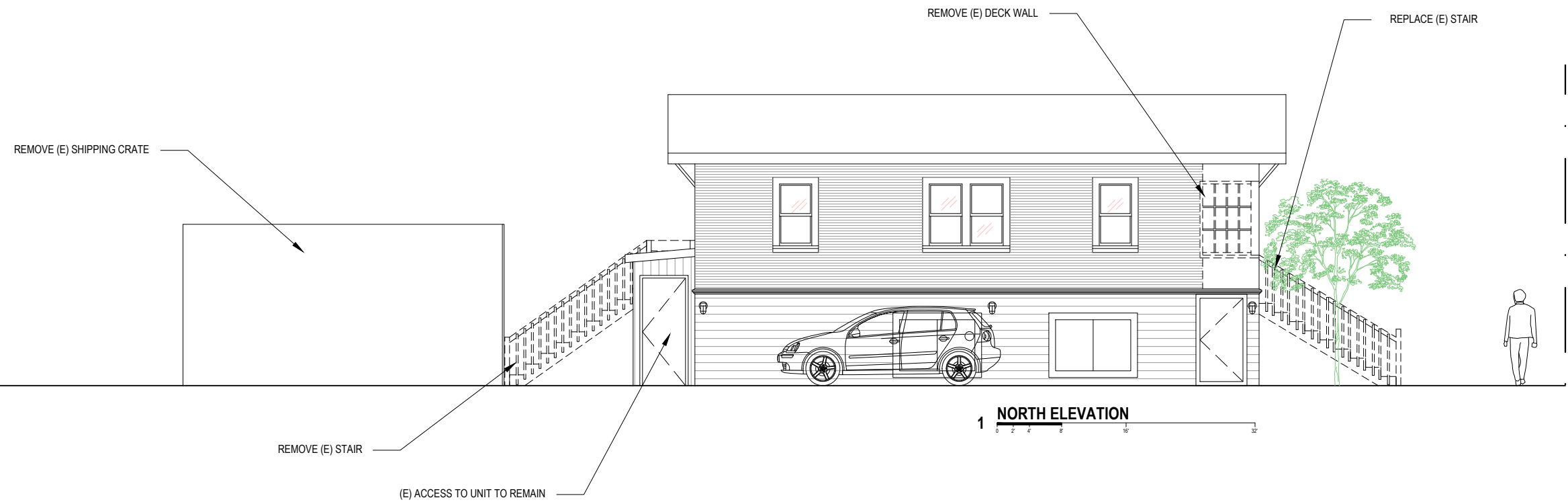
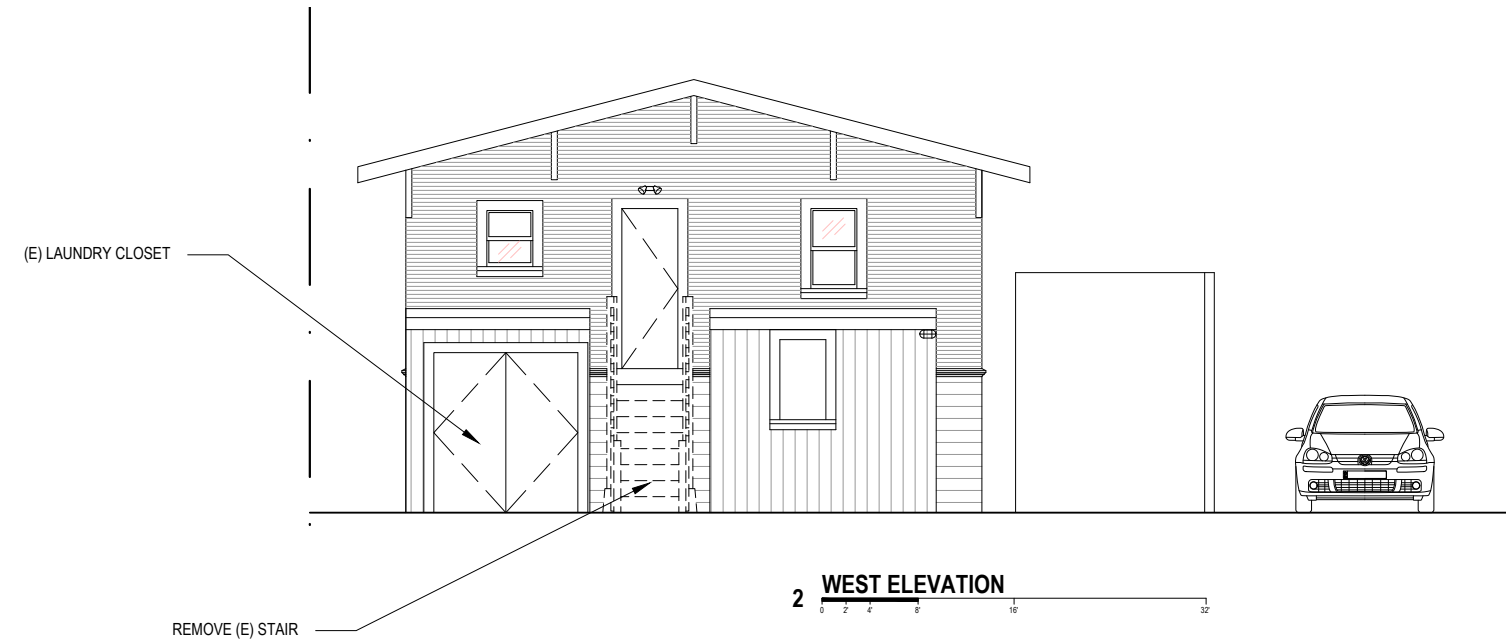
DEVI DUTTA ARCHITECTURE

ZONING

5.21.18



A1.2



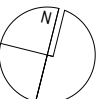
A1.3

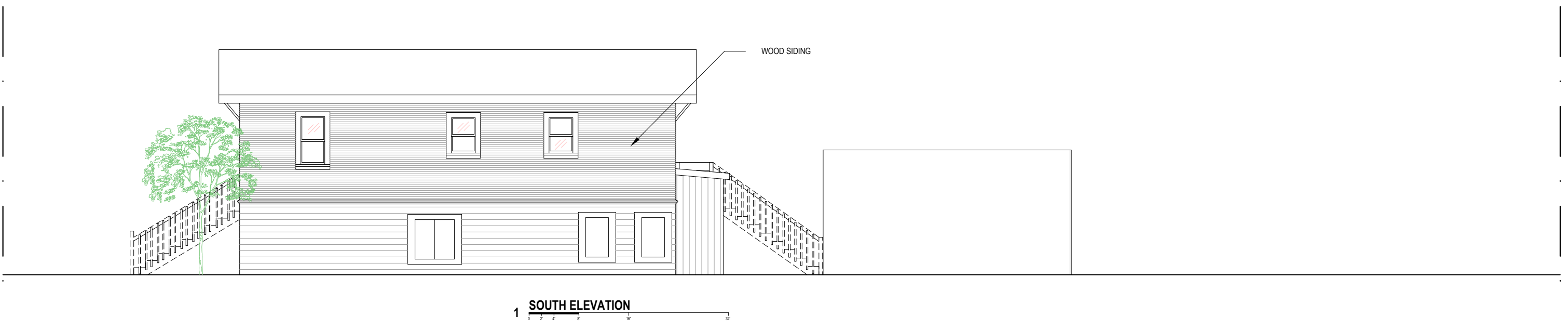
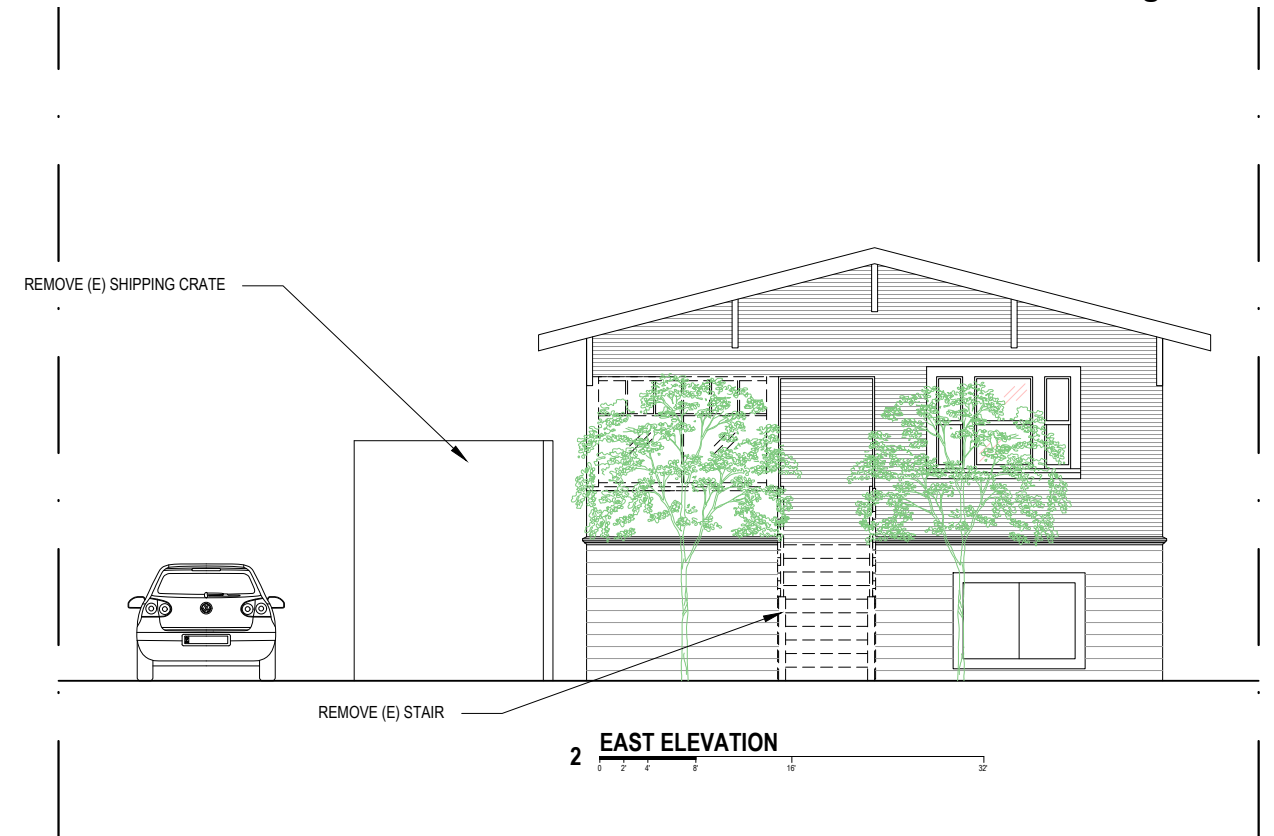
EXISTING/DEMO ELEVATIONS

SCALE: 1/8"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18





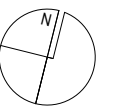
A1.4

EXISTING/DEMO ELEVATIONS




SCALE: 1/8"=1'-0"

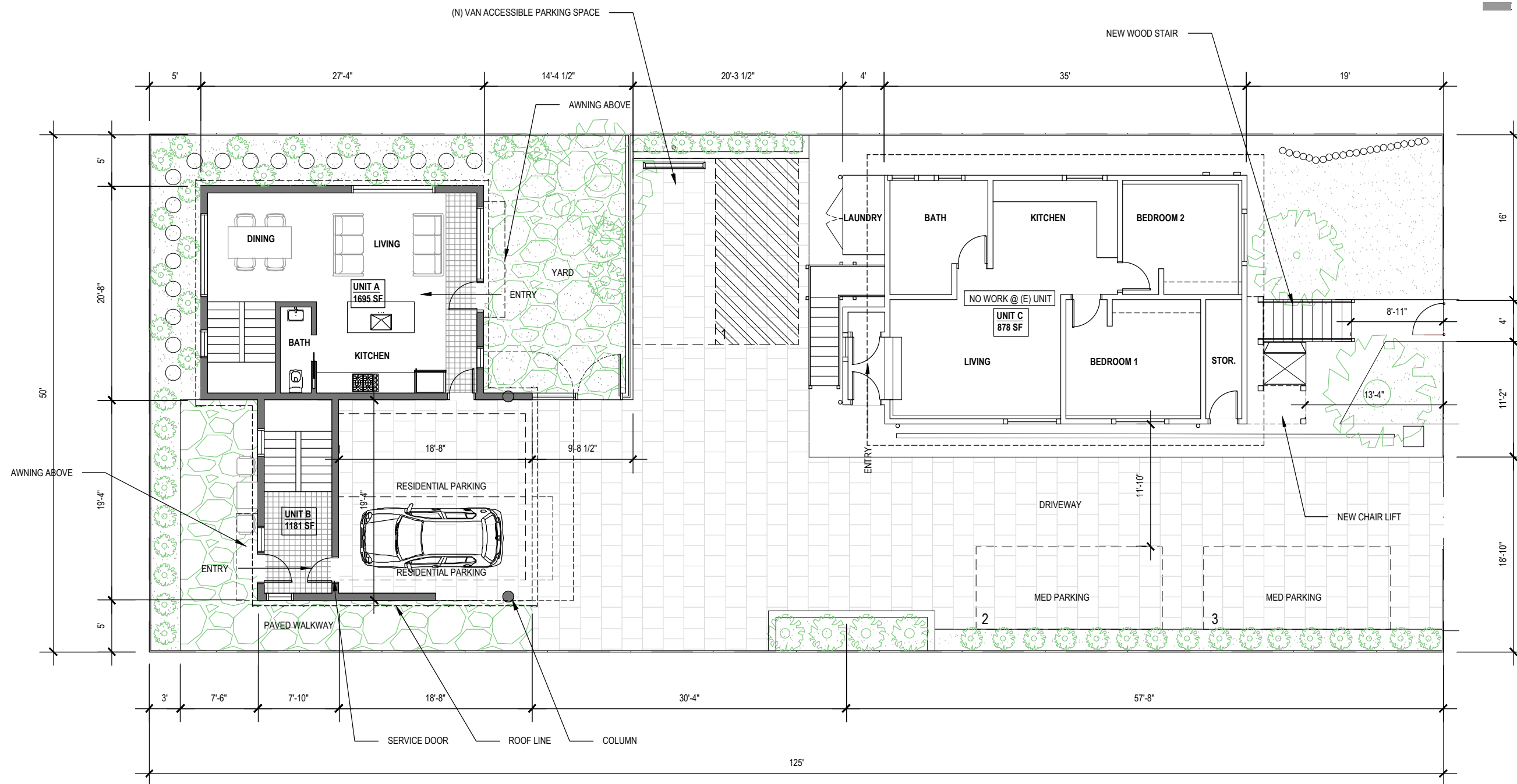
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18






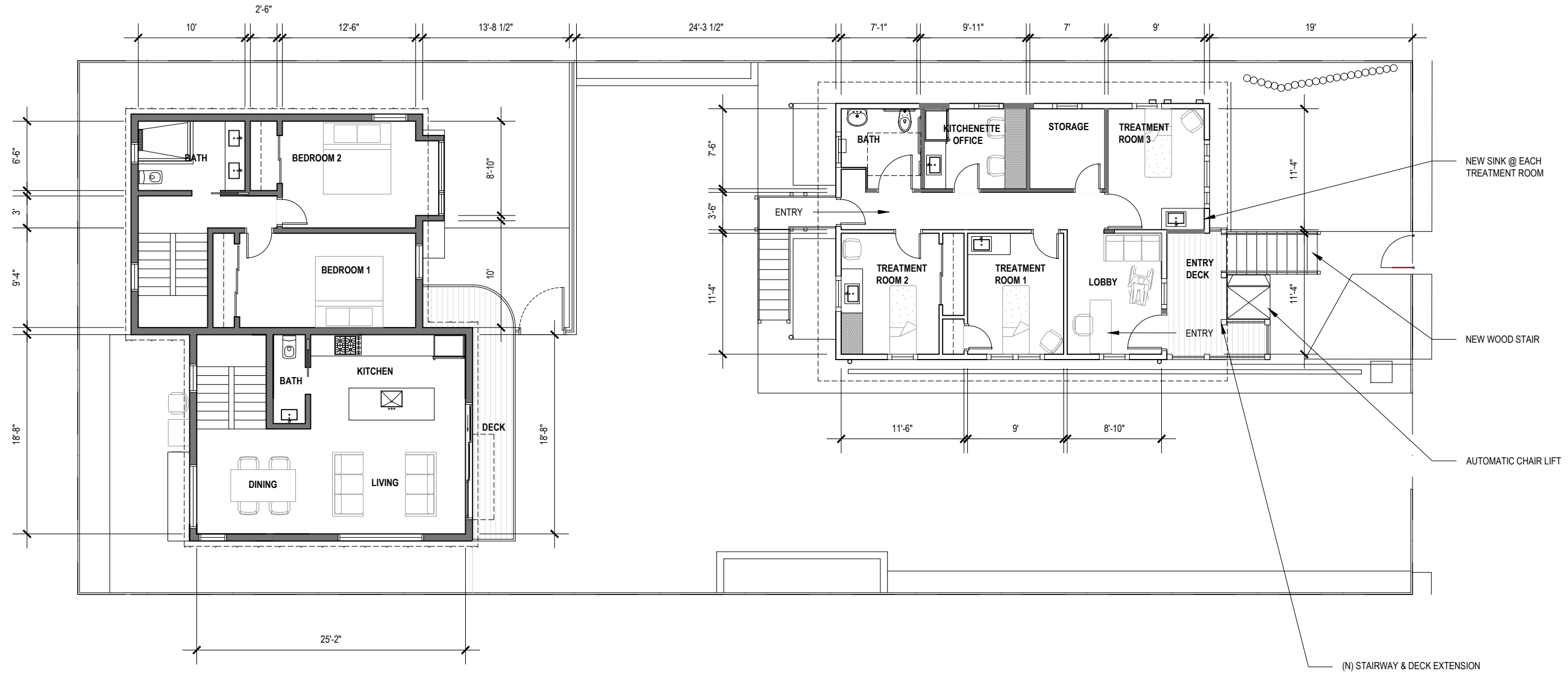
WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL



WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL



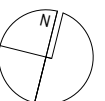
A2.1

PROPOSED 2ND FLOOR




SCALE: 3/32"=1'-0"

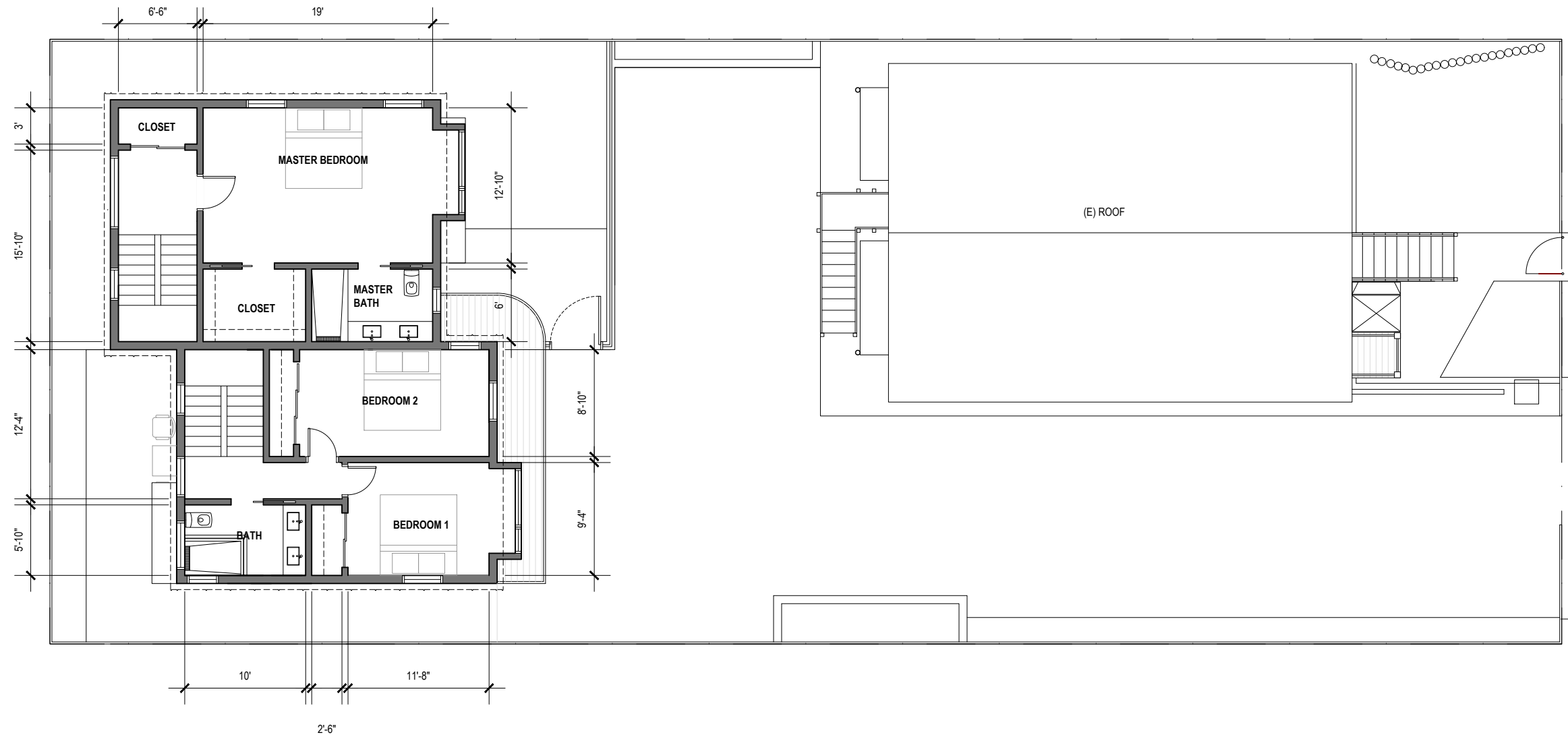
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18



WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL



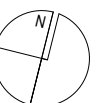
A2.2

PROPOSED 3RD FLOOR




SCALE: 3/32"=1'-0"

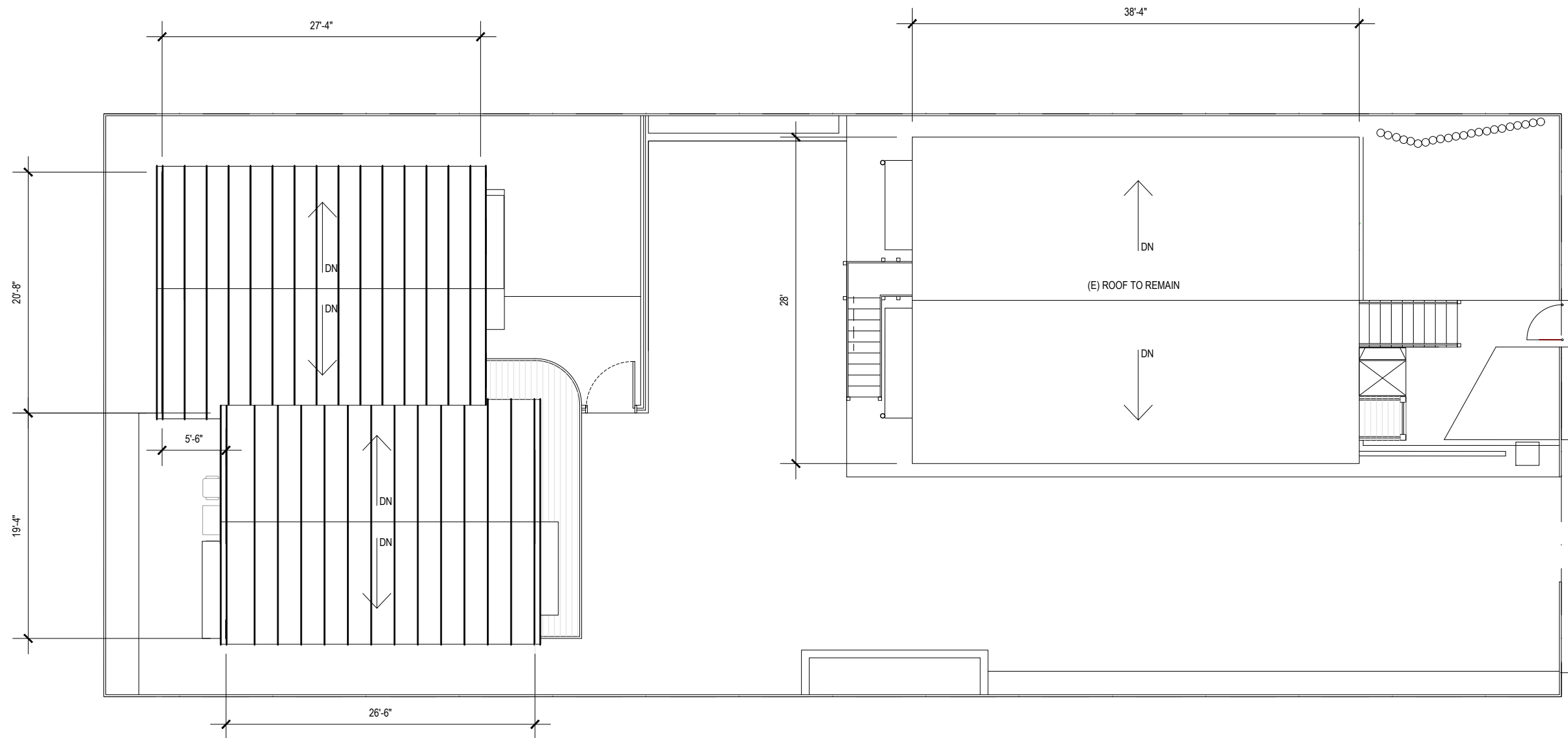
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18



WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL



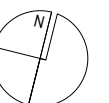
A2.3

ROOF PLAN




SCALE: 3/32"=1'-0"

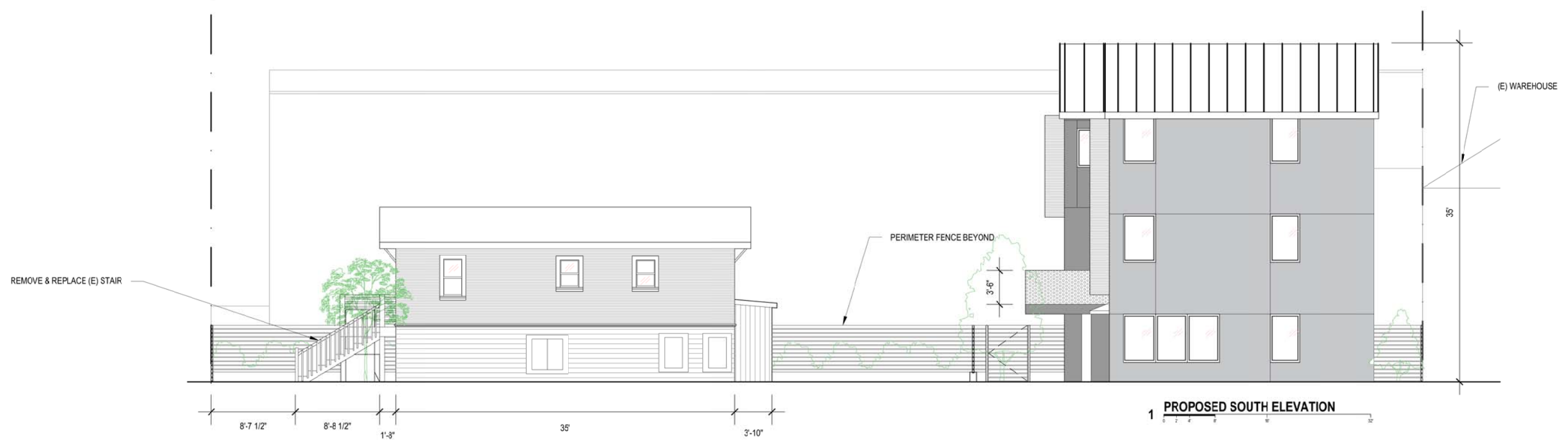
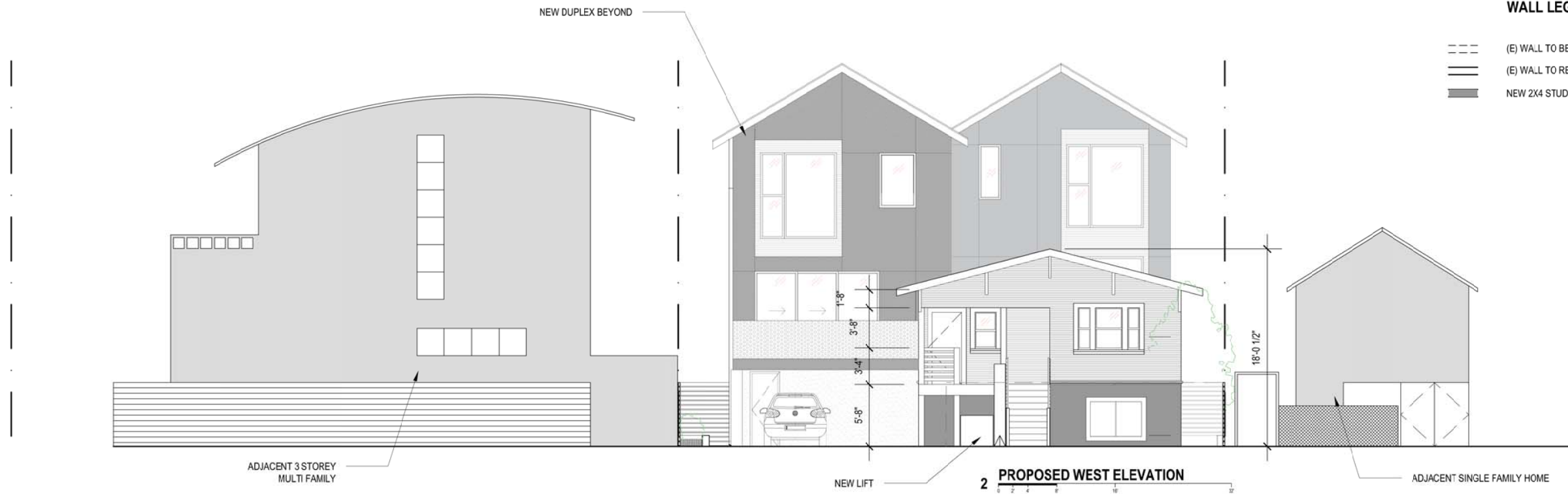
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18



WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL






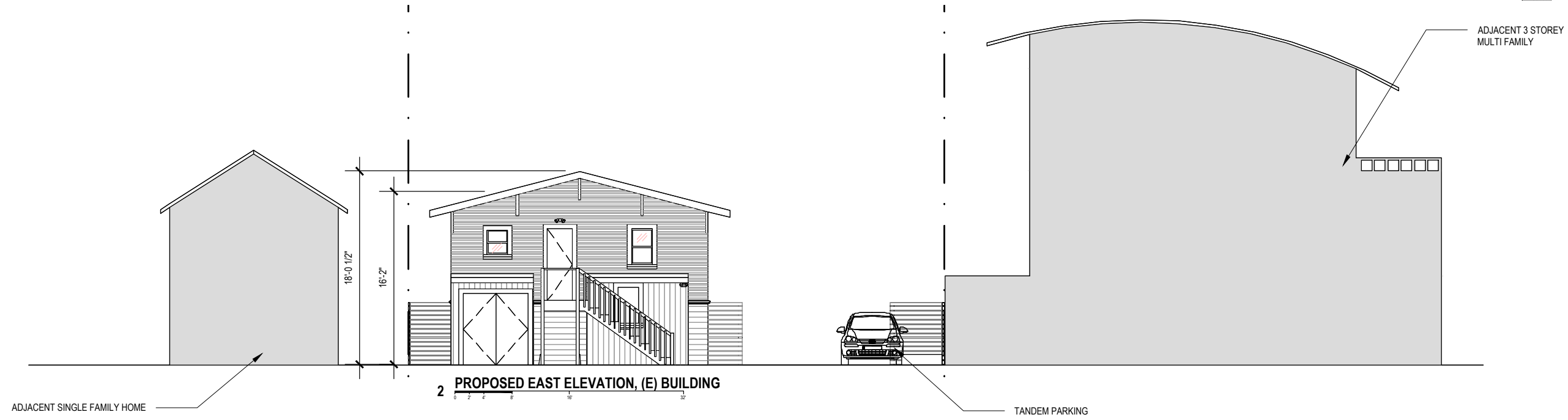
A3.0 PROPOSED ELEVATIONS
SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

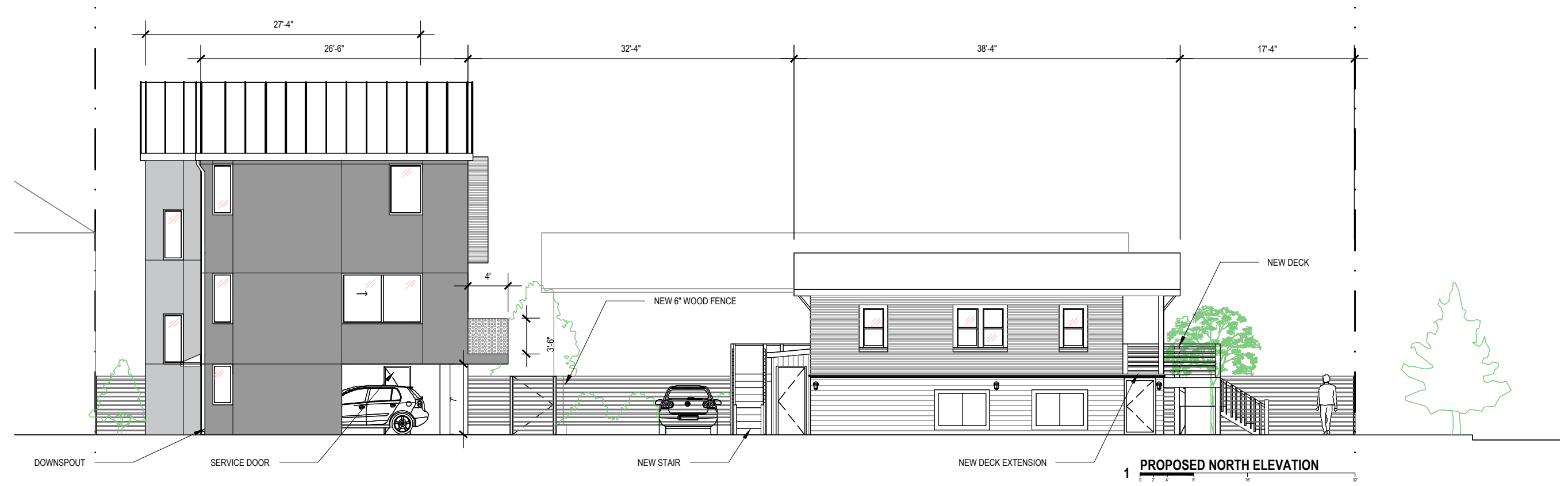
ZONING 5.21.18 

WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL






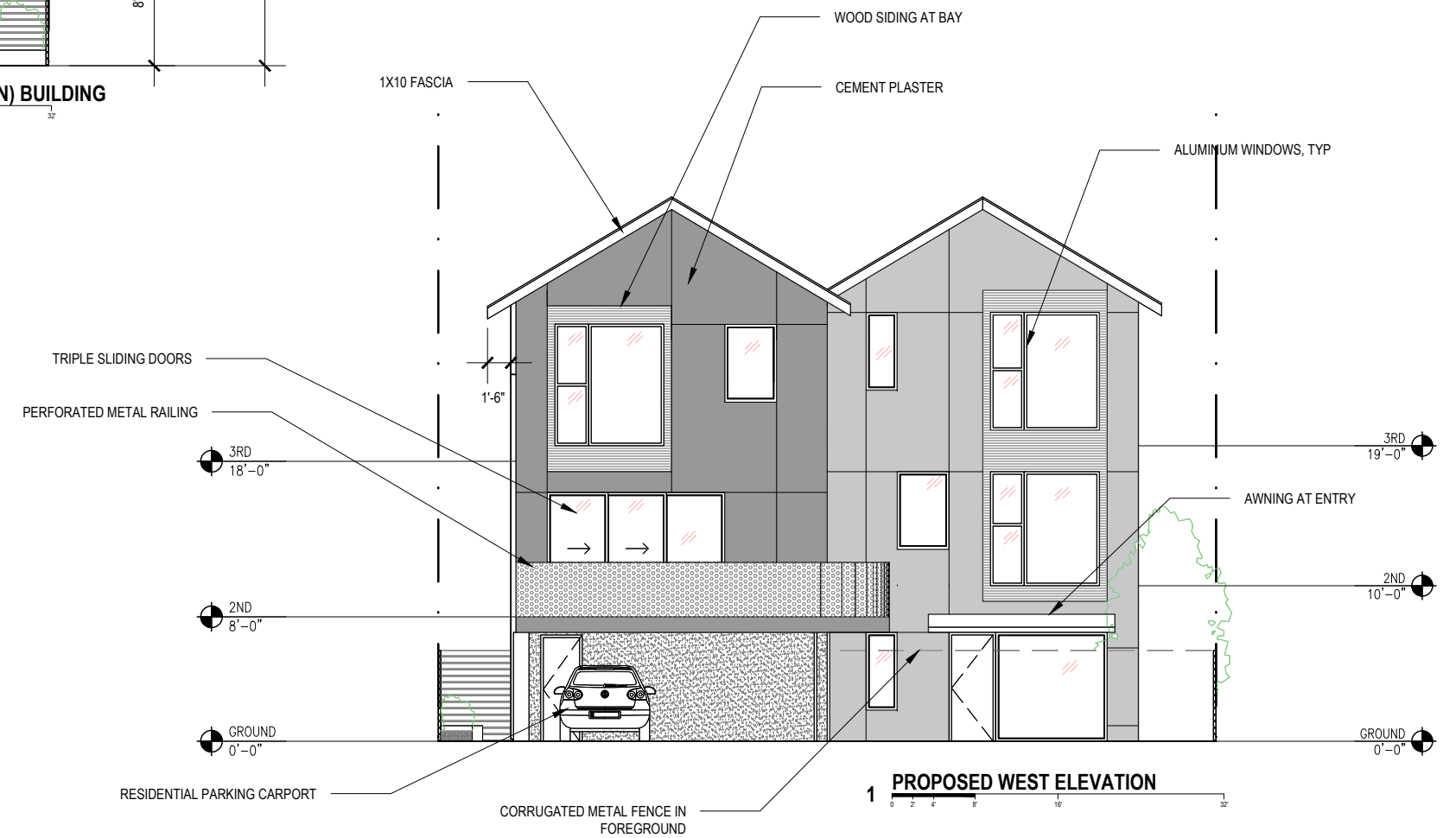
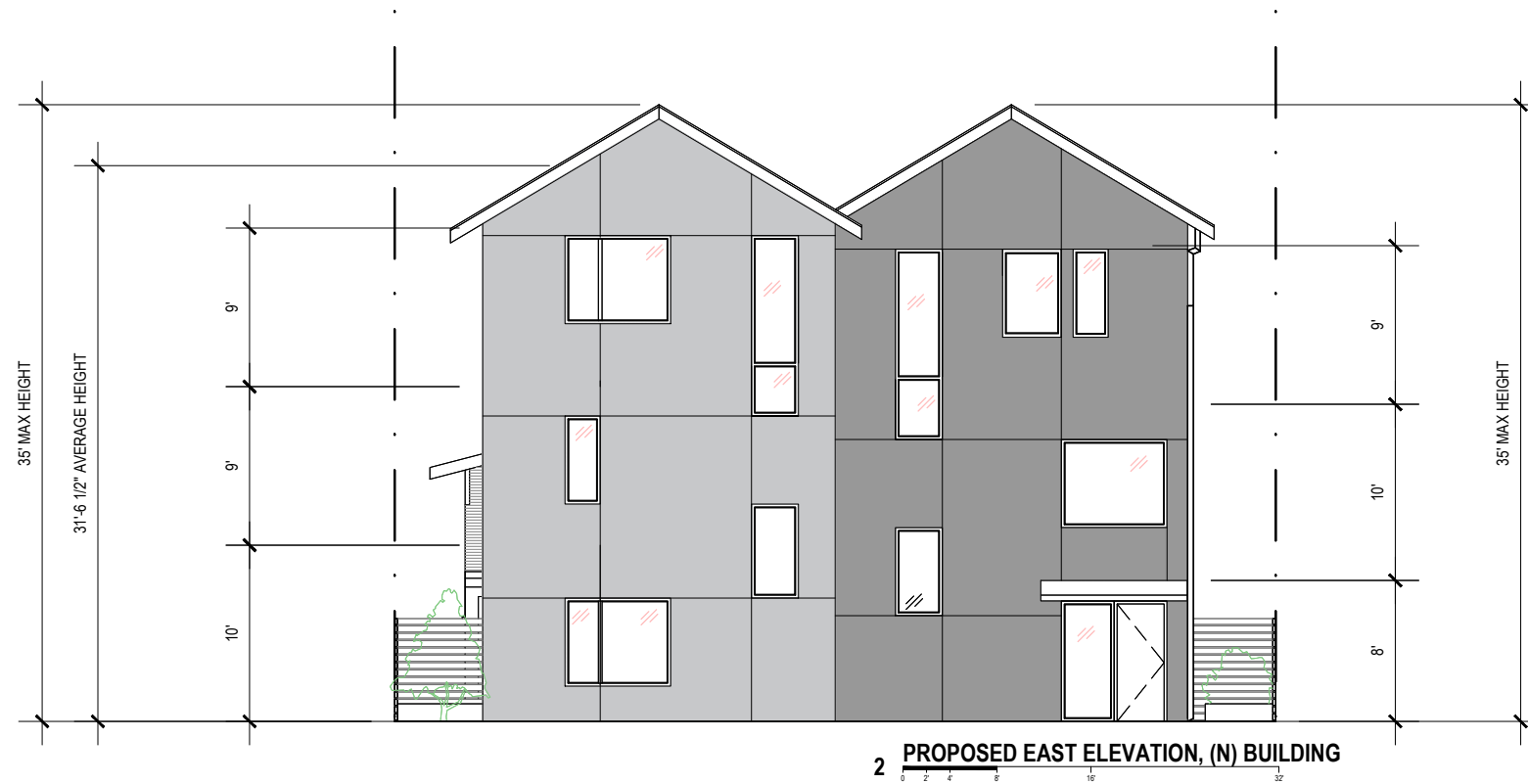
2 PROPOSED EAST ELEVATION, (E) BUILDING



1 PROPOSED NORTH ELEVATION

WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL



PROPOSED ELEVATIONS

A3.2

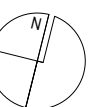
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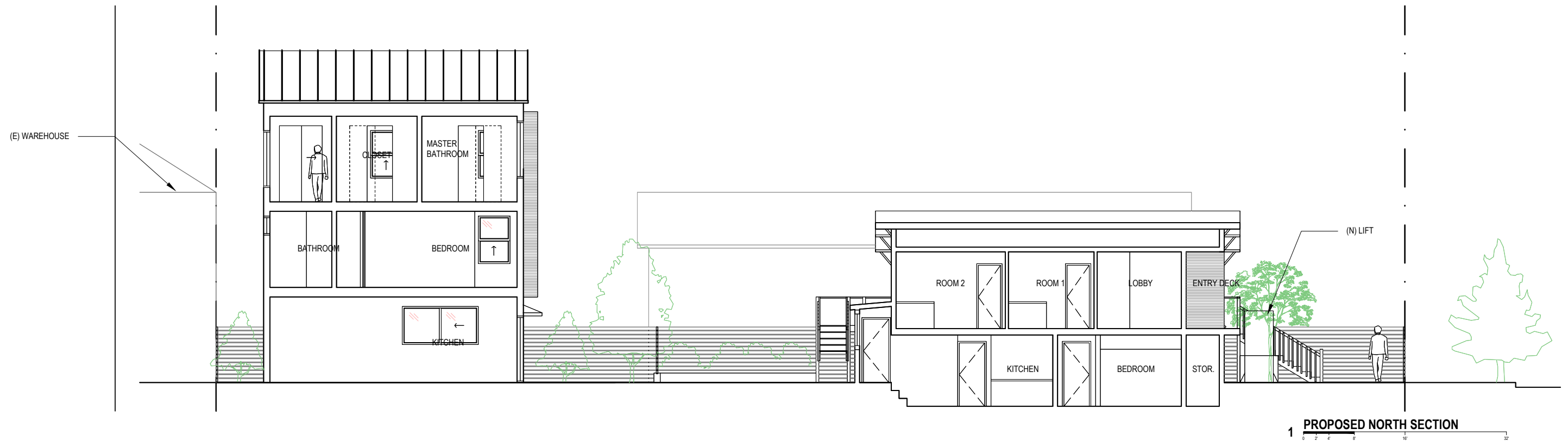
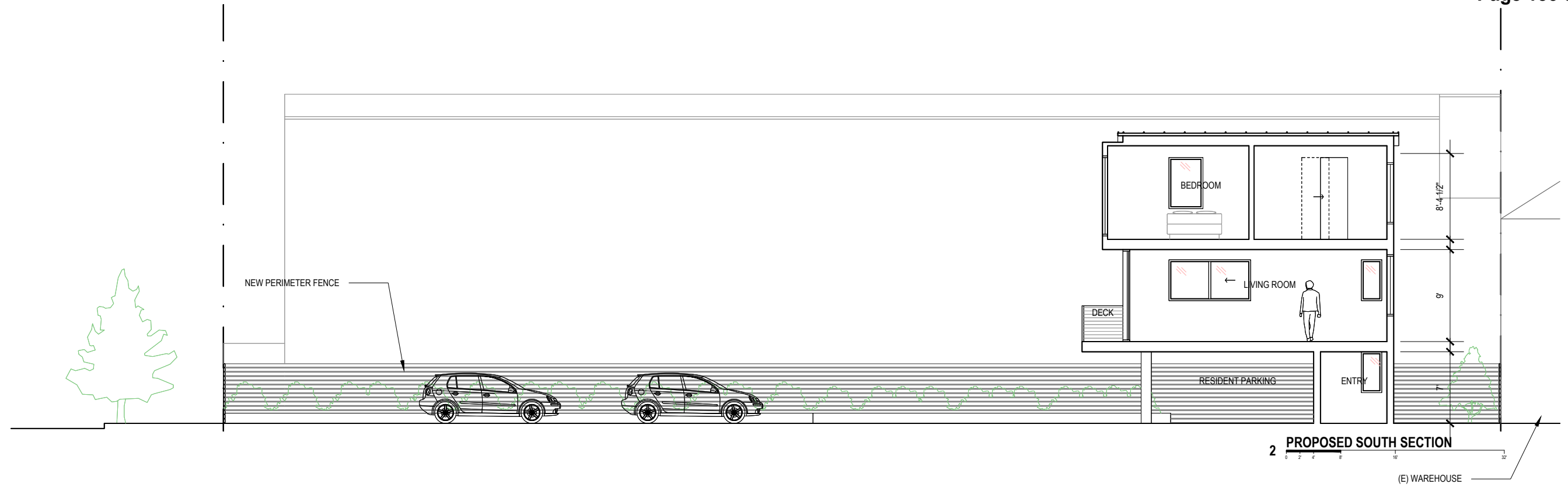
2422 5TH STREET

DEVI DUTTA ARCHITECTURE

ZONING

5.21.18





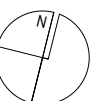
A4.0

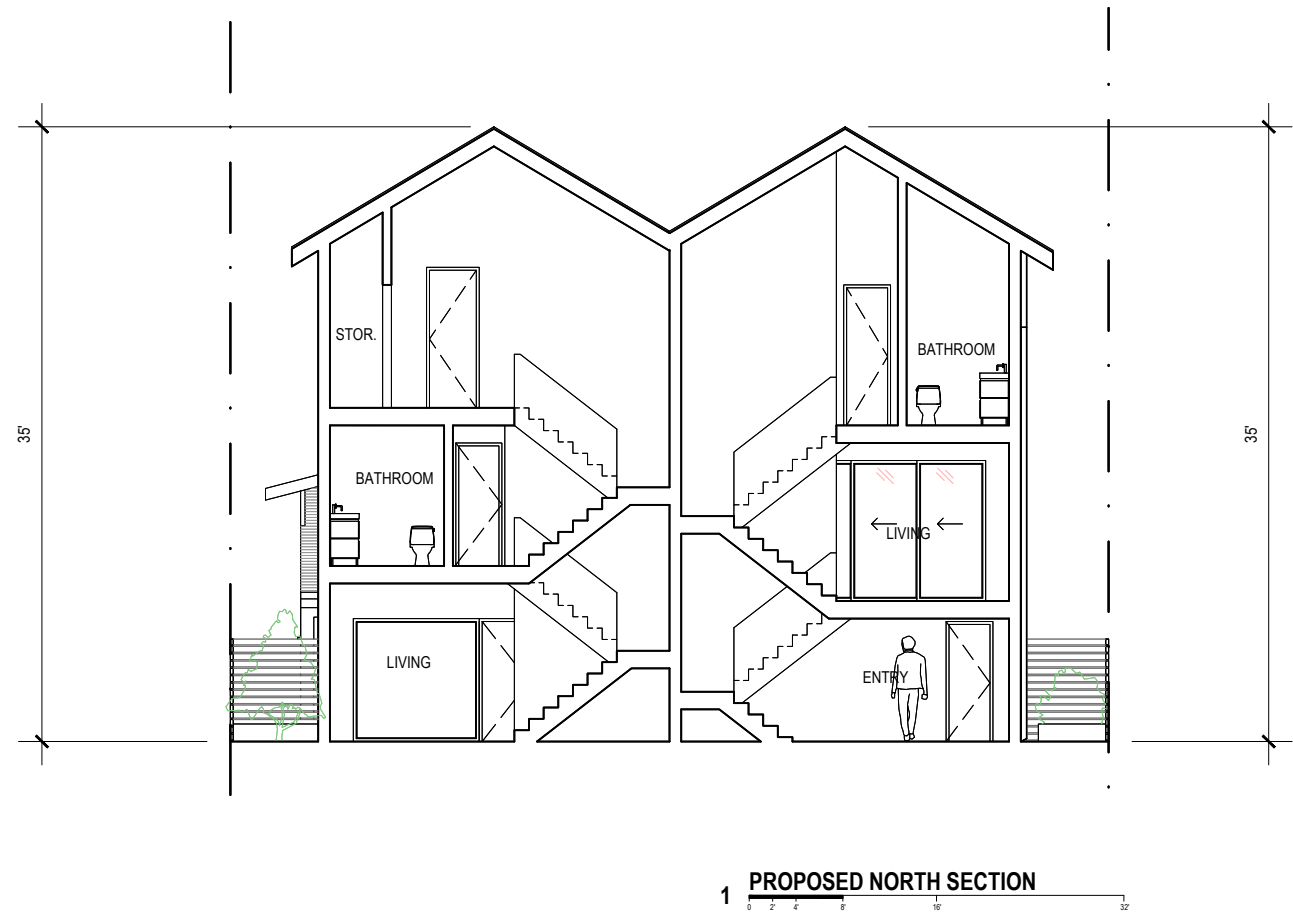
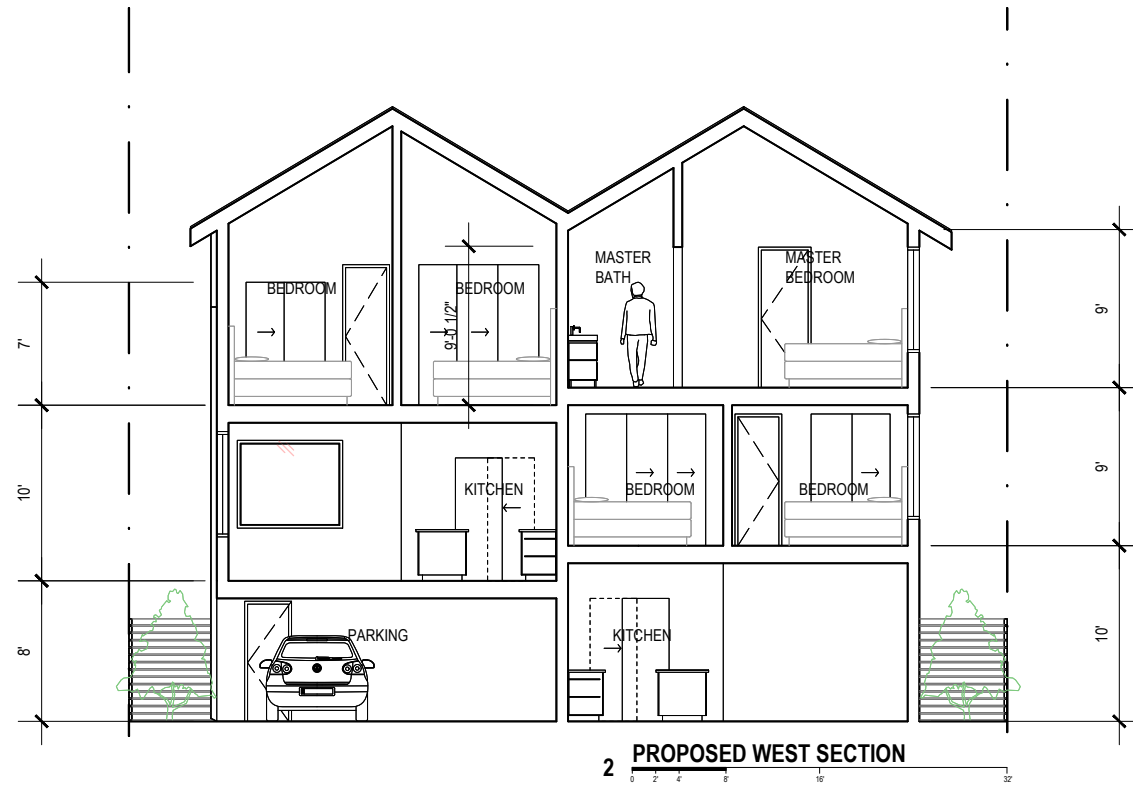
PROPOSED BUILDING SECTIONS

SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18





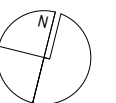
A4.1

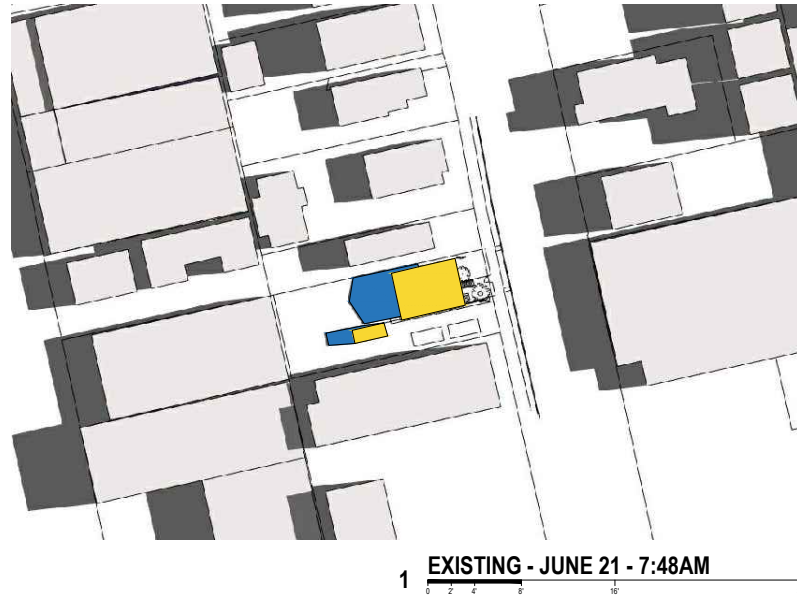
PROPOSED BUILDING SECTIONS

SCALE: 3/32"=1'-0"

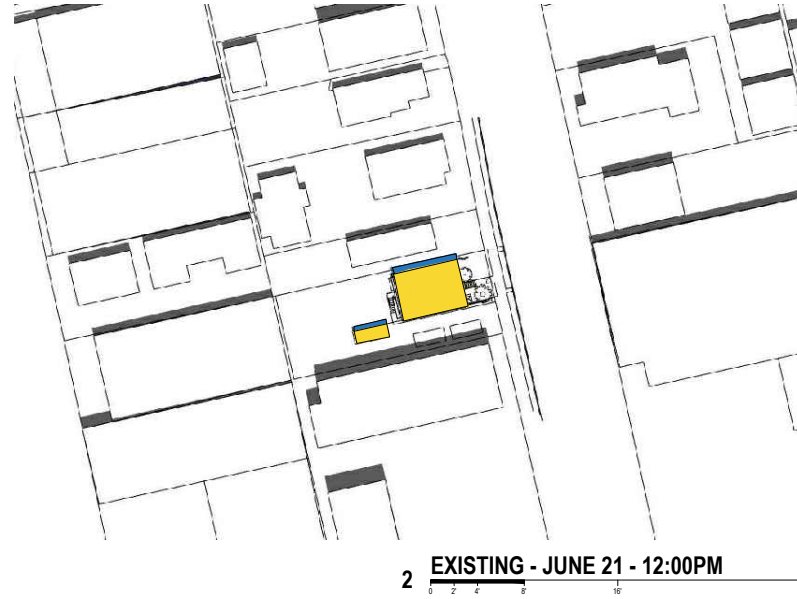
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18





1 EXISTING - JUNE 21 - 7:48AM



2 EXISTING - JUNE 21 - 12:00PM

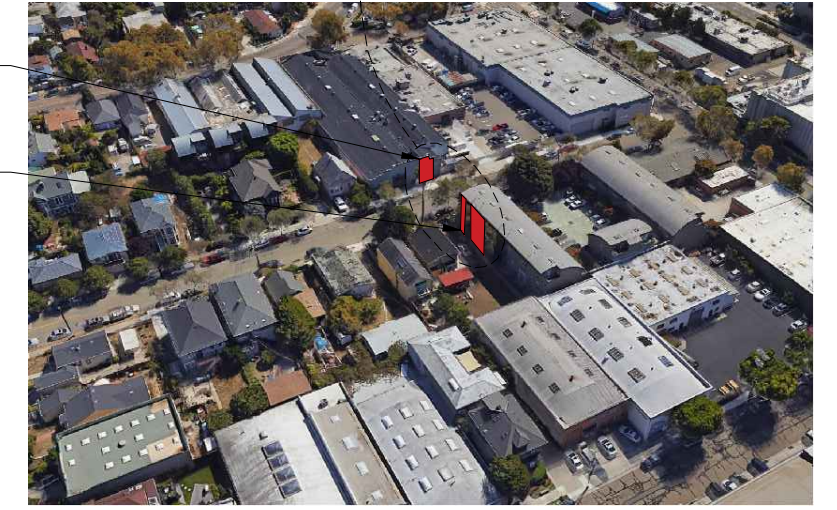


3 EXISTING - JUNE 21 - 6:35PM

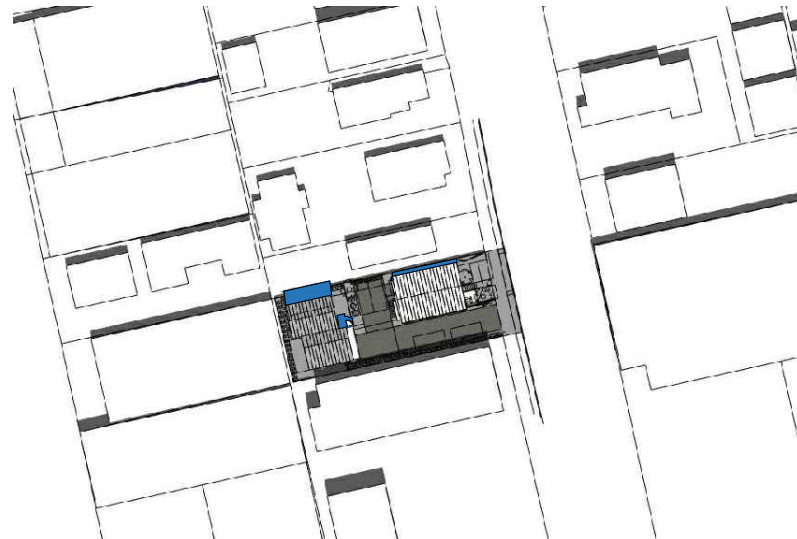


WAREHOUSE - NO AFFECTED ROOMS

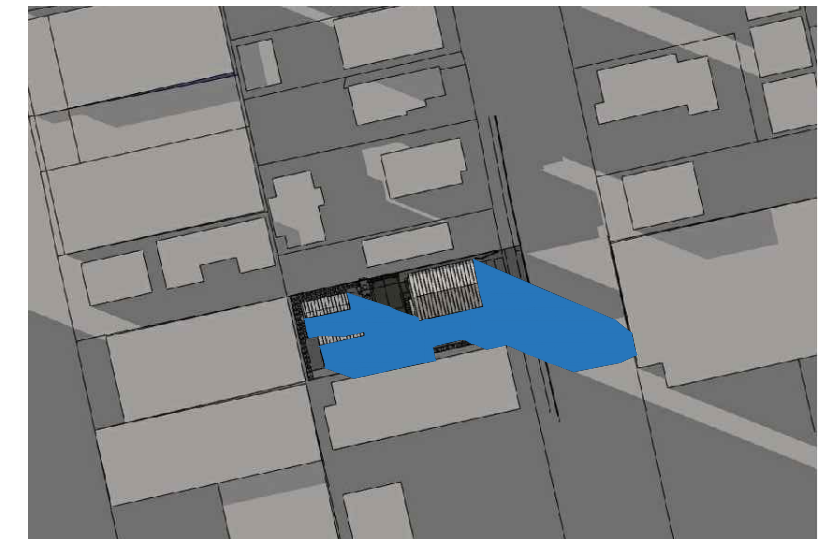
3 STORY MULTI-FAMILY - BATH & LIVING
(ASSUMED)



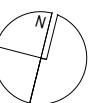
4 PROPOSED - JUNE 21 - 7:48AM

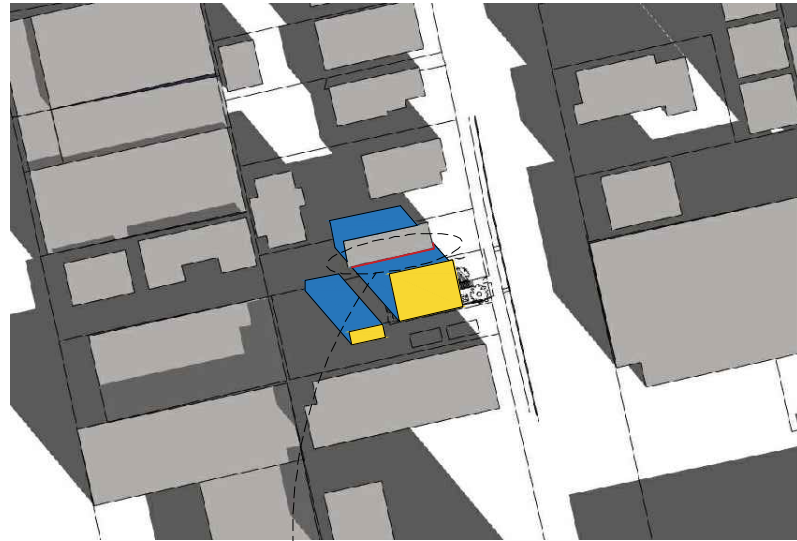


5 PROPOSED - JUNE 21 - 12:00PM

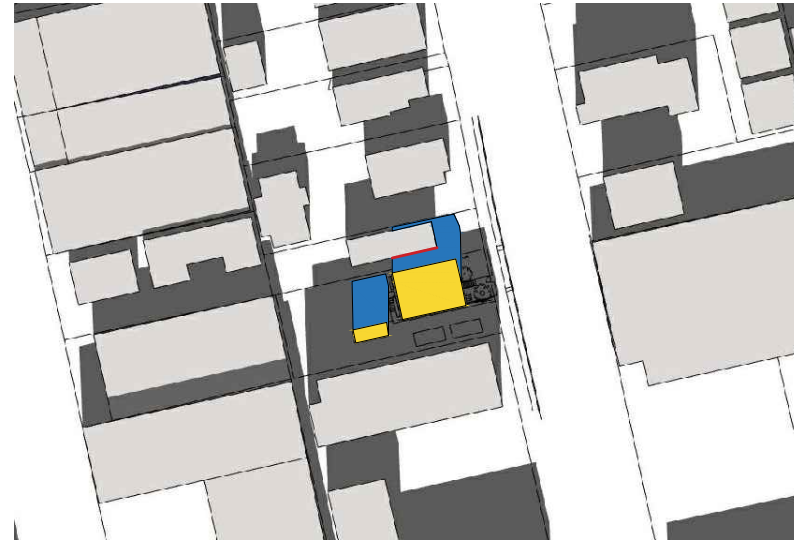


6 PROPOSED - JUNE 21 - 6:35PM





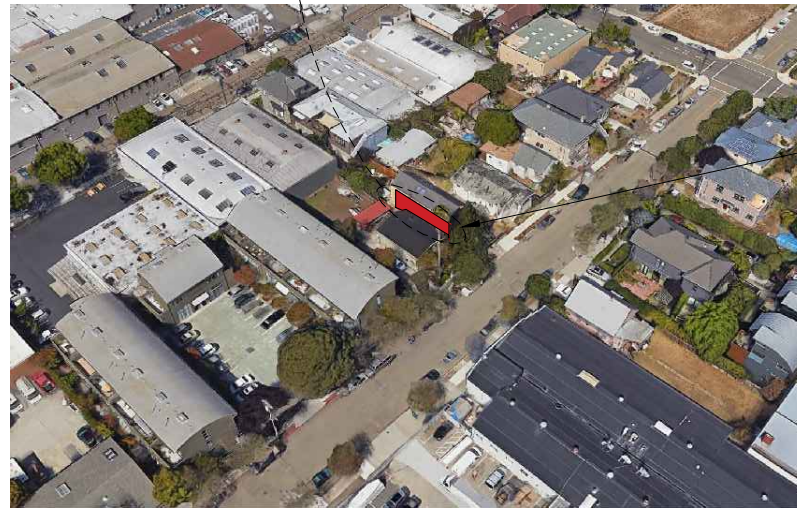
1 EXISTING - DECEMBER 21 - 9:21AM



2 EXISTING - DECEMBER 21 - 12:00PM



3 EXISTING - DECEMBER 21 - 2:54PM



2 STOREY SINGLE FAMILY - BEDROOM & BATHROOM (ASSUMED)



2 STOREY SINGLE FAMILY - LIVING ROOM (ASSUMED)



4 PROPOSED - DECEMBER 21 - 9:21AM



5 PROPOSED - DECEMBER 21 - 12:00PM



6 PROPOSED - DECEMBER 21 - 2:54PM

A5.1

SHADOW STUDIES - DECEMBER 21, WINTER SOLSTICE

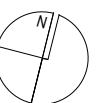
SCALE: NONE

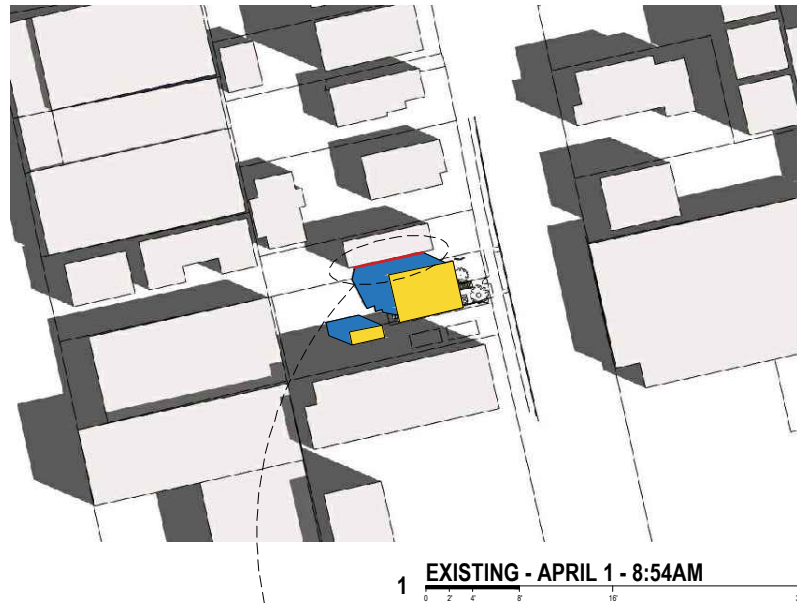
2422 5TH STREET

DEVI DUTTA ARCHITECTURE

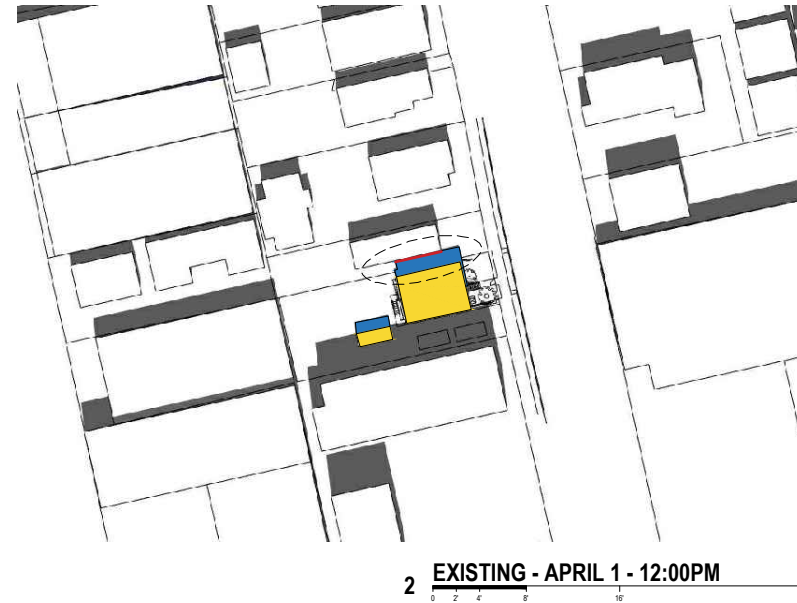
ZONING

5.21.18





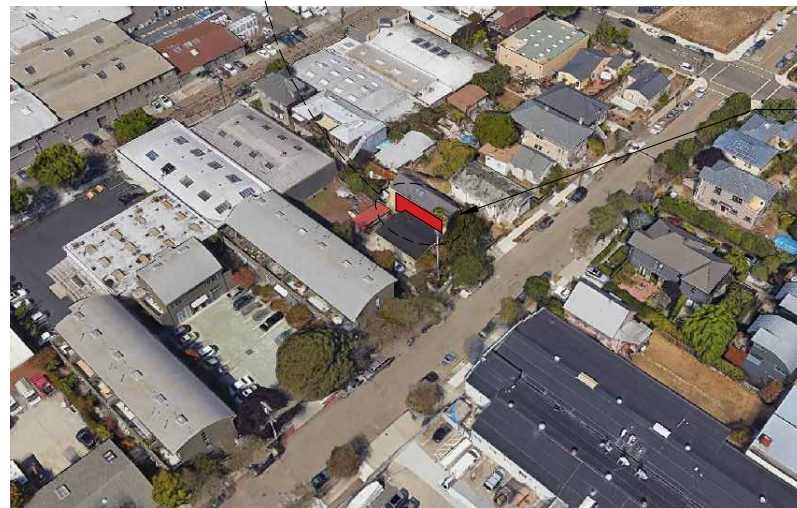
1 EXISTING - APRIL 1 - 8:54AM



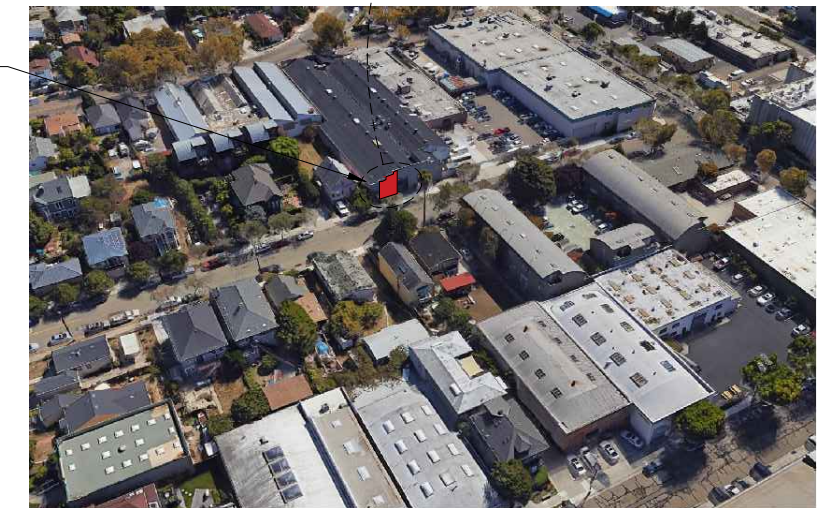
2 EXISTING - APRIL 1 - 12:00PM



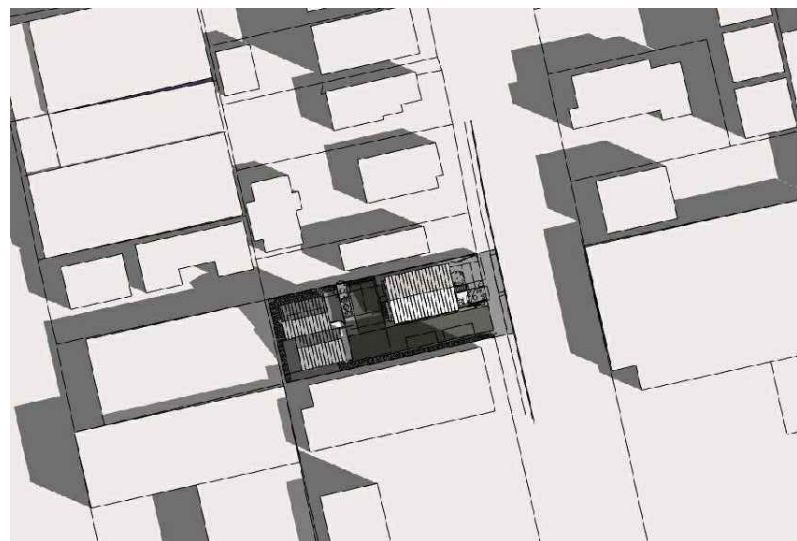
3 EXISTING - APRIL 1 - 5:32PM



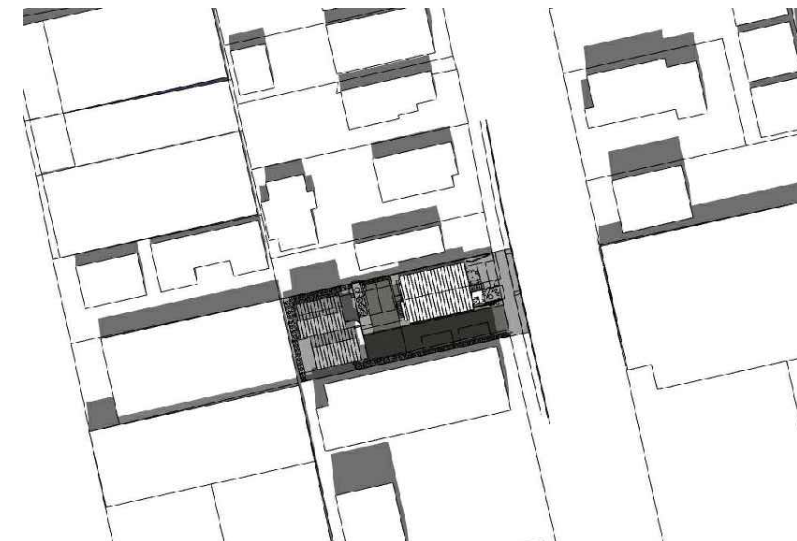
2 STOREY SINGLE FAMILY - BEDROOM & BATHROOM (ASSUMED)



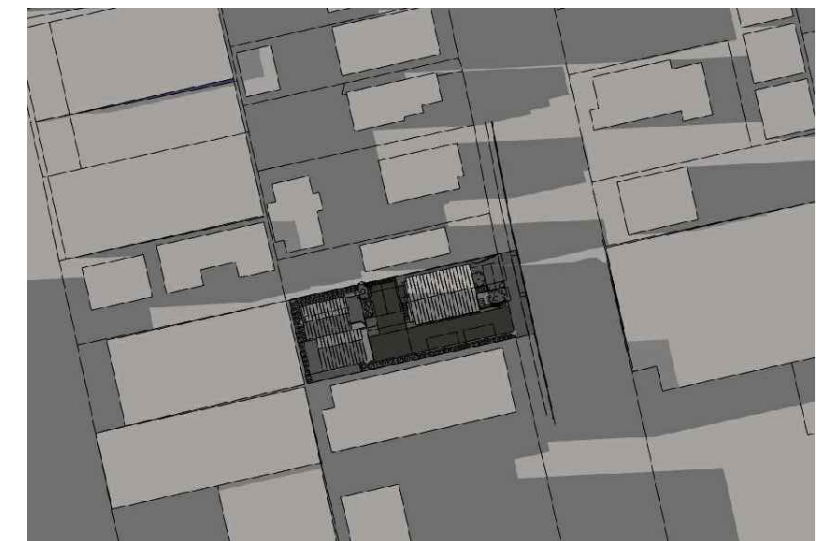
WAREHOUSE - NO AFFECTED ROOMS



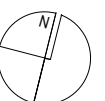
4 PROPOSED - APRIL 1 - 8:54AM

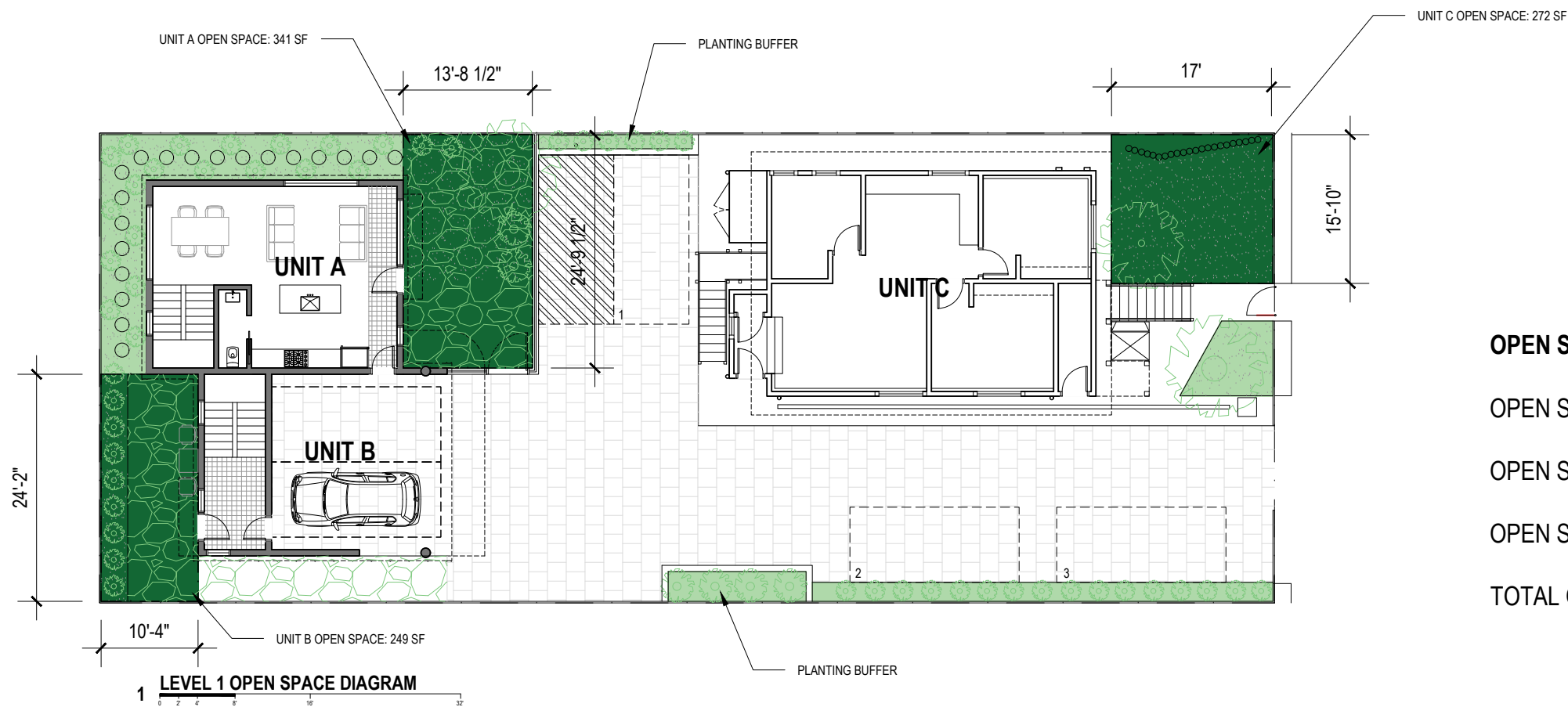
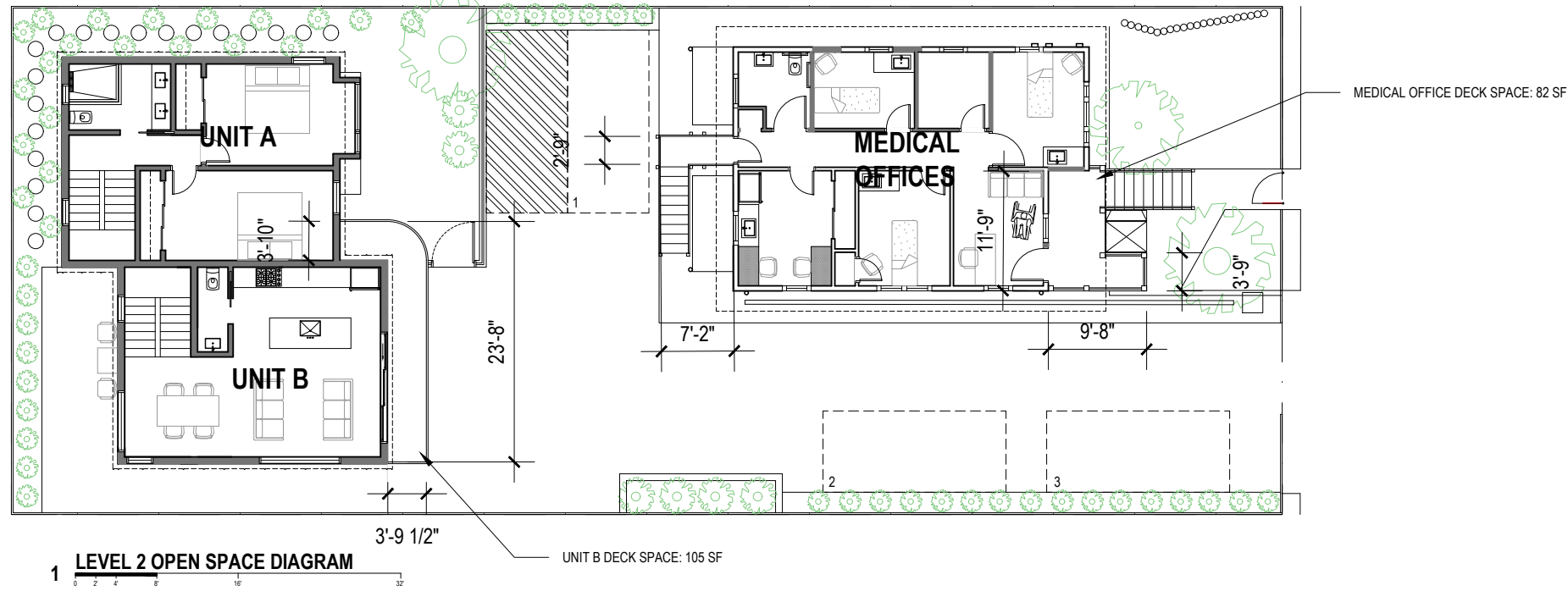


5 PROPOSED - APRIL 1 - 12:00PM



6 PROPOSED - APRIL 1 - 5:32PM





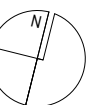
OPEN SPACE SF

OPEN SPACE A: 341 SF

OPEN SPACE B: 249 SF

OPEN SPACE C: 272 SF

TOTAL OPEN SPACE: 862 SF



**2422 5TH ST
BERKELEY
CA 94710
5/14/2018**

PROJECT DESCRIPTION:

CONVERSION OF UPPER UNIT OF EXISTING DUPLEX INTO ACUPUNCTURE & WELLNESS OFFICES. ADDITION OF NEW DUPLEX AT REAR YARD; EXISTING LOWER RESIDENTIAL UNIT TO REMAIN.

ARCHITECT:

DEVI DUTTA-CHOUDHURY, AIA
DEVI DUTTA ARCHITECTURE INC.
928 CARLETON STREET
BERKELEY, CA 94710
510-705-1937
hello@devidutta.com

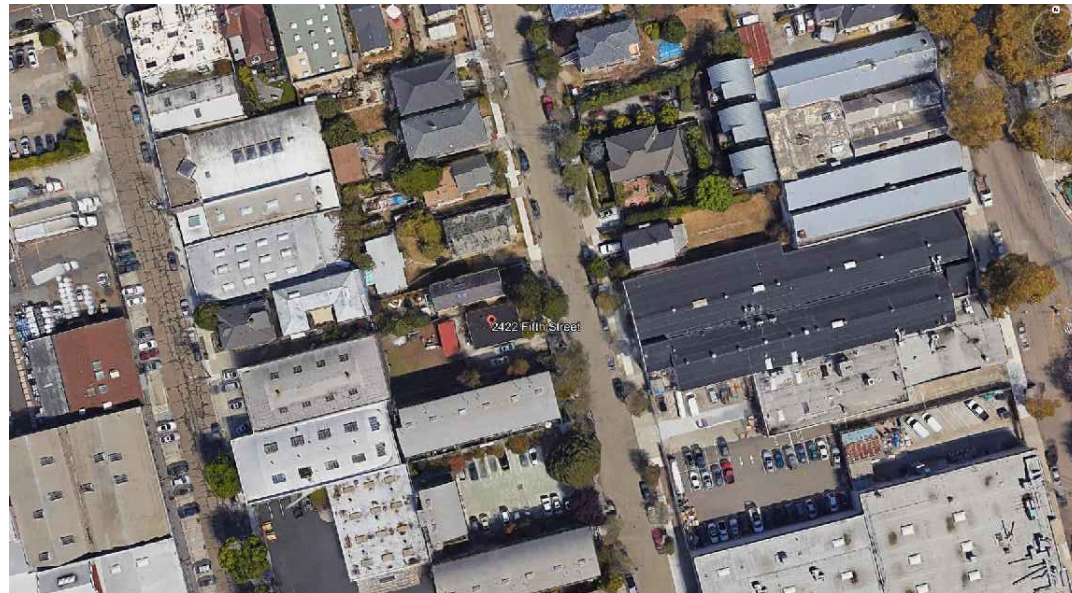
OWNER:

ANNA & CARL GOLD
2422 5TH ST
BERKELEY, CA 94710



PROJECT:

**2422 5TH ST
BERKELEY, CA 94710**



SHEET INDEX:

- A0.0 COVER
- A0.1 SURVEY MAP
- A0.2 STREET PHOTOGRAPHS
- A0.3 VICINITY MAP
- A0.4 SITE PHOTOS

- A1.0 PROPOSED SITE PLAN
- A1.1 EXISTING/DEMO GROUND FLOOR
- A1.2 EXISTING/DEMO 2ND FLOOR
- A1.3 EXISTING/DEMO ELEVATIONS
- A1.4 EXISTING/DEMO ELEVATIONS

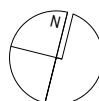
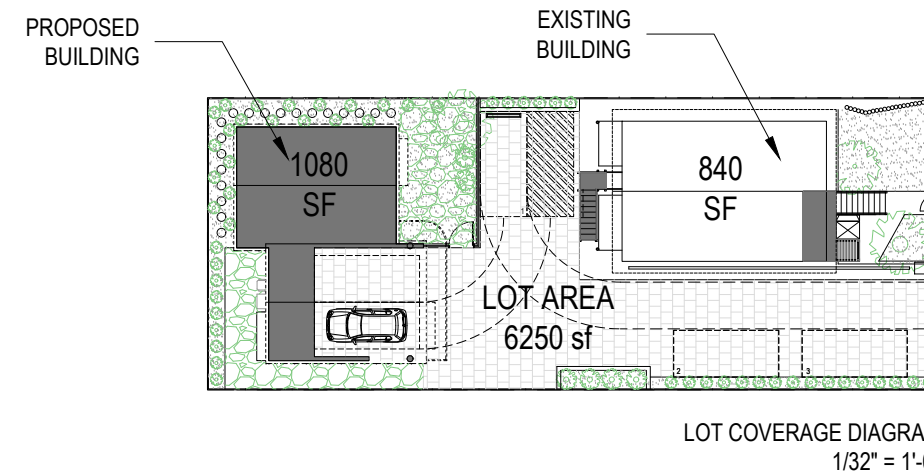
- A2.0 PROPOSED GROUND FLOOR PLAN
- A2.1 PROPOSED 2ND FLOOR PLAN
- A2.2 PROPOSED 3RD FLOOR PLAN
- A2.3 PROPOSED ROOF PLAN

- A3.0 PROPOSED ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A3.2 PROPOSED ELEVATIONS

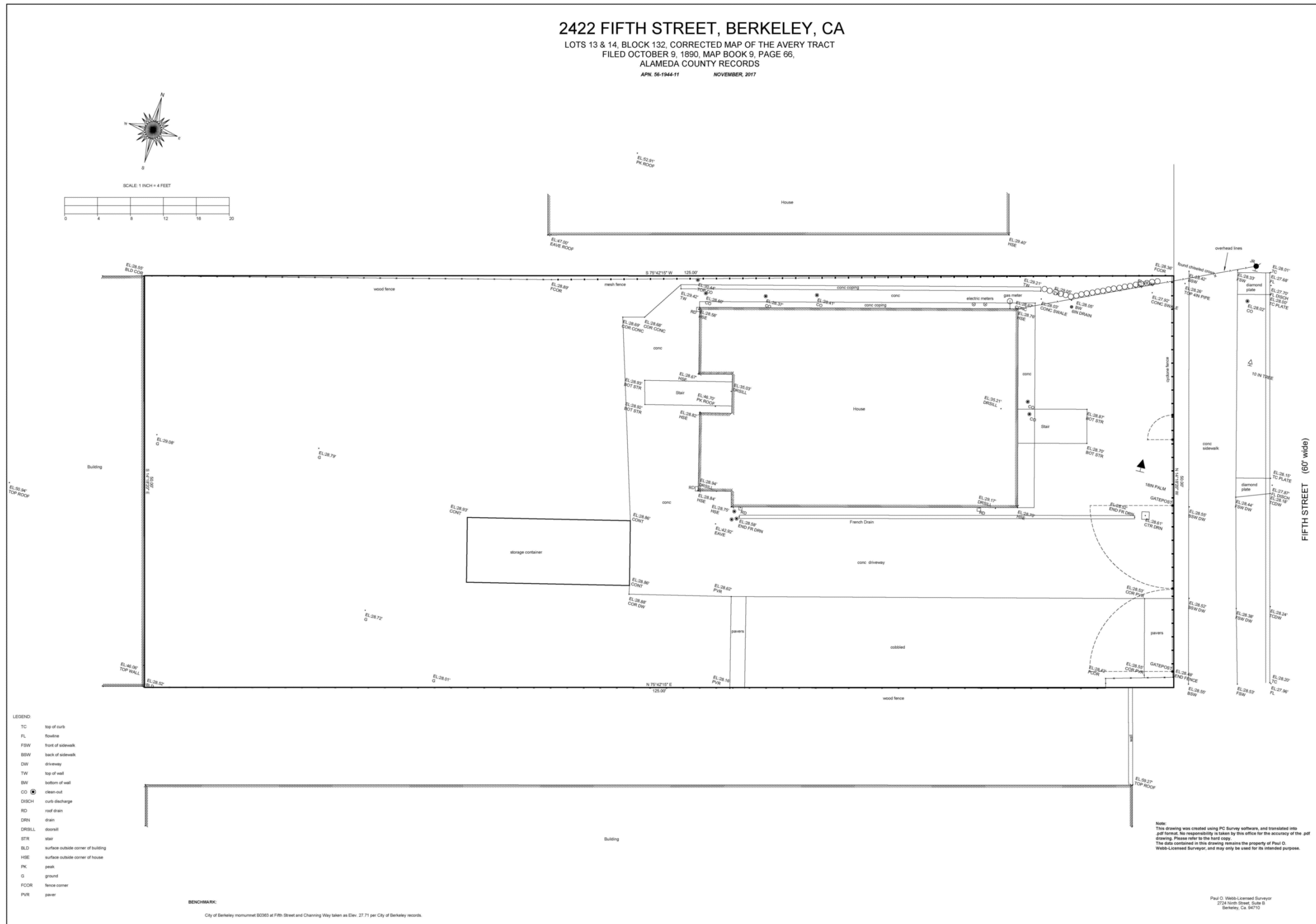
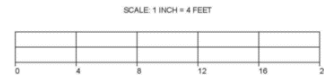
- A4.0 PROPOSED SECTIONS
- A4.1 PROPOSED SECTIONS

- A5.0 SHADOWSTUDIES SUMMER SOLSTICE
- A5.1 SHADOWSTUDIES WINTER SOLSTICE
- A5.2 SHADOWSTUDIES APRIL REVIEW
- A5.3 OPEN SPACE

ZONING TABLE			
ZONING DISTRICT	MUR: MIXED USE RESIDENTIAL		
DEVELOPMENT STANDARDS	REQUIRED / PERMITTED	EXISTING	PROPOSED
FAR	1.5 FOR RESIDENTIAL	$\frac{1783}{6250} = 0.285$	$\frac{4659}{6250} = 0.745$
DENSITY RESIDENTIAL	1 DU/1250 SF LOT AREA = $\frac{6250}{1250} = 5$ ALLOWABLE UNITS	2 UNITS	3 UNITS + OFFICE
LOT SIZE	40' WIDTH MINIMUM	50' X 125'	50' X 125'
HEIGHT, RESIDENTIAL	35'	18'	35'
HEIGHT, NON-RES.	35'	-	18'
YARDS	FRONT: 5' SIDE: 5', ADJACENT TO RESIDENTIAL REAR: NONE, ADJACENT TO NON-RES.	19'-0" 4'-0" 67'-0"	19'-0" 5'-0" 5'-10'
OPEN SPACE	150SF / DWELLING UNIT X 3 = 450SF	3297 SF	870 SF
PARKING, RESIDENTIAL	1/ UNIT	1/ UNIT = 2 TANDEM SPACES	2 RESIDENTIAL
PARKING, MEDICAL	$\frac{1}{300}$ SF	-	3 MEDICAL
BIKE PARKING	$\frac{1}{2000}$ SF NON-RES. AREA = 1 REQUIRED	-	2 PROVIDED
OCCUPANCY TYPE	-	-	R-3 OCCUPANCY
CONSTRUCTION TYPE	-	-	VB



2422 FIFTH STREET, BERKELEY, CA
 LOTS 13 & 14, BLOCK 132, CORRECTED MAP OF THE AVERY TRACT
 FILED OCTOBER 9, 1890, MAP BOOK 9, PAGE 66,
 ALAMEDA COUNTY RECORDS
 APN: 56-1944-11 NOVEMBER, 2017



- LEGEND:
- TC top of curb
 - FL roadside
 - FSW front of sidewalk
 - BSW back of sidewalk
 - DW driveway
 - TW top of wall
 - BW bottom of wall
 - CO clean-out
 - DISCH curb discharge
 - RD roof drain
 - DRN drain
 - DRSILL door sill
 - STR stair
 - BLD surface outside corner of building
 - HSE surface outside corner of house
 - PK peak
 - G ground
 - FCOR fence corner
 - PVR paver

BENCHMARK

City of Berkeley monument B2053 at Fifth Street and Channing Way taken as Elev. 27.71 per City of Berkeley records.

Note:
 This drawing was created using PC Survey software, and translated into pdf format. No responsibility is taken by this office for the accuracy of the pdf drawing. Please refer to the hard copy.
 The data contained in this drawing remains the property of Paul O. Webb-Licensed Surveyor, and may only be used for its intended purpose.

Paul O. Webb-Licensed Surveyor
 2724 North Street, Suite B
 Berkeley, Ca 94710



EXISTING WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



PROPOSED WEST VIEW 2422 5TH STREET



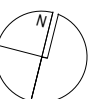
EXISTING EAST VIEW 2422 5TH STREET

A0.2 STREET PHOTOGRAPHS

SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18







A - EXISTING FRONT OF HOUSE



B - EXISTING



C - EXISTING FRONT YARD



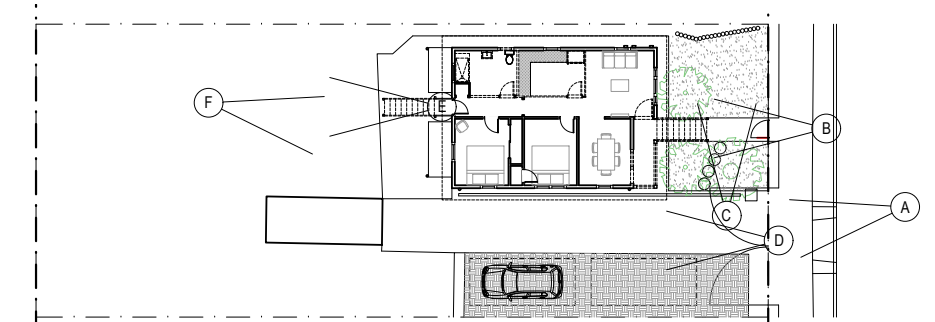
D - EXISTING DRIVEWAY



E - EXISTING REAR STAIR/YARD



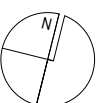
F - EXISTING BACK OF HOUSE

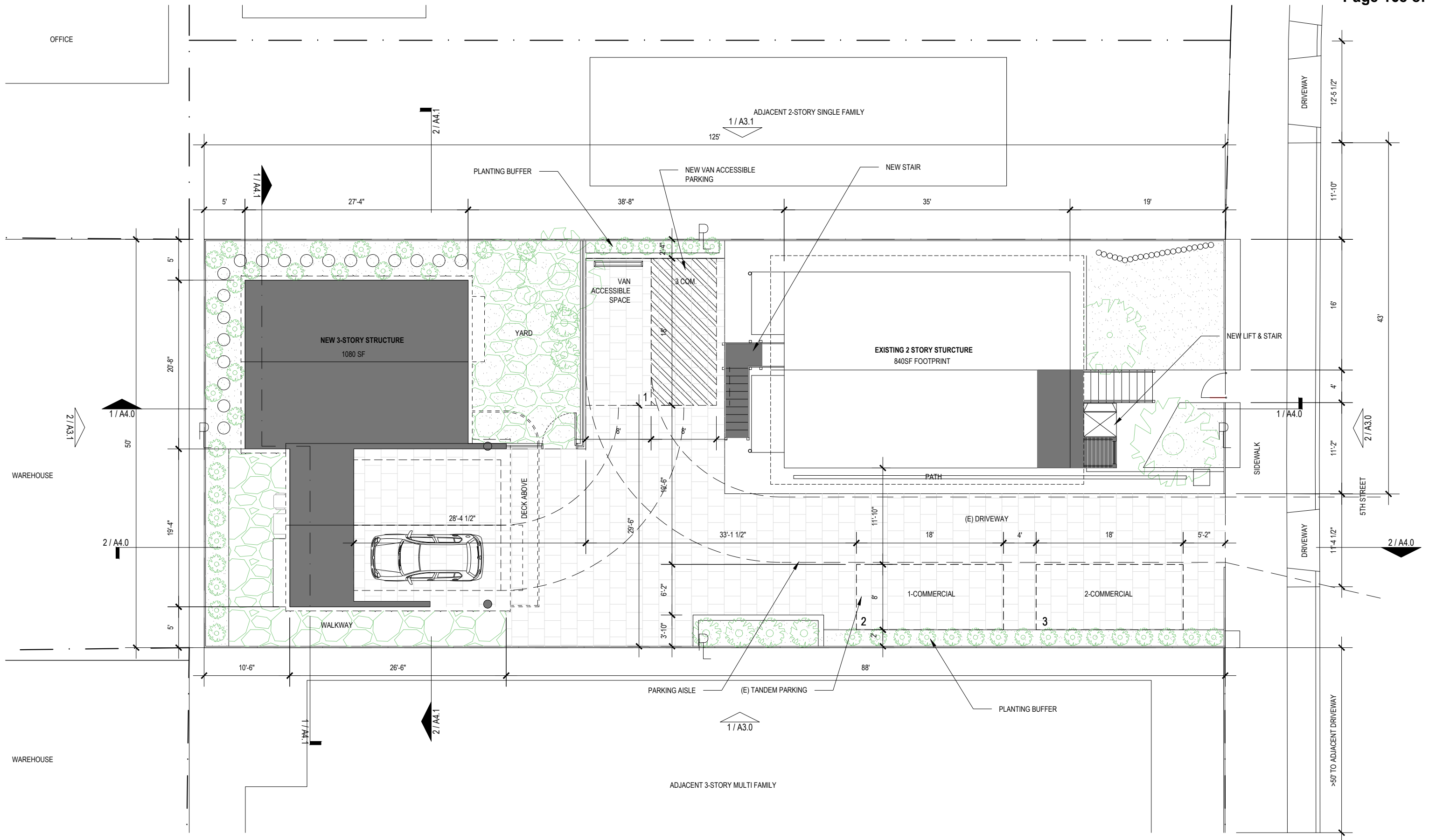


A0.4 **SITE PHOTOS**
SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18

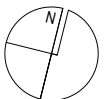




A1.0 PROPOSED SITE PLAN
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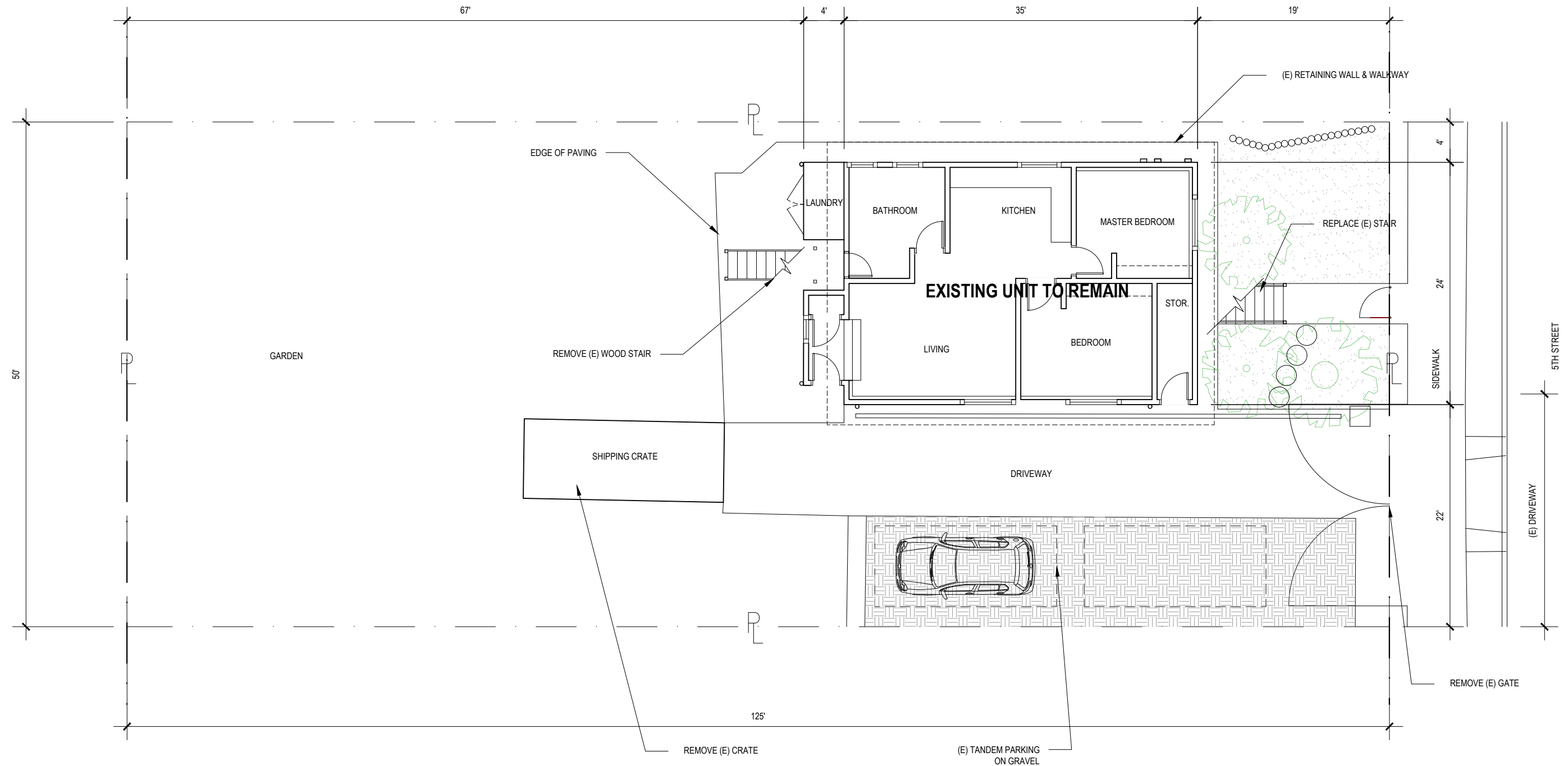
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING 5.21.18



WALL LEGEND:

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN



EXISTING/DEMO GROUND FLOOR PLAN

A1.1

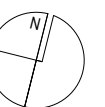
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2422 5TH STREET

DEVI DUTTA ARCHITECTURE

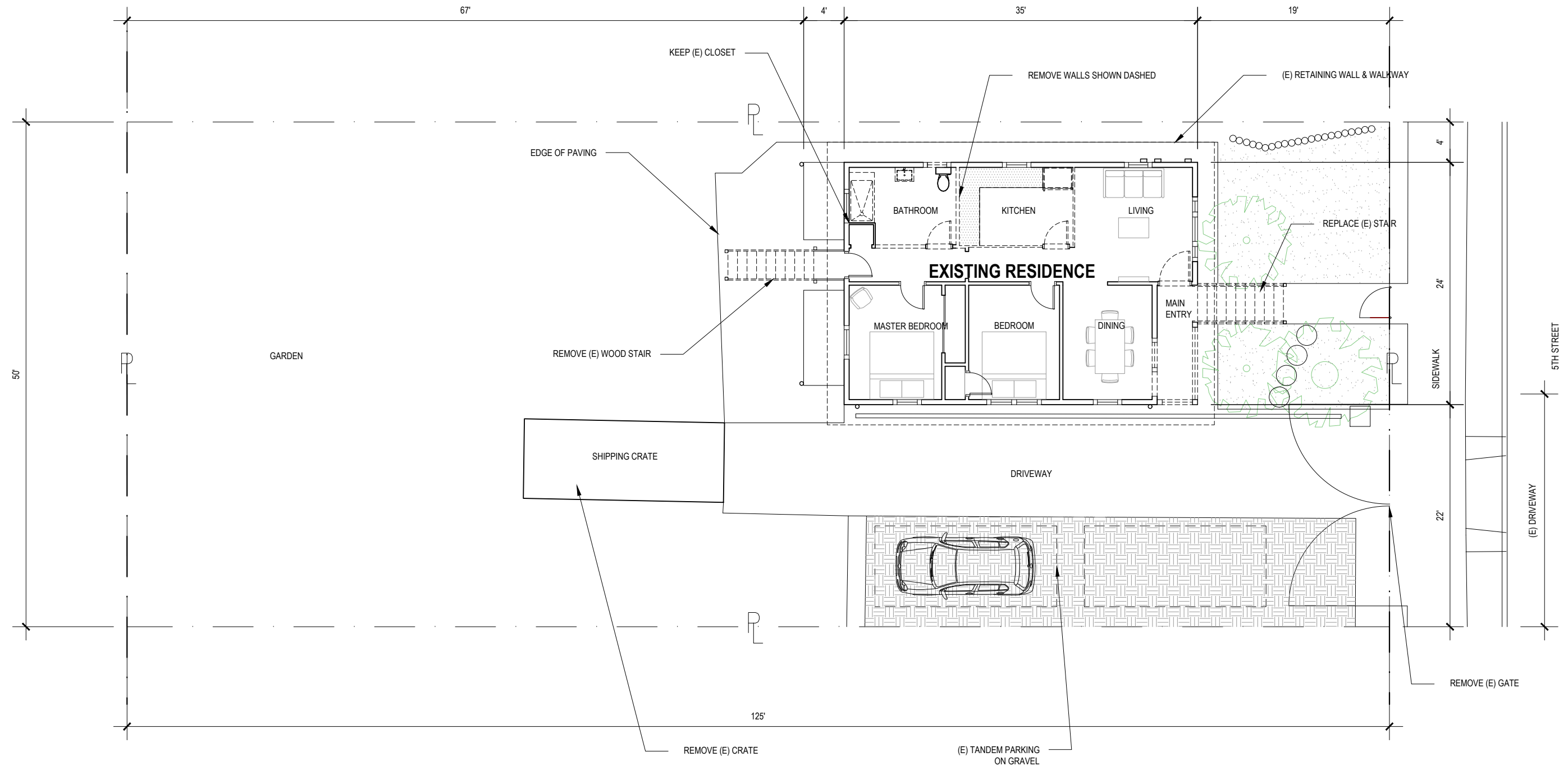
ZONING

5.21.18



WALL LEGEND:

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN



A1.2

EXISTING/DEMO 2ND FLOOR PLAN

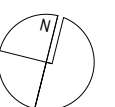
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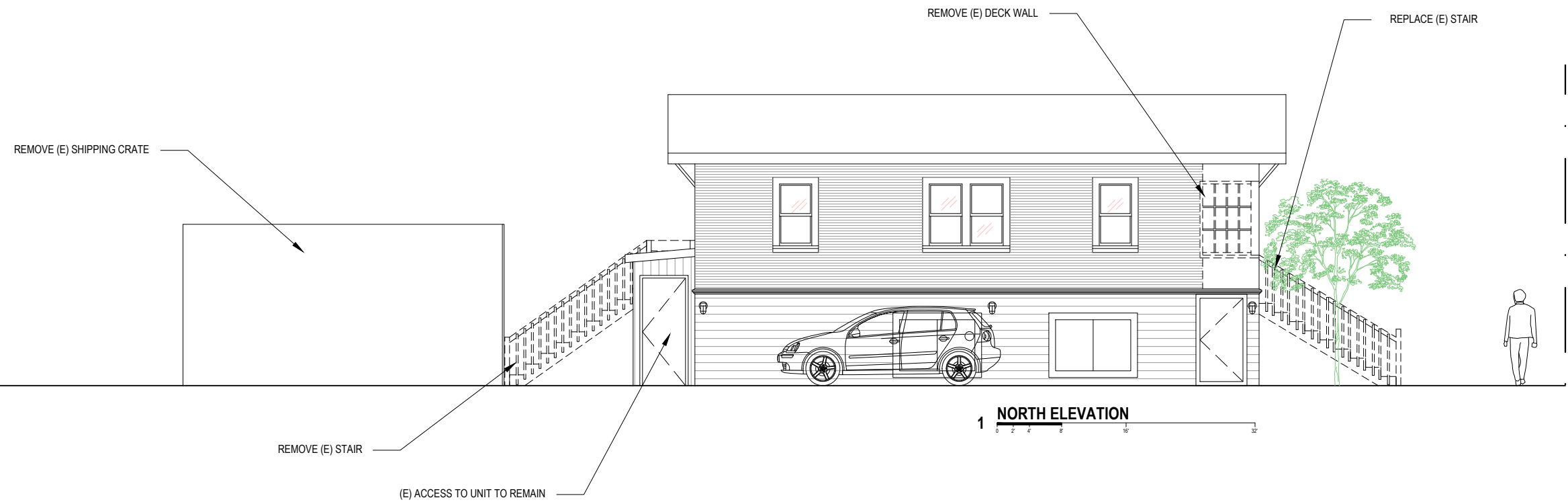
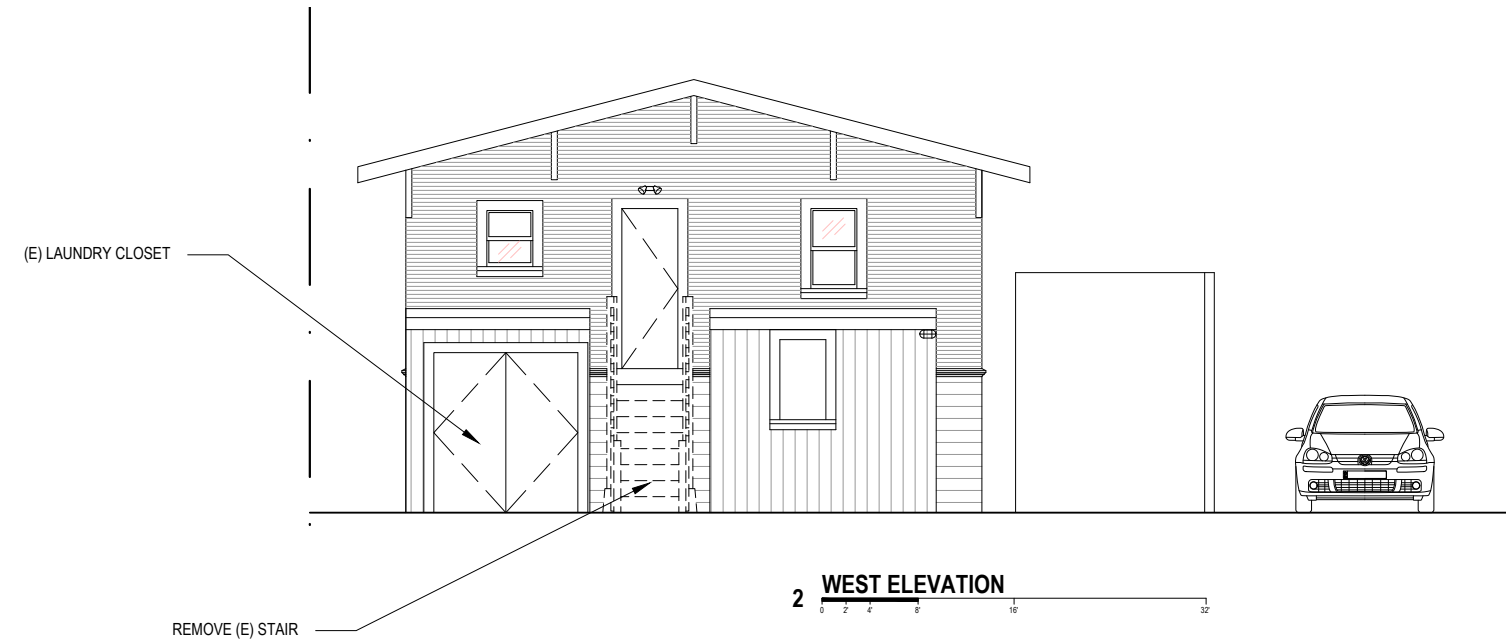
2422 5TH STREET

DEVI DUTTA ARCHITECTURE

ZONING

5.21.18





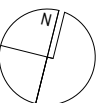
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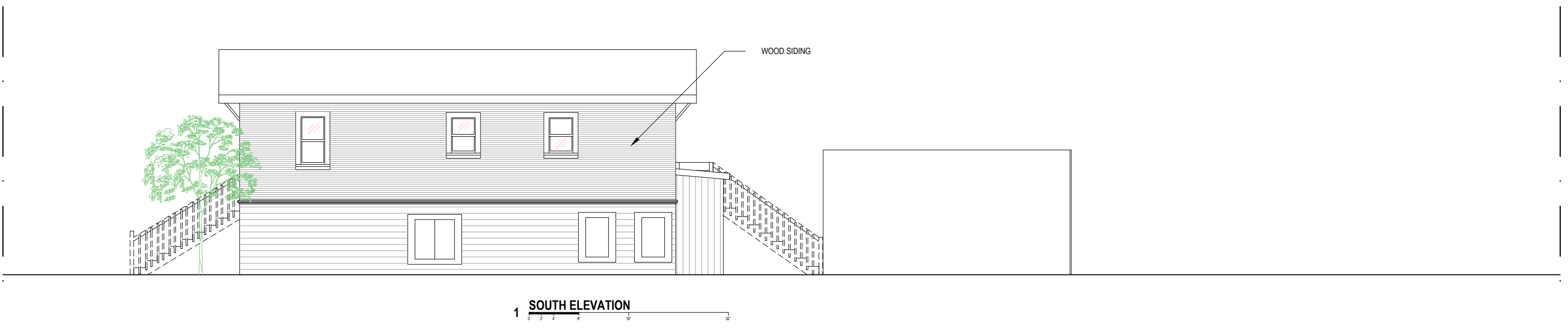
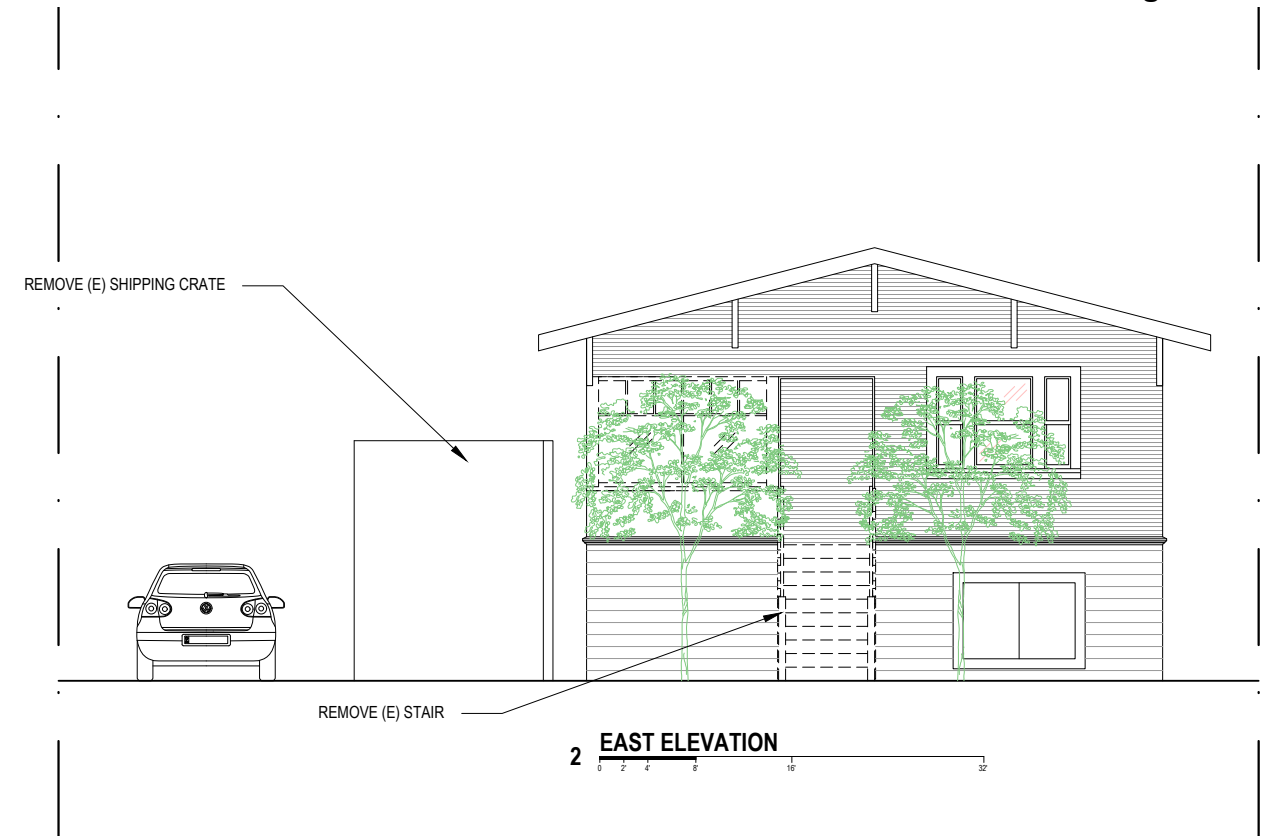
EXISTING/DEMO ELEVATIONS

SCALE: 1/8"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18





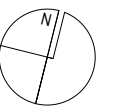
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EXISTING/DEMO ELEVATIONS




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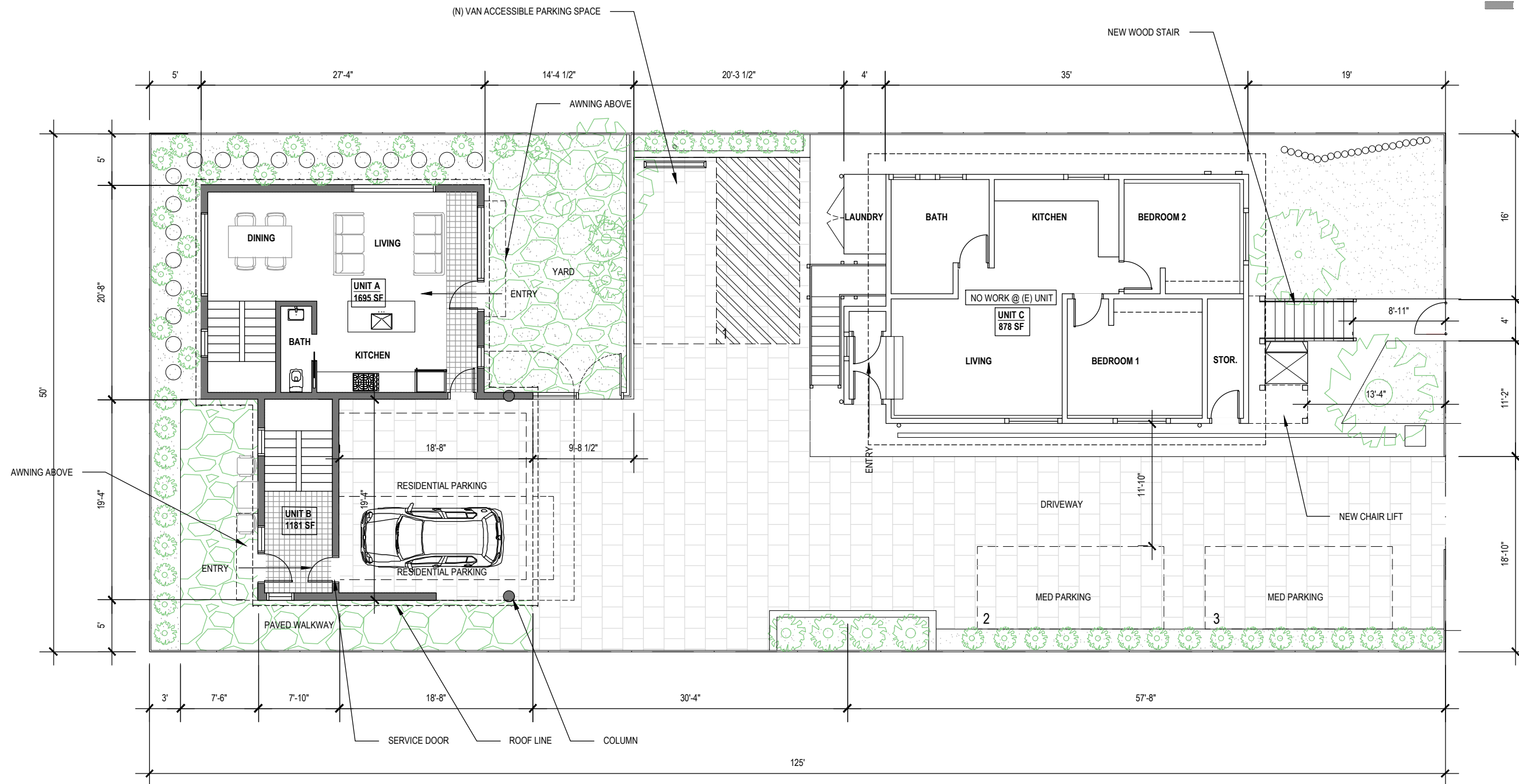
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18



WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL



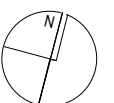
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PROPOSED GROUND FLOOR

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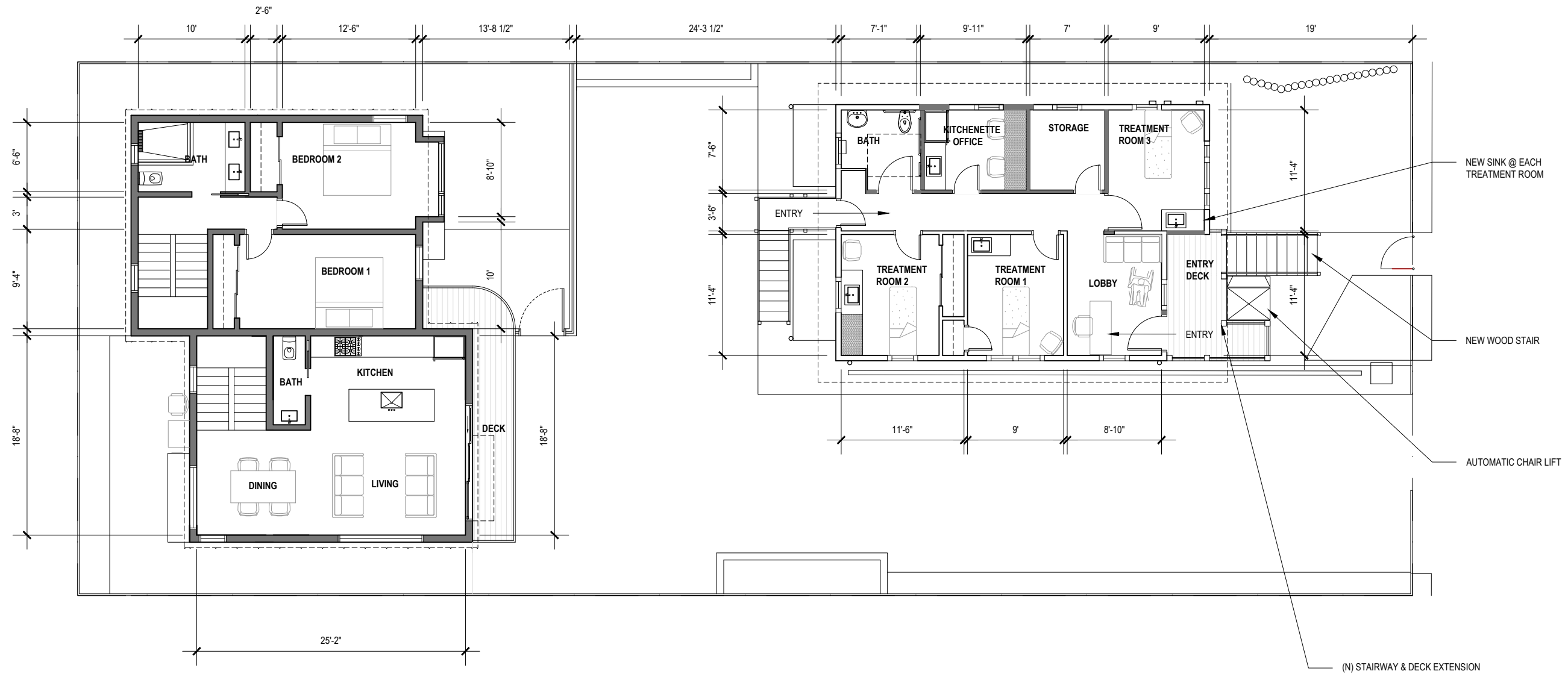
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18



WALL LEGEND:

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN
- NEW 2X4 STUD WALL



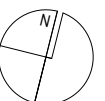
A2.1

PROPOSED 2ND FLOOR




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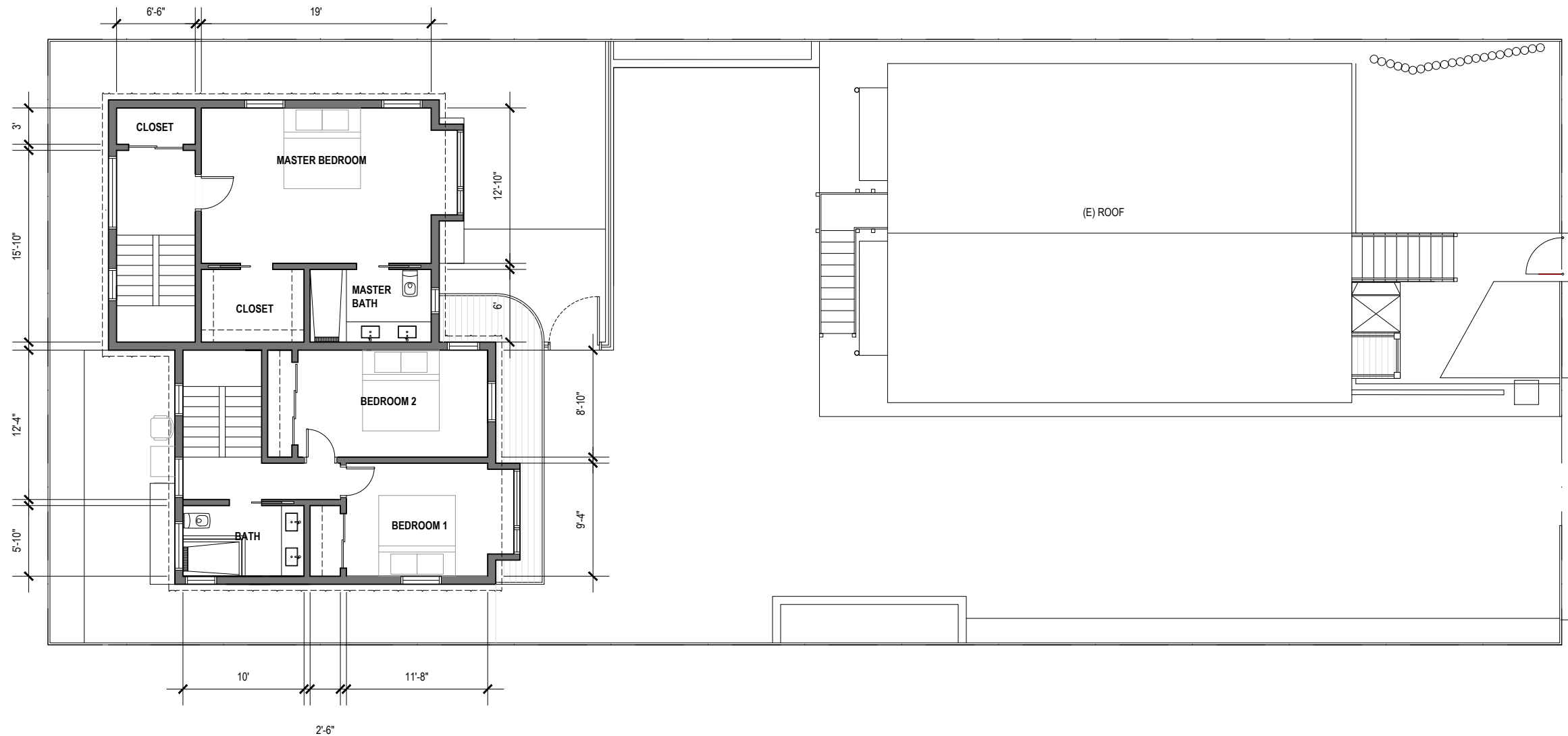
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18



WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL



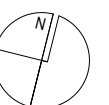
A2.2

PROPOSED 3RD FLOOR




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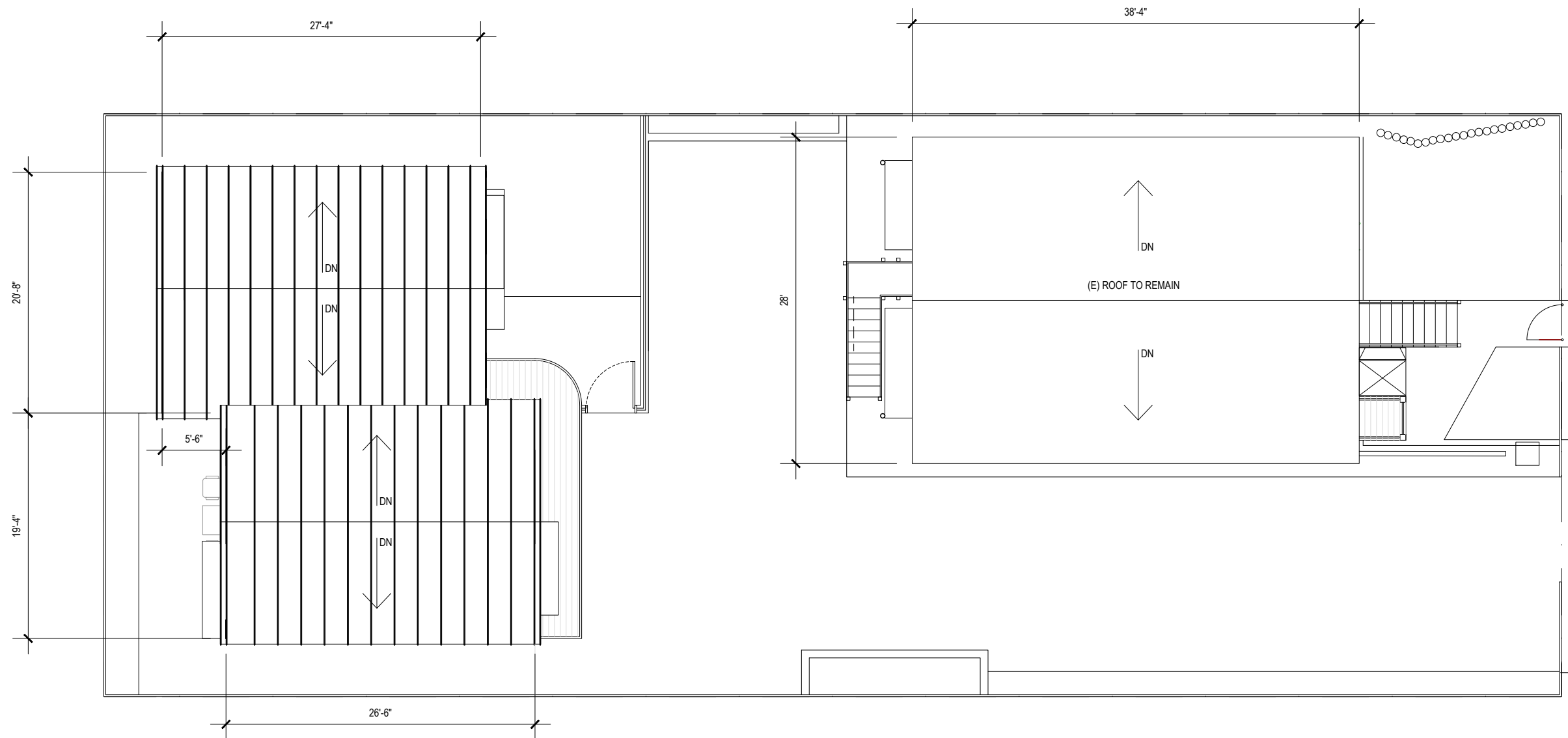
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18



WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL



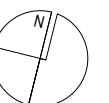
A2.3

ROOF PLAN




SCALE: 3/32"=1'-0"

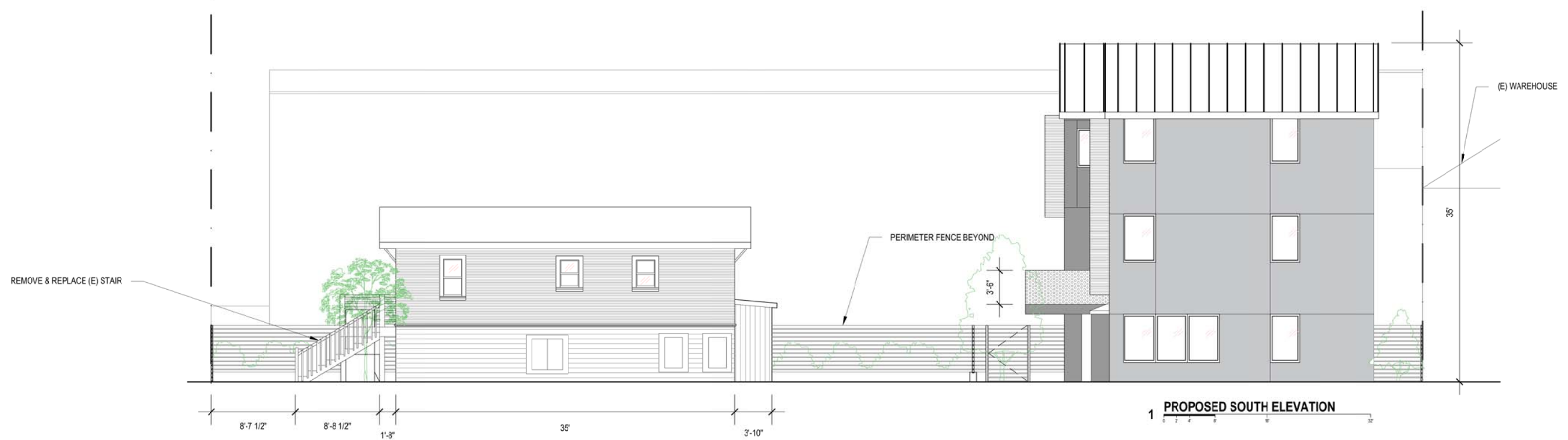
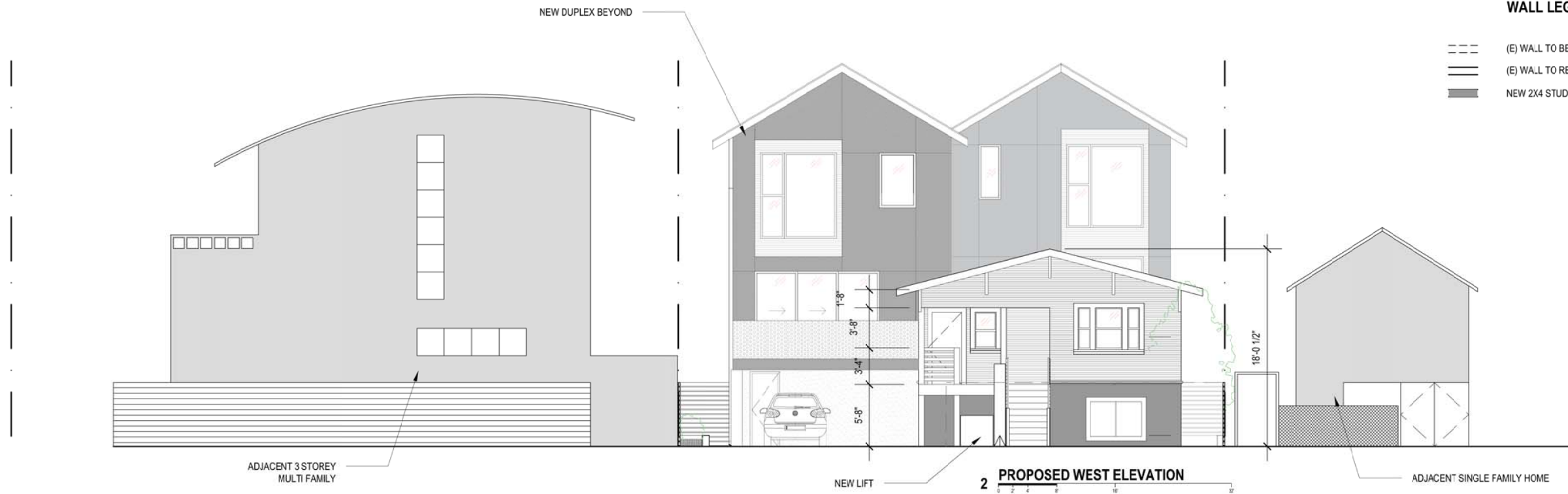
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18



WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL






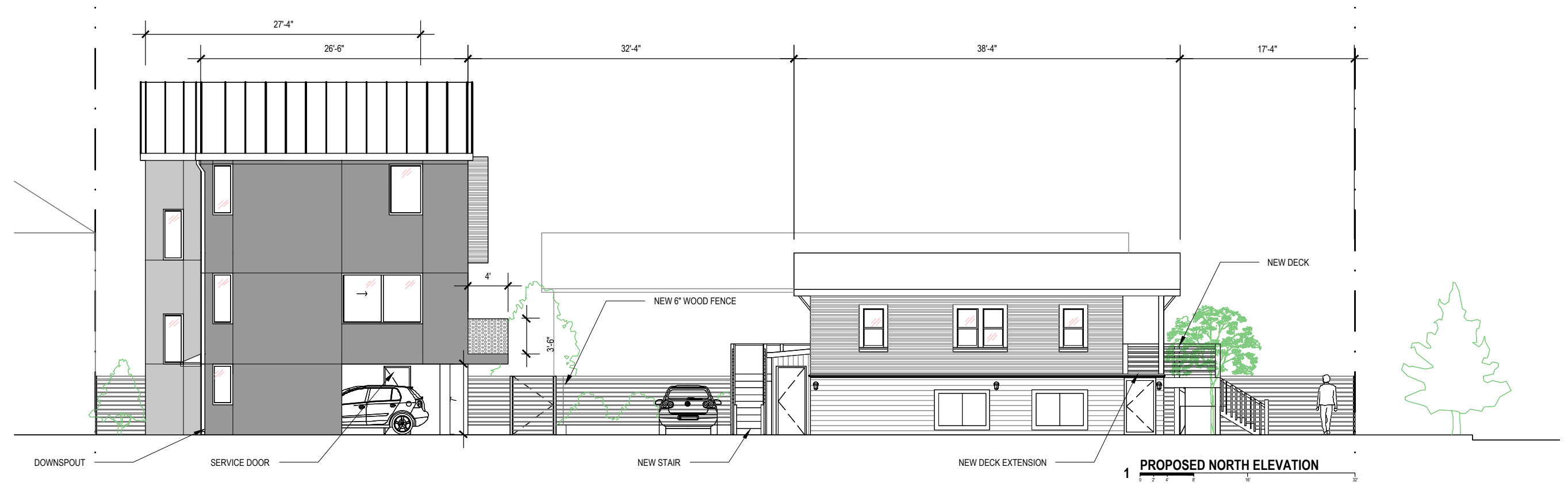
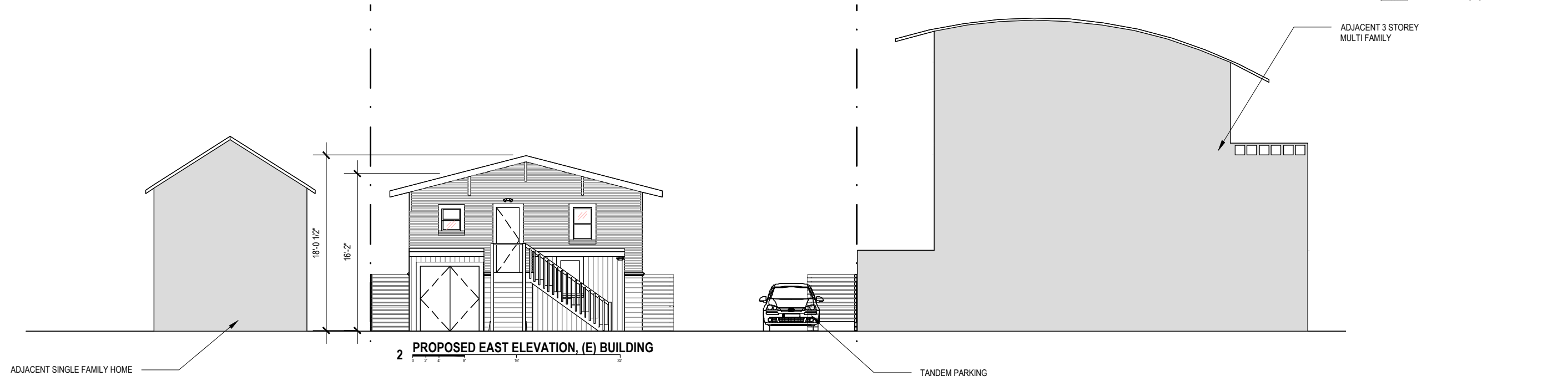
A3.0 PROPOSED ELEVATIONS
SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE




ZONING 5.21.18 

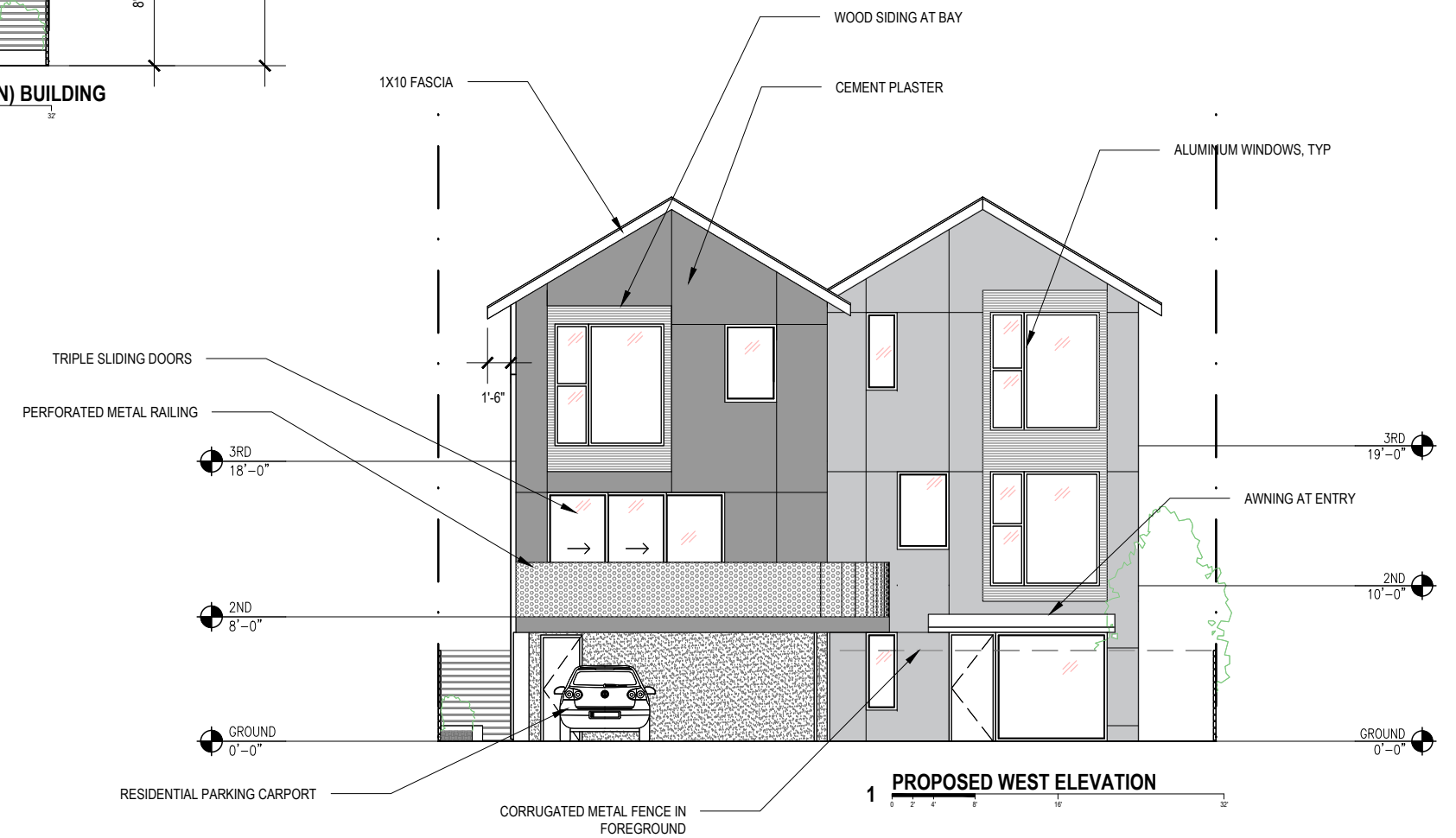
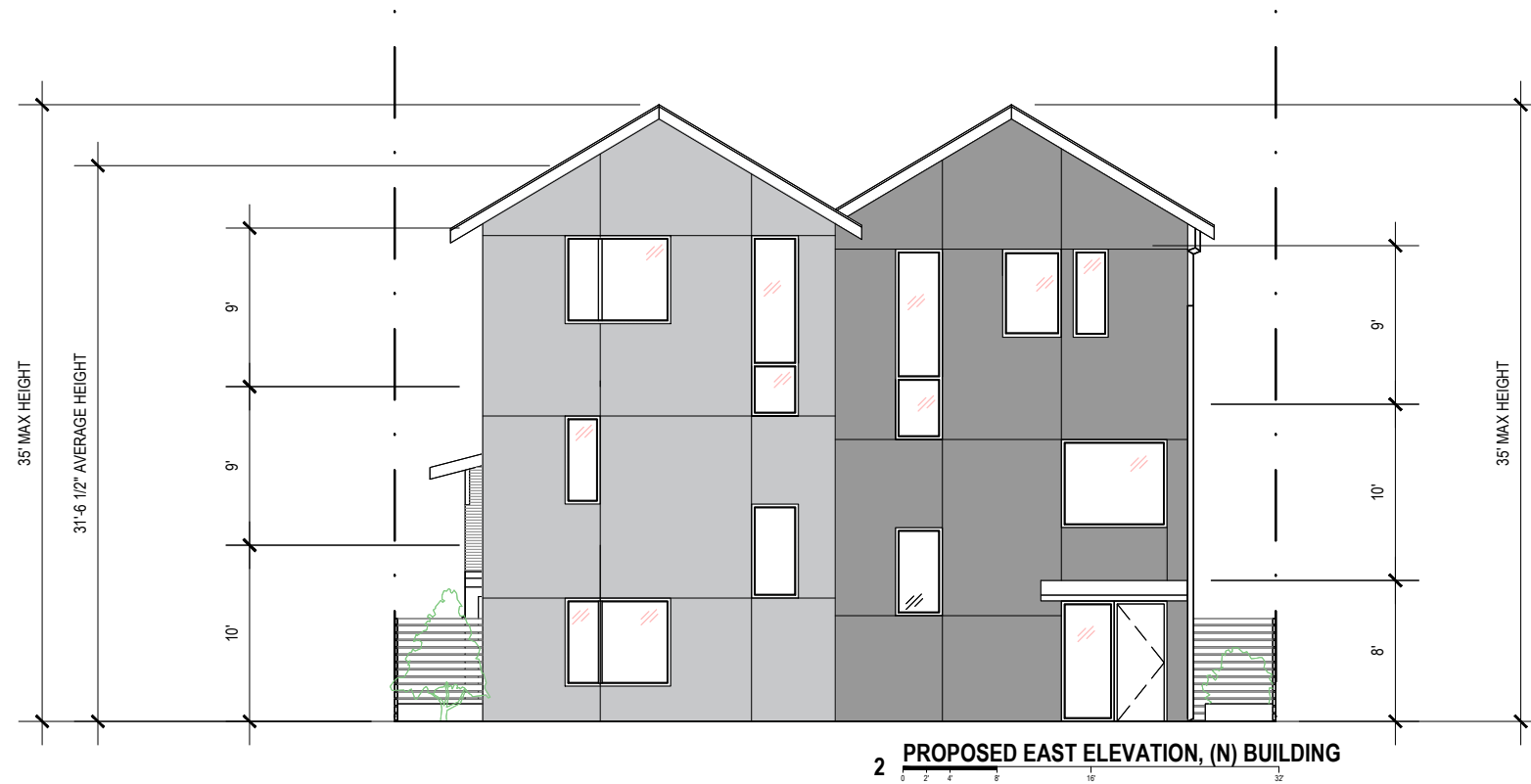
WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL



WALL LEGEND:

-  (E) WALL TO BE DEMOLISHED
-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL



PROPOSED ELEVATIONS

A3.2

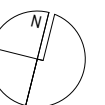
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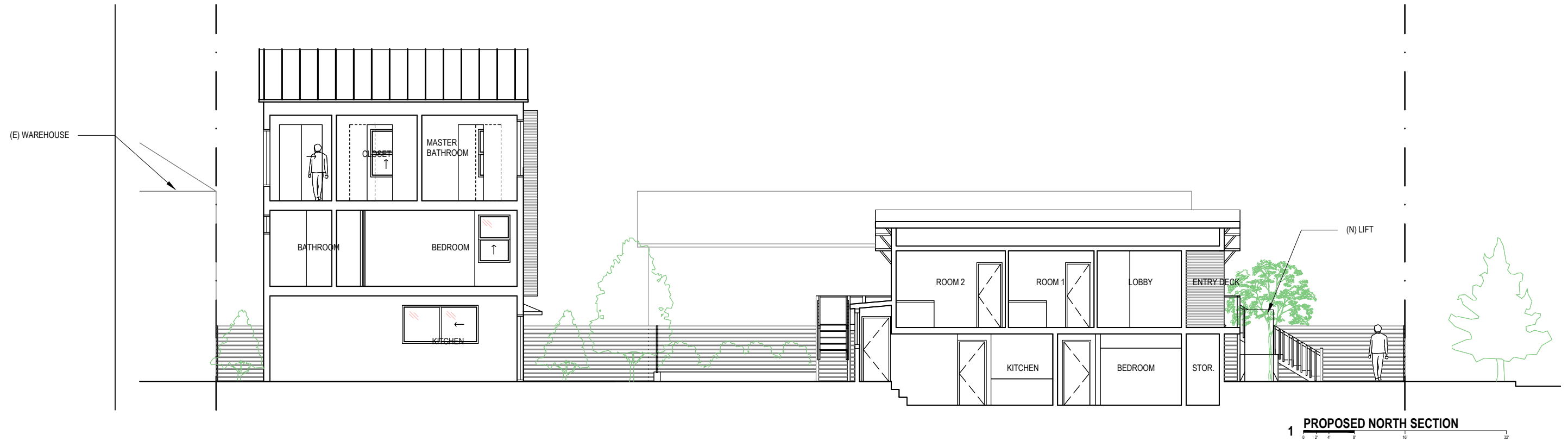
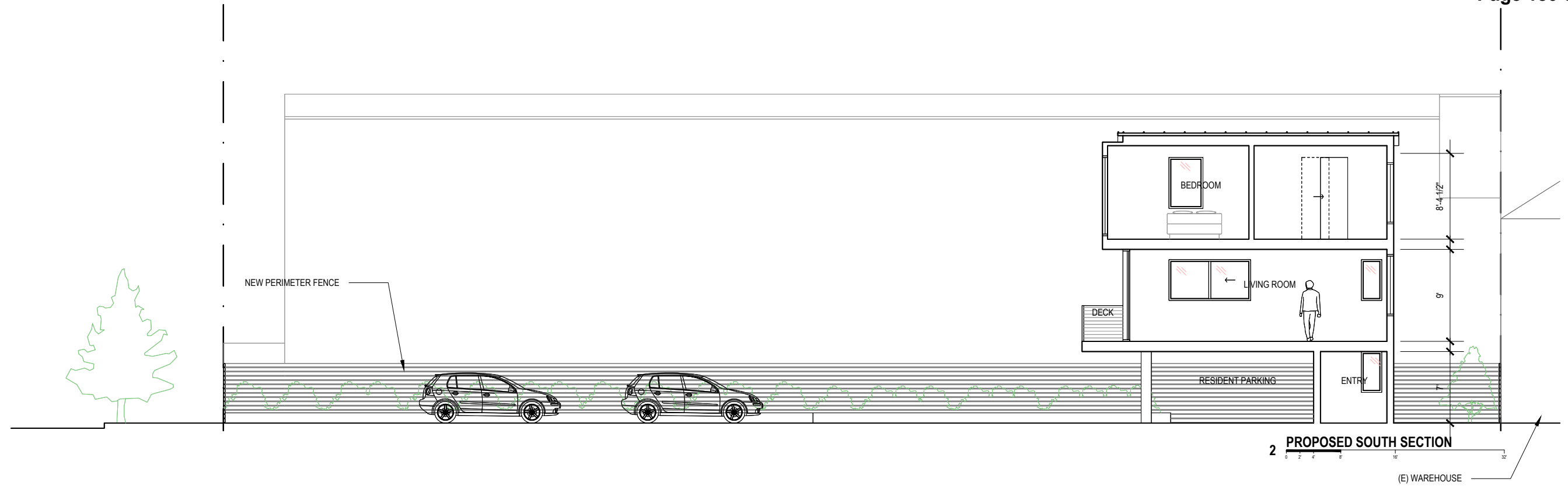
2422 5TH STREET

DEVI DUTTA ARCHITECTURE

ZONING

5.21.18





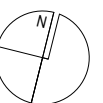
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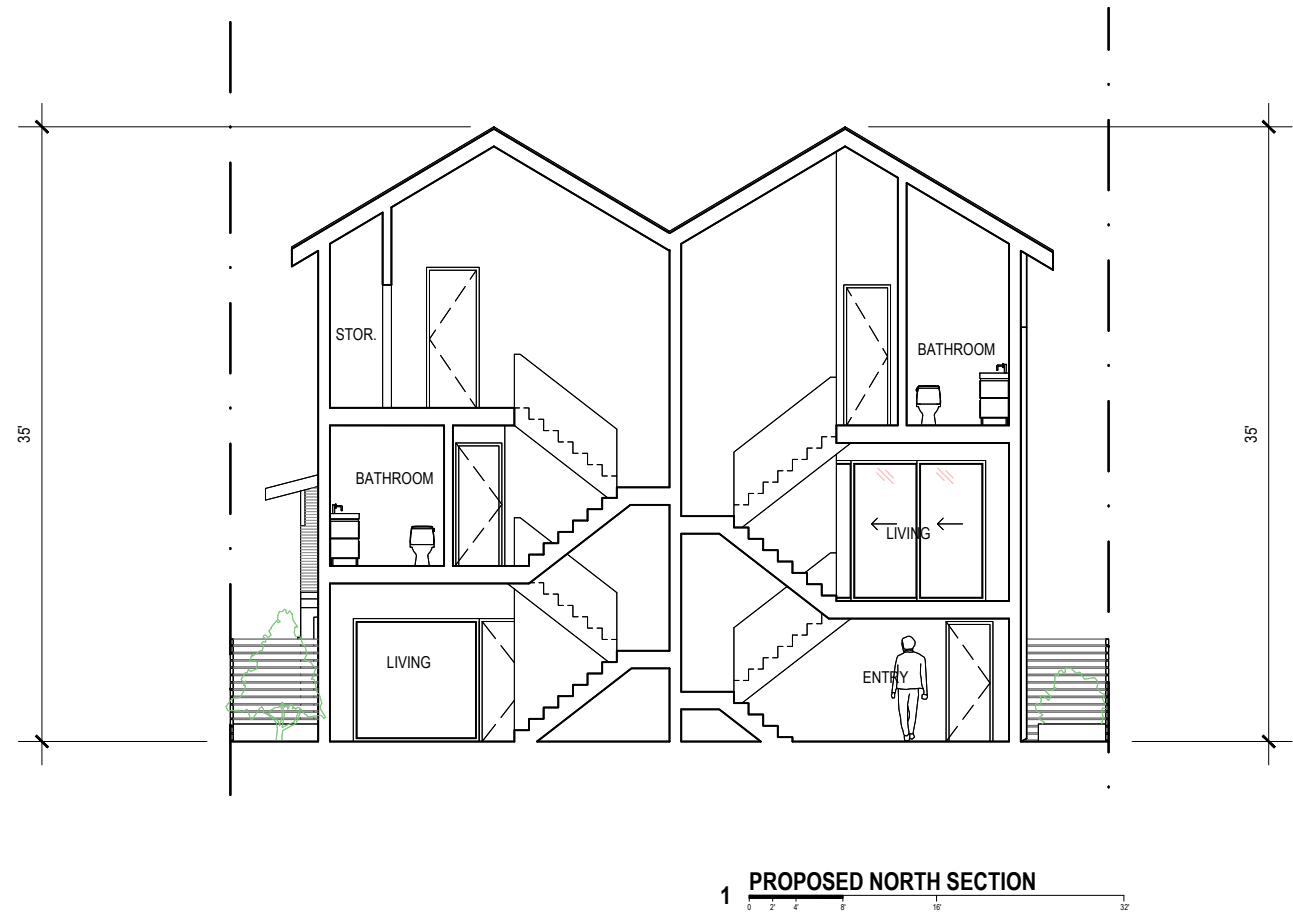
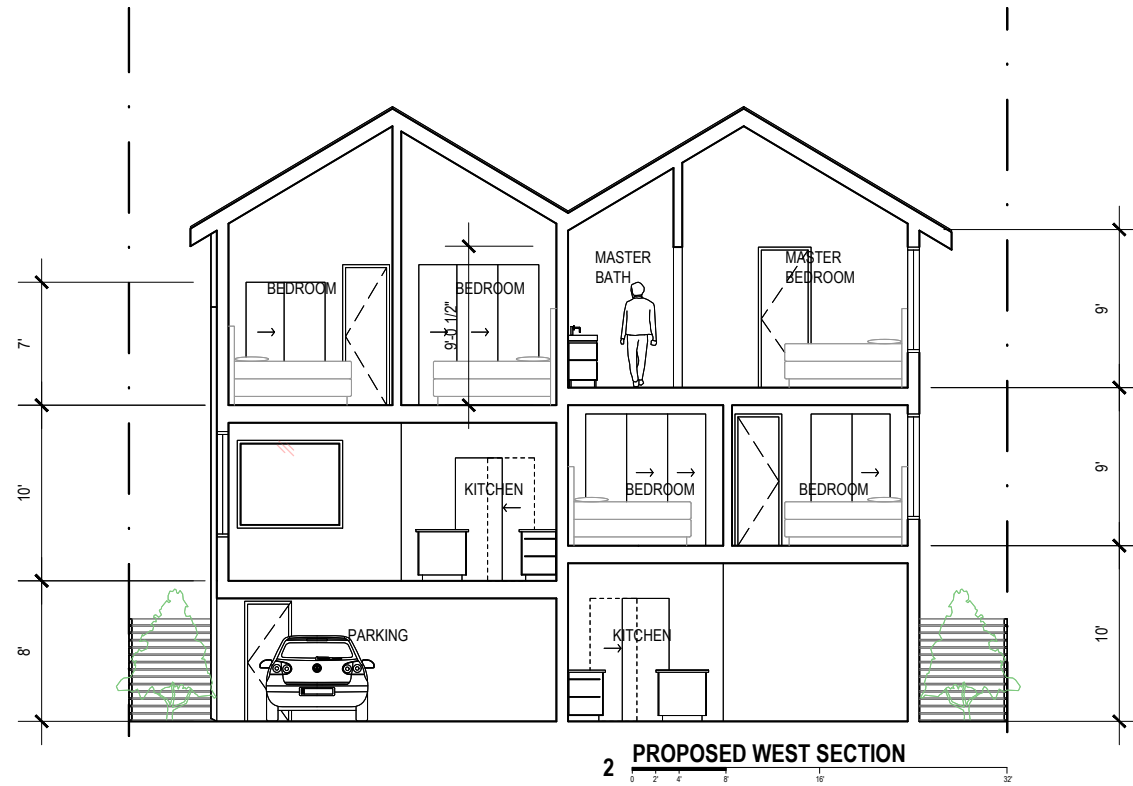
PROPOSED BUILDING SECTIONS

SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18

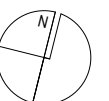


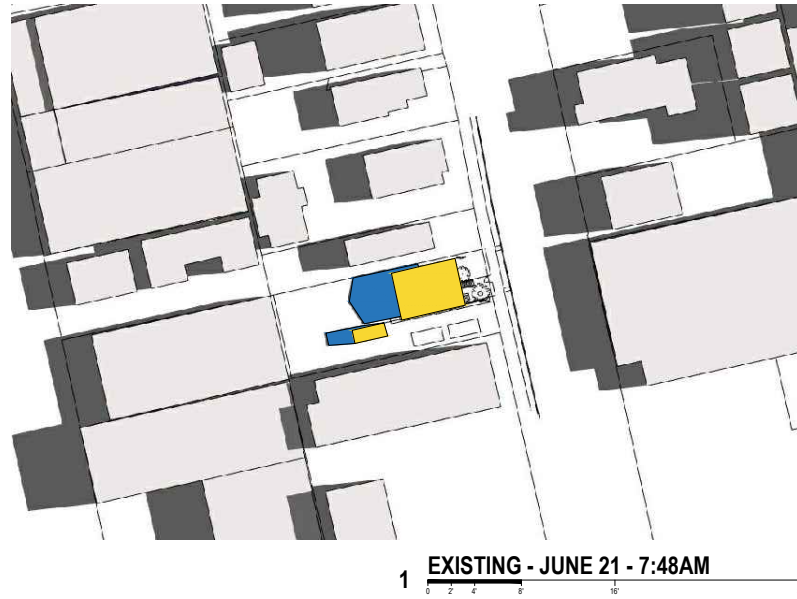


A4.1 PROPOSED BUILDING SECTIONS
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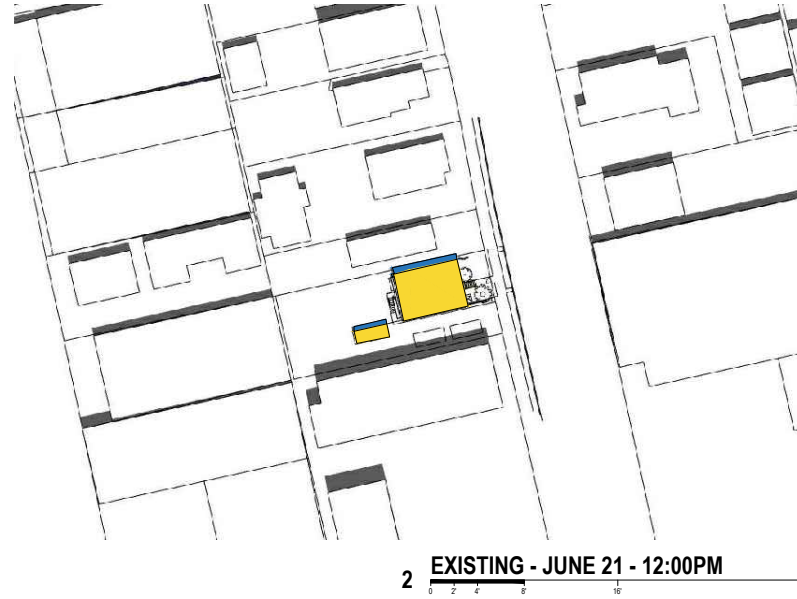
2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
5.21.18





1 EXISTING - JUNE 21 - 7:48AM



2 EXISTING - JUNE 21 - 12:00PM

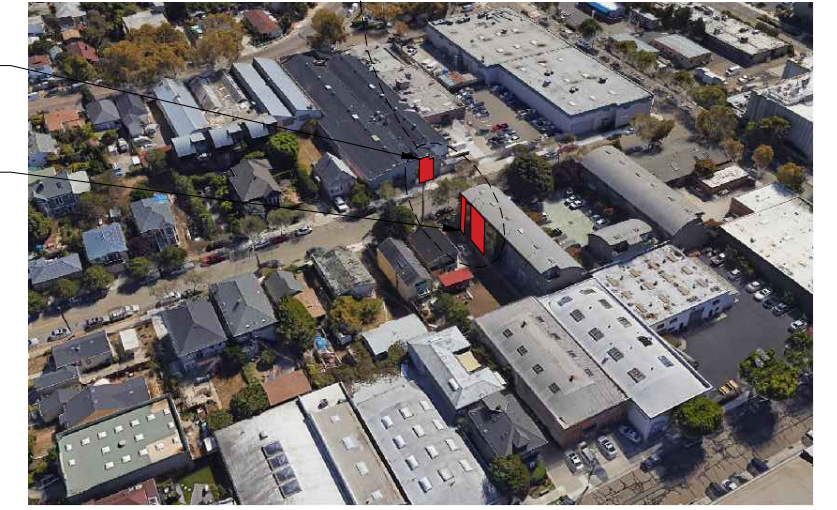


3 EXISTING - JUNE 21 - 6:35PM

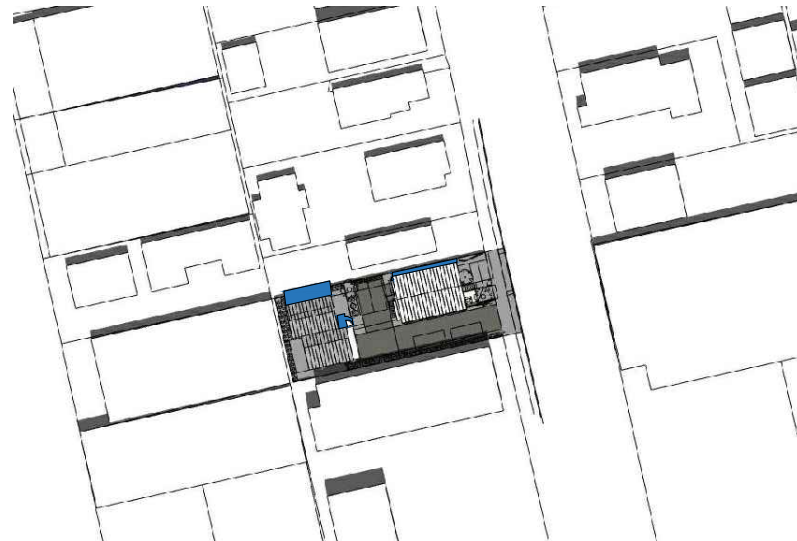


WAREHOUSE - NO AFFECTED ROOMS

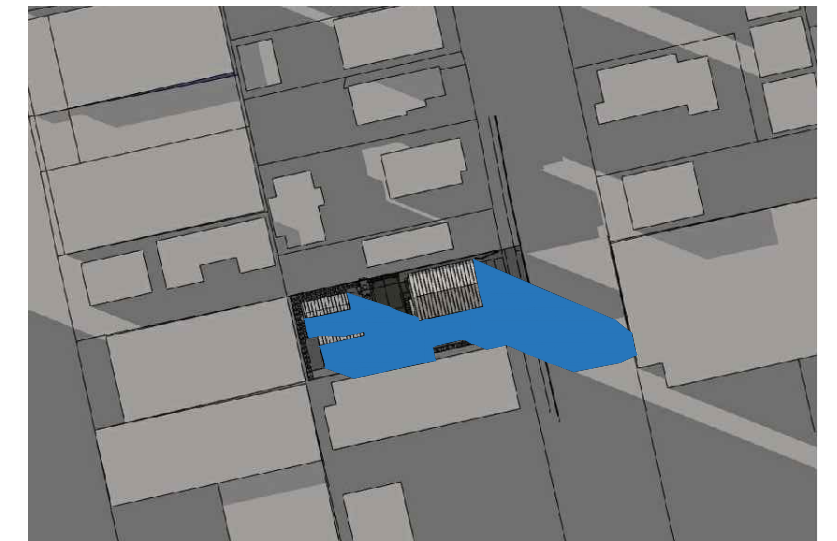
3 STORY MULTI-FAMILY - BATH & LIVING
(ASSUMED)



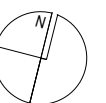
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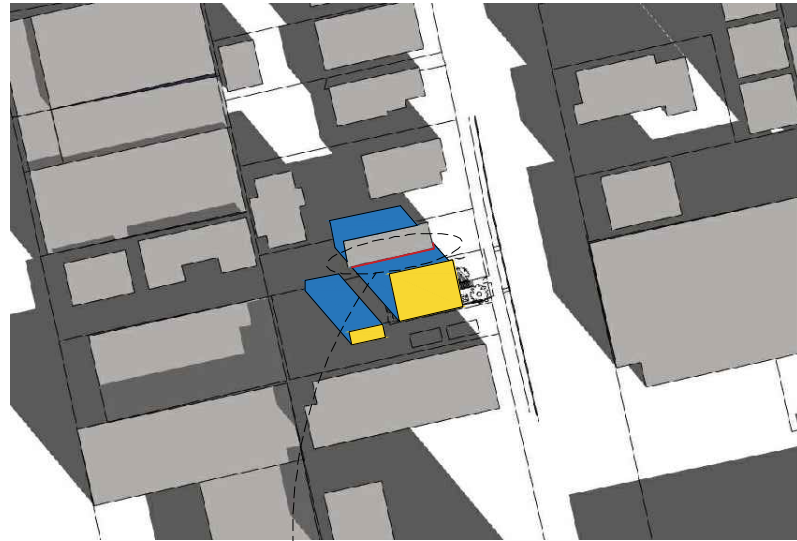


5 PROPOSED - JUNE 21 - 12:00PM

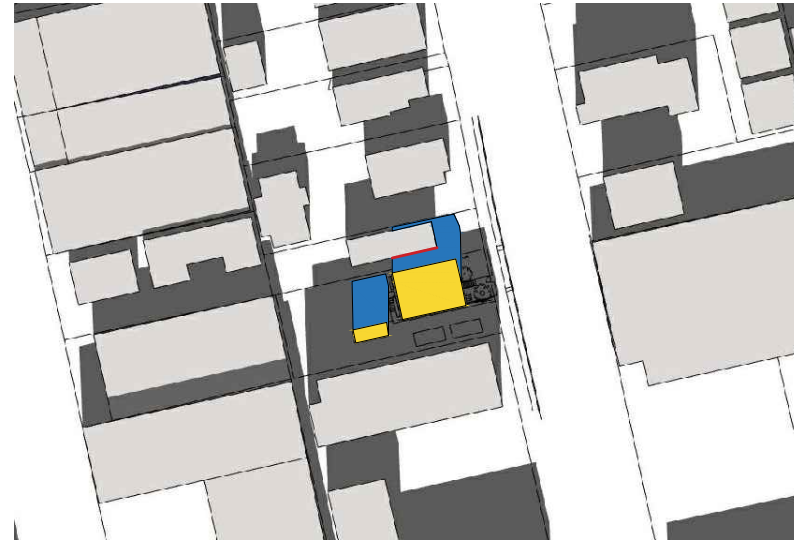


6 PROPOSED - JUNE 21 - 6:35PM





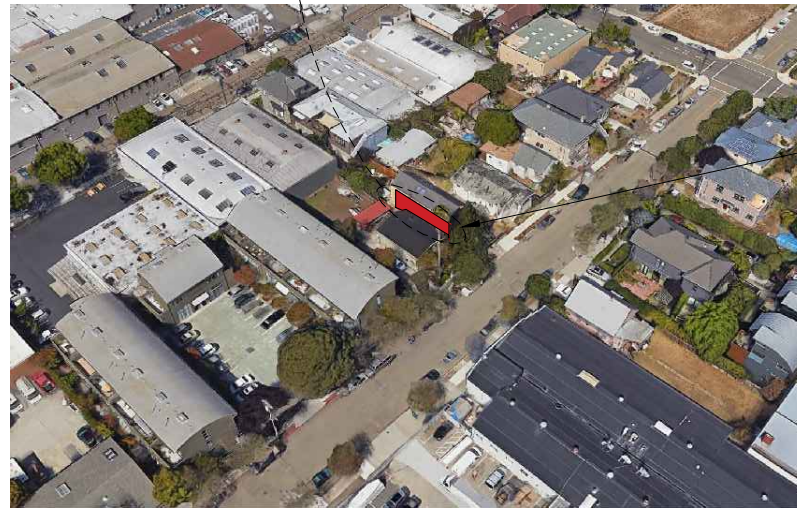
1 EXISTING - DECEMBER 21 - 9:21AM



2 EXISTING - DECEMBER 21 - 12:00PM



3 EXISTING - DECEMBER 21 - 2:54PM



2 STOREY SINGLE FAMILY - BEDROOM & BATHROOM (ASSUMED)



2 STOREY SINGLE FAMILY - LIVING ROOM (ASSUMED)



4 PROPOSED - DECEMBER 21 - 9:21AM



5 PROPOSED - DECEMBER 21 - 12:00PM



6 PROPOSED - DECEMBER 21 - 2:54PM

A5.1

SHADOW STUDIES - DECEMBER 21, WINTER SOLSTICE

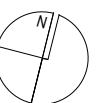
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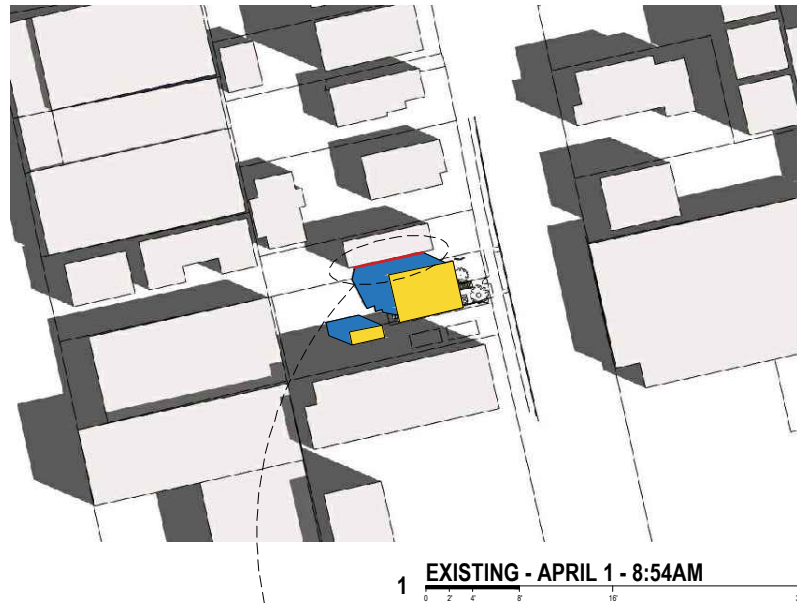
2422 5TH STREET

DEVI DUTTA ARCHITECTURE

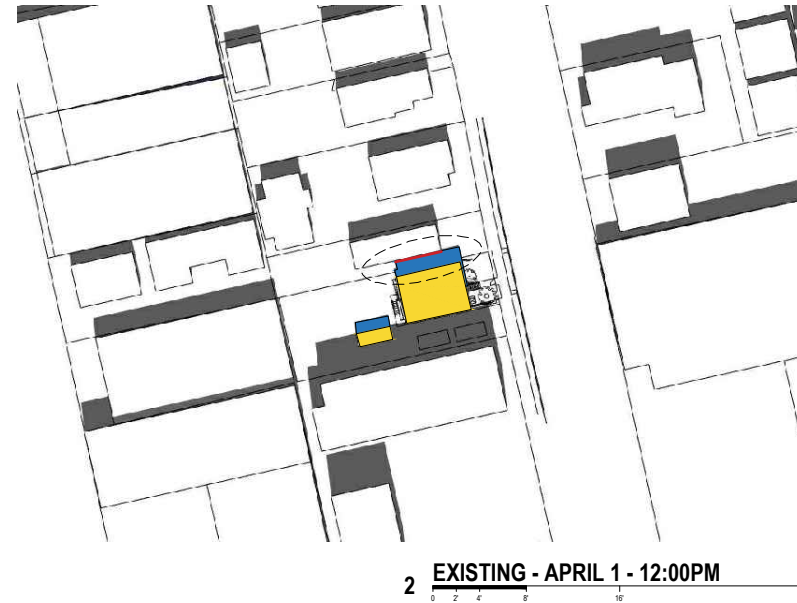
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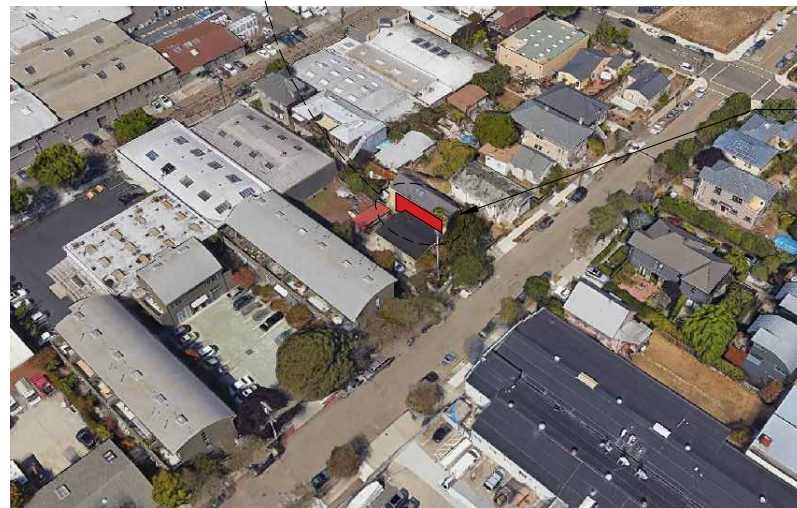
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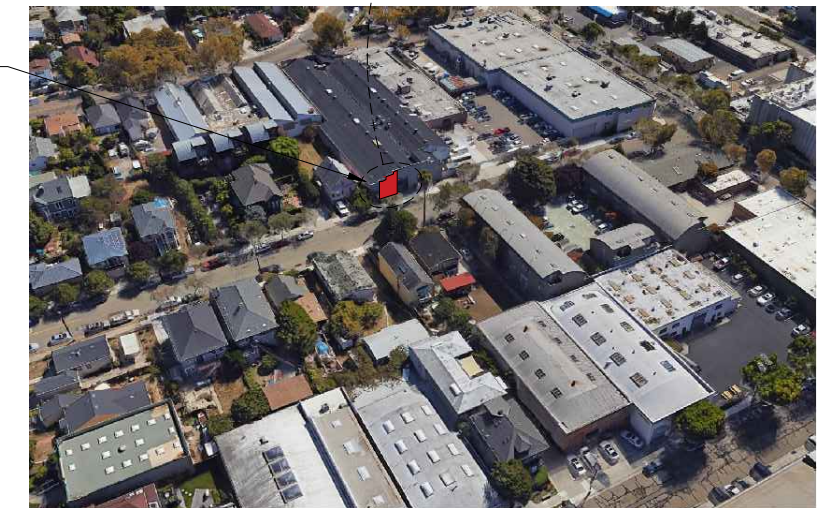
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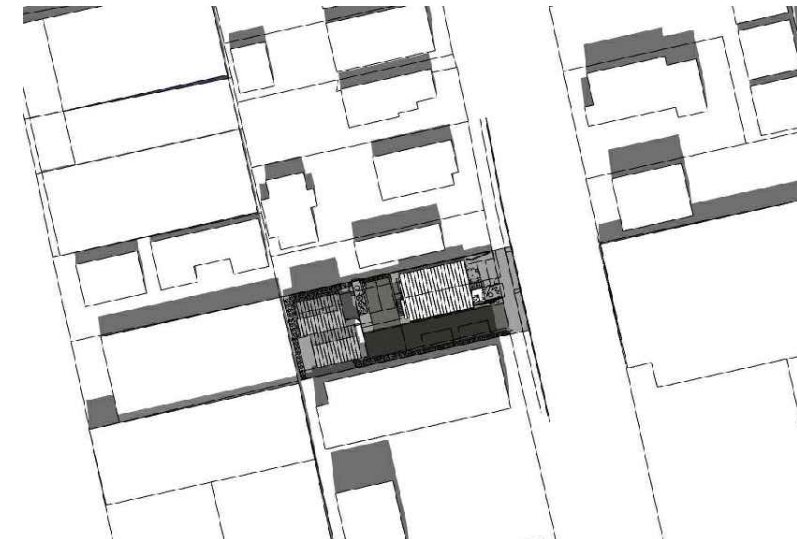
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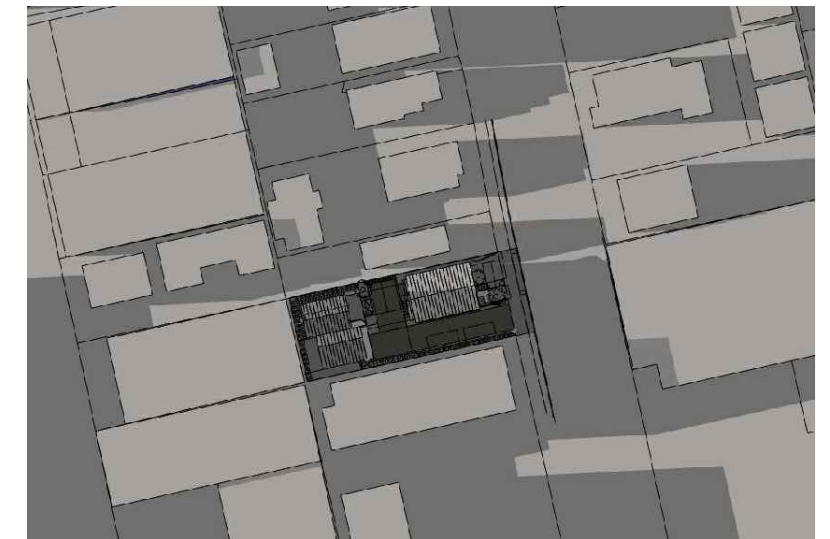
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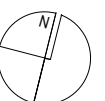
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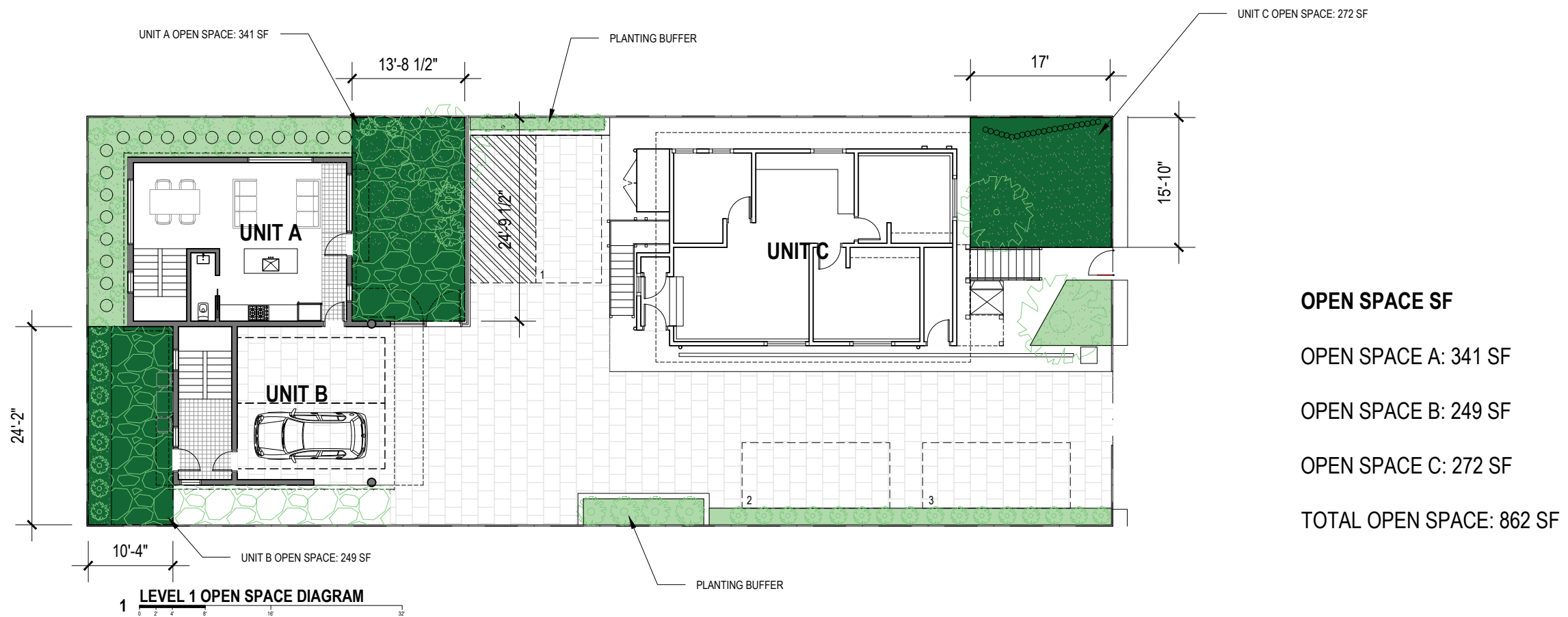
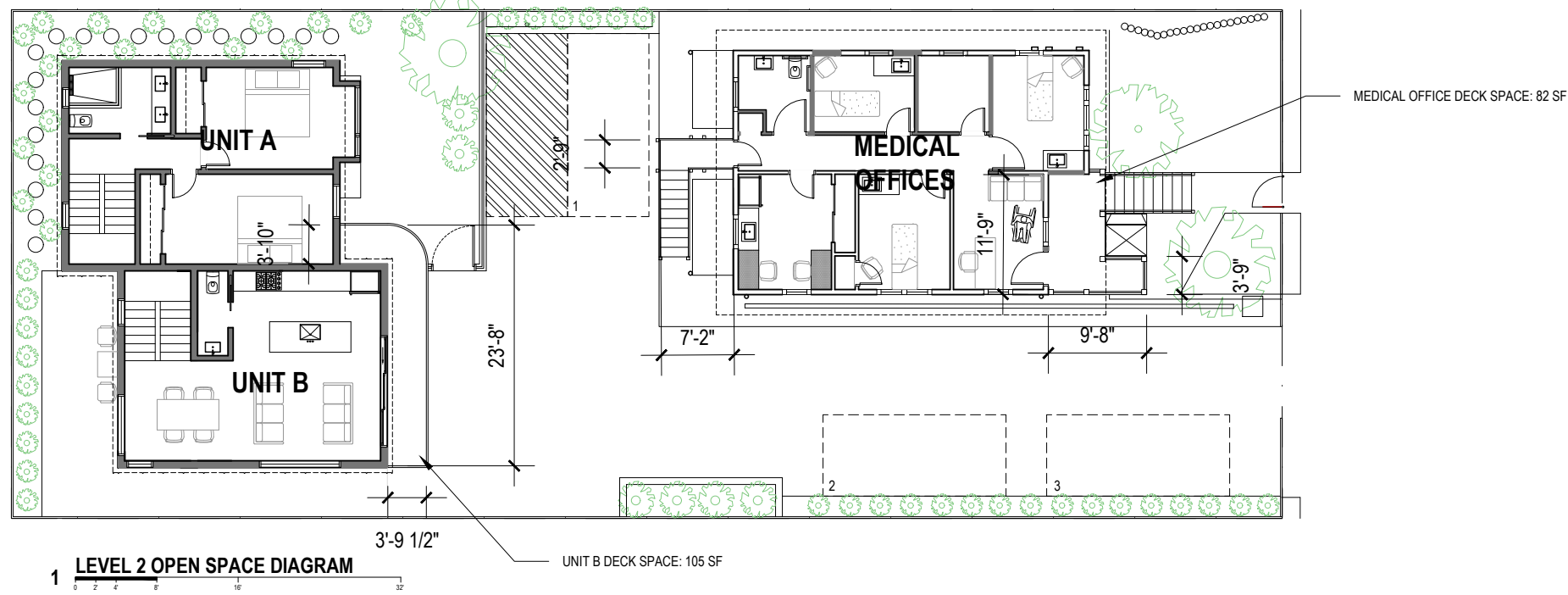


5 PROPOSED - APRIL 1 - 12:00PM



6 PROPOSED - APRIL 1 - 5:32PM







Planning & Development Department
Land Use Planning Division

May 30, 2018

Devi Dutta
Devi Dutta Architecture
928 Carleton Street
Berkeley, CA 94710

Sent via email:
hello@devidutta.com

RE: 2422 Fifth Street, Application #ZP2018-0105

Use Permit to:

Convert existing dwelling unit into a medical office. Construct duplex at rear of property. Waive one residential parking space.

Dear applicant:

On behalf of the City of Berkeley, I would like to introduce myself as the project planner for the above referenced application. Staff from various City departments will be reviewing your application, including the Building and Safety, Land Use Planning and Transportation divisions, as well as other interested parties, to ensure that the project application is complete. If any questions arise, City staff will either contact you in writing or by phone at the number supplied on your application. Unless you inform us otherwise, you will be the primary contact during the application process

You can expect site visits by various staff members in the next couple of weeks. These visits will be from the public right-of-way, unless staff makes an appointment with you in advance. I will be contacting you within 30 days of your application date to follow-up with the status of the project and to request any additional information needed for your application to be deemed complete. Answers to frequently asked questions related to Use Permits, including "what is the process" and "how long does it take" can be found on the City's website at:
<http://www.ci.berkeley.ca.us/contentdisplay.aspx?id=820>

Please note that due to staffing reductions and the level of permit activity, applicants should be prepared to expect longer processing times than in the past. The City has consultants available to expedite applications for an additional fee.

Please feel free to contact me if you are interested in using this service to expedite your application or if you have other questions or comments about your application. I can be reached by email at asage@cityofberkeley.info or by phone at (510) 981-7418.

I look forward to working with you.

Sincerely,

A handwritten signature in black ink that reads "Aaron Sage".

Aaron Sage
Associate Planner

Sage, Aaron E.

From: Sage, Aaron E.
Sent: Friday, June 22, 2018 6:16 PM
To: devi dutta-choudhury
Subject: 2422 Fifth St. - application status

Hi Devi,

I have reviewed your application for this site and determined it is incomplete, pending the following items:

- Parking waiver requires a parking survey – please consult with the traffic engineer, Peter Chun, for further details. pchun@cityofberkeley.info or 510-981-6445
- Traffic engineer review fee has not been paid. Not applicable if Peter has already reviewed/approved your site plan.
- Provide Phase 1 report for determination of potential contaminated soil/groundwater impacts.
- Provide geotechnical report per Special Publication 117 (liquefaction zone), and pay peer review fee of \$2,000.
- See Design Review comments in separate e-mail from Anne Burns.

Please let me know if any further questions. Please note I will be out of the office June 25-29.

Regards,
Aaron

Aaron Sage, AICP

Senior Planner
City of Berkeley Land Use Planning Division
1947 Center Street, 2nd floor, Berkeley, CA 94704
510-981-7418



Prepared for **Carl Gold**

**GEOTECHNICAL INVESTIGATION
PROPOSED ALTERATIONS TO EXISTING
RESIDENCE AND PROPOSED NEW STRUCTURE
2422 FIFTH STREET
Berkeley, California**

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PROJECT***

July 23, 2018
Project No. 18-1520



July 23, 2018
Project No. 18-1520

Mr. Carl Gold
2422 Fifth Street
Berkeley, California 94710

Subject: Geotechnical Investigation
Proposed Alterations to Existing Residence
and Proposed New Structure
2422 Fifth Street
Berkeley, California

Dear Mr. Gold:

We are pleased to present our geotechnical investigation report, dated July 23, 2018, for the proposed alterations to the existing residence and the new three-story duplex to be constructed at the rear of the property at 2422 Fifth Street in Berkeley. Our investigation was performed in accordance with our proposal dated May 31, 2018.

The site consists of a relatively flat, rectangular-shaped parcel with plan dimensions of 25 by 130 feet. The front portion of the site is occupied by a one-story residence above a basement level that is essentially at grade. Plans are to raise the existing residence up to provide sufficient space for a full at-grade story and to construct a new L-shaped three-story building at the rear of the site. Structural design loads were not available at the time this report was prepared; however, we anticipate the loads will be light as is typical for this type of structure.

From a geotechnical standpoint, we conclude the proposed improvements can be constructed as planned, provided the recommendations presented in this report are incorporated into the project plans and specifications and implemented during construction. The primary geotechnical concerns for the project site are: 1) the presence of moderately to highly expansive near-surface soil, and 2) the potential for up to 1/2 inch of seismically induced differential settlement due to cyclic softening following a major earthquake. For the replacement of foundations for the existing residence, we conclude the most appropriate foundation type would consist of deepened spread footings bottomed below the zone of severe moisture change. For the new building, we conclude the most appropriate foundation type would consist of either deepened spread footings or a well-reinforced concrete mat supported on a layer of non-expansive fill.



Mr. Carl Gold
July 23, 2018
Page 2

The recommendations contained in our report are based on a limited subsurface exploration. Consequently, variations between expected and actual subsurface conditions may be found in localized areas during construction. Therefore, we should be engaged to observe grading and foundation installation, during which time we may make changes in our recommendations, if deemed necessary.

We appreciate the opportunity to provide our services to you on this project. If you have any questions, please call.

Sincerely yours,
ROCKRIDGE GEOTECHNICAL, INC.

A handwritten signature in blue ink, appearing to read 'C. S. Shields'.



Craig S. Shields, P.E., G.E.
Principal Geotechnical Engineer

Enclosure



TABLE OF CONTENTS

1.0	INTRODUCTION	1
2.0	SCOPE OF SERVICES	1
3.0	FIELD INVESTIGATION	2
3.1	Cone Penetration Tests	2
3.2	Hand-Auger Borings.....	3
3.3	Laboratory Testing.....	3
4.0	SUBSURFACE CONDITIONS	3
5.0	SEISMIC CONSIDERATIONS	5
5.1	Regional Seismicity	5
5.2	Seismic Hazards.....	8
5.2.1	Ground Shaking	8
5.2.2	Fault Rupture	8
5.2.3	Liquefaction and Associated Hazards.....	9
5.2.4	Cyclic Densification.....	10
6.0	CONCLUSIONS AND RECOMMENDATIONS	11
6.1	Site Preparation, Grading, and Fill Placement.....	12
6.1.1	Select Fill	14
6.1.2	Exterior Concrete Flatwork.....	14
6.1.3	Utility Trench Backfill.....	15
6.1.4	Drainage and Landscaping.....	16
6.2	Foundation Design.....	17
6.2.1	Footings.....	17
6.2.2	Mat Foundation.....	18
6.3	Water Vapor Retarder	19
6.4	Concrete Slab-on-Grade Floor.....	19
6.5	Rigid (Portland Cement Concrete) Pavement.....	21
6.6	Seismic Design.....	21
7.0	GEOTECHNICAL SERVICES DURING CONSTRUCTION	22
8.0	LIMITATIONS.....	22

REFERENCES

FIGURES



APPENDIX A – Boring Log and Cone Penetration Test Results

APPENDIX B – Laboratory Test Results

LIST OF FIGURES

- Figure 1 Site Location Map
- Figure 2 Site Plan
- Figure 3 Regional Geology Map
- Figure 4 Regional Fault Map
- Figure 5 Regional Seismic Hazard Map

APPENDIX A

- Figures A-1 Cone Penetration Test Results, CPT-1 and CPT-2 and A-2
- Figure A-3 Log of Boring HA-1
- Figure A-4 Soil Classification Chart

APPENDIX B

- Figure B-1 Plasticity Chart



**GEOTECHNICAL INVESTIGATION
PROPOSED ALTERATIONS TO EXISTING
RESIDENCE AND NEW STRUCTURE
2422 FIFTH STREET
Berkeley, California**

1.0 INTRODUCTION

This report presents the results of the geotechnical investigation performed by Rockridge Geotechnical, Inc. for the proposed alterations to the existing structure and construction of a new three-story duplex to be constructed at 2422 Fifth Street in Berkeley, California. The subject property is located on the western side of Fifth Street, between Channing Way and Dwight Way, as shown on the Site Location Map, Figure 1.

The site consists of a relatively flat, rectangular-shaped parcel with plan dimensions of 50 by 125 feet. The front portion of the site is occupied by a two-story duplex. The rear portion of the site is a yard area. Plans are to convert the existing duplex into medical offices and to construct a new three-story duplex at the rear yard. Structural design loads were not available at the time this report was prepared; however, we anticipate the loads will be light as is typical for these types of structures.

2.0 SCOPE OF SERVICES

Our investigation was performed in accordance with our proposal dated May 31, 2018. Our scope of services consisted of investigating subsurface conditions at the site by performing two cone penetration tests (CPTs), advancing one hand-auger boring, performing laboratory tests on selected soil samples, and performing engineering analyses to develop conclusions and recommendations regarding:

- site seismicity and seismic hazards, including the potential for liquefaction and liquefaction-induced ground failure
- the most appropriate foundation type(s) for the proposed building and renovation of the existing building
- design criteria for the recommended foundation type, including vertical and lateral capacities



- estimates of foundation settlement
- subgrade preparation for slab-on-grade floors, concrete flatwork, and pavements
- site grading and excavation, including criteria for fill quality and compaction
- 2016 California Building Code (CBC) site class and design spectral response acceleration parameters
- concrete pavement design
- construction considerations.

3.0 FIELD INVESTIGATION

We investigated the subsurface conditions beneath the site by performing two CPTs, advancing one hand-auger boring, and performing laboratory tests on selected soil samples. The approximate locations of the boring and CPTs are shown on the attached Site Plan (Figure 2). Prior to mobilizing to the site, we contacted Underground Service Alert (USA) to notify them of our work, as required by law to confirm the CPT locations were clear of existing utility lines. Details of the field investigation and laboratory testing are described below.

3.1 Cone Penetration Tests

Two CPTs were performed at the project site to provide in-situ soil data at the approximate locations shown on Figure 2. The CPTs, designated as CPT-1 and CPT-2, were each advanced to a depth of approximately 50 feet below the existing ground surface (bgs).

The CPTs were performed on June 6, 2018 by Middle Earth Geo Testing, Inc. of Orange, California by hydraulically pushing a 1.4-inch-diameter cone-tipped probe with a projected area of 10 square centimeters into the ground. The cone-tipped probe measured tip resistance and the friction sleeve behind the cone tip measured frictional resistance. Electrical strain gauges within the cone continuously measured soil parameters for the entire depth advanced. Soil data, including tip resistance and frictional resistance, were recorded by a computer while the test was conducted. Accumulated data were processed by computer to provide engineering information such as the soil behavior types and approximate strength characteristics of the soil encountered. The CPT logs, showing tip resistance, friction ratio, and pore water pressure by depth, as well as



correlated soil behavior type (Robertson, 2010), are presented in Appendix A on Figures A-1 and A-2.

3.2 Hand-Auger Borings

The hand-auger boring was advanced in the rear of the property to supplement the CPT data and to obtain soil samples for visual classification and laboratory testing. The boring, designated as HA-1, was advanced to a depth of approximately 6 feet bgs using a three-inch-diameter hand auger. Our field representative obtained soil samples at several depths for visual classification and laboratory testing. The log of the boring is presented on Figure A-3 in Appendix A. The soil encountered in the borings was classified in accordance with the classification chart shown on Figure A-4.

3.3 Laboratory Testing

We re-examined each soil sample obtained from our boring to confirm the field classifications and select representative samples for laboratory testing. Soil samples were tested to measure moisture content, and Atterberg limits. The Atterberg limits test is an indirect measurement of the expansion potential of soil. The results of the laboratory tests are presented on the boring log and on Figure B-1 in Appendix B.

4.0 SUBSURFACE CONDITIONS

Regional geologic information (Figure 3) indicates the site is underlain by Holocene-age alluvium deposits (Qha). The results of our field investigation indicate the site is generally blanketed by very stiff sandy clay to depths of about 6 to 7 feet bgs; however, loose to medium dense sand/silty sand, which is likely undocumented fill, was encountered from the ground surface to a depth of about three feet bgs at the CPT-1 location. The results of an Atterberg limits tests performed on sample of the near-surface sandy clay indicate the soil is moderately to highly expansive¹ with an plasticity index (PI) of 25.

¹ Highly expansive soil undergoes large volume changes with changes in moisture content.



Between depths of about 6 to 7 feet bgs and 15-1/2 to 17-1/2 feet bgs, the CPTs encountered dense to very dense clayey sand interbedded with some zones of hard clay. Below depths of 15-1/2 to 17-1/2 feet bgs, the alluvium consists primarily of stiff to hard clay with occasional thin layers of dense to very dense granular soil that extends to the maximum depth explored of 50 feet bgs.

Pore pressure dissipation tests performed in CPT-1 and CPT-2 indicated the groundwater table was at depths of 13.7 and 15.5 feet bgs, respectively, at the time of our investigation. The groundwater level at the site is expected to fluctuate several feet seasonally with potentially larger fluctuations annually, depending on the amount of rainfall. Considering the groundwater-level measurements in our CPTs were taken during the dry season after a winter with below-normal rainfall, we judge the groundwater level could rise at least five feet during the rainy season.

To estimate the historic high groundwater level at the site, we reviewed the report prepared by the California Geological Survey (CGS) titled *Seismic Hazard Zone Report for the Oakland West 7.5-Minute Quadrangle, Alameda, County California* (2003). The report indicates the historically high groundwater level in the site vicinity is less than five feet bgs. Because this groundwater level is significantly higher than the level indicated by the pore pressure dissipation tests, we also reviewed information on the State of California Water Resources Control Board GeoTracker website (<http://geotracker.swrcb.ca.gov>). The closest site with groundwater information on the Geotracker website is at 833 University Street. Groundwater was measured in eight monitoring wells at depths ranging from about 5 to 7 feet bgs in December 2002 and March 2005.

Based on our review of available historic groundwater information in the site vicinity, we estimate the historically high groundwater level at the site is about seven feet bgs.



5.0 SEISMIC CONSIDERATIONS

5.1 Regional Seismicity

The site is located in the Coast Ranges geomorphic province that is characterized by northwest-southeast trending valleys and ridges. These are controlled by folds and faults that resulted from the collision of the Farallon and North American plates and subsequent shearing along the San Andreas fault system. Movements along this plate boundary in the Northern California region occur along right-lateral strike-slip faults of the San Andreas Fault system.

The major active faults in the area are the Hayward, San Andreas, Calaveras, and San Gregorio faults. These and other faults in the region are shown on Figure 4. For these and other active faults within a 50-kilometer radius of the site, the distance from the site and estimated mean characteristic Moment magnitude² [2007 Working Group on California Earthquake Probabilities (WGCEP) (USGS 2008) and Cao et al. (2003)] are summarized in Table 1.

² Moment magnitude is an energy-based scale and provides a physically meaningful measure of the size of a faulting event. Moment magnitude is directly related to average slip and fault rupture area.



TABLE 1
Regional Faults and Seismicity

Fault Segment	Approximate Distance from Site (km)	Direction from Site	Maximum Magnitude
Total Hayward	4.1	East	7.00
Total Hayward-Rodgers Creek	4.1	East	7.33
Mount Diablo Thrust	23	East	6.70
N. San Andreas - Peninsula	25	West	7.23
N. San Andreas (1906 event)	25	West	8.05
Total Calaveras	26	East	7.03
N. San Andreas - North Coast	26	West	7.51
Green Valley Connected	26	East	6.80
Rodgers Creek	28	Northwest	7.07
San Gregorio Connected	30	West	7.50
West Napa	31	North	6.70
Greenville Connected	41	East	7.00
Great Valley 5, Pittsburg Kirby Hills	43	East	6.70
Monte Vista-Shannon	47	South	6.50
Point Reyes	48	West	6.90

Since 1800, four major earthquakes have been recorded on the San Andreas Fault. In 1836, an earthquake with an estimated maximum intensity of VII on the Modified Mercalli (MM) scale occurred east of Monterey Bay on the San Andreas Fault (Topozada and Borchardt 1998). The estimated Moment magnitude, M_w , for this earthquake is about 6.25. In 1838, an earthquake occurred with an estimated intensity of about VIII-IX (MM), corresponding to an M_w of about 7.5. The San Francisco Earthquake of 1906 caused the most significant damage in the history of the Bay Area in terms of loss of lives and property damage. This earthquake created a surface



rupture along the San Andreas Fault from Shelter Cove to San Juan Bautista approximately 470 kilometers in length. It had a maximum intensity of XI (MM), an M_w of about 7.9, and was felt 560 kilometers away in Oregon, Nevada, and Los Angeles. The most recent earthquake to affect the Bay Area was the Loma Prieta Earthquake of 17 October 1989 with an M_w of 6.9. This earthquake occurred in the Santa Cruz Mountains about 99 kilometers southwest of the site.

In 1868, an earthquake with an estimated maximum intensity of X on the MM scale occurred on the southern segment (between San Leandro and Fremont) of the Hayward Fault. The estimated M_w for the earthquake is 7.0. In 1861, an earthquake of unknown magnitude (probably an M_w of about 6.5) was reported on the Calaveras Fault. The most recent significant earthquake on this fault was the 1984 Morgan Hill earthquake ($M_w = 6.2$).

The U.S. Geological Survey's 2014 Working Group on California Earthquake Probabilities has compiled the earthquake fault research for the San Francisco Bay area in order to estimate the probability of fault segment rupture. They have determined that the overall probability of moment magnitude 6.7 or greater earthquake occurring in the San Francisco Region during the next 30 years (starting from 2014) is 72 percent. The highest probabilities are assigned to the Hayward Fault, Calaveras Fault, and the northern segment of the San Andreas Fault. These probabilities are 14.3, 7.4, and 6.4 percent, respectively.



5.2 Seismic Hazards

During a major earthquake on a segment of one of the nearby faults, strong to very strong shaking is expected to occur at the project site. Strong shaking during an earthquake can result in ground failure such as that associated with soil liquefaction,³ lateral spreading⁴ and cyclic densification.⁵ We used the results of our borings and CPTs to evaluate the potential of these phenomena occurring at the project site. The results of our analyses and evaluation are presented in the following sections.

5.2.1 Ground Shaking

The ground shaking intensity felt at the project site will depend on: 1) the size of the earthquake (magnitude), 2) the distance from the site to the fault source, 3) the directivity (focusing of earthquake energy along the fault in the direction of the rupture), and 4) subsurface conditions. The site is about 4 kilometers from the Hayward Fault. Therefore, the potential exists for a large earthquake to induce strong to very strong ground shaking at the site during the life of the project.

5.2.2 Fault Rupture

Historically, ground surface displacements closely follow the trace of geologically young faults. The site is not within an Earthquake Fault Zone, as defined by the Alquist-Priolo Earthquake Fault Zoning Act, and no known active or potentially active faults exist on the site. We therefore conclude the risk of fault offset at the site from a known active fault is very low. In a seismically active area, the remote possibility exists for future faulting in areas where no faults previously

³ Liquefaction is a phenomenon where loose, saturated, cohesionless soil experiences temporary reduction in strength during cyclic loading such as that produced by earthquakes.

⁴ Lateral spreading is a phenomenon in which surficial soil displaces along a shear zone that has formed within an underlying liquefied layer. Upon reaching mobilization, the surficial blocks are transported downslope or in the direction of a free face by earthquake and gravitational forces.

⁵ Cyclic densification, also referred to as differential compaction, is a phenomenon in which non-saturated, cohesionless soil is compacted by earthquake vibrations, causing ground-surface settlement.



existed; however, we conclude the risk of surface faulting and consequent secondary ground failure from previously unknown faults is also very low.

5.2.3 Liquefaction and Associated Hazards

Strong shaking during an earthquake can result in ground failure such as that associated with soil liquefaction and lateral spreading. Soil susceptible to liquefaction includes loose to medium dense sand and gravel, low-plasticity silt, and some low-plasticity clay deposits. Flow failure, lateral spreading, differential settlement, loss of bearing strength, ground fissures and sand boils are evidence of excess pore pressure generation and liquefaction.

The site has been mapped inside a zone of liquefaction potential on the map titled *State of California, Seismic Hazard Zones, Oakland West Quadrangle, Official Map*, prepared by the California Geological Survey (CGS), dated February 14, 2003 (Figure 5). The California Geological Survey (CGS) has provided recommendations for procedures and report content for site investigations performed within seismic hazard zones in Special Publication 117 (SP-117), titled *Guidelines for Evaluating and Mitigating Seismic Hazard Zones in California*, dated September 11, 2008. SP-117 recommends subsurface investigations in mapped liquefaction hazard zones be performed using rotary-wash borings and/or CPTs.

We evaluated the liquefaction potential of soil encountered at the site using data collected from our CPTs. Our liquefaction analyses were performed using the methodology proposed by P.K. Robertson (2009). We also used the relationship proposed by Zhang, Robertson, and Brachman (2002) to estimate post-liquefaction volumetric strains and corresponding ground surface settlement; a relationship that is an extension of the work by Ishihara and Yoshimine (1992).

Our analyses were performed using the approximate in-situ groundwater depths measured in our CPTs and a “during earthquake” groundwater depth of seven feet bgs. In accordance with the 2016 CBC, we used a peak ground acceleration of 0.74 times gravity (g) in our liquefaction evaluation; this peak ground acceleration is consistent with the Maximum Considered Earthquake Geometric Mean (MCE_G) peak ground acceleration adjusted for site effects (PGAM).



We also used a moment magnitude 7.33 earthquake, which is consistent with the mean characteristic moment magnitude for the Hayward Fault, as presented in Table 1.

Our liquefaction analysis indicates most of the granular soil underlying the site is sufficiently dense to resist liquefaction; however, the analysis also indicates there are thin layers of soil, generally classified by the CPTs as soil behavior type “clay” or “clay & silty clay”, between depths of about 7 and 40 feet bgs that are susceptible to pore pressure buildup and strength loss, referred to as cyclic softening, from cyclic loading during an earthquake. Dissipation of the excess pore pressure in these soil layers after the earthquake will result in ground surface settlement. We estimate total and differential ground settlement resulting from post-earthquake reconsolidation following an MCE event with PG_{AM} of 0.74g will be less than 3/4 and 1/2 inch across a horizontal distance of 30 feet, respectively.

Considering the soil layers susceptible to cyclic softening are not expected to experience significant strength loss during an earthquake and the uppermost layer susceptible to cyclic softening is thin, we conclude the potential for surface manifestations from liquefaction, such as sand boils, is nil, and the potential for loss of bearing capacity for lightly loaded shallow foundations is low.

Lateral spreading occurs when a continuous layer of soil liquefies at depth and the soil layers above move toward an unsupported face, such as a shoreline slope, or in the direction of a regional slope or gradient. Based on the lack of controlling boundary conditions, we conclude the potential for lateral spreading to occur at the project site is very low.

5.2.4 Cyclic Densification

Cyclic densification (also referred to as differential compaction) of non-saturated sand (sand above groundwater table) can occur during an earthquake, resulting in settlement of the ground surface and overlying improvements. The soil encountered above the groundwater table is not susceptible to cyclic densification due to its cohesion. Therefore, we conclude the potential for cyclic densification to occur at the site is low.



6.0 CONCLUSIONS AND RECOMMENDATIONS

From a geotechnical standpoint, we conclude the proposed improvements can be constructed as planned, provided the recommendations presented in this report are incorporated into the project plans and specifications and implemented during construction. The primary geotechnical concerns for the project site are: 1) the presence of moderately to highly expansive near-surface soil, and 2) the potential for up to 1/2 inch of seismically induced differential settlement due to cyclic softening following a major earthquake.

The moderately to highly expansive near-surface clay is subject to volume changes during seasonal fluctuations in moisture content. These volume changes can cause cracking of foundations and slabs. Therefore, foundations and slabs should be designed and constructed to resist the effects of the expansive clay. These effects can be mitigated by moisture conditioning the expansive soil, providing select, non-expansive fill below interior and exterior slabs, and either supporting foundations below the zone of severe moisture change or providing a stiff, shallow foundation that can limit deformation of the superstructure as the underlying soil shrinks and swells.

For the replacement of foundations for the existing residence, we conclude the most appropriate foundation type would consist of deepened spread footings bottomed below the zone of severe moisture change. For the new building, we conclude the most appropriate foundation type would consist of either deepened spread footings or a well-reinforced concrete mat supported on a layer of non-expansive fill.

We estimate total settlement of the new footings for the existing building under static load conditions will be less than 1/4 inch. We estimate total static settlement of the proposed new building will be less than 1/2 inch and differential settlement will be less than 1/4 inch over a horizontal distance of 30 feet. Both new and existing structures may experience an additional 1/2 inch of seismically induced differential settlement over a horizontal distance of 30 feet following a major earthquake.



Our recommendations for site preparation and grading, foundation design, and other geotechnical aspects of the project are presented below.

6.1 Site Preparation, Grading, and Fill Placement

In areas to receive improvements (foundations, concrete slab-on-grade floors, and concrete flatwork), vegetation and organic topsoil should be stripped and existing hardscape features demolished in areas to receive improvements. If undocumented fill is encountered at building pad subgrade elevation, it should be excavated and stockpiled for reuse as engineered fill. If undocumented fill is encountered at subgrade elevation for either concrete flatwork or pavements, our office should be contacted to evaluate whether the fill should be removed or can be compacted in place.

The soil subgrade beneath proposed improvements or areas for new fill should be scarified to a depth of at least eight inches, moisture-conditioned to at least four percent above optimum moisture content, and compacted to between 87 and 92 percent relative compaction⁶. On-site soil may be used as general fill, provided the material is free of organic matter, contain no rocks or lumps larger than three inches in greatest dimension, and be approved by the Geotechnical Engineer. If material to be used as fill is imported to the site, it should meet the requirements for select fill provided below in Section 7.1.1. A summary of the compaction requirements for the various types of fill that may be used at the site is presented in Table 2.

⁶ Relative compaction refers to the in-place dry density of soil expressed as a percentage of the maximum dry density of the same material, as determined by the ASTM D1557-09 laboratory compaction procedure.



TABLE 2
Summary of Compaction Requirements

Location	Required Relative Compaction (percent)	Moisture Requirement
Building pads – expansive clay	87 – 92	4+% above optimum
Building pads – low-plasticity soil	90+	Above optimum
Exterior slabs – expansive clay	87 – 92	4+% above optimum
Exterior slabs – low-plasticity soil	90+	Above optimum
Pavements – expansive clay	90+	2+% above optimum
Pavements – low-plasticity soil	95+	Above optimum
Pavements - aggregate base	95+	Near optimum
General fill – expansive clay	87 – 92	4+% above optimum
General fill – low-plasticity soil	90+	Above optimum
General fill – granular soil	95+	Near optimum
Utility trench backfill – expansive clay	87 – 92	4+% above optimum
Utility trench backfill – low-plasticity	90+	Above optimum
Utility trench - clean sand or gravel	95+	Near optimum

*Low-plasticity soil includes select fill and lime-treated onsite soil.

If grading work is performed during the rainy season, the contractor may find the subgrade material too wet to compact to the recommended relative compaction and will have to be scarified and aerated to lower its moisture content so the specified compaction can be achieved. Material to be dried by aeration should be scarified to a depth of at least 12 inches; the scarified soil should be turned at least twice a day to promote uniform drying. Once the moisture content of the aerated soil has been reduced to acceptable levels, the soil should be compacted in accordance with our recommendations. Aeration typically is the least costly method used to stabilize the subgrade soil; however, it generally requires the most time to complete. Other soil stabilization alternatives include overexcavating and placing drier material, and lime treatment.



It is also important that the moisture content of subgrade soil is sufficiently high to reduce the expansion potential. If the grading work is performed during the dry season, moisture-conditioning will likely be required.

6.1.1 Select Fill

Select fill should consist of imported soil that is free of organic matter, contain no rocks or lumps larger than three inches in greatest dimension, have a liquid limit less than 40 and plasticity index less than 12, and be approved by the Geotechnical Engineer. Select fill should be placed in lifts not exceeding eight inches in loose thickness, moisture-conditioned to above optimum moisture content, and compacted to at least 90 percent relative compaction. Samples of proposed select fill material should be submitted to the Geotechnical Engineer at least three business days prior to use at the site.

The grading contractor should provide analytical test results or other suitable environmental documentation indicating the imported fill is free of hazardous materials at least three days before use at the site. If this data is not provided, a minimum of two weeks will be required to perform any necessary analytical testing.

6.1.2 Exterior Concrete Flatwork

We recommend a minimum of six inches of imported (select) material be placed beneath proposed exterior concrete flatwork, including patio slabs and sidewalks; the select fill should extend at least one foot beyond the slab edges. Select fill beneath exterior slabs-on-grade, such as patios and sidewalks, should be moisture-conditioned and compacted in accordance with the requirements provided above in Table 2.

Even with six inches of select fill, exterior slabs may experience some cracking due to shrinking and swelling of the underlying expansive soil. Thickening the slab edges and adding additional reinforcement will control this cracking to some degree. Where slabs are adjacent to landscaped areas, thickening the concrete edge will help control water infiltration beneath the slabs. In addition, where slabs provide access to buildings, it would be prudent to dowel the entrance to



the building to permit rotation of the slab as the exterior ground shrinks and swells and to prevent a vertical offset at the entries.

6.1.3 Utility Trench Backfill

Excavations for utility trenches can be readily made with a backhoe. All trenches should conform to the current CAL-OSHA requirements. To provide uniform support, pipes or conduits should be bedded on a minimum of four inches of sand or fine gravel. After the pipes and conduits are tested, inspected (if required) and approved, they should be covered to a depth of six inches with sand or fine gravel, which should be mechanically tamped. The pipe bedding and cover should be eliminated where an impermeable plug is required as described below. Backfill for utility trenches and other excavations is also considered fill, and should be placed and compacted as according to the recommendations previously presented. If imported clean sand or gravel (defined as soil with less than 10 percent fines) is used as backfill, it should be compacted to at least 95 percent relative compaction. Jetting of trench backfill should not be permitted. Special care should be taken when backfilling utility trenches in pavement areas. Poor compaction may cause excessive settlements, resulting in damage to the pavement section.

Foundations for the proposed building should be bottomed below an imaginary line extending up at a 1.5:1 (horizontal to vertical) inclination from the base of utility trenches. Alternatively, the portion of the utility trench (excluding bedding) that is below the 1.5:1 line can be backfilled with controlled low-strength material (CLSM) with a 28-day unconfined compressive strength of at least 100 pounds per square inch (psi).

Where utility trenches enter the pad for the proposed building, an impermeable plug consisting of CLSM, at least three feet in length, should be installed where the trenches enter the building footprint. Furthermore, where sand- or gravel-backfilled trenches cross planter areas and pass below asphalt or concrete pavements, a similar plug should be placed at the edge of the pavement. The purpose of these recommendations is to reduce the potential for water to become trapped in trenches beneath the building or pavements. This trapped water can cause heaving of soils beneath slabs and softening of subgrade soil beneath pavements.



6.1.4 Drainage and Landscaping

Positive surface drainage should be provided around the proposed and existing building to direct surface water away from the foundations. To reduce the potential for water ponding adjacent to the buildings, we recommend the ground surface within a horizontal distance of five feet from the buildings slope down away from the building with a surface gradient of at least two percent in unpaved areas and one percent in paved areas. In addition, roof downspouts should be discharged into controlled drainage facilities to keep the water away from the foundations. The use of water-intensive landscaping around the perimeter of the buildings should be avoided to reduce the amount of water introduced to the expansive clay subgrade.

Prior experience and industry literature indicate that some species of high water-demand⁷ trees can induce ground-surface settlement by drawing water from the expansive clay, causing it to shrink. Where these types of trees are planted near buildings, the ground-surface settlement may result in damage to structure. This problem usually occurs 10 or more years after planting, as the trees reach mature height. To reduce the risk of tree-induced, building settlement, we recommend trees of the following genera are not planted within 25 feet of the proposed buildings: *Eucalyptus*, *Populus*, *Quercus*, *Crataegus*, *Salix*, *Sorbus* (simple-leafed), *Ulmus*, *Cupressus*, *Chamaecyparis*, and *Cupressocyparis*. Because this is a limited list and does not include all genera that may induce ground-surface settlement, a tree specialist should be consulted prior to selection of trees to be planted at the site.

⁷ “Water-demand” refers to the ability of the tree to withdraw large amounts of water from the soil subgrade, rather than soil suction exerted by the root system.



6.2 Foundation Design

Recommendations for both deepened spread footings for the existing residence and proposed building, and a mat foundation on select fill for the proposed building are presented below.

6.2.1 Footings

We conclude the existing residence and proposed building may be supported on deepened spread footings bottomed on undisturbed native soil below the zone of severe seasonal moisture change. Continuous footings should be at least 16 inches wide and isolated spread footings should be at least 18 inches wide. The foundation beneath the building perimeter should consist of a continuous footing bottomed at least 24 inches below the lowest adjacent outside finished grade or 18 inches below the lowest adjacent interior soil subgrade, whichever is lower. Interior footings should be bottomed at least 18 inches below the lowest adjacent interior soil subgrade. Where there is a concrete slab-on-grade floor adjacent to the footing, the lowest adjacent soil interior soil subgrade may be taken as the bottom of the slab.

Footings may be designed using allowable bearing pressures of 3,000 pounds per square foot (psf) for dead-plus-live loads and 4,000 psf for total design loads, which include wind or seismic forces. These allowable bearing pressures include factors of safety of at least 2.0 and 1.5, for dead-plus-live and total load conditions, respectively.

Lateral loads may be resisted by a combination of passive pressure on the vertical faces of the footings and friction between the bottoms of the footings and the supporting soil. To compute lateral resistance against transient loads, we recommend using an allowable uniform passive pressure (rectangular distribution) of 1,500 psf. To compute lateral resistance against sustained loads, we recommend using an equivalent fluid weight (triangular distribution) of 250 pounds per cubic foot (pcf). The upper foot of soil should be ignored unless confined by a slab or pavement. Frictional resistance should be computed using a base friction coefficient of 0.30. The passive pressure and frictional resistance values include a factor of safety of at least 1.5 and may be used in combination without reduction.



Footing excavations should be free of standing water, debris, and disturbed materials prior to placing concrete. Footing excavations should incorporate a 2-inch-thick unreinforced concrete “rat” slab to protect the footing subgrade during placement of reinforcing steel and to help maintain high moisture content prior to placement of concrete. This will involve over-excavating the footing by about two inches and immediately placing concrete or sand-cement slurry in the bottom (following inspection by our engineer).

6.2.2 Mat Foundation

The proposed new building may be supported on a mat foundation underlain by at least 12 inches of properly compacted select fill. The select fill should extend at least five feet beyond the edges of the building, except where constrained by property lines. The edges of the mat should be thickened such that the mat edge is bottomed at least one foot below the adjacent exterior finished grade. The maximum bearing pressure beneath the mat should not exceed 3,000 pounds per square foot (psf) under dead-plus-live-load conditions and 4,000 psf under total load conditions.

Conventionally reinforced mat foundations should be designed in accordance with the Wire Reinforcement Institute’s (WRI’s) publication title *Design of Slab-on-Grade Foundations, An Update* (1996). We recommend the following parameters should be used in conjunction with the WRI design method:

- Climatic rating (C_w) – 15
- Equivalent Plasticity Index (PI) – 20 (reduced to account for select fill)
- Slope Correction Coefficient (C_s) – 1.0
- Consolidation Correction Coefficient (C_o) – 0.85

Lateral loads can be resisted by a combination of passive pressure on the vertical faces of the foundation and friction along the bottom of the mat. To compute lateral resistance against transient loads, we recommend using an allowable uniform passive pressure (rectangular distribution) of 1,500 psf. To compute lateral resistance against sustained loads, we recommend using an equivalent fluid weight (triangular distribution) of 250 pounds per cubic foot (pcf). The



upper one foot of soil should be ignored unless it is confined by slabs or pavement. Frictional resistance should be computed using a base friction coefficient of 0.30 where the mat is in contact with select fill and 0.20 where the mat is underlain by a vapor retarder. These values include a factor of safety of at least 1.5.

The mat subgrade should be free of standing water, debris, and disturbed materials prior to placing concrete. The subgrade should be wetted following excavation and maintained in a moist condition until it is covered with the vapor retarder. We should check the foundation subgrade prior to placement of the vapor retarder, if used.

6.3 Water Vapor Retarder

To reduce water vapor transmission through the mat foundation, we recommend a vapor retarder be placed between the bottom of the mat and the underlying subgrade soil. The vapor retarder should be at least 15 mils thick and meet the requirements for Class A vapor retarders stated in ASTM E1745. The vapor retarder should be placed in accordance with the requirements of ASTM E1643. These requirements include overlapping seams by six inches, taping seams, and sealing penetrations in the vapor retarder.

If required by the structural engineer, the vapor retarder may be covered with two inches of sand to aid in curing the concrete and to protect the vapor retarder during slab construction. The sand overlying the vapor retarder should be moist at the time concrete is placed. Excess water trapped in the sand could eventually be transmitted as vapor through the slab. If rain is forecast prior to pouring the slab, the sand should be covered with plastic sheeting to avoid wetting. If the sand becomes wet, concrete should not be placed until the sand has been dried or replaced.

6.4 Concrete Slab-on-Grade Floor

If a conventional slab-on-grade floor will be used in either the new or existing structure, we recommend the floor slab be underlain by at least 12 inches of properly compacted select fill. In addition, we recommend installing a capillary moisture break and water vapor retarder beneath the floor slab to reduce water vapor transmission through the slab. A capillary moisture break



consists of at least four inches of clean, free-draining gravel or crushed rock. The capillary break should not be counted as part of the 12 inches of select fill. The vapor retarder should meet the requirements for Class B vapor retarders stated in ASTM E1745. The vapor retarder should be placed in accordance with the requirements of ASTM E1643. These requirements include overlapping seams by six inches, taping seams, and sealing penetrations in the vapor retarder.

If required by the structural engineer, the vapor retarder may be covered with two inches of sand to aid in curing the concrete and to protect the vapor retarder during slab construction. The sand overlying the vapor retarder should be moist at the time concrete is placed. However, excess water trapped in the sand could eventually be transmitted as vapor through the slab. Therefore, if rain is forecast prior to pouring the slab, the sand should be covered with plastic sheeting to avoid wetting. If the sand becomes wet, concrete should not be placed until the sand has been dried or replaced. The particle size of the capillary break material and sand (if used) should meet the gradation requirements presented in Table 3.

TABLE 3
Gradation Requirements for Capillary Moisture Break

Sieve Size	Percentage Passing Sieve
<i>Gravel or Crushed Rock</i>	
1 inch	90 – 100
3/4 inch	30 – 100
1/2 inch	5 – 25
3/8 inch	0 – 6
<i>Sand</i>	
No. 4	100
No. 200	0 – 5

Concrete mixes with high water/cement (w/c) ratios result in excess water in the concrete, which increases the cure time and results in excessive vapor transmission through the slab. Therefore, concrete for the floor slab should have a low w/c ratio - less than 0.50. If the concrete is poured



directly over the vapor retarder, we recommend the w/c ratio of the concrete not exceed 0.45. In either case, water should not be added to the concrete mix in the field. If necessary, workability should be increased by adding plasticizers. In addition, the slab should be properly cured. Before the floor covering is placed, the contractor should check that the concrete surface and the moisture emission levels (if emission testing is required) meet the manufacturer's requirements.

6.5 Rigid (Portland Cement Concrete) Pavement

If a new concrete driveway will be constructed and the traffic on the driveway will consist of only passenger cars and SUVs, we recommend the Portland cement concrete (PCC) slab be at least five inches thick and underlain by at least four inches of Class 2 aggregate base (AB). If there will be truck traffic on the driveway, including garbage trucks, we recommend the PCC be at least 6.5 inches thick. The concrete slab should be reinforced with No. 4 bars at 18 inches on center in each direction. Prior to placement of the AB, the upper eight inches of the subgrade soil should be scarified, aerated, and compacted as discussed in Section 6.1 of this report. We should confirm by proof rolling that the soil subgrade is firm and non-yielding. The AB should be compacted to at least 95 percent relative compaction.

The modulus of rupture of the concrete should be at least 500 psi at 28 days. Contraction joints should be constructed at 15-foot spacing. Where the outer edge of a concrete pavement meets asphalt pavement, the concrete slab should be thickened by 50 percent at a taper not to exceed a slope of 1 in 10.

6.6 Seismic Design

For design in accordance with the 2016 CBC, we recommend Site Class D be used. The latitude and longitude of the site are 37.8606° and -122.2968° , respectively. Hence, in accordance with the 2016 CBC, we recommend the following:

- $S_s = 1.912g$, $S_1 = 0.772g$
- $S_{MS} = 1.912g$, $S_{M1} = 1.157g$
- $S_{DS} = 1.274g$, $S_{D1} = 0.772g$



- $PG_{AM} = 0.736g$
- Seismic Design Category E for Risk Categories I, II, and III.

7.0 GEOTECHNICAL SERVICES DURING CONSTRUCTION

Prior to construction, Rockridge Geotechnical should review the project plans and specifications to verify that they conform to the intent of our recommendations. During construction, our field engineer should provide on-site observation and testing during site preparation, placement and compaction of fill and aggregate base, and installation of foundations. These observations will allow us to compare actual with anticipated soil conditions and to verify that the contractor's work conforms to the geotechnical aspects of the plans and specifications.

8.0 LIMITATIONS

This geotechnical investigation has been conducted in accordance with the standard of care commonly used as state-of-practice in the profession. No other warranties are either expressed or implied. The recommendations made in this report are based on the assumption that the subsurface conditions do not deviate appreciably from those disclosed in the boring and CPTs. If any variations or undesirable conditions are encountered during construction, we should be notified so that additional recommendations can be made. The foundation recommendations presented in this report are developed exclusively for the proposed development described in this report and are not valid for other locations and construction in the project vicinity.



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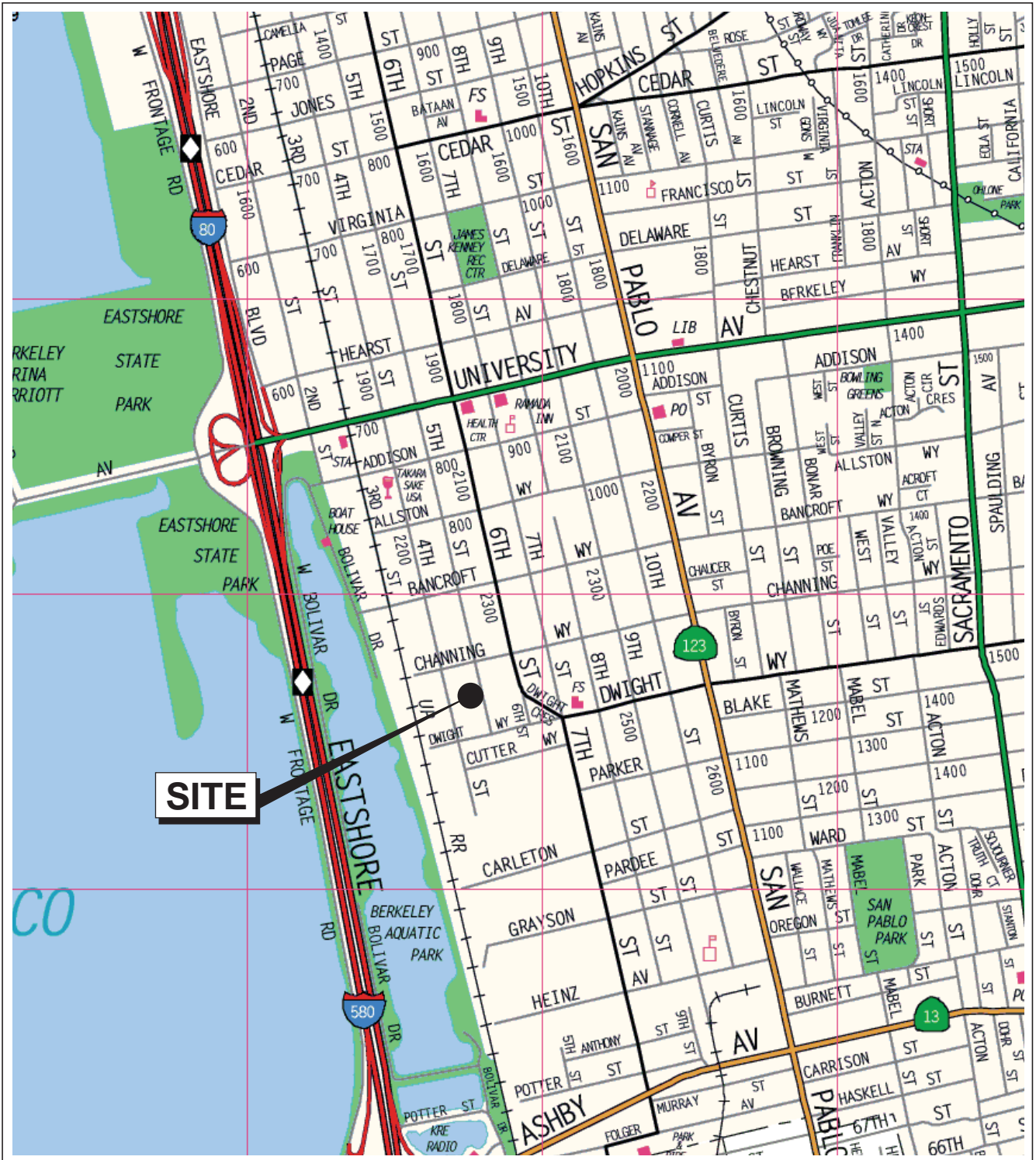
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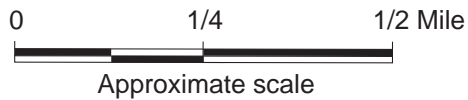
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FIGURES



Base map: The Thomas Guide
San Francisco County
2002

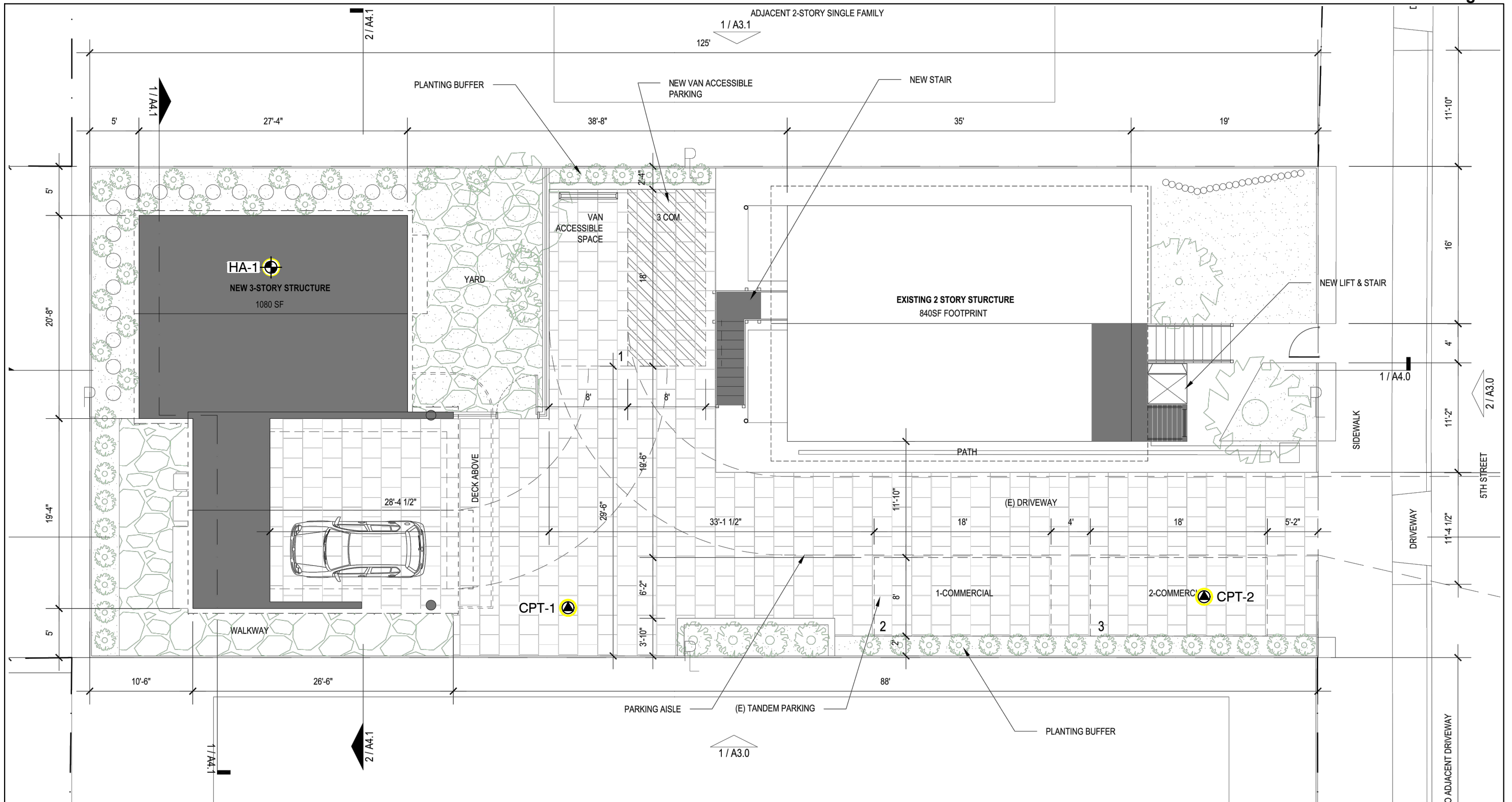


2422 FIFTH STREET
Berkeley, California


SITE LOCATION MAP



Date 06/06/18	Project No. 18-1520	Figure 1
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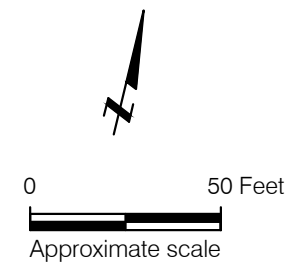


EXPLANATION

CPT-1  Approximate location of cone penetration test by Rockridge Geotechnical Inc., June 6, 2018

HA-1  Approximate location of hand-auger boring by Rockridge Geotechnical Inc., July 6 2018

Reference: Base map from a drawing titled "Proposed Site Plan", by Devi Dutta Architecture, dated May 21, 2018.



2422 FIFTH STREET
Berkeley, California

SITE PLAN

Date 07/09/18 | Project No. 18-1520 | Figure 2



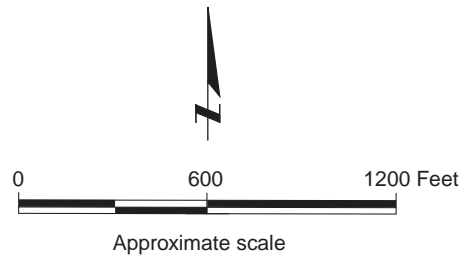


Base map: Google Earth with U.S. Geological Survey (USGS), Alameda County, 2018.

EXPLANATION

- af** Artificial Fill
- Qha** Alluvium (Holocene)
- Qs** Beach and dune sand (Quaternary)
- Qpa** Alluvium (Pleistocene)

Geologic contact:
dashed where approximate and dotted where concealed, queried where uncertain



2422 FIFTH STREET
Berkeley, California



REGIONAL GEOLOGIC MAP

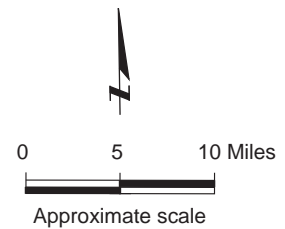




Base Map: U.S. Geological Survey (USGS), National Seismic Hazards Maps - Fault Sources, 2008.

EXPLANATION

-  Strike slip
-  Thrust (Reverse)
-  Normal

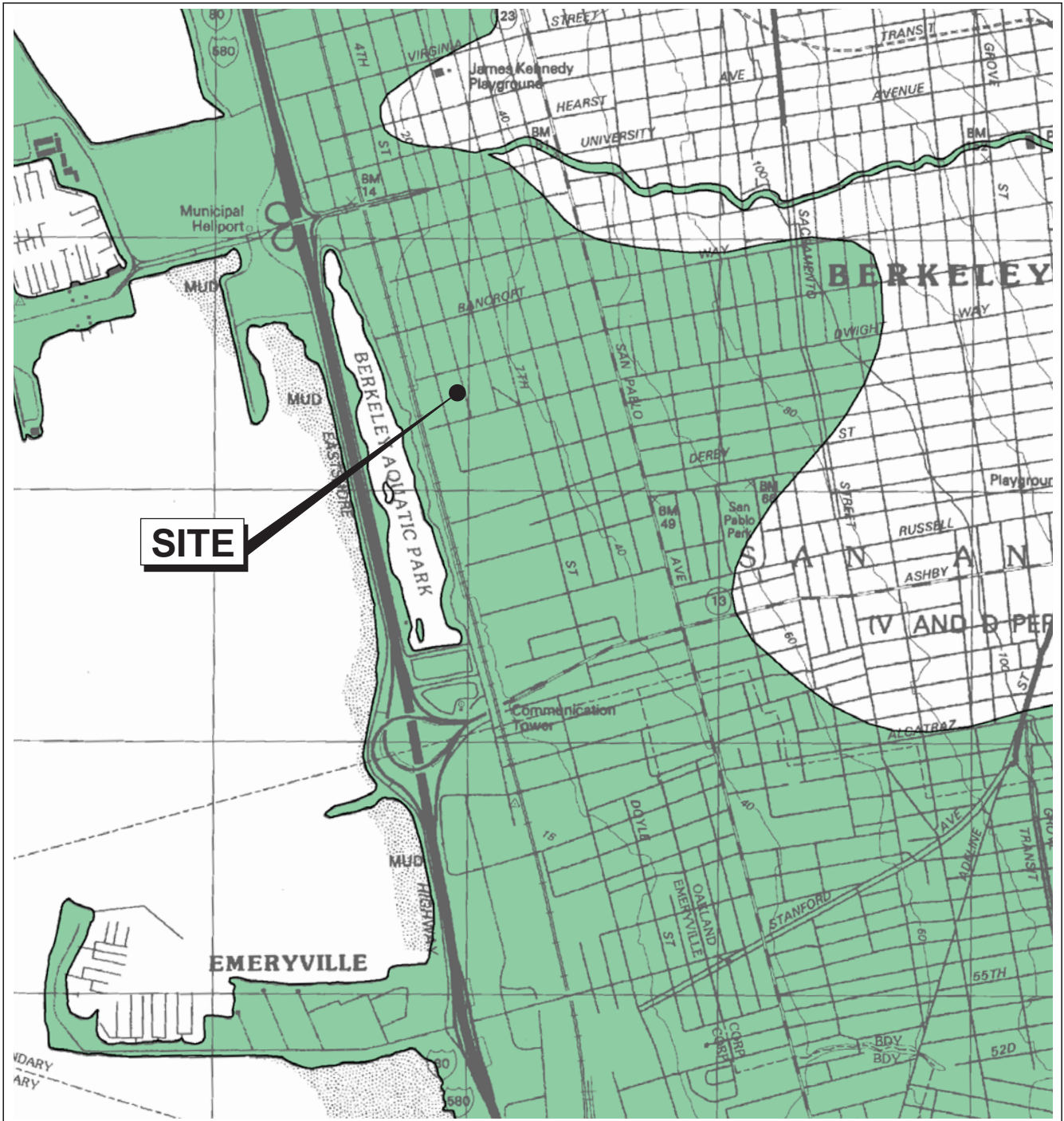


2422 FIFTH STREET
Berkeley, California

REGIONAL FAULT MAP

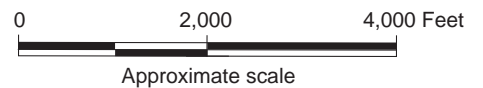


Date 06/06/18 | Project No. 18-1520 | Figure 4



EXPLANATION

- Liquefaction;** Areas where historic occurrence of liquefaction, or local topographic, geological, geotechnical, and subsurface water conditions indicate a potential for permanent ground displacements.
- Earthquake-Induced Landslides;** Areas where previous occurrence of landslide movement, or local topographic, geological, geotechnical, and subsurface water conditions indicate a potential for permanent ground displacements.



Reference:
State of California "Seismic Hazard Zones"
Oakland West Quadrangle.
Released on February 14, 2003



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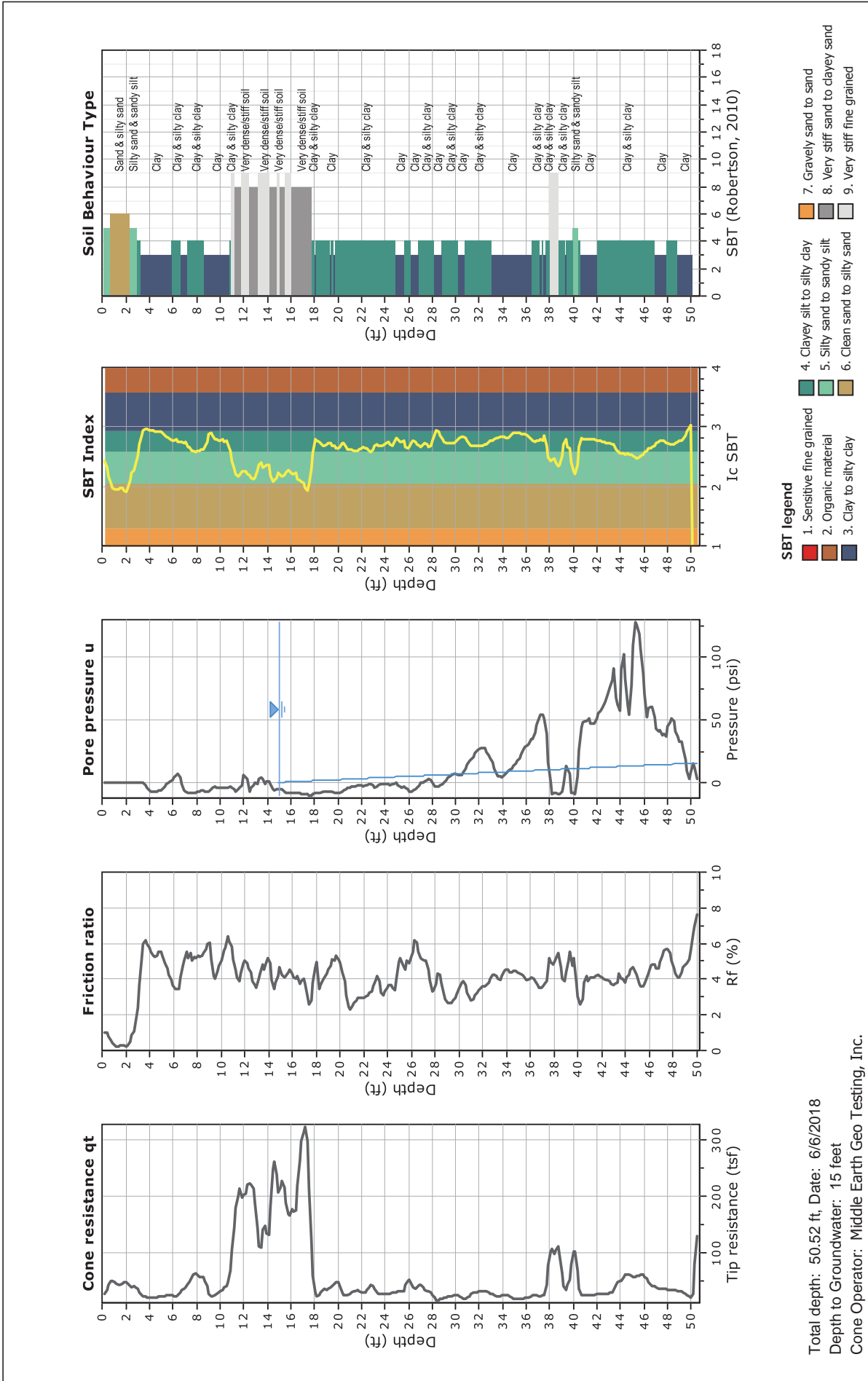
SEISMIC HAZARDS ZONE MAP



Date 06/06/18 | Project No. 18-1520 | Figure 5



APPENDIX A
Boring Log and Cone Penetration Test Results

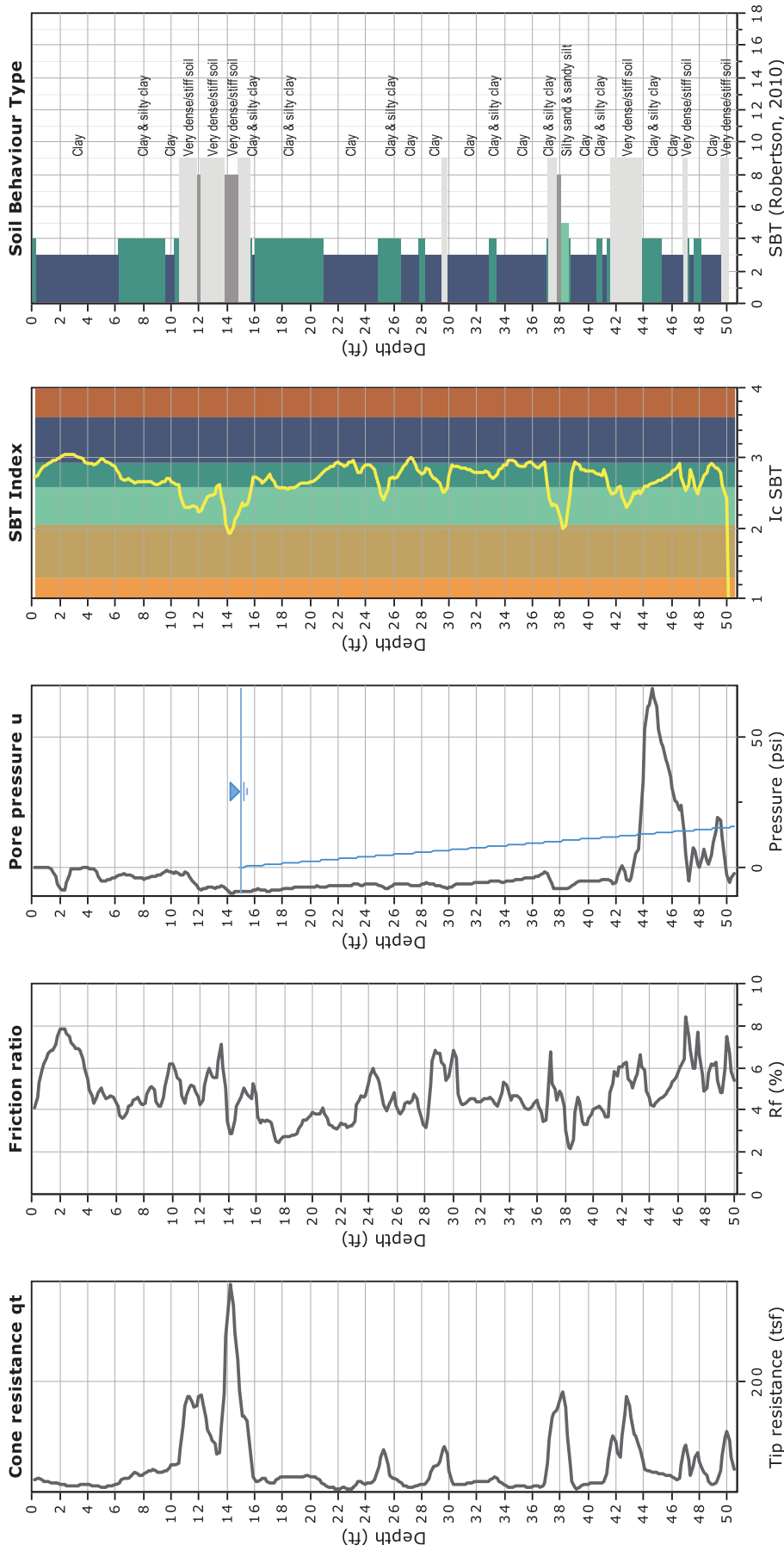


Total depth: 50.52 ft, Date: 6/6/2018
Depth to Groundwater: 15 feet
Cone Operator: Middle Earth Geo Testing, Inc.

CONE PENETRATION TEST RESULTS
CPT-1

2422 FIFTH STREET
Berkeley, California





- SBT legend**
- 1. Sensitive fine grained
 - 2. Organic material
 - 3. Clay to silty clay
 - 4. Clayey silt to silty clay
 - 5. Silty sand to sandy silt
 - 6. Clean sand to silty sand
 - 7. Gravely sand to sand
 - 8. Very stiff sand to clayey sand
 - 9. Very stiff fine grained

Total depth: 50.52 ft, Date: 6/6/2018
Depth to Groundwater: 15 feet
Cone Operator: Middle Earth Geo Testing, Inc.

**CONE PENETRATION TEST RESULTS
CPT-2**

2422 FIFTH STREET
Berkeley, California



PROJECT: 2422 FIFTH STREET Berkeley, California	<h2 style="margin: 0;">Log of Boring HA-1</h2> PAGE 1 OF 1
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Boring location: See Site Plan, Figure 2	Logged by: J. Sarmiento
Date started: 7/6/18 Date finished: 7/6/18	
Drilling method: Hand Auger	

Hammer weight/drop: N/A	Hammer type: N/A	LABORATORY TEST DATA
Sampler: Grab		

DEPTH (feet)	SAMPLES				LITHOLOGY	MATERIAL DESCRIPTION	Type of Strength Test	Confining Pressure Lbs/Sq Ft	Shear Strength Lbs/Sq Ft	Fines %	Natural Moisture Content, %	Dry Density Lbs/Cu Ft
	Sampler Type	Sample	Blows/6"	SPT N-Value ¹								
1	GRAB	✕			CL	pea gravel and underlying gardening fabric SANDY CLAY (CL) black, very stiff, moist					9.8	
2												
3	GRAB	✕				LL = 47, PI = 25; see Appendix B					15.0	
4												
5												
6	GRAB	✕								20.4		
7												
8												
9												
10												

ROCKRIDGE 18-1520.GPJ TR.GDT 7/22/18










Boring terminated at a depth of 6 feet below ground surface.
Boring backfilled with soil cuttings.
Groundwater not encountered during hand augering.



ROCKRIDGE GEOTECHNICAL	
Project No.: 18-1520	Figure: A-3

UNIFIED SOIL CLASSIFICATION SYSTEM		
Major Divisions	Symbols	Typical Names
Coarse-Grained Soils (more than half of soil > no. 200 sieve size)	Gravels (More than half of coarse fraction > no. 4 sieve size)	GW Well-graded gravels or gravel-sand mixtures, little or no fines
		GP Poorly-graded gravels or gravel-sand mixtures, little or no fines
		GM Silty gravels, gravel-sand-silt mixtures
		GC Clayey gravels, gravel-sand-clay mixtures
	Sands (More than half of coarse fraction < no. 4 sieve size)	SW Well-graded sands or gravelly sands, little or no fines
		SP Poorly-graded sands or gravelly sands, little or no fines
		SM Silty sands, sand-silt mixtures
		SC Clayey sands, sand-clay mixtures
Fine-Grained Soils (more than half of soil < no. 200 sieve size)	Silts and Clays LL = < 50	ML Inorganic silts and clayey silts of low plasticity, sandy silts, gravelly silts
		CL Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, lean clays
		OL Organic silts and organic silt-clays of low plasticity
	Silts and Clays LL = > 50	MH Inorganic silts of high plasticity
		CH Inorganic clays of high plasticity, fat clays
		OH Organic silts and clays of high plasticity
Highly Organic Soils	PT	Peat and other highly organic soils

GRAIN SIZE CHART		
Classification	Range of Grain Sizes	
	U.S. Standard Sieve Size	Grain Size in Millimeters
Boulders	Above 12"	Above 305
Cobbles	12" to 3"	305 to 76.2
Gravel coarse fine	3" to No. 4	76.2 to 4.76
	3" to 3/4"	76.2 to 19.1
Sand coarse medium fine	3/4" to No. 4	19.1 to 4.76
	No. 4 to No. 200	4.76 to 0.075
	No. 4 to No. 10	4.76 to 2.00
	No. 10 to No. 40	2.00 to 0.420
	No. 40 to No. 200	0.420 to 0.075
Silt and Clay	Below No. 200	Below 0.075

SAMPLE DESIGNATIONS/SYMBOLS

-  Sample taken with Sprague & Henwood split-barrel sampler with a 3.0-inch outside diameter and a 2.43-inch inside diameter. Darkened area indicates soil recovered
-  Classification sample taken with Standard Penetration Test sampler
-  Undisturbed sample taken with thin-walled tube
-  Disturbed sample
-  Sampling attempted with no recovery
-  Core sample
-  Analytical laboratory sample
-  Sample taken with Direct Push sampler
-  Sonic

-  Unstabilized groundwater level
-  Stabilized groundwater level

SAMPLER TYPE

- | | |
|--|---|
| C Core barrel | PT Pitcher tube sampler using 3.0-inch outside diameter, thin-walled Shelby tube |
| CA California split-barrel sampler with 2.5-inch outside diameter and a 1.93-inch inside diameter | S&H Sprague & Henwood split-barrel sampler with a 3.0-inch outside diameter and a 2.43-inch inside diameter |
| D&M Dames & Moore piston sampler using 2.5-inch outside diameter, thin-walled tube | SPT Standard Penetration Test (SPT) split-barrel sampler with a 2.0-inch outside diameter and a 1.5-inch inside diameter |
| O Osterberg piston sampler using 3.0-inch outside diameter, thin-walled Shelby tube | ST Shelby Tube (3.0-inch outside diameter, thin-walled tube) advanced with hydraulic pressure |

2422 FIFTH STREET
Berkeley, California

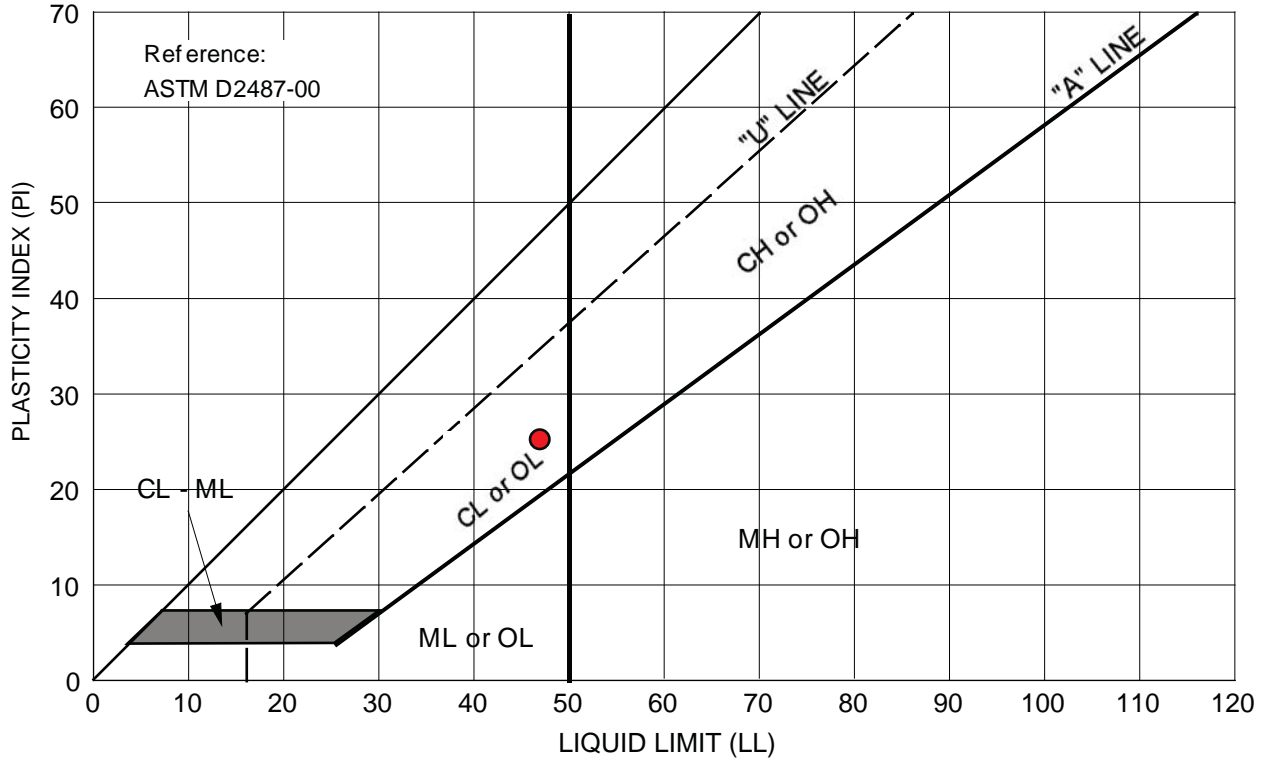


CLASSIFICATION CHART

Date 07/09/18 | Project No. 18-1520 | Figure A-4



APPENDIX B
Laboratory Test Results



Symbol	Source	Description and Classification	Natural M.C. (%)	Liquid Limit (%)	Plasticity Index (%)	% Passing #200 Sieve
●	HA-1 at 2.5 - 3.0 feet	SANDY CLAY (CL), black	15.0	47	25	--

2422 FIFTH STREET
Berkeley, California



PLASTICITY CHART



PHASE I ENVIRONMENTAL SITE ASSESSMENT REPORT

Residential Duplex

2422 5th Street
Berkeley, California 94710

Report Date: June 14, 2018
Partner Project No. 18-217285.1



Prepared for:

Anna Gold
819 Cerrito Street
Albany, California 94706



June 14, 2018

Anna Gold
819 Cerrito Street
Albany, California 94706

Subject: Phase I Environmental Site Assessment
Residential Duplex
2422 5th Street
Berkeley, California 94710
Partner Project No. 18-217285.1

Dear Ms. Gold:

Partner Engineering and Science, Inc. (Partner) is pleased to provide the results of the *Phase I Environmental Site Assessment* (Phase I ESA) report of the abovementioned address (the "subject property"). This assessment was performed in conformance with the scope and limitations as detailed in the ASTM Practice E1527-13 Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process.

This assessment included a site reconnaissance as well as research and interviews with representatives of the public, property ownership, site manager, and regulatory agencies. An assessment was made, conclusions stated, and recommendations outlined.

We appreciate the opportunity to provide environmental services to you. If you have any questions concerning this report, or if we can assist you in any other matter, please contact me at (310) 615-4500 or ctaylor@partneresi.com.

Sincerely,

A handwritten signature in black ink, appearing to read "Cody Taylor", with a long, sweeping underline.

Cody Taylor
National Client Manager

EXECUTIVE SUMMARY

Partner Engineering and Science, Inc. (Partner) has performed a Phase I Environmental Site Assessment (ESA) in accordance with the scope of work and limitations of ASTM Standard Practice E1527-13, the Environmental Protection Agency Standards and Practices for All Appropriate Inquiries (AAI) (40 CFR Part 312) and set forth by Anna Gold for the property located at 2422 5th Street in the City of Berkeley, Alameda County, California (the "subject property"). The Phase I Environmental Site Assessment is designed to provide Anna Gold with an assessment concerning environmental conditions (limited to those issues identified in the report) as they exist at the subject property.

Property Description

The subject property is located on the western side of 5th Street within a mixed residential and commercial area of Alameda County. Please refer to the table below for further description of the subject property:

Subject Property Data

Address:	2422 5th Street, Berkeley, California
Historical Address:	2420 5th Street
Property Use:	Residential
Land Acreage (Ac):	0.14 Ac
Number of Buildings:	One
Number of Floors:	Two
Gross Building Area (SF):	1,672 SF
Net Rentable Area (SF):	1,672 SF
Date of Construction:	1914
Assessor's Parcel Number (APN):	56-1944-11
Type of Construction:	Wood-Framed/Wood Exterior
Current Tenants:	Private residents
Site Assessment Performed By:	Jane Xiao of Partner
Site Assessment Conducted On:	June 6, 2018

The subject property is currently occupied by private residents for residential use. On-site operations consist of typical residential activities and routine property maintenance. In addition to the current structure, the subject property is also improved with asphalt-paved parking areas and associated landscaping.

According to available historical sources, the subject property was formerly undeveloped as early as 1895; developed with a residential dwelling sometime between 1899 and 1911; and redeveloped with the current residential dwelling in 1914.

The immediately surrounding properties consist of a single-family residence to the north; a multi-family residence to the south; a single-family residence and a commercial building to the east across 5th Street; and a commercial building to the west.

According to a previous subsurface investigation conducted on a nearby property (800 Dwight Way, Case No. 01-0972), groundwater in the vicinity of the subject property is inferred to be approximately 8 to 16 feet below ground surface (bgs) and flow toward the southwest.

Findings

A *recognized environmental condition (REC)* refers to the presence or likely presence of any hazardous substances or petroleum products in, on, or at a property: due to release to the environment; under conditions indicative of a release to the environment; or under conditions that pose a material threat of a future release to the environment. The following was identified during the course of this assessment:

- Partner did not identify evidence of RECs during the course of this assessment.

A *controlled recognized environmental condition (CREC)* refers to a REC resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority, with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls. The following was identified during the course of this assessment:

- Partner did not identify evidence of CRECs during the course of this assessment.

A *historical recognized environmental condition (HREC)* refers to a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls. The following was identified during the course of this assessment:

- Partner did not identify evidence of HRECs during the course of this assessment.

An *environmental issue* refers to environmental concerns identified by Partner, which do not qualify as RECs; however, warrant further discussion. The following was identified during the course of this assessment:

- Due to the age of the subject property buildings, there is a potential that asbestos-containing materials (ACMs) and/or lead-based paint (LBP) are present. Overall, suspect ACMs and painted surfaces were observed in good condition and do not appear to pose a health and safety concern to the occupants of the subject property at this time. Suspect ACMs and LBP would need to be sampled to confirm the presence or absence of asbestos and/or LBP prior to any renovation or demolition activities to prevent potential exposure to workers and/or building occupants.

Conclusions, Opinions, and Recommendations

Partner has performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E1527-13 of 2422 5th Street in the City of Berkeley, Alameda County, California (the "subject property"). Any exceptions to, or deletions from, this practice are described in Section 1.5 of this report.

This assessment has revealed no evidence of RECs in connection with the subject property; however, environmental issues were identified. Based on the conclusions of this assessment, Partner recommends the following:

- Prior to the disturbance of any suspect ACMs or LBP at the subject property, a comprehensive survey, designed to determine if the suspect materials are regulated, is recommended. If such materials are identified and need to be disturbed, repaired, or removed, a licensed abatement contractor should be consulted.

TABLE OF CONTENTS

1.0	INTRODUCTION.....	1
1.1	Purpose.....	1
1.2	Scope of Work.....	1
1.3	Limitations.....	2
1.4	User Reliance.....	3
1.5	Limiting Conditions.....	3
2.0	SITE DESCRIPTION.....	4
2.1	Site Location and Legal Description.....	4
2.2	Current Property Use.....	4
2.3	Current Use of Adjacent Properties.....	4
2.4	Physical Setting Sources.....	4
2.4.1	Topography.....	4
2.4.2	Hydrology.....	5
2.4.3	Geology/Soils.....	5
2.4.4	Flood Zone Information.....	5
3.0	HISTORICAL INFORMATION.....	6
3.1	Aerial Photograph Review.....	6
3.2	Fire Insurance Maps.....	7
3.3	City Directories.....	8
3.4	Historical Topographic Maps.....	10
4.0	REGULATORY RECORDS REVIEW.....	12
4.1	Regulatory Agencies.....	12
4.1.1	Health Department.....	12
4.1.2	Fire Department.....	12
4.1.3	Air Pollution Control Agency.....	12
4.1.4	Regional Water Quality Agency.....	13
4.1.5	Department of Toxic Substances Control.....	13
4.1.6	Building Department.....	13
4.1.7	Planning Department.....	14
4.1.8	Oil & Gas Exploration.....	14
4.1.9	Assessor's Office.....	14
4.2	Mapped Database Records Search.....	15
4.2.1	Regulatory Database Summary.....	15
4.2.2	Subject Property Listings.....	15
4.2.3	Adjacent Property Listings.....	15
4.2.4	Sites of Concern Listings.....	16
4.2.5	Orphan Listings.....	16
5.0	USER PROVIDED INFORMATION AND INTERVIEWS.....	17
5.1	Interviews.....	18
5.1.1	Interview with Owner/Report User.....	18
5.1.3	Interview with Key Site Manager.....	18
5.1.4	Interviews with Past Owners, Operators, and Occupants.....	18
5.1.5	Interview with Others.....	18
5.2	User Provided Information.....	18

5.2.1 Title Records, Environmental Liens, and AULs..... 18
5.2.2 Specialized Knowledge..... 18
5.2.3 Actual Knowledge of the User..... 18
5.2.4 Valuation Reduction for Environmental Issues 18
5.2.5 Commonly Known or Reasonably Ascertainable Information..... 18
5.2.6 Previous Reports and Other Provided Documentation..... 19
6.0 SITE RECONNAISSANCE20
6.1 General Site Characteristics..... 20
6.2 Potential Environmental Hazards..... 21
6.3 Non-ASTM Services..... 22
6.3.1 Asbestos-Containing Materials (ACMs) 22
6.3.2 Lead-Based Paint (LBP)..... 23
6.3.3 Radon 23
6.3.4 Lead in Drinking Water..... 24
6.3.5 Mold..... 24
6.4 Adjacent Property Reconnaissance..... 24
7.0 FINDINGS AND CONCLUSIONS.....25
8.0 SIGNATURES OF ENVIRONMENTAL PROFESSIONALS27
9.0 REFERENCES28

Figures

- Figure 1** Site Location Map
- Figure 2** Site Plan
- Figure 3** Topographic Map

Appendices

- Appendix A** Site Photographs
- Appendix B** Historical/Regulatory Documentation
- Appendix C** Regulatory Database Report
- Appendix D** Qualifications

1.0 INTRODUCTION

Partner Engineering and Science, Inc. (Partner) has performed a Phase I Environmental Site Assessment (ESA) in conformance with the scope and limitations of ASTM Standard Practice E1527-13 and the Environmental Protection Agency Standards and Practices for All Appropriate Inquiries (AAI) (40 CFR Part 312) for the property located at 2422 5th Street in the City of Berkeley, Alameda County, California (the "subject property"). Any exceptions to, or deletions from, this scope of work are described in the report.

1.1 Purpose

The purpose of this ESA is to identify existing or potential Recognized Environmental Conditions (as defined by ASTM Standard E1527-13) affecting the subject property that: 1) constitute or result in a material violation or a potential material violation of any applicable environmental law; 2) impose any material constraints on the operation of the subject property or require a material change in the use thereof; 3) require clean-up, remedial action or other response with respect to Hazardous Substances or Petroleum Products on or affecting the subject property under any applicable environmental law; 4) may affect the value of the subject property; and 5) may require specific actions to be performed with regard to such conditions and circumstances. The information contained in the ESA Report will be used by Client to: 1) evaluate its legal and financial liabilities for transactions related to foreclosure, purchase, sale, loan origination, loan workout or seller financing; 2) evaluate the subject property's overall development potential, the associated market value and the impact of applicable laws that restrict financial and other types of assistance for the future development of the subject property; and/or 3) determine whether specific actions are required to be performed prior to the foreclosure, purchase, sale, loan origination, loan workout or seller financing of the subject property.

This ESA was performed to permit the *User* to satisfy one of the requirements to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations on scope of Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) (42 U.S.C. §9601) liability (hereinafter, the "*landowner liability protections*," or "*LLPs*"). ASTM Standard E1527-13 constitutes "*all appropriate inquiry* into the previous ownership and uses of the *property* consistent with good commercial or customary practice" as defined at 42 U.S.C. §9601(35)(B).

1.2 Scope of Work

The scope of work for this ESA is in accordance with the requirements of ASTM Standard E1527-13. This assessment included: 1) a property and adjacent site reconnaissance; 2) interviews with key personnel; 3) a review of historical sources; 4) a review of regulatory agency records; and 5) a review of a regulatory database report provided by a third-party vendor. Partner contacted local agencies, such as environmental health departments, fire departments and building departments in order to determine any current and/or former hazardous substances usage, storage and/or releases of hazardous substances on the subject property.

Additionally, Partner researched information on the presence of activity and use limitations (AULs) at these agencies. As defined by ASTM E1527-13, AULs are the legal or physical restrictions or limitations on the use of, or access to, a site or facility: 1) to reduce or eliminate potential exposure to hazardous substances or petroleum products in the soil or groundwater on the subject property; or 2) to prevent activities that could interfere with the effectiveness of a response action, in order to ensure maintenance of a condition of no significant risk to public health or the environment. These legal or physical restrictions, which may include institutional and/or engineering controls (IC/ECs), are intended to prevent adverse impacts to individuals or populations that may be exposed to hazardous substances and petroleum products in the soil or groundwater on the property.

If requested by Client, this report may also include the identification, discussion of, and/or limited sampling of asbestos-containing materials (ACMs), lead-based paint (LBP), mold, and/or radon.

1.3 Limitations

Partner warrants that the findings and conclusions contained herein were accomplished in accordance with the methodologies set forth in the Scope of Work. These methodologies are described as representing good commercial and customary practice for conducting an ESA of a property for the purpose of identifying recognized environmental conditions. There is a possibility that even with the proper application of these methodologies there may exist on the subject property conditions that could not be identified within the scope of the assessment or which were not reasonably identifiable from the available information. Partner believes that the information obtained from the record review and the interviews concerning the subject property is reliable. However, Partner cannot and does not warrant or guarantee that the information provided by these other sources is accurate or complete. The conclusions and findings set forth in this report are strictly limited in time and scope to the date of the evaluations. The conclusions presented in the report are based solely on the services described therein, and not on scientific tasks or procedures beyond the scope of agreed-upon services or the time and budgeting restraints imposed by the Client. No other warranties are implied or expressed.

Some of the information provided in this report is based upon personal interviews, and research of available documents, records, and maps held by the appropriate government and private agencies. This report is subject to the limitations of historical documentation, availability, and accuracy of pertinent records, and the personal recollections of those persons contacted.

This practice does not address requirements of any state or local laws or of any federal laws other than the all appropriate inquiry provisions of the LLPs. Further, this report does not intend to address all of the safety concerns, if any, associated with the subject property.

Environmental concerns, which are beyond the scope of a Phase I ESA as defined by ASTM include the following: ACMs, LBP, radon, and lead in drinking water. These issues may affect environmental risk at the subject property and may warrant discussion and/or assessment; however, are considered non-scope issues. If specifically requested by the Client, these non-scope issues are discussed in Section 6.3.

1.4 User Reliance

Anna Gold engaged Partner to perform this assessment in accordance with an agreement governing the nature, scope and purpose of the work as well as other matters critical to the engagement. All reports, both verbal and written, are for the sole use and benefit of Anna Gold. Either verbally or in writing, third parties may come into possession of this report or all or part of the information generated as a result of this work. In the absence of a written agreement with Partner granting such rights, no third parties shall have rights of recourse or recovery whatsoever under any course of action against Partner, its officers, employees, vendors, successors or assigns. Any such unauthorized user shall be responsible to protect, indemnify and hold Partner, Client and their respective officers, employees, vendors, successors and assigns harmless from any and all claims, damages, losses, liabilities, expenses (including reasonable attorneys' fees) and costs attributable to such Use. Unauthorized use of this report shall constitute acceptance of and commitment to these responsibilities, which shall be irrevocable and shall apply regardless of the cause of action or legal theory pled or asserted. Additional legal penalties may apply.

This report has been completed under specific Terms and Conditions relating to scope, relying parties, limitations of liability, indemnification, dispute resolution, and other factors relevant to any reliance on this report.

1.5 Limiting Conditions

The findings and conclusions contain all of the limitations inherent in these methodologies that are referred to in ASTM E1527-13. Specific limitations and exceptions to this ESA are more specifically set forth below:

- Partner was unable to determine the property use at 5-year intervals, which constitutes a data gap. Except for property tax files and recorded land title records, which were not considered to be sufficiently useful, Partner reviewed all standard historical sources and conducted appropriate interviews.
- Interviews with past owners, operators, and occupants were not reasonably ascertainable and thus constitute a data gap. Based on information obtained from other historical sources (as discussed in Section 3.0), this data gap is not expected to alter the findings of this assessment.
- Partner requested information relative to deed restrictions and environmental liens, a title search, and completion of a pre-survey questionnaire from the Report User. This information was not provided at the time of the assessment.

2.0 SITE DESCRIPTION

2.1 Site Location and Legal Description

The subject property at 2422 5th Street in Berkeley, California is located on the western side of 5th Street. According to information obtained from the Alameda County Assessor, the subject property is legally described as *56 Tract Lot 11 Block 1944*, and ownership is currently vested in Gold Carl S & Anna H TRS since 2017.

Please refer to Figure 1: Site Location Map, Figure 2: Site Plan, Figure 3: Topographic Map, and Appendix A: Site Photographs for the location and site characteristics of the subject property.

2.2 Current Property Use

The subject property is currently occupied by private residents for residential use. On-site operations consist of typical residential activities and routine property maintenance. The subject property consists of a two-story residential duplex building located on the eastern side of the property. In addition to the current structure, the subject property is also improved with asphalt-paved parking areas and associated landscaping.

The subject property is designated for residential development by the City of Berkeley.

The subject property was not identified in the regulatory database report, discussed in Section 4.2.

2.3 Current Use of Adjacent Properties

The subject property is located within a mixed residential and commercial area of Alameda County. During the vicinity reconnaissance, Partner observed the following land use on properties in the immediate vicinity of the subject property:

Immediately Surrounding Properties

North: Residential (2418 5th Street)

South: Residential (2430 5th Street)

East: 5th Street, beyond which is residential (2421 5th Street) and Sumiko (2431 5th Street)

West: Residential (2421 4th Street), Giacomo (2423 4th Street), Graysix Co (2425 4th Street)

The adjacent property to the east was identified as a Facility Index System/Facility Registry System (FINDS), a Resource Conservation and Recovery Act-Small Quantity Generator (RCRA-SQG), and an Enforcement and Compliance History Information (ECHO) site in the regulatory database report, as further discussed in Section 4.2.

2.4 Physical Setting Sources

2.4.1 Topography

The United States Geological Survey (USGS) *Oakland West, California* Quadrangle 7.5-minute series topographic map was reviewed for this ESA. According to the contour lines on the topographic map, the subject property is located at approximately 30 feet above mean sea level (MSL). The contour lines on the map indicate the area is sloping moderately toward the west. Site-specific improvements are not depicted on the 2012 topographic map.

A copy of the topographic map is included as Figure 3 of this report.

2.4.2 Hydrology

The nearest surface water in the vicinity of the subject property is the San Francisco Bay located approximately 800 feet to the west of the subject property. No settling ponds, lagoons, surface impoundments, wetlands, or natural catch basins were observed at the subject property during this assessment.

According to available information, a public water system operated by the East Bay Municipal Utilities District (EBMUD) serves the subject property vicinity. According to a representative of the EBMUD, the sources of public water for the EBMUD are surface water from the Mokelumne River and the Pardee Reservoir, and local reservoirs.

According to a previous subsurface investigation conducted on a nearby property (800 Dwight Way, Case No. 01-0972), groundwater in the vicinity of the subject property is inferred to be approximately 8 to 16 feet bgs and flow toward the southwest.

2.4.3 Geology/Soils

The subject property is situated within the Coast Ranges geomorphic province of the State of California. According to information obtained from the USGS, the area surrounding the subject property is underlain by alluvium and marine deposits of the Quaternary era. Soils from this series are characterized as alluvium, lake, playa and terrace deposits; unconsolidated and semi-consolidated. Soils of this area consist of mostly of non-marine deposits, with some marine deposits near the shore.

Based on information obtained from the USDA Natural Resources Conservation Service Web Soil Survey online database, the subject property is mapped as Urban Land. The urban land designation indicates that the majority of the original soils have been disturbed or covered by paved surfaces, buildings, or other structures. Soil materials underlying urban land are ordinarily the same as the minor inclusions. Most areas are nearly level to gently sloping because of extensive grading and smoothing.

2.4.4 Flood Zone Information

Partner performed a review of the Flood Insurance Rate Map, published by the Federal Emergency Management Agency. According to Community Panel Number 06001C0056G, dated August 3, 2009, the subject property appears to be located in Zone X (unshaded), an area located outside of the 100-year and 500-year flood plains.

A copy of the reviewed flood map is included in Appendix B of this report.

3.0 HISTORICAL INFORMATION

Partner obtained historical use information about the subject property from a variety of sources. A chronological listing of the historical data found is summarized in the table below:

<i>Historical Use Information</i>		
Period/Date	Source	Description/Use
1895-1899	Topographic Maps, Sanborn Maps	Undeveloped
1911-Present	Aerial Photographs, Sanborn Maps, City Directories, Topographic Maps, Building Records, Interviews, On-Site Observations	Residential

No potential environmental concerns were identified in association with the current or former uses of the subject property.

3.1 Aerial Photograph Review

Partner obtained available aerial photographs of the subject property and surrounding area from Environmental Data Resources, Inc. (EDR) on May 31, 2018. The following features were noted to be visible on the subject property and adjacent properties during the aerial photograph review:

<i>Date:</i>	<i>1939, 1946</i>	<i>Scale:</i>	<i>1"=500'</i>
Subject Property:	Appears to be developed with the current structure on the eastern side of the property and a detached building (garage or shed) on the western side of the property		
North:	Appears to be developed with a residence		
South:	Appears to be developed with a residence		
East:	Appears to be developed with two residences across a paved road (currently 5th Street)		
West:	Appears to be developed with three residences		

<i>Date:</i>	<i>1958</i>	<i>Scale:</i>	<i>1"=500'</i>
Subject Property:	No significant changes visible		
North:	No significant changes visible		
South:	No significant changes visible		
East:	Appears to be developed with a residence and a commercial building across a paved road (currently 5th Street)		
West:	Appears to be developed with two residences and a commercial building		

<i>Date:</i>	<i>1963, 1968, 1974</i>	<i>Scale:</i>	<i>1"=500'</i>
Subject Property:	No significant changes visible		
North:	No significant changes visible		
South:	No significant changes visible		
East:	No significant changes visible		
West:	Appears to be developed with a residence and two commercial buildings		

Date:	1982, 1993	Scale:	1"=500'
Subject Property:	No significant changes visible except that the detached building appears to have been removed		
North:	No significant changes visible		
South:	No significant changes visible		
East:	No significant changes visible		
West:	No significant changes visible		

Date:	1998, 2005, 2009, 2012, 2016	Scale:	1"=500'
Subject Property:	No significant changes visible		
North:	No significant changes visible		
South:	Appears to be redeveloped with the current multi-family residence		
East:	No significant changes visible		
West:	No significant changes visible		

Copies of reviewed aerial photographs are included in Appendix B of this report.

3.2 Fire Insurance Maps

Partner reviewed the collection of Sanborn fire insurance maps from EDR on May 29, 2018. The following features were noted to be depicted on the subject property and adjacent properties during the fire insurance map review:

Date:	1903
Subject Property:	Not depicted on the map
North:	Not depicted on the map
South:	Not depicted on the map
East:	Not depicted on the map
West:	Not depicted on the map

Date:	1911
Subject Property:	Depicted as developed with a dwelling (2420 5th Street)
North:	Depicted as developed with two (2) one-story sheds (2418 5th Street)
South:	Depicted as undeveloped
East:	Depicted as developed with a one and a half-story dwelling with basement (2421 5th Street) across 5th Street
West:	Depicted as developed with a two-story dwelling and associated stable (2419 4th Street), a one-story with basement dwelling (2423 4th Street), and a one and a half-story dwelling with basement (2425 4th Street)

Date:	1950
Subject Property:	Depicted as developed with a dwelling (2422 5th Street)
North:	No significant changes depicted
South:	Depicted as developed with a one-story dwelling (2426 5th Street)
East:	Depicted as developed with a one and a half-story dwelling with basement (2421 5th Street) and a one-story dwelling and associated garage (2425 5th Street) across 5th Street
West:	No significant changes depicted

Date: 1980

Subject Property: No significant changes depicted
North: Depicted as undeveloped
South: No significant changes depicted
East: Depicted as developed with a one and a half-story dwelling with basement (2421 5th Street) and a one-story Welding Equipment Manufacturing building and office (2425 5th Street) across 5th Street
West: Depicted as developed with a two-story dwelling and associated garage (2421 4th Street), a one-story warehouse (2423 4th Street), and a one-story with mezzanine manufacturing and warehouse building (2425-2427 4th Street)

Copies of reviewed Sanborn maps are included in Appendix B of this report.

3.3 City Directories

Partner reviewed historical city directories obtained from EDR on May 29, 2018 for past names and businesses that were listed for the subject property and adjacent properties. The findings are presented in the following tables:

City Directory Search for 2422 5th Street (Subject Property)

Year(s)	Occupant Listed
1928	Alfonso Domingo Louisa (2422 5th Street)
1933	Alfonso Dominguez (2422 5th Street)
1938	Alfonso Domingo R (2422 5th Street)
1945	Alfonso Domingo R (2422 5th Street)
1950	Gray Elizabeth I (2422 5th Street)
1955	Logan Lenora (2422 5th Street)
1962	Logan Lenora (2422 5th Street)
	Barry Sarah, Barry Paul B (2426 5th Street)
1970	Logan Lenora (2422 5th Street)
1975	Logan Lenora (2422 5th Street)
1992	B All-Ways Moving & Storage (2422 5th Street)
1996	B All Ways Moving & Storage (2422 5th Street)
2000	B Allways Moving & Storage (2422 5th Street)
2006	Harris Bryan (2422 5th Street)

Based on the city directory review, no environmentally sensitive listings were identified for the subject property address.

City Directory Search for Adjacent Properties

Year(s)	Occupant Listed
1920	Smith Katherine R (2425 4th Street)
1925	Jorgensen S R (2421 4th Street)
	Smith Katherine R (2425 4th Street)
1928	Roy Alice H (2421 4th Street)
	George Ablt, Gwerder Theo Anna (2423 4th Street)
	Bronner Jos W Kath, A Emma, Florence (2425 4th Street)
	17th John Florence H (2421 5th Street)
	Carl L Clara (2425 5th Street)
	Nordt Albt M Floy H, Nordt Minnie (2431 5th Street)

City Directory Search for Adjacent Properties

Year(s)	Occupant Listed
1933	Jorgensen Geo, Jorgensen Irene, Jorgensen Saml, Murray Gudrun Mrs (2421 4th Street) Twerter Theo (2423 4th Street) Zulaica Alberto (2425 4th Street) Willeford Jewell B H (2425 5th Street) Sena Aires (2431 5th Street)
1938	Jorgensen S R (2421 4th Street) Armstrong Dave B R (2431 5th Street)
1943	Jorgensen Saml Alice H, Merkt Alton R (2421 4th Street) Martinez Paul, Guadalye Ignacio (2421 5th Street) Church Wm T Agnes (2431 5th Street)
1945	Jorgensen S R (2421 4th Street) Sowell R E R (2425 4th Street) Martinez Frank R (2421 5th Street) Wakefield C G R (2426 5th Street) Church William Mrs (2431 5th Street)
1950	Jorgensen S R (2421 4th Street) Louie F S & Co (2423 4th Street) Martinez Paul R (2421 5th Street) Coleman Earl W R (2426 5th Street) Patterson Etta R (2430 5th Street) Church Agnes T R (2431 5th Street)
1955	Ford Velma (2421 4th Street) Fournier Leo, Louie F S & Co (2423 4th Street) Graysix Co (2427 4th Street) Martinez Inez R (2421 5th Street) Payne Grace (2426 5th Street) Auguste Eula (2430 5th Street) Griffin W H (2431 5th Street)
1962	Louie F S & Co (2423 4th Street) Graysix Co (2427 4th Street) Martinez Paul (2421 5th Street) Fournier Leo (2430 5th Street)
1970	Louie F S & Co (2423 4th Street) Graysix Co (2427 4th Street) Martinez Paul (2421 5th Street) Bing Wm A (2426 5th Street)
1975	Louie F S & Co (2423 4th Street) Graysix Co (2427 4th Street)
1986	Louie F S & Co (2423 4th Street) Simmons Julia (2426 5th Street)
1991	Stokes Russell Hayden general contractor (2421 4th Street) World Class Collision Specialists (2431 5th Street)
1992	Adams & Associates, Floyd Design Associates, Stokes Russell Hayden (2421 4th Street) Louie F S & Co (2423 4th Street) Graysix Co (2427 4th Street) Wright J, Ogilvy Esalen, Ogilvy J (2418 5th Street)

City Directory Search for Adjacent Properties

Year(s)	Occupant Listed
1996	World Class Collision Specialists (2431 5th Street) Bourque Gail, Floyd Design Associates, B Westside Therapy and Bodywork Group, B Anderson Karen (2421 4th Street) Louie F S & Co (2423 4th Street) Graysix Co (2427 4th Street) 100 Polyplus Battery Co (2431 5th Street)
2000	Germain Celine, Bourque Gail, B Anderson Karen, B Westside Therapy and Bodywork Group, Tennis Kinney, Trachtenberg Architects, Wise Sue Ellen Mft (2421 4th Street) Louie F S & Co (2423 4th Street) Graysix Co (2427 4th Street) Legend Audio Design, All Star Computer Services, Nevska Irina, Beard Donna, Dean Edward (2430 5th Street) Sumiko, 100 Polyplus Battery Co (2431 5th Street)
2006	Tennis Kinney, Arch Sustnbly, Traber Andrea, Bullard Michelle, Trachtenberg, Architects, Westside Therapy & Bodywork Group, Wise Sue Ellen (2421 4th Street) Giocomo Furniture (2423 4th Street) Graysix Co (2427 4th Street) Russum Jacquelyn, Kuipers Francine, Languages Accent On (2418 5th Street) Martinez Paul (2421 5th Street) Apartments, private residents, Legend Audio, Architecture Paper Press (2430 5th Street) Polyplus Battery Co, Sumiko (2431 5th Street)
2010	Montgomery Denise Hall Architect, Trachtenberg Architect, Stokke David Lac, Bourque Gail, Wise Sue Ellen MFCC, Diane Horner Design, Bullard Michelle MS LAC, Montgomery Denise Hall Archt, Trachtenberg Architect, Diane Horner Design, Bullard Michelle MS LAC (2421 4th Street) Giocomo (2423 4th Street) Graysix Co (2427 4th Street) Gerard & Assoc, Mesker D W Inc (2418 5th Street) Vertical Cubed, Wolf Cinema, Polyplus Battery Company (2431 5th Street)
2014	Bullard Michelle MS LAC, Wise Sue Ellen MFCC, Bourque Gail, Trachtenberg Architect, Stokke David LAC, Stiefvater Victoria MFT (2421 4th Street) Giocomo (2423 4th Street) Graysix Co (2427 4th Street) Bhava Communications Inc, Mesker D W Inc, Gerard & Assoc, Techvalidate Software Inc (2418 5th Street) Vertical Cubed (2431 5th Street)

Based on the city directory review, no environmentally sensitive listings were identified for the adjacent property addresses.

Copies of reviewed city directories are included in Appendix B of this report.

3.4 Historical Topographic Maps

Partner reviewed historical topographic maps obtained from EDR on May 29, 2018. The following features were noted to be depicted on the subject property and adjacent properties during the topographic map review:

Date: 1895, 1899

Subject Property: Depicted as undeveloped

North: Depicted as undeveloped

South: Depicted as undeveloped

East: Depicted as developed with a non-descript building across a paved road (currently 5th Street)

West: Depicted as undeveloped

Date: 1915

Subject Property: Depicted as developed with a non-descript building

North: Depicted as undeveloped

South: Depicted as undeveloped

East: Depicted as developed with a non-descript building across a paved road (currently 5th Street) Depicted as developed with a non-descript

West: Depicted as developed with a non-descript building

Date: 1948, 1949, 1959, 1968, 1973, 1980, 1996

Subject Property: Depicted within a shaded area designated as "urban development"

North: Depicted within a shaded area designated as "urban development"

South: Depicted within a shaded area designated as "urban development"

East: Depicted within a shaded area designated as "urban development" across a paved road (currently 5th Street)

West: Depicted within a shaded area designated as "urban development"

Copies of reviewed topographic maps are included in Appendix B of this report.

4.0 REGULATORY RECORDS REVIEW

4.1 Regulatory Agencies

4.1.1 Health Department

Regulatory Agency Data

Name of Agency: City of Berkeley Planning and Development Department Toxics Management Division (BTMD)
Point of Contact: Mr. Paul Miller
Agency Address: 1947 Center Street, 1st Floor, Berkeley, California
Agency Phone Number: (510) 981-7460
Date of Contact: May 29, 2018
Method of Communication: Email
Summary of Communication: No records regarding hazardous substance use, storage, or releases; or the presence of USTs and AULs on the subject property were on file with the BTMD.

4.1.2 Fire Department

Regulatory Agency Data

Name of Agency: City of Berkeley Fire Department (BFD)
Point of Contact: Ms. Alisha Gard
Agency Address: 2100 Martin Luther King Jr Way, Berkeley, California
Agency Phone Number: (510) 981-3473
Date of Contact: May 29, 2018
Method of Communication: Email
Summary of Communication: No records regarding hazardous substance use, storage, or releases; or the presence of USTs and AULs on the subject property were on file with the BFD.

4.1.3 Air Pollution Control Agency

Regulatory Agency Data

Name of Agency: Bay Area Air Quality Management District (BAAQMD)
Point of Contact: Ms. Rochelle Reed
Agency Address: 375 Beale Street, San Francisco, California
Agency Phone Number: (415) 749-4900
Date of Contact: May 29, 2018
Method of Communication: Online FOIA Request
Summary of Communication: No Permits to Operate (PTO), Notices of Violation (NOV), or Notices to Comply (NTC) or the presence of AULs, dry cleaning machines, or USTs were on file for the subject property with the BAAQMD.

4.1.4 Regional Water Quality Agency

<i>Regulatory Agency Data</i>	
Name of Agency:	San Francisco Bay Regional Water Quality Control Board (RWQCB)
Point of Contact:	GeoTracker Database
Agency Address:	http://geotracker.waterboards.ca.gov/
Date of Contact:	May 29, 2018
Method of Communication:	Online Research
Summary of Communication:	No records regarding hazardous substance use, storage, or releases; or the presence of USTs and AULs on the subject property were on file with the RWQCB.

4.1.5 Department of Toxic Substances Control

<i>Regulatory Agency Data</i>	
Name of Agency:	California Department of Toxic Substances Control (DTSC)
Point of Contact:	DTSC EnviroStor Database
Agency Address:	https://www.envirostor.dtsc.ca.gov/public/
Date of Contact:	May 29, 2018
Method of Communication:	Online Research
Summary of Communication:	No records regarding hazardous substance use, storage, or releases; or the presence of USTs and AULs on the subject property were on file with the DTSC.

4.1.6 Building Department

<i>Regulatory Agency Data</i>	
Name of Agency:	City of Berkeley Department of Planning and Development (BDPD)
Point of Contact:	Counter Personnel
Agency Address:	1947 Center Street, Third Floor, Berkeley, California
Agency Phone Number:	(510) 981-7500
Date of Contact:	May 29, 2018
Method of Communication:	In Person
Summary of Communication:	Records were available for review, as further discussed in the following table:

<i>Building Records Reviewed for 2422 5th Street (Subject Property)</i>		
Year(s)	Owner/Applicant	Description
1922	Domingo Alfonse	Building alterations
1926	Domingo Alfonse	Construct new shed
1953	Lenora Logan	Interior alterations for apartment building
1962	Lenora Felix	Demolish garage; repairs and remove soil from contact with siding of residence
1968	Logan	Re-Roof Permit
1985	Walter S. Dayton	Remodel kitchen of residence
1990	Kima Douglas	Convert existing unused basement area into an additional dwelling unit
2003	N/A	Seismic Upgrade: repair 5 linear feet of shear wall at existing foundation at northwest corner

4.1.7 Planning Department

Regulatory Agency Data

Name of Agency: City of Berkeley Department of Planning and Development (BDPD)
Point of Contact: Counter Personnel
Agency Address: 1947 Center Street, Third Floor, Berkeley, California
Agency Phone Number: (510) 981-7500
Date of Contact: May 29, 2018
Method of Communication: In Person
Summary of Communication: According to records reviewed, the subject property is zoned MUR for Mixed Use-Residential development by the City of Berkeley. In addition, a permit to convert the existing dwelling unit into a medical office and constructing a duplex at the rear of the property is pending.

4.1.8 Oil & Gas Exploration

Regulatory Agency Data

Name of Agency: California Division of Oil, Gas and Geothermal Resources (DOGGR)
Point of Contact: Well Finder Database
Agency Address: <https://maps.conservation.ca.gov/doggr/wellfinder/#close>
Date of Contact: May 29, 2018
Method of Communication: Online Research
Summary of Communication: According to DOGGR, no oil or gas wells are located on or adjacent to the subject property.

4.1.9 Assessor's Office

Regulatory Agency Data

Name of Agency: Alameda County Assessor (ACA)
Point of Contact: Property Information Database
Agency Address: <https://www.acgov.org/assessor/>
Date of Contact: May 29, 2018
Method of Communication: Online Research
Summary of Communication: According to records reviewed, the subject property is identified by Assessor Parcel Number (APN) 56-1944-11 and is currently owned by Gold Carl S & Anna H TRS since 2017. The current building was constructed in 1914 and totals approximately 1,672 square feet on a 0.14-acre lot.

Copies of pertinent documents obtained from the aforementioned regulatory agencies, if available, are included in Appendix B of this report.

4.2 Mapped Database Records Search

Information from standard federal, state, county, and city environmental record sources was provided by EDR. Data from governmental agency lists are updated and integrated into one database, which is updated as these data are released. The information contained in this report was compiled from publicly available sources and the locations of the sites are plotted utilizing a geographic information system, which geocodes the site addresses. The accuracy of the geocoded locations is approximately +/-300 feet.

Using the ASTM definition of migration, Partner considers the migration of hazardous substances or petroleum products in any form onto the subject property during the evaluation of each site listed on the radius report, which includes solid, liquid, and vapor.

4.2.1 Regulatory Database Summary

Radius Report Data				
Database	Search Radius (mile)	Subject Property	Adjacent Properties	Sites of Concern
Federal NPL or Delisted NPL Site	1.00	No	No	No
Federal CERCLIS Site	0.50	No	No	No
Federal CERCLIS-NFRAP Site	0.50	No	No	No
Federal RCRA CORRACTS Facility	1.00	No	No	No
Federal RCRA TSDF Facility	0.50	No	No	No
Federal RCRA Generators Site	0.25	No	Yes	N/A
Federal IC/EC Registries	0.50	No	No	No
Federal ERNS Site	Subject Property	No	N/A	N/A
State/Tribal Equivalent NPL	1.00	No	No	No
State/Tribal Equivalent CERCLIS	1.00	No	No	No
State/Tribal Landfill/Solid Waste Disposal Site	0.50	No	No	No
State/Tribal Leaking Storage Tank Site	0.50	No	No	No
State/Tribal Registered Storage Tank Sites	0.25	No	No	N/A
State/Tribal Voluntary Cleanup Sites (VCP)	0.50	No	No	No
State/Tribal Spills	0.50	No	No	No
Federal Brownfield Sites	0.50	No	No	No
State Brownfield Sites	0.50	No	No	No
Miscellaneous Databases	Varies	No	Yes	No
EDR MGP	1.00	No	No	No
EDR Hist Auto	0.125	No	No	N/A
EDR Hist Cleaner	0.125	No	No	N/A

4.2.2 Subject Property Listings

The subject property is not identified in the regulatory database report.

4.2.3 Adjacent Property Listings

The adjacent property to the east is identified as a FINDS, a RCRA-SQG, and an ECHO site in the regulatory database report, as discussed below:

- The property, identified as Auto Unibody Specialists, Inc., at 2431 5th Street, is located across 5th Street to the east of the subject property. This site registered as a RCRA-SQG in 1994 (EPA ID No. CAD981691116). No violations were reported on the RCRA or ECHO databases. Based on the absence of documented violations or releases, this listing is not expected to represent a significant environmental concern.

Based on the findings, vapor migration from the adjacent properties is not expected to represent a significant environmental concern at this time.

4.2.4 Sites of Concern Listings

No sites of concern are identified in the regulatory database report. Based on various mitigating factors including relative distance from the subject property, inferred direction of groundwater flow, media affected, and/or regulatory status, the remaining listed sites within the specified search radius of the subject property which appeared on local, State, or Federally published lists of sites that have had releases of hazardous substances, are not expected to represent a significant environmental concern.

Based on the findings, vapor migration from the surrounding properties is not expected to represent a significant environmental concern at this time.

4.2.5 Orphan Listings

No orphan listings of potential environmental concern to the subject property are identified in the regulatory database report.

A copy of the regulatory database report is included in Appendix C of this report.

5.0 USER PROVIDED INFORMATION AND INTERVIEWS

In order to qualify for one of the *Landowner Liability Protections (LLPs)* offered by the Small Business Liability Relief and Brownfields Revitalization Act of 2001 (the *Brownfields Amendments*), the *User* must conduct the following inquiries required by 40 CFR 312.25, 312.28, 312.29, 312.30, and 312.31. The *User* should provide the following information to the *environmental professional*. Failure to provide this information could result in a determination that *all appropriate inquiries* is not complete. The *User* is asked to provide information or knowledge of the following:

- Review Title and Judicial Records for Environmental Liens and AULs
- Specialized Knowledge or Experience of the User
- Actual Knowledge of the User
- Reason for Significantly Lower Purchase Price
- Commonly Known or *Reasonably Ascertainable* information
- Degree of Obviousness
- Reason for Preparation of this Phase I ESA

Fulfillment of these user responsibilities is key to qualification for the identified defenses to CERCLA liability. Partner requested our Client to provide information to satisfy User Responsibilities as identified in Section 6 of the ASTM guidance.

Pursuant to ASTM E1527-13, Partner requested the following site information from Anna Gold (User of this report).

User Responsibilities				
Item	Provided By User	Not Provided By User	Discussed Below	Does Not Apply
Environmental Pre-Survey Questionnaire			X	
Title Records, Environmental Liens, and AULs			X	
Specialized Knowledge			X	
Actual Knowledge			X	
Valuation Reduction for Environmental Issues			X	
Identification of Key Site Manager	Section 5.1.3			
Reason for Performing Phase I ESA	Section 1.1			
Prior Environmental Reports		X		
Other		X		

5.1 Interviews

5.1.1 Interview with Owner/Report User

Ms. Anna Gold, subject property owner, was not aware of any pending, threatened, or past litigation relevant to hazardous substances or petroleum products in, on, or from the subject property; any pending, threatened, or past administrative proceedings relevant to hazardous substances or petroleum products in, on, or from the subject property; or any notices from a governmental entity regarding any possible violation of environmental laws or possible liability relating to hazardous substances or petroleum products.

According to Ms. Gold, the subject property was developed in 1914 for residential use. Ms. Gold further stated that there are no USTs, ASTs, clarifiers, oil/water separators, groundwater monitoring wells, or hazardous substance use/storage/generation on the subject property to the best of her knowledge.

5.1.3 Interview with Key Site Manager

A key site manager was not provided to be interviewed at the time of this assessment.

5.1.4 Interviews with Past Owners, Operators, and Occupants

Interviews with past owners, operators, and occupants were not reasonably ascertainable and thus constitute a data gap.

5.1.5 Interview with Others

As the subject property is not an abandoned property as defined in ASTM 1527-13, interview with others were not performed.

5.2 User Provided Information

5.2.1 Title Records, Environmental Liens, and AULs

Partner was not provided with title records or environmental lien and AUL information for review as part of this assessment.

5.2.2 Specialized Knowledge

The User did not have specialized knowledge of environmental conditions associated with the subject property at the time of the assessment.

5.2.3 Actual Knowledge of the User

The User was not aware of environmental liens and/or AULs encumbering the subject property or in connection with the subject property at the time of the assessment.

5.2.4 Valuation Reduction for Environmental Issues

The User was not aware of any reductions in property value due to environmental issues.

5.2.5 Commonly Known or Reasonably Ascertainable Information

The User did not provide information that is commonly known or *reasonably ascertainable* within the local community about the subject property at the time of the assessment.

5.2.6 Previous Reports and Other Provided Documentation

No previous reports or other pertinent documentation was provided to Partner for review during the course of this assessment.

6.0 SITE RECONNAISSANCE

The weather at the time of the site visit was sunny and clear. Refer to Section 1.5 for limitations encountered during the site reconnaissance, and Sections 2.1 and 2.2 for a discussion of subject property operations. The table below provides the site assessment details:

<i>Site Assessment Data</i>	
Site Assessment Performed By:	Jane Xiao
Site Assessment Conducted On:	June 6, 2018

The table below provides the subject property personnel interviewed during the site reconnaissance:

<i>Site Visit Personnel for 2422 5th Street (Subject Property)</i>			
Name	Title/Role	Contact Number	Site Walk* Yes/No
Anna Gold	Property Owner	(510) 691-0757	Yes

** Accompanied Partner during the site reconnaissance activities and provided information pertaining to the current operations and maintenance of the subject property*

No potential environmental concerns were identified during the site reconnaissance.

6.1 General Site Characteristics

6.1.1 Solid Waste Disposal

Solid waste generated at the subject property is disposed of in garbage bins located on the southeastern portion of the subject property. The City of Berkeley Solid Waste Management removes solid waste from the subject property. According to property personnel, only household trash is collected in the on-site solid waste bins. No evidence of illegal dumping of solid waste was observed during the site reconnaissance.

6.1.2 Sewage Discharge and Disposal

Sanitary discharges on the subject property are directed into the municipal sanitary sewer system. The City of Berkeley services the subject property vicinity. No wastewater treatment facilities or septic systems were observed or reported on the subject property.

6.1.3 Surface Water Drainage

Stormwater is removed from the subject property primarily by sheet flow action across the paved surfaces towards stormwater drains located throughout the subject property and in the public right-of-way. The subject property is connected to a municipal-owned and maintained sewer system.

The subject property does not appear to be a designated wetland area, based on information obtained from the United States Fish & Wildlife Service; however, a comprehensive wetlands survey would be required in order to formally determine actual wetlands on the subject property. No surface impoundments, wetlands, natural catch basins, settling ponds, or lagoons are located on the subject property. No drywells were identified on the subject property.

6.1.4 Source of Heating and Cooling

Heating systems as well as domestic hot water equipment are fueled by natural gas provided Pacific Gas & Electric Company (PG&E). The mechanical system consists of individual wall-mounted heaters in each unit. Hot water is provided by a natural gas-fired water heater.

6.1.5 Wells and Cisterns

No aboveground evidence of wells or cisterns was observed during the site reconnaissance.

6.1.6 Wastewater

Domestic wastewater generated at the subject property is disposed by means of the sanitary sewer system. No industrial process is currently performed at the subject property.

6.1.7 Septic Systems

No septic systems were observed or reported on the subject property.

6.1.8 Additional Site Observations

No additional general site characteristics were observed during the site reconnaissance.

6.2 Potential Environmental Hazards

6.2.1 Hazardous Substances and Petroleum Products Used or Stored at the Site

No hazardous substances or petroleum products were observed on the subject property during the site reconnaissance.

6.2.2 Aboveground & Underground Hazardous Substance or Petroleum Product Storage Tanks (ASTs/USTs)

No evidence of current or former ASTs or USTs was observed during the site reconnaissance.

6.2.3 Evidence of Releases

No spills, stains, or other indications that a surficial release has occurred at the subject property were observed.

6.2.4 Polychlorinated Biphenyls (PCBs)

No potential PCB-containing equipment (interior transformers, oil-filled switches, hoists, lifts, dock levelers, hydraulic elevators, balers, etc.) was observed on the subject property during the site reconnaissance.

6.2.5 Strong, Pungent, or Noxious Odors

No strong, pungent, or noxious odors were evident during the site reconnaissance.

6.2.6 Pools of Liquid

No pools of liquid were observed on the subject property during the site reconnaissance.

6.2.7 Drains, Sumps, and Clarifiers

No drains, sumps, or clarifiers, other than those associated with stormwater removal, were observed on the subject property during the site reconnaissance.

6.2.8 Pits, Ponds, and Lagoons

No pits, ponds, or lagoons were observed on the subject property.

6.2.9 Stressed Vegetation

No stressed vegetation was observed on the subject property.

6.2.10 Additional Potential Environmental Hazards

No additional environmental hazards, including landfill activities or radiological hazards, were observed.

6.3 Non-ASTM Services

6.3.1 Asbestos-Containing Materials (ACMs)

Asbestos is the name given to a number of naturally occurring, fibrous silicate minerals mined for their useful properties such as thermal insulation, chemical and thermal stability, and high tensile strength. The Occupational Safety and Health Administration (OSHA) regulation 29 CFR 1926.1101 requires certain construction materials to be *presumed* to contain asbestos, for purposes of this regulation. All thermal system insulation (TSI), surfacing material, and asphalt/vinyl flooring that are present in a building constructed prior to 1981 and have not been appropriately tested are “presumed asbestos-containing material” (PACM).

The subject property building was constructed in 1914. Partner has conducted a limited, visual evaluation of accessible areas for the presence of suspect ACMs at the subject property. The objective of this visual survey was to note the presence and condition of suspect ACM observed. Please refer to the table below for identified suspect ACMs:

Suspect ACMs			
Suspect ACM	Location	Friable Yes/No	Physical Condition
Drywall Systems	Throughout Building Interior	No	Good
Floor Tiles/Mastics	Throughout Building Interior	No	Good
Roofing Materials	Building Roof	No	Not Assessed

The limited visual survey consisted of noting observable materials (materials which were readily accessible and visible during the course of the site reconnaissance) that are commonly known to potentially contain asbestos. This activity was not designed to discover all sources of suspect ACM, PACM, or asbestos at the site; or to comply with any regulations and/or laws relative to planned disturbance of building materials such as renovation or demolition, or any other regulatory purpose. Rather, it is intended to give the User an indication if significant (significant due to quantity, accessibility, or condition) potential sources of ACM or PACM are present at the subject property. Additional sampling, assessment, and evaluation will be warranted for any other use.

According to the US EPA, ACM and PACM that is intact and in good condition can, in general, be managed safely in-place under an Operations and Maintenance (O&M) Program until removal is dictated by renovation, demolition, or deteriorating material condition. Prior to any disturbance of the construction materials within this facility, a comprehensive ACM survey is recommended.

6.3.2 Lead-Based Paint (LBP)

Lead is a highly toxic metal that affects virtually every system of the body. LBP is defined as any paint, varnish, stain, or other applied coating that has 1 mg/cm² (or 5,000 ug/g or 0.5% by weight) or more of lead. Congress passed the Residential Lead-Based Paint Hazard Reduction Act of 1992, also known as "Title X", to protect families from exposure to lead from paint, dust, and soil. Under Section 1017 of Title X, intact LBP on most walls and ceilings is not considered a "hazard," although the condition of the paint should be monitored and maintained to ensure that it does not become deteriorated. Further, Section 1018 of this law directed the Housing and Urban Development (HUD) and the US EPA to require the disclosure of known information on LBP and LBP hazards before the sale or lease of most housing built before 1978.

Based on the age of the subject property building (pre-1978), there is a potential that LBP is present. Interior and exterior painted surfaces were observed in good condition and therefore not expected to represent a "hazard," although the condition of the paint should be monitored and maintained to ensure that it does not become deteriorated. Actual material samples would need to be collected in order to determine if LBP is present.

6.3.3 Radon

Radon is a colorless, odorless, naturally occurring, radioactive, inert, gaseous element formed by radioactive decay of radium (Ra) atoms. The US EPA has prepared a map to assist National, State, and local organizations to target their resources and to implement radon-resistant building codes. The map divides the country into three Radon Zones, according to the table below:

EPA Radon Zones		
EPA Zones	Average Predicted Radon Levels	Potential
Zone 1	Exceed 4.0 pCi/L	Highest
Zone 2	Between 2.0 and 4.0 pCi/L	Moderate
Zone 3	Less than 2.0 pCi/L	Low

It is important to note that the EPA has found homes with elevated levels of radon in all three zones, and the US EPA recommends site-specific testing in order to determine radon levels at a specific location. However, the map does give a valuable indication of the propensity of radon gas accumulation in structures.

Radon sampling was not conducted as part of this assessment. Review of the US EPA Map of Radon Zones places the subject property in Zone 2. Based upon the radon zone classification, radon is not considered to be a significant environmental concern.

6.3.4 Lead in Drinking Water

According to available information, a public water system operated by the EBMUD serves the subject property vicinity. According to a representative of the EBMUD, the sources of public water for the EBMUD are surface water from the Mokelumne River and the Pardee Reservoir, and local reservoirs. According to the 2016 Annual Water Quality Report, water supplied by the EBMUD is in compliance with applicable State and Federal regulations pertaining to drinking water standards, including lead and copper. Water sampling was not conducted to verify water quality.

6.3.5 Mold

Molds are microscopic organisms found virtually everywhere, indoors and outdoors. Mold will grow and multiply under the right conditions, needing only sufficient moisture (e.g. in the form of very high humidity, condensation, or water from a leaking pipe, etc.) and organic material (e.g., ceiling tile, drywall, paper, or natural fiber carpet padding).

Partner observed accessible, interior areas for the subject property building for evidence of mold growth with the exceptions detailed in Section 1.5 of this report; however, this ESA should not be used as a mold survey or inspection. Additionally, this limited assessment was not designed to assess all areas of potential mold growth that may be affected by mold growth on the subject property. Rather, it is intended to give the client an indication as to whether or not conspicuous (based on observed areas) mold growth is present at the subject property. This evaluation did not include a review of pipe chases, mechanical systems, or areas behind enclosed walls and ceilings.

No obvious indications of water damage or mold growth were observed during Partner's visual assessment.

6.4 Adjacent Property Reconnaissance

The adjacent property reconnaissance consisted of observing the adjacent properties from the subject property premises. No items of environmental concern were identified on the adjacent properties during the site assessment, including hazardous substances, petroleum products, ASTs, USTs, evidence of releases, PCBs, strong or noxious odors, pools of liquids, sumps or clarifiers, pits or lagoons, stressed vegetation, or any other potential environmental hazards.

7.0 FINDINGS AND CONCLUSIONS

Findings

A *REC* refers to the presence or likely presence of any hazardous substances or petroleum products in, on, or at a property: due to release to the environment; under conditions indicative of a release to the environment; or under conditions that pose a material threat of a future release to the environment. The following was identified during the course of this assessment:

- Partner did not identify evidence of RECs during the course of this assessment.

A *CREC* refers to a REC resulting from a past release of hazardous substances or petroleum products that has been addressed to the satisfaction of the applicable regulatory authority, with hazardous substances or petroleum products allowed to remain in place subject to the implementation of required controls. The following was identified during the course of this assessment:

- Partner did not identify evidence of CRECs during the course of this assessment.

A *HREC* refers to a past release of any hazardous substances or petroleum products that has occurred in connection with the property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls. The following was identified during the course of this assessment:

- Partner did not identify evidence of HRECs during the course of this assessment.

An *environmental issue* refers to environmental concerns identified by Partner, which do not qualify as RECs; however, warrant further discussion. The following was identified during the course of this assessment:

- Due to the age of the subject property buildings, there is a potential that ACMs and/or LBP are present. Overall, suspect ACMs and painted surfaces were observed in good condition and do not appear to pose a health and safety concern to the occupants of the subject property at this time. Suspect ACMs and LBP would need to be sampled to confirm the presence or absence of asbestos and/or LBP prior to any renovation or demolition activities to prevent potential exposure to workers and/or building occupants.

Conclusions, Opinions, and Recommendations

Partner has performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E1527-13 of 2422 5th Street in the City of Berkeley, Alameda County, California (the "subject property"). Any exceptions to, or deletions from, this practice are described in Section 1.5 of this report.

This assessment has revealed no evidence of RECs in connection with the subject property; however, environmental issues were identified. Based on the conclusions of this assessment, Partner recommends the following:

- Prior to the disturbance of any suspect ACMs or LBP at the subject property, a comprehensive survey, designed to determine if the suspect materials are regulated, is recommended. If such materials are identified and need to be disturbed, repaired, or removed, a licensed abatement contractor should be consulted.

8.0 SIGNATURES OF ENVIRONMENTAL PROFESSIONALS

Partner has performed a Phase I Environmental Site Assessment of the property located at 2422 5th Street in the City of Berkeley, Alameda County, California in conformance with the scope and limitations of the protocol and the limitations stated earlier in this report. Exceptions to or deletions from this protocol are discussed earlier in this report.

By signing below, Partner declares that, to the best of our professional knowledge and belief, we meet the definition of *Environmental Professional* as defined in §312.10 of 40 CFR §312. Partner has the specific qualifications based on education, training, and experience to assess a *property* of the nature, history, and setting of the subject *property*. Partner has developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

Prepared By:



Jane Xiao
Environmental Scientist

Reviewed By:



Joel Redding
Environmental Professional
Project Manager

9.0 REFERENCES

Reference Documents

American Society for Testing and Materials, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process, ASTM Designation: E1527-13.

Environmental Data Resources, Inc. (EDR), 6 Armstrong Road, 4th Floor, Shelton, Connecticut 06484

EDR, Certified Sanborn Map Report, May 2018

EDR, Aerial Photo Decade Package, May 2018

EDR, City Directory Abstract, May 2018

EDR, Historical Topo Map Report, May 2018

EDR, Radius Map Report, May 2018

Federal Emergency Management Agency, Federal Insurance Administration, National Flood Insurance Program, Flood Insurance Map, accessed via the internet, June 2018

United States Department of Agriculture, Natural Resources Conservation Service, accessed via the internet, June 2018

United States Department of Agriculture, Natural Resources Conservation Service, Web Soil Survey, accessed via the internet, June 2018

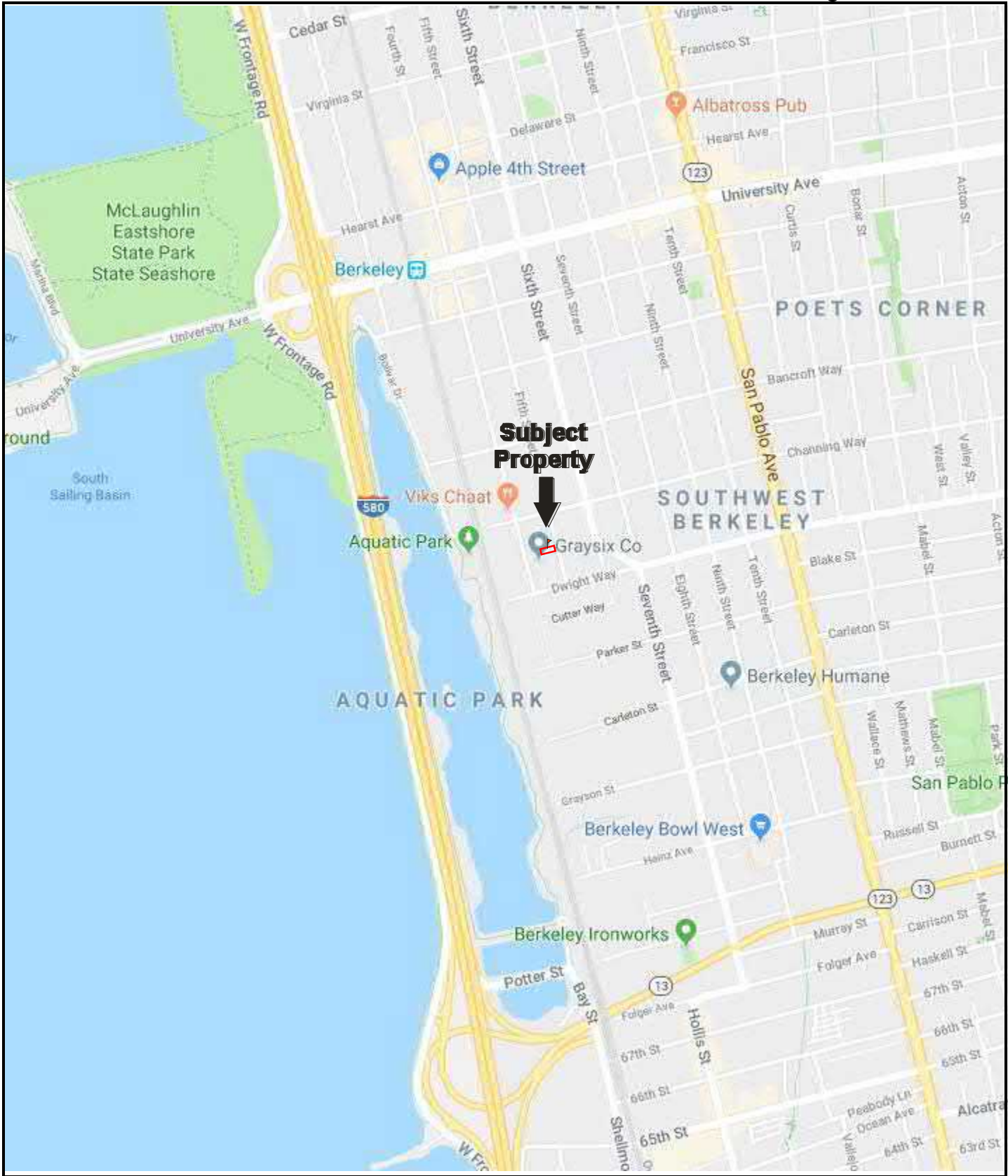
United States Environmental Protection Agency, EPA Map of Radon Zones (Document EPA-402-R-93-071), accessed via the internet, June 2018

United States Geological Survey, accessed via the Internet, June 2018

United States Geological Survey Topographic Map, 7.5-minute series, accessed via the internet, June 2018

FIGURES

- 1 SITE LOCATION MAP**
- 2 SITE PLAN**
- 3 TOPOGRAPHIC MAP**




Drawing Not To Scale

KEY:
Subject Property 

FIGURE 1: SITE LOCATION MAP
Project No. 18-217285.1





N  = first floor laundry room

GROUNDWATER FLOW



KEY:
Subject Property 

FIGURE 2: SITE PLAN
Project No. 18-217285.1



USGS 7.5 Minute *Oakland West, California* Quadrangle
Created: 2012

KEY:
Subject Property 

FIGURE 3: TOPOGRAPHIC MAP
Project No. 18-217285.1



APPENDIX A: SITE PHOTOGRAPHS



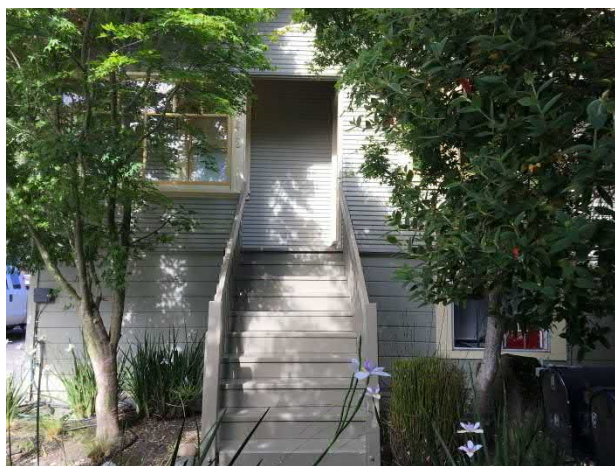
1. View along the eastern subject property boundary and 5th Street



2. View of the subject property building (facing northwest)



3. View of the subject property building (facing east)



4. View of the subject property building (facing west)



5. Interior view of the subject property first floor residential unit



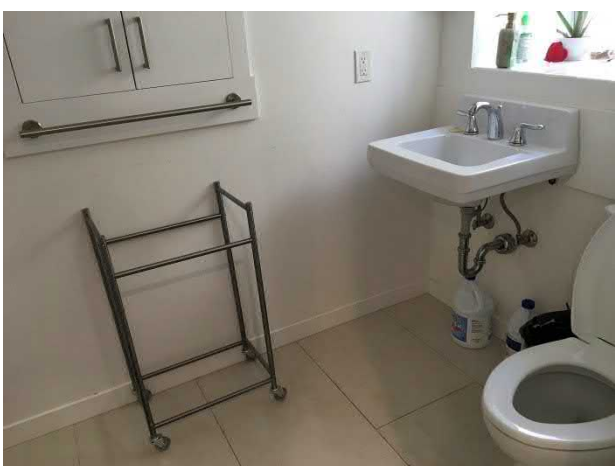
6. Interior view of the subject property first floor residential unit



7. Interior view of the subject property first floor residential unit



8. Interior view of the subject property first floor residential unit



9. Interior view of the subject property first floor residential unit



10. View of the subject property second floor porch



11. Interior view of the subject property second floor residential unit



12. Interior view of the subject property second floor residential unit



13. Interior view of the subject property second floor residential unit



14. Interior view of the subject property second floor residential unit



15. Interior view of the subject property second floor residential unit



16. Interior view of the subject property second floor residential unit



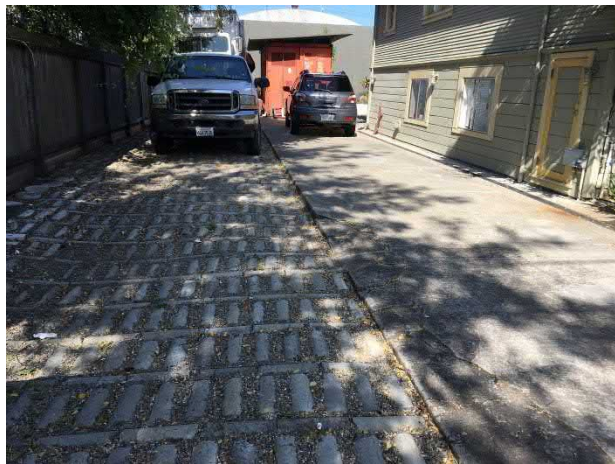
17. Interior view of the subject property second floor residential unit



18. Interior view of a wall-mounted heater



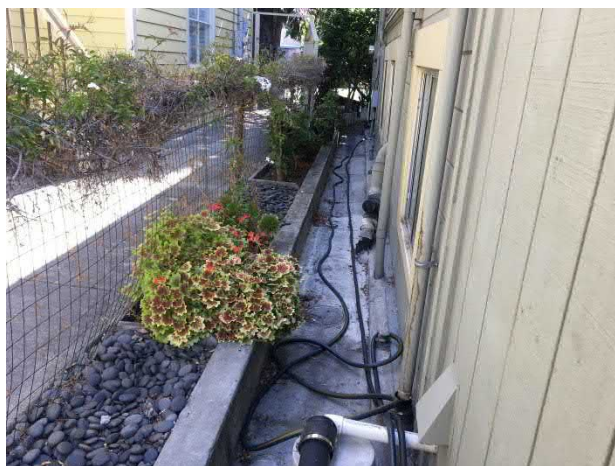
19. Interior view of the laundry room



20. View of the subject property paved area



21. View of the stormwater drain



22. View of the subject property paved area



23. View of the subject property landscaped area



24. View of the subject property paved area - sewer sump pump



25. View of the subject property landscaped area



26. View of the residential property adjacent to the north



27. View of the residential property adjacent to the south



28. View of the commercial property across 5th Street to the east



29. View of the residential property across 5th Street to the east



30. View of the commercial property adjacent to the west

APPENDIX B: HISTORICAL/REGULATORY DOCUMENTATION

Residential Duplex

2422 5th Street

Berkeley, CA 94710


Inquiry Number: 5312825.8

May 31, 2018

The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Aerial Photo Decade Package		05/31/18
Site Name:	Client Name:	
Residential Duplex	Partner Engineering and Science, Inc.	
2422 5th Street	2154 Torrance Blvd, Suite 200	
Berkeley, CA 94710	Torrance, CA 90501-0000	
EDR Inquiry # 5312825.8	Contact: Colleen Tubridy	

Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

Search Results:

<u>Year</u>	<u>Scale</u>	<u>Details</u>	<u>Source</u>
1939	1"=500'	Flight Date: August 03, 1939	USDA
1946	1"=500'	Flight Date: October 28, 1946	USGS
1958	1"=500'	Flight Date: July 22, 1958	USGS
1963	1"=500'	Flight Date: July 08, 1963	USGS
1968	1"=500'	Flight Date: April 20, 1968	USGS
1974	1"=500'	Flight Date: January 01, 1974	USGS
1982	1"=500'	Flight Date: July 08, 1982	USDA
1993	1"=500'	Acquisition Date: July 10, 1993	USGS/DOQQ
1998	1"=500'	Flight Date: August 27, 1998	USDA
2005	1"=500'	Flight Year: 2005	USDA/NAIP
2009	1"=500'	Flight Year: 2009	USDA/NAIP
2012	1"=500'	Flight Year: 2012	USDA/NAIP
2016	1"=500'	Flight Date: January 01, 2016	USGS

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500 1000 2000



Key: Subject Property 



500 1000 2000

Key: Subject Property 



500

1000

2000

Key: Subject Property





500 1000 2000

Key: Subject Property 



500

1000

2000

Key: Subject Property





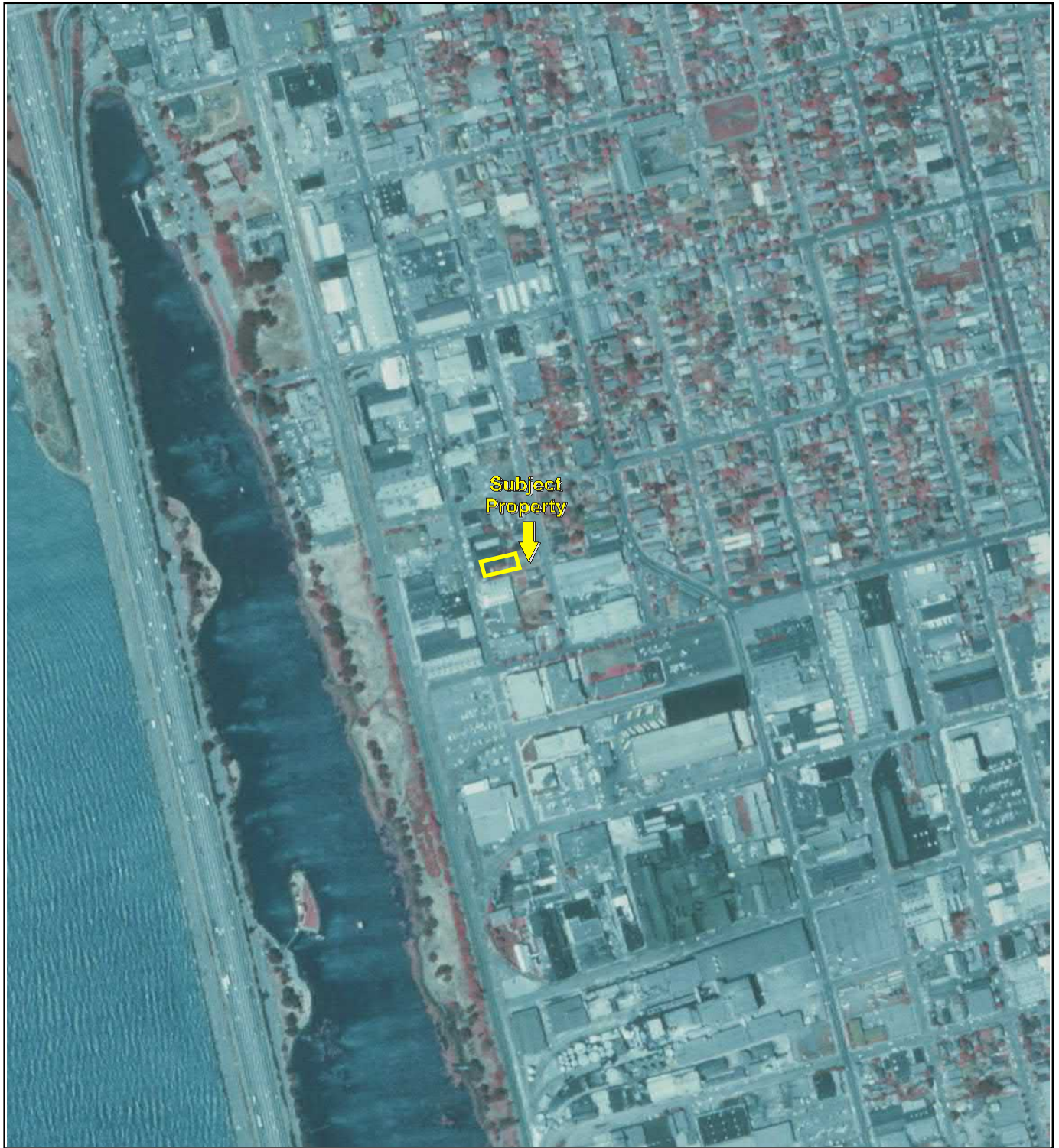
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1000

2000

Key: Subject Property





500 1000 2000

Key: Subject Property 



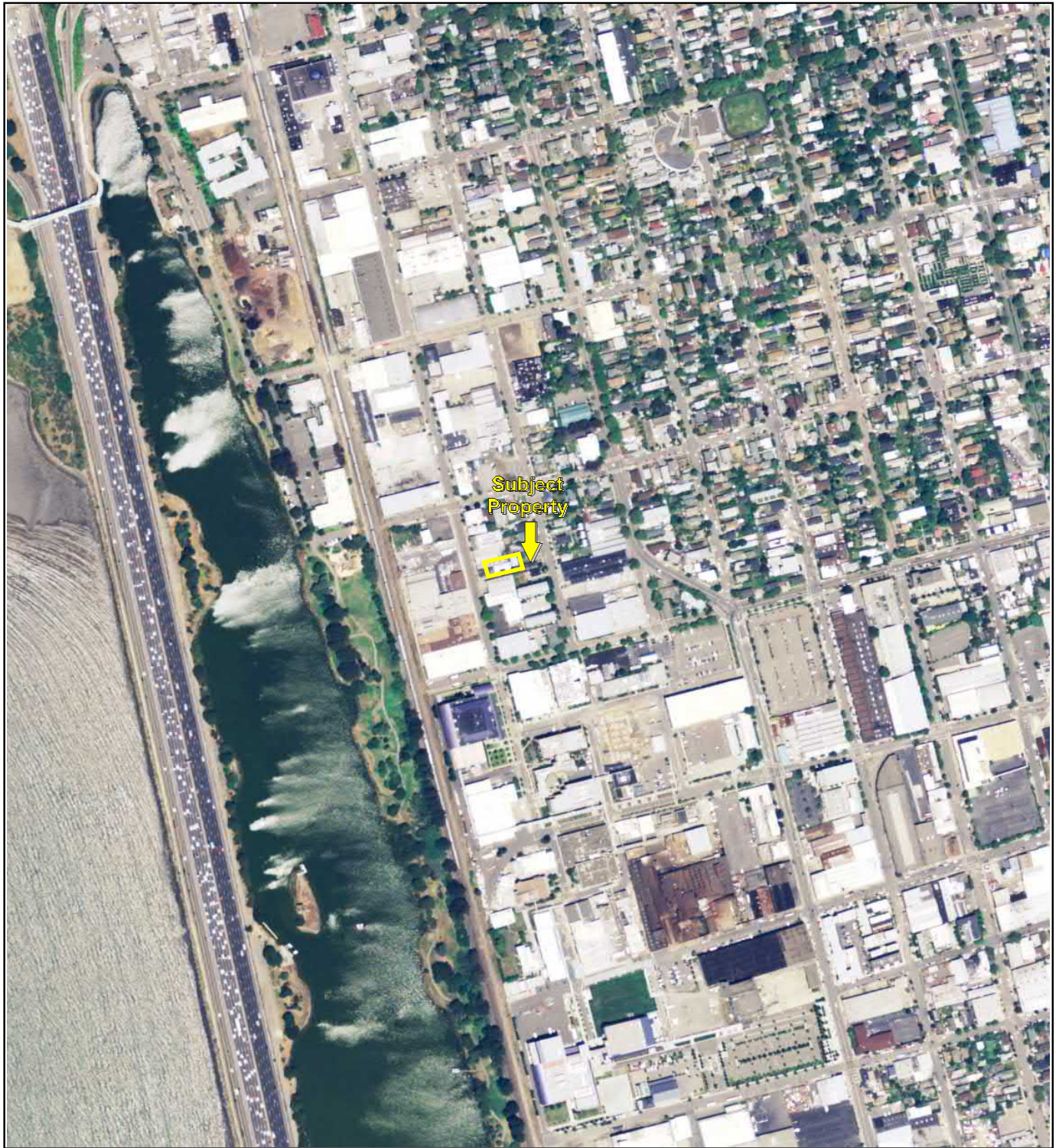
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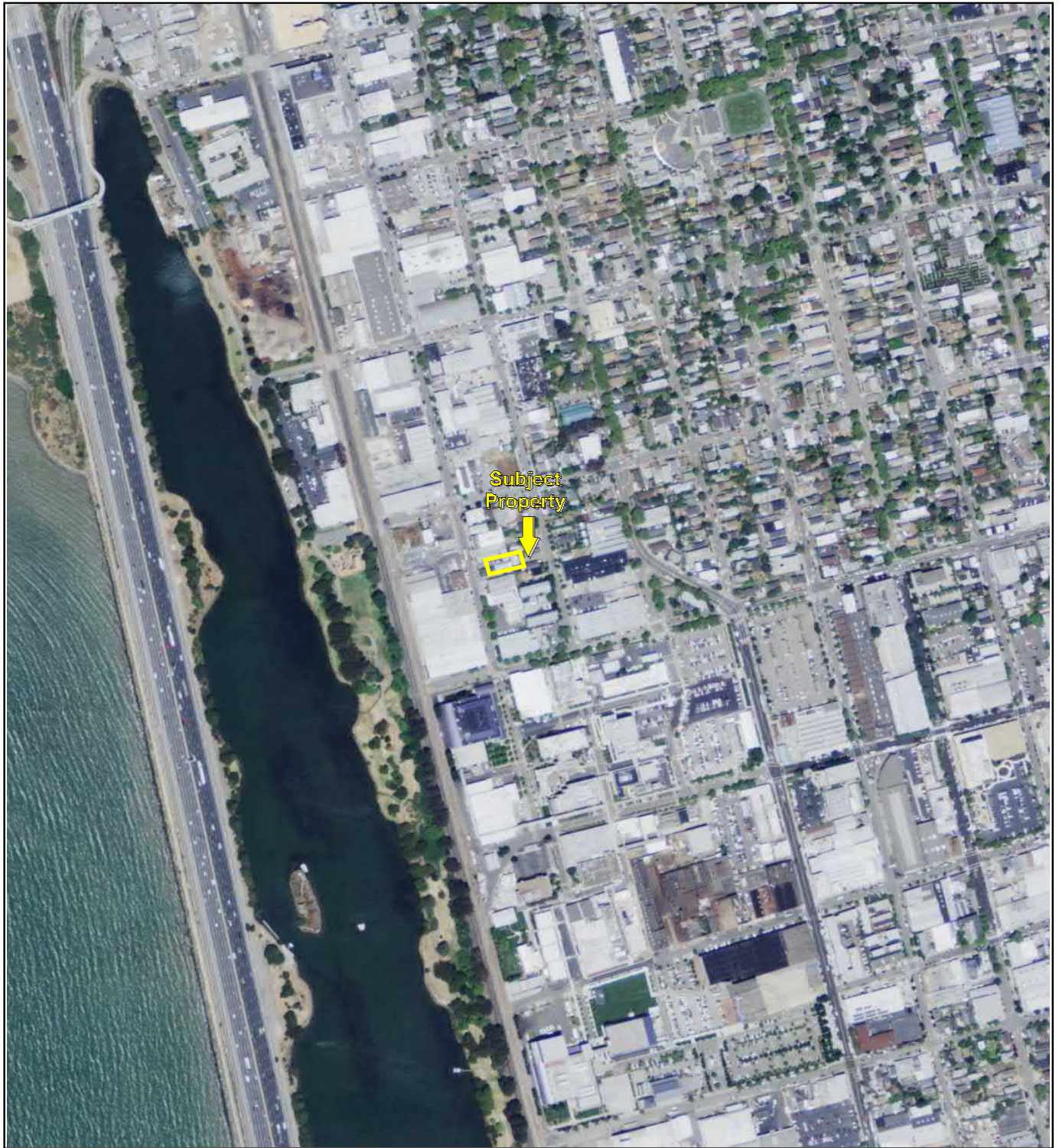
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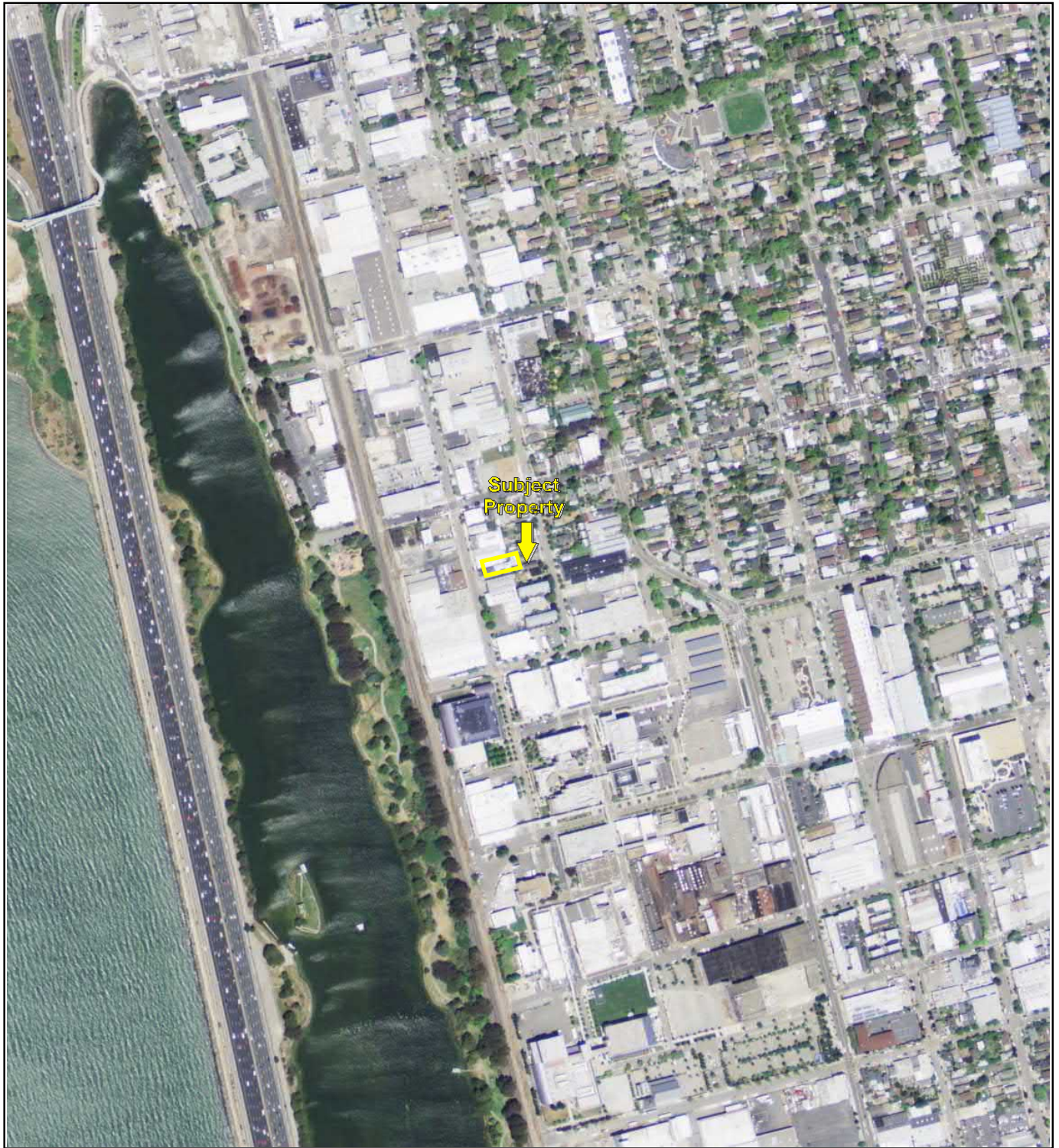
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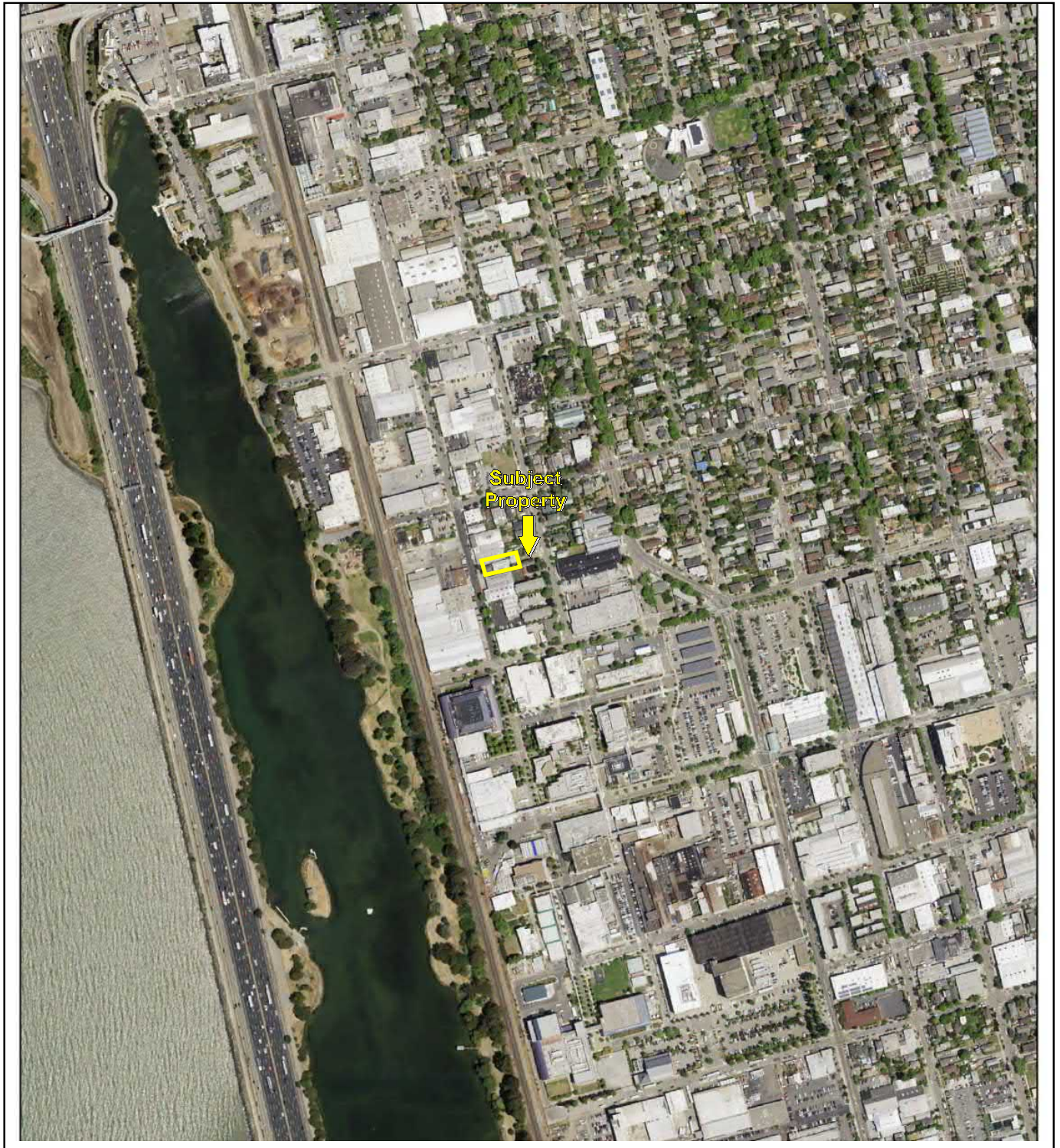
Key: Subject Property 



500 1000 2000



Key: Subject Property 



500

1000

2000

Key: Subject Property 

Residential Duplex
2422 5th Street
Berkeley, CA 94710

Inquiry Number: 5312825.3
May 29, 2018

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

Certified Sanborn® Map Report 05/29/18

<p>Site Name: Residential Duplex 2422 5th Street Berkeley, CA 94710 EDR Inquiry # 5312825.3</p>	<p>Client Name: Partner Engineering and Science, Inc. 2154 Torrance Blvd, Suite 200 Torrance, CA 90501-0000 Contact: Colleen Tubridy</p>
--	---



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Certified Sanborn Results:

Certification # FF6A-4619-8630
PO # NA
Project 18-217285.1

Maps Provided:

- 1903
- 1911
- 1950
- 1980



Sanborn® Library search results
Certification #: FF6A-4619-8630

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- Library of Congress
- University Publications of America
- EDR Private Collection

The Sanborn Library LLC Since 1866™

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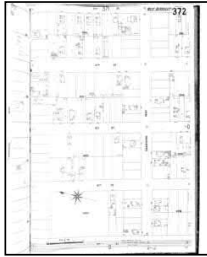
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Sanborn Sheet Key

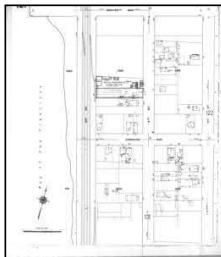
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1903 Source Sheets

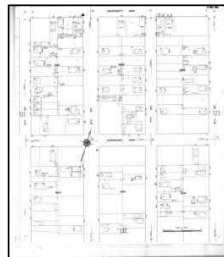


Volume 3, Sheet 372
1903

1911 Source Sheets



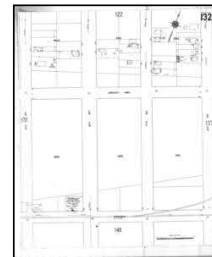
Volume 2, Sheet 121
1911



Volume 2, Sheet 122
1911

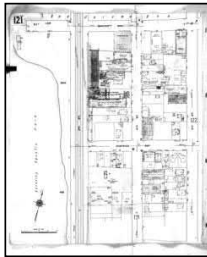


Volume 2, Sheet 131
1911

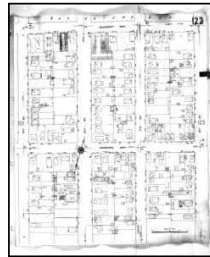


Volume 2, Sheet 132
1911

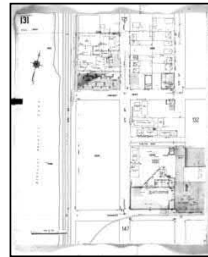
1950 Source Sheets



Volume 2, Sheet 121
1950



Volume 2, Sheet 122
1950

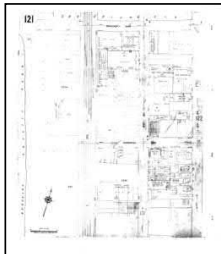


Volume 2, Sheet 131
1950

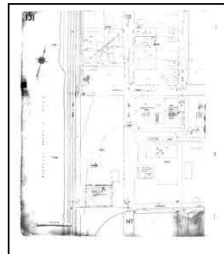


Volume 2, Sheet 132
1950

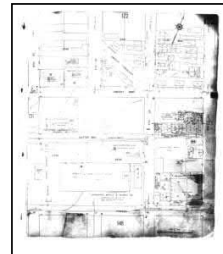
1980 Source Sheets



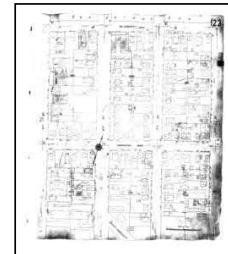
Volume 2, Sheet 121
1980



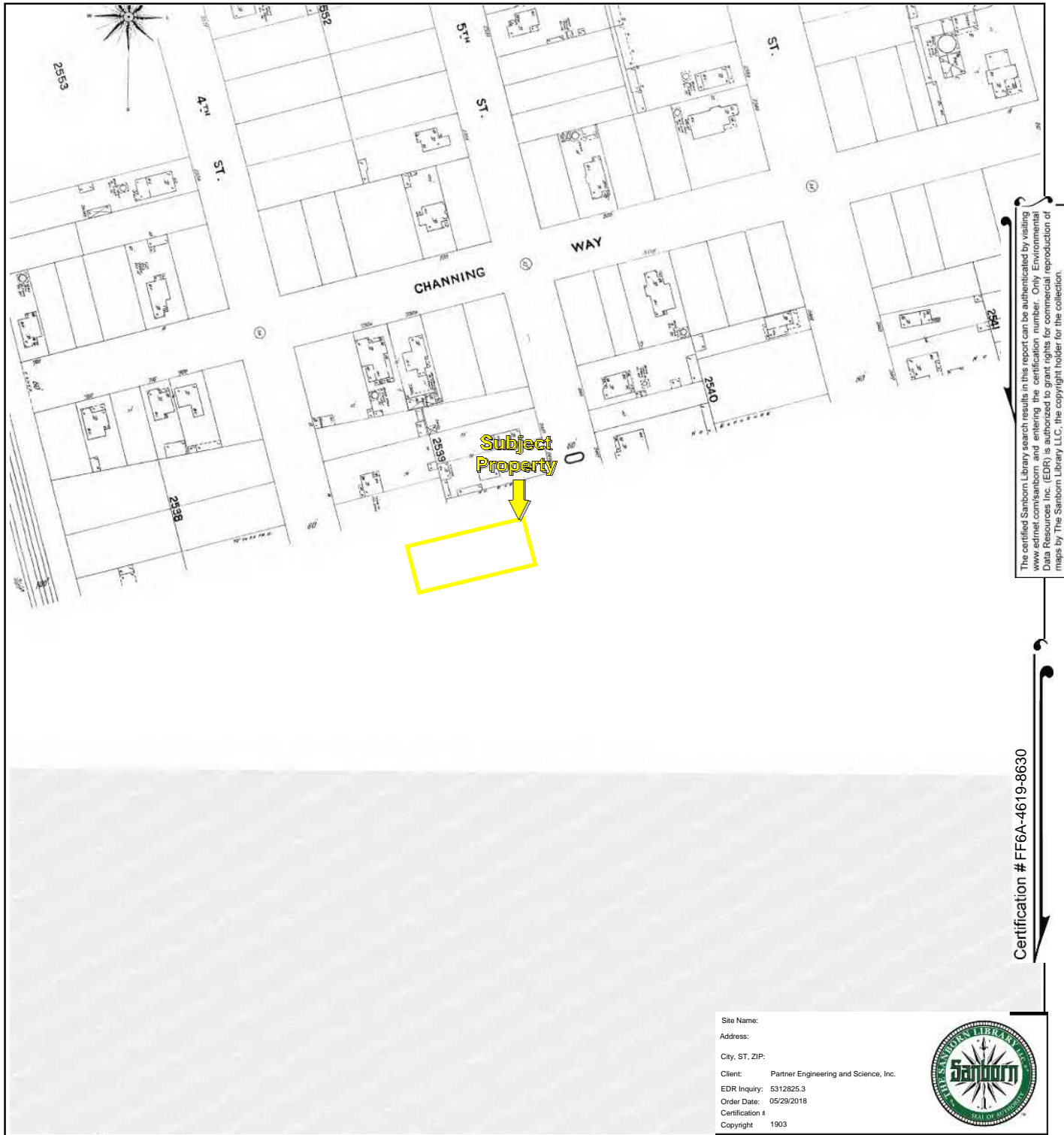
Volume 2, Sheet 131
1980



Volume 2, Sheet 132
1980



Volume 2, Sheet 122
1980



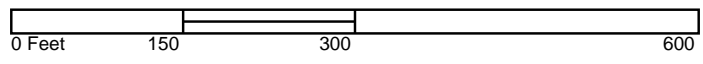
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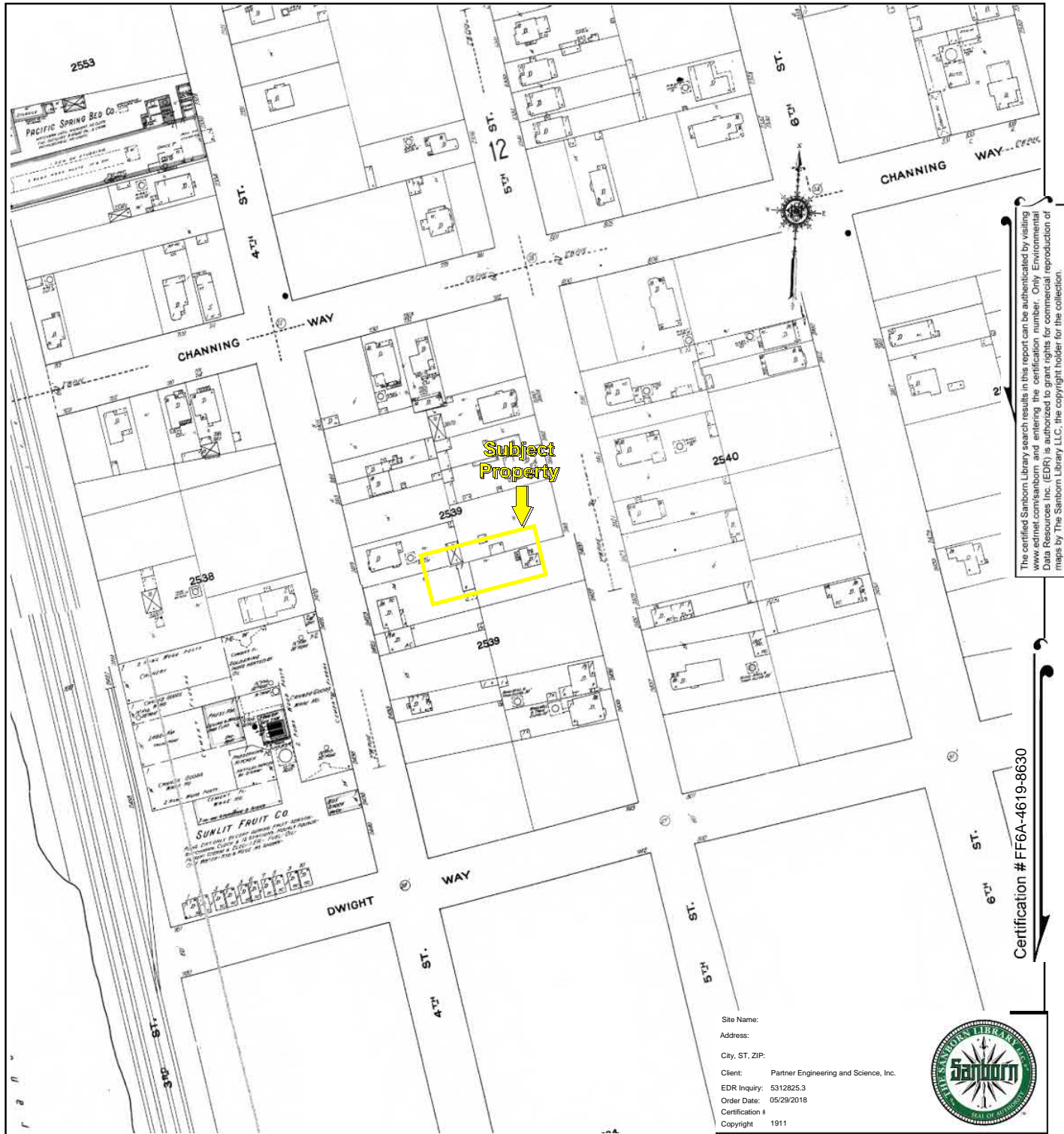
Site Name:
Address:
City, ST, ZIP:
Client: Partner Engineering and Science, Inc.
EDR Inquiry: 5312825.3
Order Date: 05/29/2018
Certification #:
Copyright: 1903



Volume 3, Sheet 372



Key: Subject Property



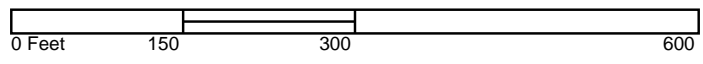
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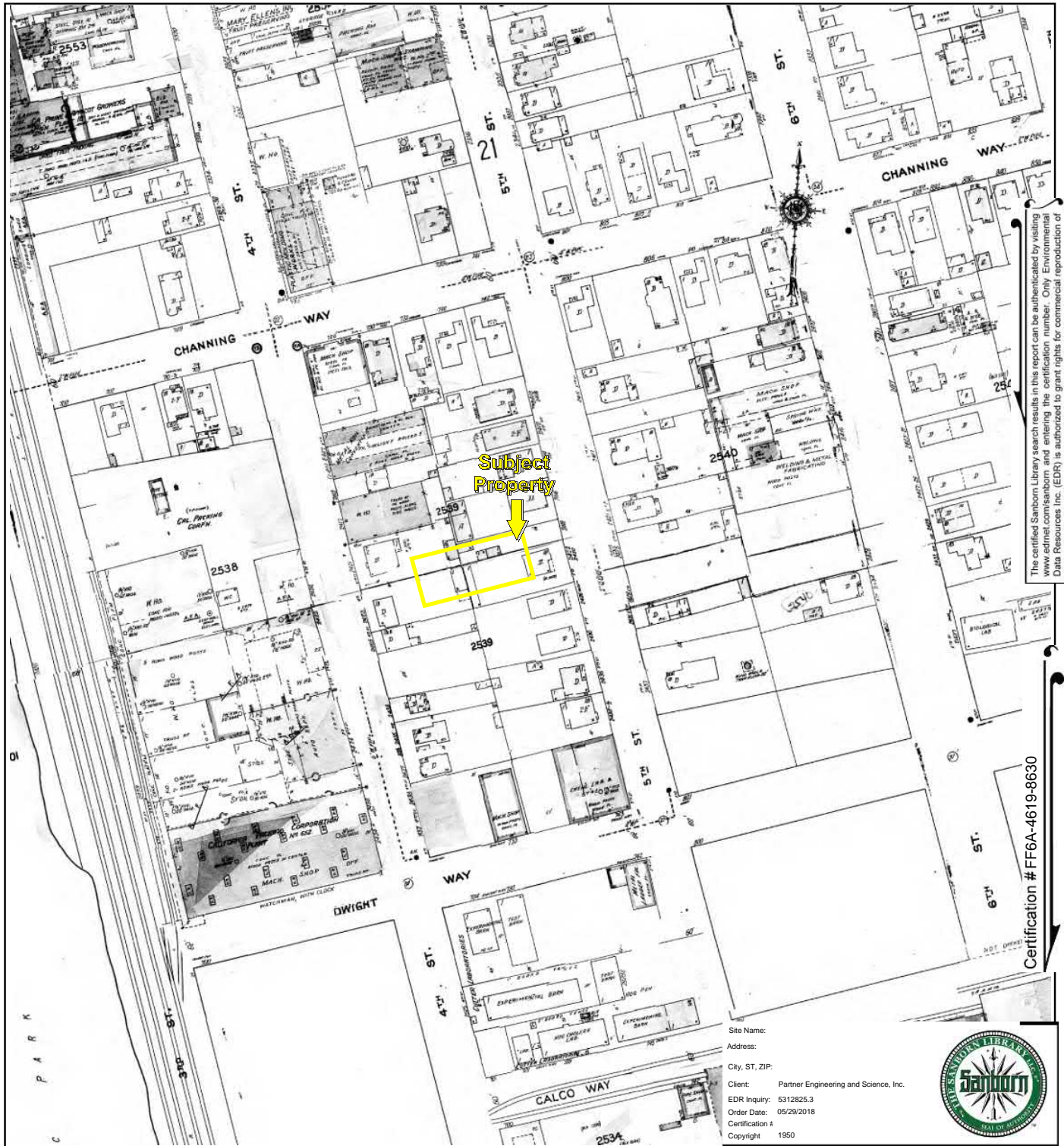
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Address:
City, ST, ZIP:
Client: Partner Engineering and Science, Inc.
EDR Inquiry: 5312825.3
Order Date: 05/29/2018
Certification #: 1911
Copyright: 1911



Volume 2, Sheet 132
Volume 2, Sheet 131
Volume 2, Sheet 122
Volume 2, Sheet 121



Key: Subject Property



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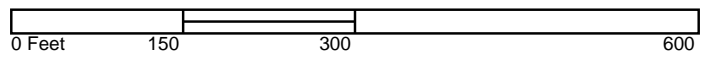
Certification # FF6A-4619-8630

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Address:
City, ST, ZIP:
Client: Partner Engineering and Science, Inc.
EDR Inquiry: 5312825.3
Order Date: 05/29/2018
Certification #: 1950

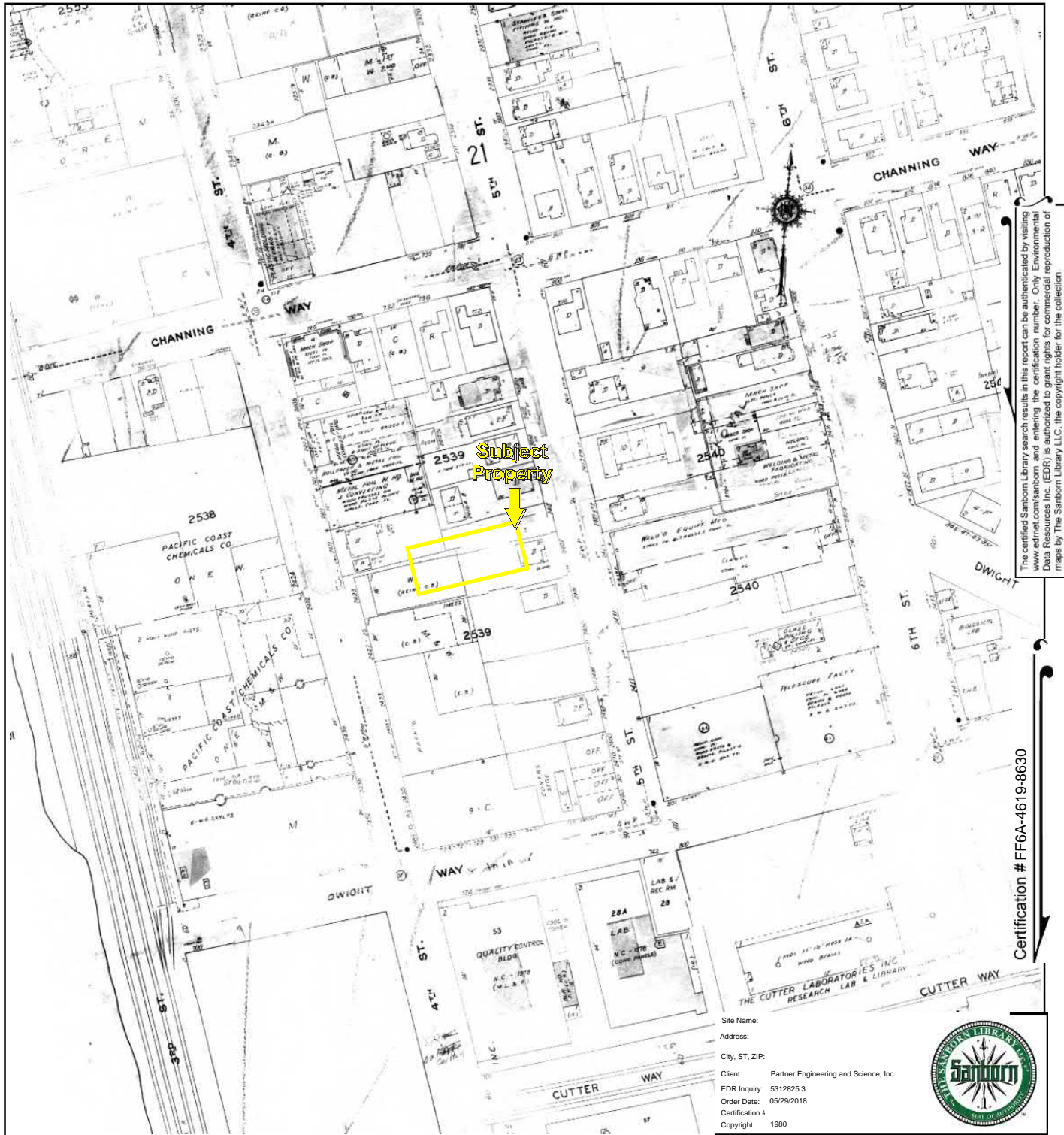


121	122
131	132

Volume 2, Sheet 132
Volume 2, Sheet 131
Volume 2, Sheet 122
Volume 2, Sheet 121



Key: Subject Property



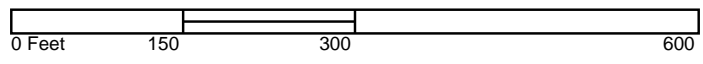
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Certification # FF6A-4619-8630

Site Name:
Address:
City, ST, ZIP:
Client: Partner Engineering and Science, Inc.
EDR Inquiry: 5312825.3
Order Date: 05/29/2018
Certification #
Copyright 1980



Volume 2, Sheet 122
Volume 2, Sheet 132
Volume 2, Sheet 131
Volume 2, Sheet 121



Key: Subject Property

Residential Duplex

2422 5th Street
Berkeley, CA 94710

Inquiry Number: 5312825.5

May 29, 2018

The EDR-City Directory Abstract

TABLE OF CONTENTS

SECTION

Executive Summary

Findings

City Directory Images

Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Abstract is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Abstract includes a search and abstract of available city directory data. For each address, the directory lists the name of the corresponding occupant at five year intervals.

Business directories including city, cross reference and telephone directories were reviewed, if available, at approximately five year intervals for the years spanning 1920 through 2014. This report compiles information gathered in this review by geocoding the latitude and longitude of properties identified and gathering information about properties within 660 feet of the target property.

A summary of the information obtained is provided in the text of this report.

RECORD SOURCES

EDR's Digital Archive combines historical directory listings from sources such as Cole Information and Dun & Bradstreet. These standard sources of property information complement and enhance each other to provide a more comprehensive report.

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Data by



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RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. An "X" indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
2014	EDR Digital Archive	-	X	X	-
2010	EDR Digital Archive	-	X	X	-
2006	Haines Company, Inc.	X	X	X	-
2002	R. L. Polk & Co.	-	-	-	-
2000	Pacific Bell	X	X	X	-
1996	PACIFIC BELL DIRECTORY	X	X	X	-
1993	Pacific Bell	-	-	-	-
1992	PACIFIC BELL DIRECTORY	X	X	X	-
1991	PACIFIC BELL WHITE PAGES	-	X	X	-
1986	PACIFIC BELL WHITE PAGES	-	X	X	-
1984	Pacific Bell	-	-	-	-
1982	Pacific Telephone	-	-	-	-

EXECUTIVE SUMMARY

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
1980	Pacific Telephone	-	X	X	-
1979	Pacific Telephone	-	-	-	-
1976	R. L. Polk & Co.	-	-	-	-
1975	Pacific Telephone	X	X	X	-
1973	Pacific Telephone	-	-	-	-
1970	Pacific Telephone Directory	X	X	X	-
1967	R. L. Polk Co.	-	-	-	-
1965	Pacific Telephone	-	-	-	-
1962	Pacific Telephone	X	X	X	-
1960	Pacific Telephone	-	-	-	-
1959	R. L. Polk & Co.	-	-	-	-
1956	Pacific Telephone	-	-	-	-
1955	The Pacific Telephone & Telegraph Co.	X	X	X	-
1954	R. L. Polk & Co. of California	-	-	-	-
1951	R. L. Polk & Co.	-	-	-	-
1950	The Pacific Telephone & Telegraph Co.	X	X	X	-
1946	R. L. Polk & Co.	-	-	-	-
1945	The Pacific Telephone & Telegraph Co.	X	X	X	-
1943	R. L. Polk & Co.	-	X	X	-
1940	R. L. Polk & Co.	-	-	-	-
1938	Pacific Telephone	X	X	X	-
1933	R. L. Polk & Co.	X	X	X	-
1932	R. L. Polk & Co. of California	-	-	-	-
1928	R.L. Polk and Co of California	X	X	X	-
1926	R. L. Polk & Co.	-	-	-	-
1925	R. L. Polk & Co. of California	-	X	X	-
1920	R. L. Polk & Co. of California	-	X	X	-

EXECUTIVE SUMMARY

SELECTED ADDRESSES

The following addresses were selected by the client, for EDR to research. An "X" indicates where information was identified.

<u>Address</u>	<u>Type</u>	<u>Findings</u>
2418 5th Street	Client Entered	X
2420 5th Street	Client Entered	
2424 5th Street	Client Entered	
2426 5th Street	Client Entered	X
2428 5th Street	Client Entered	
2430 5th Street	Client Entered	X
2421 5th Street	Client Entered	X
2423 5th Street	Client Entered	
2425 5th Street	Client Entered	X
2427 5th Street	Client Entered	
2429 5th Street	Client Entered	
2431 5th Street	Client Entered	X
2421 4th Street	Client Entered	X
2423 4th Street	Client Entered	X
2425 4th Street	Client Entered	X

FINDINGS

TARGET PROPERTY INFORMATION

ADDRESS

2422 5th Street
Berkeley, CA 94710

FINDINGS DETAIL

Target Property research detail.

5TH

2422 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	GRAY ELIZABETH I	The Pacific Telephone & Telegraph Co.

5TH ST

2422 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	HARRIS Bryan	Haines Company, Inc.
2000	B ALLWAYS MOVING & STORAGE	Pacific Bell
1996	B ALL WAYS MOVING & STORAGE	PACIFIC BELL DIRECTORY
1992	B ALL-WAYS MOVING & STORAGE	PACIFIC BELL DIRECTORY
1975	LOGAN LENORA	Pacific Telephone
1970	LOGAN LENORA BERKELEY	Pacific Telephone Directory
1962	Logan Lenora	Pacific Telephone
1955	LOGAN LENORA BERKELEY	The Pacific Telephone & Telegraph Co.
1945	ALFONSO DOMINGO R BERKELEY	The Pacific Telephone & Telegraph Co.
1938	ALFONSO DOMINGO R	Pacific Telephone
1933	ALFONSO DOMINGUEZ (LOUISE) LAB H BERKELEY	R. L. Polk & Co.
1928	Alfonso Domingo Louisa janitor H	R.L. Polk and Co of California

FINDINGS

ADJOINING PROPERTY DETAIL

The following Adjoining Property addresses were researched for this report. Detailed findings are provided for each address.

4 GROVE

2338 4 GROVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	PIPER WM R R	The Pacific Telephone & Telegraph Co.

4TH

2331 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	EUROPEAN AUTO WERKS	PACIFIC BELL WHITE PAGES

2332 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	ANDROS ANALYZERS INC	PACIFIC BELL WHITE PAGES

2336 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	HOCKER WAITER W R BERKELEY AS HBERRY 3	The Pacific Telephone & Telegraph Co.

2405 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	NEFF VERN	PACIFIC BELL WHITE PAGES
1950	HUIRWICH R CO ALUMN FOIL	The Pacific Telephone & Telegraph Co.

2407 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	WESTERN FOIL CONVERTERS INC	The Pacific Telephone & Telegraph Co.

2413 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	ANKORITE CO THE	The Pacific Telephone & Telegraph Co.

2417 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	BERKELEY PIPELINE	PACIFIC BELL WHITE PAGES

FINDINGS

2420 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	UNI WEST	PACIFIC BELL WHITE PAGES

2421 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	JORGENSEN S R	The Pacific Telephone & Telegraph Co.

2423 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	LOUIE F S & CO	PACIFIC BELL WHITE PAGES
1950	LOUIE F S & CO	The Pacific Telephone & Telegraph Co.

2424 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	PACIFIC COAST CHEMICALS CO	PACIFIC BELL WHITE PAGES

2435 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	GARCIA HENRY R	The Pacific Telephone & Telegraph Co.

2437 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	PUNTES JOSE R	The Pacific Telephone & Telegraph Co.

2438 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	WAREHOUSE SALES	PACIFIC BELL WHITE PAGES

2455 4TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	GEORGE ASSOCIATES	PACIFIC BELL WHITE PAGES

4TH ST

2325 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	COMPANY	Haines Company, Inc.
	SPRING WIND HERB	Haines Company, Inc.
2000	6 SPRING WIND HERB COMPANY	Pacific Bell
1996	6 SPRING WIND HERB COMPANY	PACIFIC BELL DIRECTORY
1992	3 OLSEN DONALD E & ASSOCIATES	PACIFIC BELL DIRECTORY

FINDINGS

2326 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1925	WRIGHT CURTIS JR SPRING BED CO	R. L. Polk & Co. of California
	PAC SPRING CO	R. L. Polk & Co. of California
1920	PAC SPRING BED CO	R. L. Polk & Co. of California
	WRIGHT CURTIS JR SPRING BED CO	R. L. Polk & Co. of California

2328 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	CALIFORNIA PRUNE & APRICOT GROWERS ASSN PACKING PLANT NO 18 BERKELEY	R. L. Polk & Co.

2329 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	AEROSOL DYNAMICS INC	Pacific Bell
1996	AEROSOL DYNAMICS INC	PACIFIC BELL DIRECTORY
1992	AEROSOL DYNAMICS INC	PACIFIC BELL DIRECTORY
	TRAVEL PRESS INTERNATIONAL	PACIFIC BELL DIRECTORY
	CALIFORNIA INTNATL ADVENTURES OVERSEAS INC	PACIFIC BELL DIRECTORY
1991	California Intnati Adventures Overseas Inc	PACIFIC BELL WHITE PAGES
	California Janitorial Exchange	PACIFIC BELL WHITE PAGES

2331 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	S F COTTONWEAR	Haines Company, Inc.
2000	A S F COTTONWEAR	Pacific Bell
1996	C PENNY BLACK	PACIFIC BELL DIRECTORY
	A PACIFICOTTON	PACIFIC BELL DIRECTORY
1943	HERRON Alf G Alta shipydwkr r	R. L. Polk & Co.
	DEAN Hugh D Violet E h	R. L. Polk & Co.
1933	HANSEN HENRY (MARTHA) H BERKELEY	R. L. Polk & Co.
	HANSEN HENRY JR LAB R BERKELEY	R. L. Polk & Co.

2332 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	ANDROS INC	Pacific Bell
1996	ANDROS INC	PACIFIC BELL DIRECTORY
1992	ANDROS INC	PACIFIC BELL DIRECTORY
1975	ANDROS INC	Pacific Telephone

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1970	BERKELEY SCIENTIFIC LABORATORIES BERKELEY	Pacific Telephone Directory
1962	HEXCEL PRODUCTS INC	Pacific Telephone
1945	CALIF PRUNE & APRICOT GROWERS ASSN DRIED FRUITS BERKELEY	The Pacific Telephone & Telegraph Co.
1943	California Prune & Apricot Growers Assn	R. L. Polk & Co.
1938	CALIF PRUNE & APRICOT GROWERS ASSN DRIED FRUITS	Pacific Telephone

2334 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1943	Hopper Leonard O Daisy lab h Hopper Gene E r	R. L. Polk & Co. R. L. Polk & Co.
1933	FINGER PATK H BERKELEY FINGER JAS BOXMKR R BERKELEY	R. L. Polk & Co. R. L. Polk & Co.

2336 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1945	BROWNLEE J A R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Brownlee Jesse Veronica h Schaefer Geo P Celia r Brownlee Mary P sten E C Wenger r	R. L. Polk & Co. R. L. Polk & Co. R. L. Polk & Co.
1938	SCHAEFER G P R BROWNLEE J A R	Pacific Telephone Pacific Telephone
1933	BROWNLEE JESS A (VERONICA) FORMN SPCO H BERKELEY	R. L. Polk & Co.
1928	way Jesse formn SPCo R	R.L. Polk and Co of California

2345 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1970	SCOTT R W & CO MFG BERKELEY	Pacific Telephone Directory
1962	SCOTT R W & CO mfg	Pacific Telephone
1955	SCOTT R W & ASSOCIATES BERKELEY	The Pacific Telephone & Telegraph Co.

2370 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	JETCO MOTORS	Pacific Bell
1996	JETCO MOTORS	PACIFIC BELL DIRECTORY
1992	ARMS	PACIFIC BELL DIRECTORY

FINDINGS

4th St

2390 4th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	FOURTH & CLAY	EDR Digital Archive
	VIK DSTRBTORS LLC RET SNCKSHOP	EDR Digital Archive
	EARTHMINE INC	EDR Digital Archive
	FOURTH & CLAY	EDR Digital Archive
	VIK DSTRBTORS LLC RET SNCKSHOP	EDR Digital Archive
	EARTHMINE INC	EDR Digital Archive
2010	VIK DSTRBTORS LLC RET SNCKSHOP	EDR Digital Archive
	FOURTH & CLAY	EDR Digital Archive
	FOURTH & CLAY	EDR Digital Archive
	VIK DSTRBTORS LLC RET SNCKSHOP	EDR Digital Archive

4TH ST

2390 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	SWEETPOTATOES	Haines Company, Inc.
2000	SWEET POTATOES INC	Pacific Bell
1996	CARY CHILDREN S CLOTHES INC	PACIFIC BELL DIRECTORY
	CARY CHILDREN S CLOTHES OUTLET STORE	PACIFIC BELL DIRECTORY
	AD MOO	PACIFIC BELL DIRECTORY
1992	CARY CHILDREN S CLOTHES INC	PACIFIC BELL DIRECTORY
	CARY CHILDREN S CLOTHES OUTLET STORE	PACIFIC BELL DIRECTORY
1975	DEPENDABLE TRUCK LINES	Pacific Telephone
1970	DEPENDABLE TRUCK LINES BERKELEY	Pacific Telephone Directory
	BRACE ROUSE CO BERKELEY	Pacific Telephone Directory

4th St

2398 4th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	FLIPTOMANIA INC	EDR Digital Archive
	FLIPTOMANIA INC	EDR Digital Archive
2010	FLIPTOMANIA INC	EDR Digital Archive
	FLIPTOMANIA INC	EDR Digital Archive

FINDINGS

4TH ST

2398 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1991	Image Jewelry	PACIFIC BELL WHITE PAGES
1970	BERKELEY COMPUTER CORPORATION BERKELEY	Pacific Telephone Directory

4th St

2405 4th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	EDDIE NEFFS SVC GAR BRAKE SHO	EDR Digital Archive
	EDDIE NEFFS SVC GAR BRAKE SHO	EDR Digital Archive
2010	EDDIE NEFFS SVC GAR BRAKE SHO	EDR Digital Archive
	EDDIE NEFFS SVC GAR BRAKE SHO	EDR Digital Archive

4TH ST

2405 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	NEFFVERN	Haines Company, Inc.
2000	NEFF VERN	Pacific Bell
1996	NEFF VERN	PACIFIC BELL DIRECTORY
1992	NEFF VERN	PACIFIC BELL DIRECTORY
1975	BURNETTE ROBT W	Pacific Telephone
1970	YOSEMITE LABORATORY BERKELEY	Pacific Telephone Directory
	BURNETTE ROBT W BERKELEY	Pacific Telephone Directory

2407 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1970	TRAILWISE BERKELEY	Pacific Telephone Directory
	DONNER MOUNTAIN CORP BERKELEY	Pacific Telephone Directory
1962	Wrap In Wax see Rap In Wax	Pacific Telephone
	Western Foil Converters Inc	Pacific Telephone
	Rap In Wax	Pacific Telephone
	National Packaging Corp	Pacific Telephone
1955	WESTERN FOIL CONVERTERS BERKELEY	The Pacific Telephone & Telegraph Co.

FINDINGS

2411 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	LOPEZ ERNEST LAB R BERKELEY	R. L. Polk & Co.
	LOPEZ MARY MRS H BERKELEY	R. L. Polk & Co.

4th St

2413 4th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	RUBISSOW SARGENT WINE CO	EDR Digital Archive
	RUBISSOW SARGENT WINE CO	EDR Digital Archive
2010	RUBISSOW SARGENT WINE CO	EDR Digital Archive
	RUBISSOW SARGENT WINE CO	EDR Digital Archive

4TH ST

2413 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	SARGENT WINE CO	Haines Company, Inc.
	RUBISSOW	Haines Company, Inc.
2000	RUBISSOW SARGENT WINE CO	Pacific Bell
1996	RUBISSOW SARGENT WINE COMPANY	PACIFIC BELL DIRECTORY
1992	RUBISSOW SARGENT WINE COMPANY	PACIFIC BELL DIRECTORY
1945	SHAW JIM B R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Jorgensen Wm W Kath h	R. L. Polk & Co.
1933	GONZALEZ CANDALERIO (MARGT) LAB H BERKELEY	R. L. Polk & Co.
	PEREZ JOHN R BERKELEY	R. L. Polk & Co.

4th St

2417 4th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	THUNDERWARE INC	EDR Digital Archive
	NORCAL WALNUT	EDR Digital Archive
	THUNDERWARE INC	EDR Digital Archive
	NORCAL WALNUT	EDR Digital Archive
2010	NORCAL WALNUT	EDR Digital Archive
	THUNDERWARE INC	EDR Digital Archive
	NORCAL WALNUT	EDR Digital Archive
	THUNDERWARE INC	EDR Digital Archive

FINDINGS

4TH ST

2418 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1928	av Jas H	R.L. Polk and Co of California

4th St

2421 4th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	BULLARD MICHELLE MS LAC	EDR Digital Archive
	WISE SUE ELLEN MFCC	EDR Digital Archive
	BOURQUE GAIL	EDR Digital Archive
	TRACHTENBERG ARCHITECT	EDR Digital Archive
	STOKKE DAVID LAC	EDR Digital Archive
	STIEFVATER VICTORIA MFT	EDR Digital Archive
	BULLARD MICHELLE MS LAC	EDR Digital Archive
	WISE SUE ELLEN MFCC	EDR Digital Archive
	BOURQUE GAIL	EDR Digital Archive
	STOKKE DAVID LAC	EDR Digital Archive
2010	STIEFVATER VICTORIA MFT	EDR Digital Archive
	TRACHTENBERG ARCHITECT	EDR Digital Archive
	MONTGOMERY DENISE HALL ARCHT	EDR Digital Archive
	TRACHTENBERG ARCHITECT	EDR Digital Archive
	STOKKE DAVID LAC	EDR Digital Archive
	BOURQUE GAIL	EDR Digital Archive
	WISE SUE ELLEN MFCC	EDR Digital Archive
	DIANE HORNER DESIGN	EDR Digital Archive
	BULLARD MICHELLE MS LAC	EDR Digital Archive
	MONTGOMERY DENISE HALL ARCHT	EDR Digital Archive
	TRACHTENBERG ARCHITECT	EDR Digital Archive
	DIANE HORNER DESIGN	EDR Digital Archive
	STOKKE DAVID LAC	EDR Digital Archive
	BOURQUE GAIL	EDR Digital Archive
WISE SUE ELLEN MFCC	EDR Digital Archive	
BULLARD MICHELLE MS LAC	EDR Digital Archive	

FINDINGS

4TH ST

2421 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	TENNIS KINNEY	Haines Company, Inc.
	ARCH SUSTNBLTY	Haines Company, Inc.
	TRABER ANDREA	Haines Company, Inc.
	BULLARD MICHELLE	Haines Company, Inc.
	TRACHTENBERG	Haines Company, Inc.
	ARCHITECTS	Haines Company, Inc.
	WESTSIDE	Haines Company, Inc.
	THERAPY&	Haines Company, Inc.
	BODYWORK GRP	Haines Company, Inc.
	WISE SUE ELLEN	Haines Company, Inc.
2000	GERMAIN CELINE	Pacific Bell
	BOURQUE GAIL	Pacific Bell
	B ANDERSON KAREN	Pacific Bell
	B WESTSIDE THERAPY AND BODYWORK GROUP	Pacific Bell
	TENNIS KINNEY	Pacific Bell
	TRACHTENBERG ARCHITECTS	Pacific Bell
	WISE SUE ELLEN MFT	Pacific Bell
1996	BOURQUE GAIL	PACIFIC BELL DIRECTORY
	FLOYD DESIGN ASSOCIATES	PACIFIC BELL DIRECTORY
	B WESTSIDE THERAPY AND BODYWORK GROUP	PACIFIC BELL DIRECTORY
	B ANDERSON KAREN	PACIFIC BELL DIRECTORY
1992	ADAMS & ASSOCIATES	PACIFIC BELL DIRECTORY
	FLOYD DESIGN ASSOCIATES	PACIFIC BELL DIRECTORY
	STOKES RUSSELL HAYDEN	PACIFIC BELL DIRECTORY
1991	Stokes Russell Hayden genrl contr	PACIFIC BELL WHITE PAGES
1955	FORD VELMA BERKELEY	The Pacific Telephone & Telegraph Co.
1945	JORGENSEN S R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Jorgensen Saml Alice h	R. L. Polk & Co.
	Merkt Alton R asmlbr Bkly Pump Corp r	R. L. Polk & Co.
1938	JORGENSEN S R	Pacific Telephone
1933	JORGENSEN GEO PLMBR R BERKELEY	R. L. Polk & Co.
	JORGENSEN IRENE CLK R BERKELEY	R. L. Polk & Co.
	JORGENSEN SAML (ALICE) SEWER CONTR BERKELEY	R. L. Polk & Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	MURRAY GUDRUN MRS R BERKELEY	R. L. Polk & Co.
1928	Roy Alice H	R.L. Polk and Co of California
1925	JORGENSEN S R	R. L. Polk & Co. of California

4th St

2423 4th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	GIOCOMO	EDR Digital Archive
	GIOCOMO	EDR Digital Archive
2010	GIOCOMO	EDR Digital Archive
	GIOCOMO	EDR Digital Archive

4TH ST

2423 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	GIOCOMO	Haines Company, Inc.
	FURNITURE	Haines Company, Inc.
2000	LOUIE F S & CO	Pacific Bell
1996	LOUIE F S & CO	PACIFIC BELL DIRECTORY
1992	LOUIE F S & CO	PACIFIC BELL DIRECTORY
1975	LOUIE F S & CO	Pacific Telephone
1970	LOUIE F S & CO BERKELEY	Pacific Telephone Directory
1962	Louie F S & Co	Pacific Telephone
1955	FOURNIER LEO BERKELEY	The Pacific Telephone & Telegraph Co.
	LOUIE F S & CO BERKELEY	The Pacific Telephone & Telegraph Co.
1933	TWERTER THEO (ANNA) LAB H BERKELEY	R. L. Polk & Co.
1928	George Albt shtmtlwkr R	R.L. Polk and Co of California
	Gwerder Theo Anna mach H	R.L. Polk and Co of California

4th St

2424 4th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	HART CHEMICALS INC	EDR Digital Archive
	HART CHEMICALS INC	EDR Digital Archive
2010	HART CHEMICALS INC	EDR Digital Archive
	WEST CO-PACIFIC	EDR Digital Archive

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	FACCHINI PRIMO E CONSULTANTS	EDR Digital Archive
	HART CHEMICALS INC	EDR Digital Archive
	WEST CO-PACIFIC	EDR Digital Archive
	FACCHINI PRIMO E CONSULTANTS	EDR Digital Archive

4TH ST

2424 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	WEST CO PACIFIC	Haines Company, Inc.
	CHEMICALS CO	Haines Company, Inc.
	PAC COAST	Haines Company, Inc.
2000	WEST CO PACIFIC	Pacific Bell
	PACIFIC COAST CHEMICALS CO	Pacific Bell
1996	WEST CO PACIFIC	PACIFIC BELL DIRECTORY
	PACIFIC COAST CHEMICALS CO	PACIFIC BELL DIRECTORY
1992	PACIFIC COAST CHEMICALS CO	PACIFIC BELL DIRECTORY
	WEST CO-PACIFIC	PACIFIC BELL DIRECTORY
	CARBOLINE CO	PACIFIC BELL DIRECTORY
	CARBOLINE CO	PACIFIC BELL DIRECTORY
	SPECIALTY MATERIALS	PACIFIC BELL DIRECTORY
1991	Pacific Coast Chemicals Co	PACIFIC BELL WHITE PAGES
1975	PACIFIC COAST CHEMICALS CO	Pacific Telephone
1938	CALIF PACKING CORP	Pacific Telephone
1933	CALIFORNIA PACKING CORPORATION	R. L. Polk & Co.
1925	CALIF PACKING CORP	R. L. Polk & Co. of California
1920	SUNLIT FRUIT CO	R. L. Polk & Co. of California

2425 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1945	SOWELL R E R BERKELEY	The Pacific Telephone & Telegraph Co.
1933	ZULAICA ALBERTO (DELFINA) LAB H BERKELEY	R. L. Polk & Co.
1928	Bronner Jos W Kath cond H	R.L. Polk and Co of California
	A Emma bkpr R	R.L. Polk and Co of California
	& Florence nurse R	R.L. Polk and Co of California
	Fruitvale John N slsmn R	R.L. Polk and Co of California
1925	SMITH KATHERINE R	R. L. Polk & Co. of California
1920	SMITH KATHERINE R	R. L. Polk & Co. of California

FINDINGS

4th St

2427 4th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	GRAYSIX COMPANY	EDR Digital Archive
	GRAYSIX COMPANY	EDR Digital Archive
2010	GRAYSIX COMPANY	EDR Digital Archive
	GRAYSIX COMPANY	EDR Digital Archive

4TH ST

2427 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	GRAYSIX CO	Haines Company, Inc.
2000	GRAYSIX CO	Pacific Bell
1996	GRAYSIX CO	PACIFIC BELL DIRECTORY
1992	GRAYSIX CO	PACIFIC BELL DIRECTORY
1975	GRAYSIX CO	Pacific Telephone
1970	GRAYSIX CO BERKELEY	Pacific Telephone Directory
1962	Graysix Co	Pacific Telephone
1955	GRAYSIX CO BERKELEY	The Pacific Telephone & Telegraph Co.

2433 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1943	Tafoya Cecil Inez C shipydwkr h	R. L. Polk & Co.
1933	HILL FRANK H BERKELEY	R. L. Polk & Co.
1928	Portuguesa Manuel P Anna lab H n Anna fcty wkr R	R.L. Polk and Co of California R.L. Polk and Co of California

2435 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1955	GARCIA HENRY BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Garcia Henry Edvidugen shipydwkr h	R. L. Polk & Co.
	Jackson Jess J Kathryn mach Bkly Pump Corp r	R. L. Polk & Co.
	Jackson Robt A inspr Grove Regulator Co r	R. L. Polk & Co.
1938	SEARS JOHN C R	Pacific Telephone
1933	MARSHALL ALBT R BERKELEY	R. L. Polk & Co.
	SEARS JOHN C (JOSEPHINE) SHTMTLWKR H BERKELEY	R. L. Polk & Co.
1928	SEARS John Josephine shtmtlwkr H	R.L. Polk and Co of California

FINDINGS

2437 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1945	DENNIS RALPH R R BERKELEY	The Pacific Telephone & Telegraph Co.
1933	JOHNSON LESLIE H BERKELEY	R. L. Polk & Co.
1928	Zulaico Albt Delfino lab H	R.L. Polk and Co of California
1920	BAPTISTA MRS J R	R. L. Polk & Co. of California

4th St

2455 4th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	KORY DEVIN WORLEY	EDR Digital Archive
	KORY DEVIN WORLEY	EDR Digital Archive

4TH ST

2455 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	0 BEAR PRINTS	Haines Company, Inc.
2000	TRIBOMETRICS	Pacific Bell
	CAD PRINTED CIRCUIT BOARD DESIGN	Pacific Bell
	GEORGE ASSOCIATES	Pacific Bell
1996	CAD PRINTED CIRCUIT BOARD DESIGN	PACIFIC BELL DIRECTORY
	GEORGE ASSOCIATES	PACIFIC BELL DIRECTORY
	TRIBOMETRICS	PACIFIC BELL DIRECTORY
1992	TRIBOMETRICS	PACIFIC BELL DIRECTORY
	CAD PRINTED CIRCUIT BOARD DESIGN	PACIFIC BELL DIRECTORY
	GEORGE ASSOCIATES	PACIFIC BELL DIRECTORY
1975	LEKTRA LIGHTING INC	Pacific Telephone

2465 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	BIOFUEL OASIS	Haines Company, Inc.

4th St

2475 4th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	GEORGE ASSOCIATES	EDR Digital Archive

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	GEORGE ASSOCIATES	EDR Digital Archive

4TH ST

2475 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	GEORGE	Haines Company, Inc.
	ASSOCIATES	Haines Company, Inc.
	STERN Gabel D	Haines Company, Inc.
	Rest AURANT	Haines Company, Inc.
	NO BRENNANS	Haines Company, Inc.
2000	STERN GABRIEL	Pacific Bell
1996	STERN GABRIEL D	PACIFIC BELL DIRECTORY

2336 1/2 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	SCHAEFER GEO (CELIA) H BERKELEY	R. L. Polk & Co.

4th Street

2421 4th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	TENNIS KINNEY	Haines Company, Inc.
	BULLARD MICHELLE	Haines Company, Inc.
	ARCH SUSTNBLTY	Haines Company, Inc.
	TRACHTENBERG	Haines Company, Inc.
	ARCHITECTS	Haines Company, Inc.
	WESTSIDE	Haines Company, Inc.
	THERAPY&	Haines Company, Inc.
	BODYWORK GRP	Haines Company, Inc.
	WISE SUE ELLEN	Haines Company, Inc.
	TRABER ANDREA	Haines Company, Inc.
2000	GERMAIN CELINE	Pacific Bell
	BOURQUE GAIL	Pacific Bell
	WISE SUE ELLEN MFT	Pacific Bell
	TRACHTENBERG ARCHITECTS	Pacific Bell
	TENNIS KINNEY	Pacific Bell
		Pacific Bell
	B WESTSIDE THERAPY AND BODYWORK GROUP	Pacific Bell

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	B ANDERSON KAREN	Pacific Bell
1996	BOURQUE GAIL	PACIFIC BELL DIRECTORY
	FLOYD DESIGN ASSOCIATES	PACIFIC BELL DIRECTORY
		PACIFIC BELL DIRECTORY
	B WESTSIDE THERAPY AND BODYWORK GROUP	PACIFIC BELL DIRECTORY
	B ANDERSON KAREN	PACIFIC BELL DIRECTORY
1992	ADAMS & ASSOCIATES	PACIFIC BELL DIRECTORY
	FLOYD DESIGN ASSOCIATES	PACIFIC BELL DIRECTORY
	STOKES RUSSELL HAYDEN	PACIFIC BELL DIRECTORY
1991	Stokes Russell Hayden genrl contr	PACIFIC BELL WHITE PAGES
1955	FORD VELMA BERKELEY	The Pacific Telephone & Telegraph Co.
1950	JORGENSEN S R	The Pacific Telephone & Telegraph Co.
1945	JORGENSEN S R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Merkt Alton R asmlr Bkly Pump Corp r	R. L. Polk & Co.
	Jorgensen Saml Alice h	R. L. Polk & Co.
1938	JORGENSEN S R	Pacific Telephone
1933	JORGENSEN GEO PLMBR R BERKELEY	R. L. Polk & Co.
	JORGENSEN IRENE CLK R BERKELEY	R. L. Polk & Co.
	JORGENSEN SAML (ALICE) SEWER CONTR BERKELEY	R. L. Polk & Co.
	MURRAY GUDRUN MRS R BERKELEY	R. L. Polk & Co.
1928	Roy Alice H	R.L. Polk and Co of California
1925	JORGENSEN S R	R. L. Polk & Co. of California

2423 4th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	GIOCOMO	Haines Company, Inc.
	FURNITURE	Haines Company, Inc.
2000	LOUIE F S & CO	Pacific Bell
1996	LOUIE F S & CO	PACIFIC BELL DIRECTORY
1992	LOUIE F S & CO	PACIFIC BELL DIRECTORY
1986	LOUIE F S & CO	PACIFIC BELL WHITE PAGES
1975	LOUIE F S & CO	Pacific Telephone
1970	LOUIE F S & CO BERKELEY	Pacific Telephone Directory
1962	Louie F S & Co	Pacific Telephone
1955	FOURNIER LEO BERKELEY	The Pacific Telephone & Telegraph Co.
	LOUIE F S & CO BERKELEY	The Pacific Telephone & Telegraph Co.
1950	LOUIE F S & CO	The Pacific Telephone & Telegraph Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	TWERTER THEO (ANNA) LAB H BERKELEY	R. L. Polk & Co.
1928	George Albt shtmtlwkr R Gwerder Theo Anna mach H	R.L. Polk and Co of California R.L. Polk and Co of California

2425 4th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1945	SOWELL R E R BERKELEY	The Pacific Telephone & Telegraph Co.
1933	ZULAICA ALBERTO (DELFINA) LAB H BERKELEY	R. L. Polk & Co.
1928	Bronner Jos W Kath cond H & Florence nurse R Fruitvale John N slsmn R A Emma bkpr R	R.L. Polk and Co of California R.L. Polk and Co of California R.L. Polk and Co of California R.L. Polk and Co of California
1925	SMITH KATHERINE R	R. L. Polk & Co. of California
1920	SMITH KATHERINE R	R. L. Polk & Co. of California

5TH

2326 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	ABOUT PAPER INC	PACIFIC BELL WHITE PAGES

2327 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	TSUKAMOTO FRANK R	The Pacific Telephone & Telegraph Co.

2331 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	GENERAL PRINTING	PACIFIC BELL WHITE PAGES
1950	AKAGI TAKEO R	The Pacific Telephone & Telegraph Co.

2332 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	MODEL AIRPLANE MOTORS CO	PACIFIC BELL WHITE PAGES
1950	MODEL AIRPLANE MOTORS CO	The Pacific Telephone & Telegraph Co.

2335 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Jaszczyk Jo	PACIFIC BELL WHITE PAGES

FINDINGS

2336 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	LAPHAM BEN C R	The Pacific Telephone & Telegraph Co.

2337 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Sypert Sam J	PACIFIC BELL WHITE PAGES
1950	VALENTINO JOHN R	The Pacific Telephone & Telegraph Co.

2341 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	ALVAREZ HOPE R	The Pacific Telephone & Telegraph Co.

2410 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Kennedy Abe	PACIFIC BELL WHITE PAGES
1950	LINHARES MARY R	The Pacific Telephone & Telegraph Co.
	WALKER WM H R	The Pacific Telephone & Telegraph Co.
	BAKER LEE R	The Pacific Telephone & Telegraph Co.

2411 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	A Lewis Bessie	PACIFIC BELL WHITE PAGES
	Lewis Wayland	PACIFIC BELL WHITE PAGES
1962	Hurks J H	Pacific Telephone
1950	MONTGOMERY LOU IDA R	The Pacific Telephone & Telegraph Co.
	BERK J H R	The Pacific Telephone & Telegraph Co.

2412 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Mc Daniel Jack	PACIFIC BELL WHITE PAGES
	Crowder Maxine	PACIFIC BELL WHITE PAGES
1950	VAN DUREN F R	The Pacific Telephone & Telegraph Co.
	CROWDER RAYFIELD R	The Pacific Telephone & Telegraph Co.
	POPE NEMIH R	The Pacific Telephone & Telegraph Co.

2416 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	EVANS PEROLA R	The Pacific Telephone & Telegraph Co.

FINDINGS

2417 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Johansen Alma	PACIFIC BELL WHITE PAGES
1950	HANSEIN MAY MISS R	The Pacific Telephone & Telegraph Co.

2421 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	MARTINEZ PAUL R	The Pacific Telephone & Telegraph Co.

2426 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Simmons Julia	PACIFIC BELL WHITE PAGES
1950	COLEMTAN EARL W R	The Pacific Telephone & Telegraph Co.

2430 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	PATTERSON ETTA R	The Pacific Telephone & Telegraph Co.

2431 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	CHURCH AGNES T R	The Pacific Telephone & Telegraph Co.

2436 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	MAYERS THELMA R	The Pacific Telephone & Telegraph Co.

2437 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	WOLFE RENDIE V R	The Pacific Telephone & Telegraph Co.
	MOORE MATTYE L R	The Pacific Telephone & Telegraph Co.

2438 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	SCHILLIVGER CLAIRE MRS R	The Pacific Telephone & Telegraph Co.

2480 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	CULLEN MARITIME SERVICES INC	PACIFIC BELL WHITE PAGES

2490 5TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	DE ANZA INSTRUMENTS	PACIFIC BELL WHITE PAGES

FINDINGS

5TH ST

2322 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	HERBS	Haines Company, Inc.
	DR SHENS CHINESE	Haines Company, Inc.
1996	IDEAS 4 COTTON	PACIFIC BELL DIRECTORY

5th St

2323 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	CURTIS & TOMPKINS LTD	EDR Digital Archive
	CURTIS & TOMPKINS LTD	EDR Digital Archive
2010	CURTIS & TOMPKINS LTD	EDR Digital Archive
	SAMCO DEVELOPMENT LLC	EDR Digital Archive
	CURTIS & TOMPKINS LTD	EDR Digital Archive
	SAMCO DEVELOPMENT LLC	EDR Digital Archive

5TH ST

2323 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	CURTIS	Haines Company, Inc.
	TOMPKINS LT	Haines Company, Inc.
2000	CURTIS & TOMPKINS LTD	Pacific Bell
1996	CURTIS & TOMPKINS LTD	PACIFIC BELL DIRECTORY
1992	CURTIS & TOMPKINS LTD	PACIFIC BELL DIRECTORY
1991	Curtis t Tompkins Ltd	PACIFIC BELL WHITE PAGES
	S Curtls V	PACIFIC BELL WHITE PAGES
	L Curtis Valerie	PACIFIC BELL WHITE PAGES

5th St

2326 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	PASSIONE PIZZA	EDR Digital Archive
	MOTIVE HOLDINGS LLC	EDR Digital Archive
	MOTIVE HOLDINGS LLC	EDR Digital Archive
	PASSIONE PIZZA	EDR Digital Archive

FINDINGS

5TH ST

2326 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	TRADERS	Haines Company, Inc.
	ROCKY MOUNTAIN	Haines Company, Inc.
	MOTIVE PRDDUCTS	Haines Company, Inc.
2000	TAL PAPERS & FILMS	Pacific Bell
1996	ABOUT PAPER PLUS	PACIFIC BELL DIRECTORY
1992	ABOUT PAPER PLUS	PACIFIC BELL DIRECTORY
1933	MCREYNOLDS ORVILLE TRUCKING CONTR BERKELEY	R. L. Polk & Co.
1928	n Watterson Co H D Puller S E Watterson Jas De Perhach paint mfrs	R.L. Polk and Co of California

2327 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1970	JOJI YOKOI DESIGNS BERKELEY	Pacific Telephone Directory
1962	Tsukamoto T	Pacific Telephone
1955	TSUKAMOTO FRANK BERKELEY	The Pacific Telephone & Telegraph Co.
1945	VALENTINI J R BERKELEY	The Pacific Telephone & Telegraph Co.
1938	TSUKAMOTO J T R	Pacific Telephone

5th St

2328 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	CALTRA INC	EDR Digital Archive
	CALTRA INC	EDR Digital Archive

5TH ST

2328 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	CALTRA INC	Pacific Bell

5th St

2331 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	MOBILE WORKSHOP	EDR Digital Archive
	KIRSCHNER DESIGN INC	EDR Digital Archive

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	KIRSCHNER DESIGN INC	EDR Digital Archive
	MOBILE WORKSHOP	EDR Digital Archive
2010	KIRSCHNER DESIGN INC	EDR Digital Archive
	KIRSCHNER DESIGN INC	EDR Digital Archive

5TH ST

2331 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	KIRSCHNER SUSAN	Haines Company, Inc.
	Kt RSCHNER DESIGN	Haines Company, Inc.
1996	SYNTHESIS GROUP INC	PACIFIC BELL DIRECTORY
	GENERAL PRINTING	PACIFIC BELL DIRECTORY
1992	LEETE COMMUNICATIONS	PACIFIC BELL DIRECTORY
	GENERAL PRINTING	PACIFIC BELL DIRECTORY
1991	Leete Communications	PACIFIC BELL WHITE PAGES
1970	DUHIG AND CO INC BERKELEY	Pacific Telephone Directory
1962	Tranter Mfg Inc Representative	Pacific Telephone
	DUHIG AND CO INC	Pacific Telephone
1955	AKAGI MARY MRS BERKELEY	The Pacific Telephone & Telegraph Co.
1945	CHAVES JOHN R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Petrola Dorothy fcty wkr r	R. L. Polk & Co.
1938	AKAGI T R	Pacific Telephone

5th St

2332 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	VASKA LLC	EDR Digital Archive
	KPM CONSULTING LLC	EDR Digital Archive
	KPM CONSULTING LLC	EDR Digital Archive
	VASKA LLC	EDR Digital Archive
2010	VASKA LLC	EDR Digital Archive
	BAY AREA OTRACH RCRTION PRGRAM	EDR Digital Archive
	KPM CONSULTING LLC	EDR Digital Archive
	GARCIA DECREDICO STUDIO	EDR Digital Archive
	STEVENS MICHAEL R	EDR Digital Archive
	KPM CONSULTING LLC	EDR Digital Archive
	GARCIA DECREDICO STUDIO	EDR Digital Archive

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	STEVENS MICHAEL R	EDR Digital Archive
	VASKA LLC	EDR Digital Archive
	BAY AREA OTRACH RCRTION PRGRAM	EDR Digital Archive

5TH ST

2332 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	DEDREDICO Joseph	Haines Company, Inc.
	GARCIADBECD 1 C	Haines Company, Inc.
	SHERMAN	Haines Company, Inc.
	GOLDIN DESIGN	Haines Company, Inc.
	KPM CONSULTING	Haines Company, Inc.
	NORHEIM &YOST	Haines Company, Inc.
	SWERVECO	Haines Company, Inc.
	YOST DONALD	Haines Company, Inc.
2000	ERDTMANN BROTHERS	Pacific Bell
	GOLDIN DESIGN	Pacific Bell
	MARTINEZ EDUARDO ARCHITECTS	Pacific Bell
1996	MODEL AIRPLANE MOTORS CO	PACIFIC BELL DIRECTORY
1992	MODEL AIRPLANE MOTORS CO	PACIFIC BELL DIRECTORY
1975	MODEL AIRPLANE MOTORS CO	Pacific Telephone
1970	MODEL AIRPLANE MOTORS CO BERKELEY	Pacific Telephone Directory
1962	Model Airplane Motors Co	Pacific Telephone
1955	MODEL AIRPLANE MOTORS CO BERKELEY	The Pacific Telephone & Telegraph Co.

2335 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	LARA Corsuelo	Haines Company, Inc.
2000	JASZCZYK J J	Pacific Bell
1970	LARA CONSULO MRS BERKELEY	Pacific Telephone Directory
1962	Jaszczyk Harmony L r	Pacific Telephone
1955	JASZCZYK HARMONY L R BERKELEY	The Pacific Telephone & Telegraph Co.
	JOHNSON L E R BERKELEY	The Pacific Telephone & Telegraph Co.
1945	CASTRO MIKE R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Castro Ursula r	R. L. Polk & Co.
	Castro Rudolph whsmn r	R. L. Polk & Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1943	Castro Michl Lupe fctywkr h	R. L. Polk & Co.
1933	CASTRO MIGUEL (GUADALUPE) LAB H BERKELEY	R. L. Polk & Co.
1920	MEIKLE WILLARD R	R. L. Polk & Co. of California

2336 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1970	PADEN H BERKELEY	Pacific Telephone Directory
1962	Lapham Ronald P	Pacific Telephone
1955	LAPHAM BEN C BERKELEY	The Pacific Telephone & Telegraph Co.
1945	LAPHAM BEN C R BERKELEY	The Pacific Telephone & Telegraph Co.
1933	CHRISTIANSEN ANNA (WID C F) H BERKELEY	R. L. Polk & Co.
	CHRISTIANSEN GEO A CHAUF R BERKELEY	R. L. Polk & Co.
1925	CHRISTIANSON C F R	R. L. Polk & Co. of California
1920	CHRISTIANSON C F R	R. L. Polk & Co. of California

2337 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	o SYPRET Leo N	Haines Company, Inc.
	a SYPERT Ocolonlar	Haines Company, Inc.
1996	SYPERT SAM J	PACIFIC BELL DIRECTORY
1992	SYPERT SAM J	PACIFIC BELL DIRECTORY
1970	SYPERT SAM J BERKELEY	Pacific Telephone Directory
1962	Sypert Leo Nidas	Pacific Telephone
	Harris Robbie Mae	Pacific Telephone
1955	HARRIS ROBBLE MAE BERKELEY	The Pacific Telephone & Telegraph Co.
1945	SILVA I R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Lenhardt Wm J h	R. L. Polk & Co.
1933	TOMPKINS CHAS (MARY) LAB H BERKELEY	R. L. Polk & Co.
	TOMPKINS JAS F R BERKELEY	R. L. Polk & Co.
	TOMPKINS ENOCH MACH OPR R BERKELEY	R. L. Polk & Co.
	TOMPKINS EVELYN PKR R BERKELEY	R. L. Polk & Co.
1928	Bugman John F flmn Central Natl Bank H	R.L. Polk and Co of California
	t P Frank Mary H	R.L. Polk and Co of California
1925	BUGMAN J F R	R. L. Polk & Co. of California

FINDINGS

2341 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	WACHTEL Seth	Haines Company, Inc.
	o WACHTEL Seth	Haines Company, Inc.
1975	ORNELAS B R	Pacific Telephone
1970	ORNELAS B R BERKELEY	Pacific Telephone Directory
1962	Ornelas B R	Pacific Telephone
1955	ORNELAS B R BERKELEY	The Pacific Telephone & Telegraph Co.
1945	ALVAREZ HOPE R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Ornelas Salvador Bertha lab h	R. L. Polk & Co.
1938	BARKER FRANK R	Pacific Telephone
1933	BARKER ALBT E (MARTHA) LAB H BERKELEY	R. L. Polk & Co.
1928	Matzen Albt Anna H	R.L. Polk and Co of California
	h Axel Berhardina H	R.L. Polk and Co of California
	E Albt S R	R.L. Polk and Co of California

2410 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	ANSON ELECTRIC	Haines Company, Inc.
2000	ANSON ELECTRIC CO	Pacific Bell
	2 DARVILLE NATALIE	Pacific Bell
1996	ANSON ELECTRIC CO	PACIFIC BELL DIRECTORY
1992	KENNEDY ABE	PACIFIC BELL DIRECTORY
1975	BUNN P	Pacific Telephone
	KENNEDY ABE	Pacific Telephone
1970	MARSDEN PAUL BERKELEY	Pacific Telephone Directory
	KENNEDY ABE BERKELEY	Pacific Telephone Directory
1962	Pope Nemih	Pacific Telephone
1955	POPE NEMIH BERKELEY	The Pacific Telephone & Telegraph Co.
1945	LINHARES JOE R BERKELEY	The Pacific Telephone & Telegraph Co.
1928	Windrom Wayne R	R.L. Polk and Co of California
	Windrom Edwin B Stella H	R.L. Polk and Co of California
1925	WINDROM E B R	R. L. Polk & Co. of California
1920	WINDROM E B R	R. L. Polk & Co. of California

2411 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	aFLETCHFR Laura	Haines Company, Inc.
2000	LEWIS WAYLAND	Pacific Bell

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	A LEWIS BESSIE	Pacific Bell
1996	LEWIS WAYLAND	PACIFIC BELL DIRECTORY
	A LEWIS BESSIE	PACIFIC BELL DIRECTORY
1992	LEWIS WAYLAND	PACIFIC BELL DIRECTORY
	A LEWIS BESSIE	PACIFIC BELL DIRECTORY
1975	LEWIS WAYLAND	Pacific Telephone
1970	LEWIS WAYLAND BERKELEY	Pacific Telephone Directory
1962	Lewis Wayland	Pacific Telephone
1955	LEWIS WAYLAND BERKELEY	The Pacific Telephone & Telegraph Co.
1945	FREITAS FRANK MRS R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Cozad Fred L Lulu L h	R. L. Polk & Co.
1933	MARTIN FERDINAND MILLMN H BERKELEY	R. L. Polk & Co.
	MARTIN OLAVA MRS R BERKELEY	R. L. Polk & Co.
1920	BARNETT MRS STANLEY R	R. L. Polk & Co. of California

2412 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	a CROWDER Maxine	Haines Company, Inc.
2000	CROWDER MAXINE	Pacific Bell
1996	CROWDER MAXINE	PACIFIC BELL DIRECTORY
1992	CROWDER MAXINE	PACIFIC BELL DIRECTORY
1975	CROWDER MAXINE	Pacific Telephone
1970	CROWDER MAXINE BERKELEY	Pacific Telephone Directory
1962	Crowder Rayfield	Pacific Telephone
1955	CROWDER RAYFIELD R BERKELEY	The Pacific Telephone & Telegraph Co.
1938	FISSORE M R	Pacific Telephone
	RODRIGUEZ FRANK MRS R	Pacific Telephone
1933	WHITESIDE RAY R BERKELEY	R. L. Polk & Co.
	WHITESIDE MARY MRS H BERKELEY	R. L. Polk & Co.
	FISSORE MARIEL APPR MLDR R BERKELEY	R. L. Polk & Co.
	FISSORE JOHN H BERKELEY	R. L. Polk & Co.
1928	Fissori John Mary H	R.L. Polk and Co of California

5th St

2413 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	SHEAHAN & QUANDT ARCHITECTURE	EDR Digital Archive

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	SHEAHAN & QUANDT ARCHITECTURE	EDR Digital Archive
2010	SHEAHAN & QUANDT ARCHITECTURE	EDR Digital Archive
	SHEAHAN & QUANDT ARCHITECTURE	EDR Digital Archive

5TH ST

2413 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	A WIGGINTON Ron	Haines Company, Inc.
	CGSHEAHAN PATRICK	Haines Company, Inc.
	KELLYARCH	Haines Company, Inc.

5th St

2414 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	TABAREOUS ENTERPRISES	EDR Digital Archive
	TABAREOUS ENTERPRISES	EDR Digital Archive
2010	TABAREOUS ENTERPRISES	EDR Digital Archive
	TABAREOUS ENTERPRISES	EDR Digital Archive

5TH ST

2414 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	ALSTON Connie	Haines Company, Inc.
1975	ALSTON CONNIE R	Pacific Telephone
1962	Partee Carrie Mae	Pacific Telephone
1955	JACKSON JOHNNIE MAE BERKELEY	The Pacific Telephone & Telegraph Co.
1933	GAMA MIGUEL LAB R BERKELEY	R. L. Polk & Co.
	GARCIA MIGUEL (ANDREA) LAB R BERKELEY	R. L. Polk & Co.
1928	h Vera R	R.L. Polk and Co of California
1925	MURAMOTO A S R	R. L. Polk & Co. of California

5th St

2415 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	MIKITEN ERIC	EDR Digital Archive
	MIKITEN ERIC	EDR Digital Archive

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	MIKITEN ERIC	EDR Digital Archive
	MIKITEN ERIC	EDR Digital Archive

5TH ST

2415 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	MIKITEN ridtk	Haines Company, Inc.
	MIKITEN	Haines Company, Inc.
	ARCHITECTURE	Haines Company, Inc.

2416 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	No Current Listing	Haines Company, Inc.
1975	CUNNINGHAM JAS J	Pacific Telephone
1970	DEESE ANDREW BERKELEY	Pacific Telephone Directory
1955	FRANKLIN EPHRIM BERKELEY	The Pacific Telephone & Telegraph Co.
1945	COZAD SAM R BERKELEY	The Pacific Telephone & Telegraph Co.
1928	Spackter Ernest H Irene mach H	R.L. Polk and Co of California
	Gonella Lena R	R.L. Polk and Co of California

2417 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	SILVERA Gordon	Haines Company, Inc.
	MNDERSON Barbara	Haines Company, Inc.
2000	ANDERSON BARBARA	Pacific Bell
1986	Johansen Alma	PACIFIC BELL WHITE PAGES
1970	HANSEN MAY MISS BERKELEY	Pacific Telephone Directory
1962	Hansen May Miss r	Pacific Telephone
1955	HANSEN MAY MISS R BERKELEY	The Pacific Telephone & Telegraph Co.
1945	HANSEN MAY MISS R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Prentice May H dept Co Auditor r	R. L. Polk & Co.
	Hansen May h	R. L. Polk & Co.
	Hansen Adolph Bear Mattress Co r	R. L. Polk & Co.
1938	HANSEN THEDA MISS R	Pacific Telephone
1933	PRENTICE MAY DEP COUNTY AUD R BERKELEY	R. L. Polk & Co.
	HANSEN MAY CLK R BERKELEY	R. L. Polk & Co.
	HANSEN ANNA (WID ANDW) H BERKELEY	R. L. Polk & Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	HANSEN ADOLPH CHAUF BERKELEY	R. L. Polk & Co.
	HANSEN FRED (JOSIE) (BEAR MATTRESS CO) R BERKELEY	R. L. Polk & Co.
1928	W Alma clk R	R.L. Polk and Co of California
	Hansen Adolph driver R	R.L. Polk and Co of California
	Park Andw Anna lab H	R.L. Polk and Co of California
	HANSEN May bkpr R	R.L. Polk and Co of California
1925	HANSEN MISS THEDA R	R. L. Polk & Co. of California
1920	HANSEN MISS THEDA R	R. L. Polk & Co. of California

5th St

2418 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	BHAVA COMMUNICATIONS INC	EDR Digital Archive
	MESKER D W INC	EDR Digital Archive
	GERARD & ASSOC	EDR Digital Archive
	TECHVALIDATE SOFTWARE INC	EDR Digital Archive
	MESKER D W INC	EDR Digital Archive
	GERARD & ASSOC	EDR Digital Archive
	TECHVALIDATE SOFTWARE INC	EDR Digital Archive
	BHAVA COMMUNICATIONS INC	EDR Digital Archive
2010	GERARD & ASSOC	EDR Digital Archive
	MESKER D W INC	EDR Digital Archive
	MESKER D W INC	EDR Digital Archive
	GERARD & ASSOC	EDR Digital Archive

5TH ST

2418 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	o RUSSUM Jacquelyn	Haines Company, Inc.
	o KUIPERS Francine	Haines Company, Inc.
	LANGUAGES	Haines Company, Inc.
	ACCENT ON 5`10444 M 47 B	Haines Company, Inc.
1992	WRIGHT J	PACIFIC BELL DIRECTORY
	OGILVY ESALEN	PACIFIC BELL DIRECTORY
	OGILVY J	PACIFIC BELL DIRECTORY

FINDINGS

2421 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	MARTINEZ Paul	Haines Company, Inc.
1970	MARTINEZ PAUL BERKELEY	Pacific Telephone Directory
1962	Martinez Paul	Pacific Telephone
1955	MARTINEZ INEZ R BERKELEY	The Pacific Telephone & Telegraph Co.
1945	MARTINEZ FRANK R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	MARTINEZ Paul lab r	R. L. Polk & Co.
	Guadalye Ignacio h	R. L. Polk & Co.
1928	17th John Florence H	R.L. Polk and Co of California

2425 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	WILLEFORD JEWELL B H BERKELEY	R. L. Polk & Co.
1928	n Carl L Clara janitor Bkly PO H	R.L. Polk and Co of California

2426 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1970	BING WM A	Pacific Telephone Directory
1962	Barry Sarah	Pacific Telephone
	Barry Paul B	Pacific Telephone
1955	PAYNE GRACE BERKELEY	The Pacific Telephone & Telegraph Co.
1945	WAKEFIELD C G R BERKELEY	The Pacific Telephone & Telegraph Co.

5th St

2430 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>	
2014	SLINGSHOT BIOSCIENCES	EDR Digital Archive	
	RADIANT GENOMICS INC	EDR Digital Archive	
	ALL STAR COMPUTER SERVICES	EDR Digital Archive	
	CHIA JEM STUDIO	EDR Digital Archive	
	CHIA JEM STUDIO	EDR Digital Archive	
	RADIANT GENOMICS INC	EDR Digital Archive	
	SLINGSHOT BIOSCIENCES	EDR Digital Archive	
	ALL STAR COMPUTER SERVICES	EDR Digital Archive	
	2010	SINGER STEPHEN CONSULTING	EDR Digital Archive
		TWO TRICK PONY PRODUCTIONS LLC	EDR Digital Archive
OIKOS ARCHITECTURE		EDR Digital Archive	
ARTS & LETTERS LLC		EDR Digital Archive	

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	HARLEY ELLIS DEVEREAUX	EDR Digital Archive
	GREEN LIVING ROADSHOW	EDR Digital Archive
	BAKER LANE VINEYARDS	EDR Digital Archive
	KE SOOK LEE STUDIO	EDR Digital Archive
	LEGEND AUDIO DESIGN	EDR Digital Archive
	TWO TRICK PONY PRODUCTIONS LLC	EDR Digital Archive
	SINGER STEPHEN CONSULTING	EDR Digital Archive
	OIKOS ARCHITECTURE	EDR Digital Archive
	ARTS & LETTERS LLC	EDR Digital Archive
	HARLEY ELLIS DEVEREAUX	EDR Digital Archive
	GREEN LIVING ROADSHOW	EDR Digital Archive
	BAKER LANE VINEYARDS	EDR Digital Archive
	KE SOOK LEE STUDIO	EDR Digital Archive
	LEGEND AUDIO DESIGN	EDR Digital Archive

5TH ST

2430 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	APARTMENTS	Haines Company, Inc.
	RINZLER Peter	Haines Company, Inc.
	WOLF Fred	Haines Company, Inc.
	CHU Dodo	Haines Company, Inc.
	DEAN Edward 510 644 2 B	Haines Company, Inc.
	HALLWVann	Haines Company, Inc.
	LEGEND AUDIO	Haines Company, Inc.
	ARCHITECTURE PAPER M	Haines Company, Inc.
	PRess	Haines Company, Inc.
2000	LEGEND AUDIO DESIGN	Pacific Bell
	B ALL STAR COMPUTER SERVICES	Pacific Bell
	C NEVSKA IRINA	Pacific Bell
	L BEARD DONNA	Pacific Bell
	M DEAN EDWARD	Pacific Bell
1962	Fournier Leo	Pacific Telephone
1955	AUGUSTE EULA BERKELEY	The Pacific Telephone & Telegraph Co.

FINDINGS

5th St

2431 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	VERTICAL CUBED	EDR Digital Archive
	VERTICAL CUBED	EDR Digital Archive
2010	VERTICAL CUBED	EDR Digital Archive
	WOLF CINEMA	EDR Digital Archive
	POLYPLUS BATTERY COMPANY	EDR Digital Archive
	VERTICAL CUBED	EDR Digital Archive
	WOLF CINEMA	EDR Digital Archive
	POLYPLUS BATTERY COMPANY	EDR Digital Archive

5TH ST

2431 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	POLYPLUS	Haines Company, Inc.
	BATTERY CO	Haines Company, Inc.
	SUMIKO	Haines Company, Inc.
2000	SUMIKO	Pacific Bell
	100 POLYPLUS BATTERY CO	Pacific Bell
1996	100 POLYPLUS BATTERY CO	PACIFIC BELL DIRECTORY
1992	WORLD CLASS COLLISION SPECIALISTS	PACIFIC BELL DIRECTORY
1991	World Class Collision Specialists	PACIFIC BELL WHITE PAGES
1955	GRIFFIN W H BERKELEY	The Pacific Telephone & Telegraph Co.
1945	CHURCH WILLIAM MRS R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Church Wm T Agnes guard h	R. L. Polk & Co.
1938	ARMSTRONG DAVE B R	Pacific Telephone
1933	SENA AIRES (ANNA) AUTO MECH H BERKELEY	R. L. Polk & Co.
1928	Nordt Albt M Floy H	R.L. Polk and Co of California
	Nordt Minnie wid Wm J H	R.L. Polk and Co of California

2436 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1955	LYNCH MACK BERKELEY	The Pacific Telephone & Telegraph Co.
1938	NIXON JOHN R	Pacific Telephone
1933	NIXON JOHN H BERKELEY	R. L. Polk & Co.
	NIXON KATH STEN R BERKELEY	R. L. Polk & Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1928	Nixon Florence R	R.L. Polk and Co of California
	Nixon John Florence midr H	R.L. Polk and Co of California
1925	NIXON ANNA R	R. L. Polk & Co. of California
1920	NIXON ANNA R	R. L. Polk & Co. of California

2437 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1955	SANDERS WALTER BERKELEY	The Pacific Telephone & Telegraph Co.
	HINES LILLIAN BERKELEY	The Pacific Telephone & Telegraph Co.
	WOLFE RENDIE V BERKELEY	The Pacific Telephone & Telegraph Co.
1945	WOOD ROBERT J R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	GEARY Jas Ida h	R. L. Polk & Co.
1933	YOUNG ANDW BAKER S HLPR R BERKELEY	R. L. Polk & Co.
	GEARY JAS (IDA) H BERKELEY	R. L. Polk & Co.
	YOUNG IDA R BERKELEY	R. L. Polk & Co.
1928	h Jas Ida H	R.L. Polk and Co of California
	Schaepe John H Mabel wirewkr H	R.L. Polk and Co of California

2438 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1975	OLIVER VILLINER	Pacific Telephone
1970	OLIVER VILLINER BERKELEY	Pacific Telephone Directory
1962	Oliver Villiner	Pacific Telephone
1955	OLIVER VILLINER BERKELEY	The Pacific Telephone & Telegraph Co.
1933	SCHEUERN JACOB (ELIZ) H BERKELEY	R. L. Polk & Co.
	WARNER LUEWELLA E STEN F F PORTER CO R BERKELEY	R. L. Polk & Co.
1928	H	R.L. Polk and Co of California
	w Luewella E sten P F Porter Co R	R.L. Polk and Co of California
	Scheuern Jacob Eliz	R.L. Polk and Co of California
1925	SCHEUERN MRS J R	R. L. Polk & Co. of California
1920	SCHEUERN MRS J R	R. L. Polk & Co. of California

2460 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1992	GABRIEL LOUDSPEAKER SERVICE	PACIFIC BELL DIRECTORY
	OLSON ACOUSTICS	PACIFIC BELL DIRECTORY
1970	PATHOLOGISTS REFERENCE LAB BERKELEY	Pacific Telephone Directory

FINDINGS

5th St

2480 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	CRAFTY CARDS	EDR Digital Archive
	CRAFTY CARDS	EDR Digital Archive

5TH ST

2480 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	CRAFTY CARDS	Haines Company, Inc.
1992	CULLEN MARITIME SERVICES INC	PACIFIC BELL DIRECTORY
1975	AETNA RUBBER & SUPPLY CO	Pacific Telephone
	FALLEHY CLAUDE AETNA RUBBER & SUPPLY CO	Pacific Telephone
1970	AETNA RUBBER & SUPPLY CO BERKELEY	Pacific Telephone Directory
	FALLEHY CLAUDE AETNA RUBBER & SUPPLY CO BERKELEY	Pacific Telephone Directory

5th St

2490 5th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	COMMUNITY BACKFENCE	EDR Digital Archive
	PEMBLE COM INC	EDR Digital Archive
	PEMBLE COM INC	EDR Digital Archive
	COMMUNITY BACKFENCE	EDR Digital Archive

5TH ST

2490 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	KARMIC HE ALTHi 51 B	Haines Company, Inc.
2000	KARMIC HEALTH	Pacific Bell
1996	JAY-BECK GROUP INC	PACIFIC BELL DIRECTORY
1992	DE ANZA INSTRUMENTS	PACIFIC BELL DIRECTORY
1975	DE ANZA INSTRUMENTS	Pacific Telephone
1970	DE ANZA INSTRUMENTS BERKELEY	Pacific Telephone Directory

FINDINGS

2411A 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1970	HURKS J H BERKELEY	Pacific Telephone Directory

2412 1/2 5TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1970	MC DANIEL JACK BERKELEY	Pacific Telephone Directory

5th Street

2418 5th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	ACCENT ON 5'10444 M 47 B	Haines Company, Inc.
	o KUIPERS Francine	Haines Company, Inc.
	LANGUAGES	Haines Company, Inc.
	o RUSSUM Jacquelyn	Haines Company, Inc.
1992	WRIGHT J	PACIFIC BELL DIRECTORY
	OGILVY ESALEN	PACIFIC BELL DIRECTORY
	OGILVY J	PACIFIC BELL DIRECTORY

2421 5th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	MARTINEZ Paul	Haines Company, Inc.
1970	MARTINEZ PAUL BERKELEY	Pacific Telephone Directory
1962	Martinez Paul	Pacific Telephone
1955	MARTINEZ INEZ R BERKELEY	The Pacific Telephone & Telegraph Co.
1950	MARTINEZ PAUL R	The Pacific Telephone & Telegraph Co.
1945	MARTINEZ FRANK R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	MARTINEZ Paul lab r	R. L. Polk & Co.
	Guadalye Ignacio h	R. L. Polk & Co.
1928	17th John Florence H	R.L. Polk and Co of California

2425 5th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	WILLEFORD JEWELL B H BERKELEY	R. L. Polk & Co.
1928	n Carl L Clara janitor Bkly PO H	R.L. Polk and Co of California

2426 5th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Simmons Julia	PACIFIC BELL WHITE PAGES
1970	BING WM A	Pacific Telephone Directory

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1962	Barry Paul B	Pacific Telephone
	Barry Sarah	Pacific Telephone
1955	PAYNE GRACE BERKELEY	The Pacific Telephone & Telegraph Co.
1950	COLEMTAN EARL W R	The Pacific Telephone & Telegraph Co.
1945	WAKEFIELD C G R BERKELEY	The Pacific Telephone & Telegraph Co.

2430 5th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	APARTMENTS	Haines Company, Inc.
	DEAN Edward 510 644 2 B	Haines Company, Inc.
	HALLWVann	Haines Company, Inc.
	LEGEND AUDIO	Haines Company, Inc.
	ARCHITECTURE PAPER M	Haines Company, Inc.
	PRess	Haines Company, Inc.
	RINZLER Peter	Haines Company, Inc.
	WOLF Fred	Haines Company, Inc.
	CHU Dodo	Haines Company, Inc.
2000	LEGEND AUDIO DESIGN	Pacific Bell
		Pacific Bell
	B ALL STAR COMPUTER SERVICES	Pacific Bell
	C NEVSKA IRINA	Pacific Bell
	L BEARD DONNA	Pacific Bell
	M DEAN EDWARD	Pacific Bell
1962	Fournier Leo	Pacific Telephone
1955	AUGUSTE EULA BERKELEY	The Pacific Telephone & Telegraph Co.
1950	PATTERSON ETTA R	The Pacific Telephone & Telegraph Co.

2431 5th Street

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	POLYPLUS	Haines Company, Inc.
	BATTERY CO	Haines Company, Inc.
	SUMIKO	Haines Company, Inc.
2000	SUMIKO	Pacific Bell
	100 POLYPLUS BATTERY CO	Pacific Bell
		Pacific Bell
1996		PACIFIC BELL DIRECTORY
	100 POLYPLUS BATTERY CO	PACIFIC BELL DIRECTORY
1992	WORLD CLASS COLLISION SPECIALISTS	PACIFIC BELL DIRECTORY

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1991	World Class Collision Specialists	PACIFIC BELL WHITE PAGES
1955	GRIFFIN W H BERKELEY	The Pacific Telephone & Telegraph Co.
1950	CHURCH AGNES T R	The Pacific Telephone & Telegraph Co.
1945	CHURCH WILLIAM MRS R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Church Wm T Agnes guard h	R. L. Polk & Co.
1938	ARMSTRONG DAVE B R	Pacific Telephone
1933	SENA AIRES (ANNA) AUTO MECH H BERKELEY	R. L. Polk & Co.
1928	Nordt Albt M Floy H	R.L. Polk and Co of California
	Nordt Minnie wid Wm J H	R.L. Polk and Co of California

6TH

2337 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	ANGELO MOIL E R	The Pacific Telephone & Telegraph Co.

2338 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	MIDDLEHOFF ELEANOR MRS R	The Pacific Telephone & Telegraph Co.

2341 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	IMIAMURA I R	The Pacific Telephone & Telegraph Co.

2342 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	FRAZEE HARRY R	The Pacific Telephone & Telegraph Co.

2406 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	KAMINSKI T C R	The Pacific Telephone & Telegraph Co.

2409 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	FELLINGER J F R	The Pacific Telephone & Telegraph Co.

2410 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	CAPRIO ANGELO R	The Pacific Telephone & Telegraph Co.

FINDINGS

2414 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	KOWAL MANUFACTURING CO	The Pacific Telephone & Telegraph Co.

2416 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	MERRITT SPECIALTY SPRING CO	The Pacific Telephone & Telegraph Co.

2417 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	9 Rossiter Sam & Sonia	PACIFIC BELL WHITE PAGES
	Contd 8 Jones Matthews	PACIFIC BELL WHITE PAGES

2418 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	MORK WALTER CO INC	PACIFIC BELL WHITE PAGES
1950	LEADER WELDING & MFG CO	The Pacific Telephone & Telegraph Co.

2421 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Manriquez Sacramento	PACIFIC BELL WHITE PAGES

2423 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Orozco Francisco	PACIFIC BELL WHITE PAGES
1950	GRAY JOHN A R	The Pacific Telephone & Telegraph Co.

2425 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	G & C PAPER RECYCLING & SALVAGE	PACIFIC BELL WHITE PAGES
1950	DE ROUEN THOS R	The Pacific Telephone & Telegraph Co.

2427 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	ANDERSON AIGUSTA MIMS R	The Pacific Telephone & Telegraph Co.

2429 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	CAPRIO A R R	The Pacific Telephone & Telegraph Co.

FINDINGS

2437 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	ABED LABORATORIES INC	PACIFIC BELL WHITE PAGES
1950	BIO RESEARCH LABORATORIES	The Pacific Telephone & Telegraph Co.

2445 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	KARLER LABORATORY	PACIFIC BELL WHITE PAGES

2448 6TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	THORATEC LABORATORIES CORP	PACIFIC BELL WHITE PAGES
	MERCOR INC	PACIFIC BELL WHITE PAGES

6TH AVE

2340 6TH AVE

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1928	Pahl Linus Lillian C sausage mkr H	R.L. Polk and Co of California

6th St

2322 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	LIGHTING SYSTEMS INC	EDR Digital Archive
	LIGHTING SYSTEMS INC	EDR Digital Archive
2010	LIGHTING SYSTEMS INC	EDR Digital Archive
	OPTIC ARTS INC	EDR Digital Archive
	TDR DEVELOPMENT COMPANY LLC	EDR Digital Archive
	SISTEMALUX USA LLC	EDR Digital Archive
	LIGHTING SYSTEMS INC	EDR Digital Archive
	OPTIC ARTS INC	EDR Digital Archive
	TDR DEVELOPMENT COMPANY LLC	EDR Digital Archive
	SISTEMALUX USA LLC	EDR Digital Archive

2323 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	MARY BETH THOMSEN PHD	EDR Digital Archive
	MARY BETH THOMSEN PHD	EDR Digital Archive

FINDINGS

2333 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	NORTHERN LIGHTS ELECTRIC	EDR Digital Archive
	A&K PROPERTIES	EDR Digital Archive
	A&K PROPERTIES	EDR Digital Archive
	NORTHERN LIGHTS ELECTRIC	EDR Digital Archive
2010	NORTHERN LIGHTS ELECTRIC	EDR Digital Archive
	A&K PROPERTIES	EDR Digital Archive
	A&K PROPERTIES	EDR Digital Archive
	NORTHERN LIGHTS ELECTRIC	EDR Digital Archive

2337 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	ANGELOS EDUCATION SERVICES	EDR Digital Archive
	ANGELOS EDUCATION SERVICES	EDR Digital Archive
2010	ANGELOS EDUCATION SERVICES	EDR Digital Archive
	SAMUEL SCHAFFER	EDR Digital Archive
	ANGELOS EDUCATION SERVICES	EDR Digital Archive
	SAMUEL SCHAFFER	EDR Digital Archive

6TH ST

2337 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	ANGELO Lucinda	Haines Company, Inc.
1962	Angelo Noil E	Pacific Telephone
1955	ANGELO NOIL E R BERKELEY	The Pacific Telephone & Telegraph Co.

2338 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1955	ROMANO I R BERKELEY	The Pacific Telephone & Telegraph Co.
1945	MIDDLEHOFF ELEANOR MRS R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Middlehoff Eleanor K wid E G sten h	R. L. Polk & Co.
1938	MIDDLEHOFF ELEANOR MRS R	Pacific Telephone
1933	MIDDLEHOFF ELEANOR MRS H BERKELEY	R. L. Polk & Co.
1928	r Mary E R	R.L. Polk and Co of California
	r Patk J H	R.L. Polk and Co of California
	Middlehoff Eleanor R	R.L. Polk and Co of California
1925	KEEGAN P J R	R. L. Polk & Co. of California

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1925	MIDDLEHOFF MRS ELEANOR R	R. L. Polk & Co. of California
1920	KEEGAN P J R	R. L. Polk & Co. of California
	MIDDLEHOFF MRS ELEANOR R	R. L. Polk & Co. of California

2341 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	o SHELTON Adrienne	Haines Company, Inc.
2000	CLEMENT LAWRENCE	Pacific Bell
1996	CLEMENT LAWRENCE	PACIFIC BELL DIRECTORY
1992	CLEMENT LAWRENCE	PACIFIC BELL DIRECTORY
1975	CLEMENT THELMA	Pacific Telephone
	CLEMENT LAWRENCE	Pacific Telephone
1970	CLEMENT THELMA BERKELEY	Pacific Telephone Directory
	CLEMENT LAWRENCE BERKELEY	Pacific Telephone Directory
1962	Imamura I r	Pacific Telephone
1955	IMAMURA I R BERKELEY	The Pacific Telephone & Telegraph Co.
1945	BARGAS VIOLA O R BERKELEY	The Pacific Telephone & Telegraph Co.

2342 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1945	FRAZEE HARRY R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Frazee Betty tchr r	R. L. Polk & Co.
	Frazee Harry Ila mech h	R. L. Polk & Co.
	Frazee Howard mech r	R. L. Polk & Co.
1938	FRAZEE HARRY R	Pacific Telephone
1933	THOMSEN CARL H BERKELEY	R. L. Polk & Co.
	THOMSEN CARL E (MYRTLE H) ACCT H BERKELEY	R. L. Polk & Co.
	THOMSEN HARRY R BERKELEY	R. L. Polk & Co.
	THOMSEN MYRTLE G ARTIST R BERKELEY	R. L. Polk & Co.
1928	Jones Agnes T Mrs sten Fitzgerald Abbott & Beardsley H	R.L. Polk and Co of California
	Lerida Raymond S Agnes surv E B Water Co H	R.L. Polk and Co of California
	Thomsen Dani C R	R.L. Polk and Co of California
1925	THOMSEN CAPT D C R	R. L. Polk & Co. of California
1920	THOMSEN CAPT D C R	R. L. Polk & Co. of California

FINDINGS

6th St

2344 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	BERKELEY CITY OF	EDR Digital Archive
	LIFELONG MEDICAL CARE	EDR Digital Archive
2010	BERKELEY CITY OF	EDR Digital Archive
	LIFELONG MEDICAL CARE	EDR Digital Archive
	CALIFORNIA PHYSICIAN ALLIANCE	EDR Digital Archive
	LIFELONG MEDICAL CARE INC	EDR Digital Archive
	BERKELEY BIRTH AND DEATH CERTS	EDR Digital Archive
	BERKELEY CITY OF	EDR Digital Archive
	LIFELONG MEDICAL CARE INC	EDR Digital Archive
	CALIFORNIA PHYSICIAN ALLIANCE	EDR Digital Archive
	BERKELEY BIRTH AND DEATH CERTS	EDR Digital Archive
	BERKELEY CITY OF	EDR Digital Archive

6TH ST

2344 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	BERKLYCTY	Haines Company, Inc.
	BIRTH&DEATH	Haines Company, Inc.
	CRTFCTS	Haines Company, Inc.
	BERKLY CTY HLTH	Haines Company, Inc.
	CMMNCBLE DSSSES	Haines Company, Inc.
	BERKLY CTY HLTH	Haines Company, Inc.
	DOMESTIC VLNCE	Haines Company, Inc.
	BERKLYCTYHLTH	Haines Company, Inc.
	MATERNAL CHILD	Haines Company, Inc.
	BERKLY CTY	Haines Company, Inc.
	SEWER BAITING	Haines Company, Inc.
	PRGRM	Haines Company, Inc.
1992	INNOVATIVE INTERFACES INC	PACIFIC BELL DIRECTORY
1991	Innovative Interfaces Inc	PACIFIC BELL WHITE PAGES
1975	BUSINESS SERVICES	Pacific Telephone
	COAST PUMP ASSOCIATES	Pacific Telephone
1970	FINSTER & VINCENT INS BERKELEY	Pacific Telephone Directory
	FLATOW R E & CO INC BERKELEY	Pacific Telephone Directory

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1970	GENDLER G L & ASSOCIATES ENGNR CONSLTNG BERKELEY	Pacific Telephone Directory
	UARCO INCORPORATED	Pacific Telephone Directory
	VINCENT DOUGLAS E FINSTER & VINCENT INS BERKELEY	Pacific Telephone Directory
	VINNELL STEEL BERKELEY	Pacific Telephone Directory
	WILSON GEO PAUL ACOUSTCL CONSLTNT BERKELEY	Pacific Telephone Directory
	WILSON IHRIG & ASSOCIATES ACOUSTCL CONSLTNTS BERKELEY	Pacific Telephone Directory

2406 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	BORDENAVE Dorothy	Haines Company, Inc.
1962	Aitken Thos W	Pacific Telephone
1955	KAMINSKI T C R BERKELEY	The Pacific Telephone & Telegraph Co.
1945	OSLADIL C A R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Wickman Oscar S jr Twila mach h CLARKE Arth mach r	R. L. Polk & Co. R. L. Polk & Co.
1938	STANGELAND J R	Pacific Telephone
1933	MATSON WM H BERKELEY	R. L. Polk & Co.
1928	Vandes Jos Mary lab H	R.L. Polk and Co of California

2409 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	e SHENODA George	Haines Company, Inc.
1975	FELLINGER J F	Pacific Telephone
1970	FELLINGER J F BERKELEY	Pacific Telephone Directory
1962	Fellinger J F	Pacific Telephone
1955	FELLINGER J F BERKELEY	The Pacific Telephone & Telegraph Co.
1945	FELLINGER J F R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Fellinger Jos Alice shipydwkr h Mitchel Geo shipydwkr r	R. L. Polk & Co. R. L. Polk & Co.
1933	FRAZEE D HARRY (ILA) MACH H BERKELEY	R. L. Polk & Co.
1928	Frazee Harry Ida mach H	R.L. Polk and Co of California
1925	FRAZEE HARRY R	R. L. Polk & Co. of California
1920	FRAZEE HARRY R	R. L. Polk & Co. of California

FINDINGS

6th St

2410 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	BLUE ELECTRIC	EDR Digital Archive
	BLUE ELECTRIC	EDR Digital Archive

6TH ST

2410 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1992	MAZONSON PHILLIP	PACIFIC BELL DIRECTORY
1962	Smith Eldred R	Pacific Telephone
1955	CAPRIO ANGELO BERKELEY	The Pacific Telephone & Telegraph Co.
1945	CAPRIO ANGELO R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Caprio Albino R mach r	R. L. Polk & Co.
	Caprio Angelo E Jennie lab h	R. L. Polk & Co.
1938	CAPRIO ANGELO R	Pacific Telephone
1933	CAPRIO ANGELO (JENNIE) FORMN H C MACAULAY FDY CO H BERKELEY	R. L. Polk & Co.
1928	Caprio Angelo E formn H C Macaulay Pndy Co H	R.L. Polk and Co of California

6th St

2411 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	MADSEN ANNE L	EDR Digital Archive
	MADSEN ANNE L	EDR Digital Archive
2010	MADSEN ANNE L	EDR Digital Archive
	MADSEN ANNE L	EDR Digital Archive

6TH ST

2411 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	OGBEIDE Feslus	Haines Company, Inc.
1962	West Bessie	Pacific Telephone
1955	WEST WILLIE BERKELEY	The Pacific Telephone & Telegraph Co.
1945	GIBBS JAMES R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	GIBBS Abr Hazel shipydwr h	R. L. Polk & Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1938	GIBBS JAMES R	Pacific Telephone
1933	GIBBS ABRAM J (HAZEL) MLDR H BERKELEY	R. L. Polk & Co.
1928	N Frank mflmn R	R.L. Polk and Co of California
1925	KOWAL BROS TOOL & DIE WKS	R. L. Polk & Co. of California
	BLAIKIE J E R	R. L. Polk & Co. of California

2412 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	o HOWARD Bob	Haines Company, Inc.
2000	HOWARD BOB	Pacific Bell
1996	HOWARD BOB	PACIFIC BELL DIRECTORY
1975	HOWARD BOB	Pacific Telephone
1962	Chambers Glen A	Pacific Telephone
1955	KOWAL O BERKELEY	The Pacific Telephone & Telegraph Co.
1945	KOWAL O R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Kowal Otto Sarah Kowal Manufacturing Co h	R. L. Polk & Co.
1938	KOWAL O R	Pacific Telephone
1933	KOWAL OTTO (SARAH) (KOWAL MFG CO) H BERKELEY	R. L. Polk & Co.
	KOWAL RICHD APPR KOWAL MFG CO R BERKELEY	R. L. Polk & Co.
1928	Kowal Otto Sarah Kowal Tool & Die Wks H	R.L. Polk and Co of California
1925	KOWAL O R	R. L. Polk & Co. of California
1920	KOWAL O R	R. L. Polk & Co. of California

6th St

2414 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	NATIONAL INTERSCHOLASTIC CYCLI	EDR Digital Archive
	BERKELEY ALBANY LCSNSD DAY CRE	EDR Digital Archive
	COLORADO HIGH SCHL CYCLING KEA	EDR Digital Archive
	COLORADO HIGH SCHL CYCLING KEA	EDR Digital Archive
	BERKELEY ALBANY LCSNSD DAY CRE	EDR Digital Archive
	NATIONAL INTERSCHOLASTIC CYCLI	EDR Digital Archive
2010	SICK CHILD CARE PROGRAM INC	EDR Digital Archive
	BERKELEY ALBANY LCSNSD DAY CRE	EDR Digital Archive
	SICK CHILD CARE PROGRAM INC	EDR Digital Archive

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	BERKELEY ALBANY LCSNSD DAY CRE	EDR Digital Archive

6TH ST

2414 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	BERKLYALBNY	Haines Company, Inc.
	LCNSD DAY CR	Haines Company, Inc.
2000	BERKELEY ALBANY LICENSED DAY CARE OPERATORS	Pacific Bell
1996	PEACHPIT PRESS	PACIFIC BELL DIRECTORY
1992	PEACHPIT PRESS	PACIFIC BELL DIRECTORY
1991	Mc Allister Technical Services	PACIFIC BELL WHITE PAGES
1970	KOWAL MFG CO BERKELEY	Pacific Telephone Directory
1962	Kowal Mfg Co	Pacific Telephone
1955	KOWAL MFG CO BERKELEY	The Pacific Telephone & Telegraph Co.
1945	KOWAL MANUFACTURING CO BERKELEY	The Pacific Telephone & Telegraph Co.
1943	KOWAL MANUFACTURING CO Otto Kowal Tools Dies and Special Machinery	R. L. Polk & Co.
1938	KOWAL MANUFACTURING CO	Pacific Telephone
1933	KOWAL MANUFACTURING CO (OTTO KOWAL) TOOLS DIES AND BAKELITE PRODUCTS BERK	R. L. Polk & Co.
1928	h Tool & Die Works Otto Kowal R	R.L. Polk and Co of California

2416 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1970	MERRITT SPECIALTY SPRING CO BERKELEY	Pacific Telephone Directory
1962	Merritt Specialty Spring Co	Pacific Telephone
1955	MERRITT SPECIALTY SPRING CO BERKELEY	The Pacific Telephone & Telegraph Co.
1933	ELECTRICAL PORCELAIN WORKS (LEVI BAKER CHAS BALL) BERKELEY	R. L. Polk & Co.
1928	sec Porcelain Works Levi Baker Chas Ball	R.L. Polk and Co of California
1925	ELECTRICAL PORCETAIN CO	R. L. Polk & Co. of California

2417 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	APARTMENTS	Haines Company, Inc.
	BAROS Rila	Haines Company, Inc.
	BAROS Roberta	Haines Company, Inc.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	BIBBS Doan	Haines Company, Inc.
	DENNIS Renah	Haines Company, Inc.
	FEINBERG Mark	Haines Company, Inc.
	MULLINS Bevedy	Haines Company, Inc.
2000	4 BAROS RITA	Pacific Bell
	6 HARRIS DE NEVI	Pacific Bell
1996	8 HICKS M	PACIFIC BELL DIRECTORY
1992	6 WILLIAMS T	PACIFIC BELL DIRECTORY
1986	Rossiter Sam & Sonia	PACIFIC BELL WHITE PAGES
1975	CROWDER DARRELL	Pacific Telephone
	PALMER EVONNE	Pacific Telephone
1970	GILBERT ROBT BERKELEY	Pacific Telephone Directory
	JONES ROSCOE JR BERKELEY	Pacific Telephone Directory
	LOVETT BEATRICE BERKELEY	Pacific Telephone Directory
	MIKEL DARNELL BERKELEY	Pacific Telephone Directory
	SAMUELS WILLIE BERKELEY	Pacific Telephone Directory
1962	Mc Ghee Mary	Pacific Telephone
1955	HARANO KATSUJI R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Capellino John P Linnea mach h	R. L. Polk & Co.
1933	SCIACCOTIA GASPER (MARY) H BERKELEY	R. L. Polk & Co.
1928	wood Danl Margt H	R.L. Polk and Co of California
1920	DAMERON MRS M R	R. L. Polk & Co. of California

6th St

2418 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	WALTER MORK CO INC	EDR Digital Archive
	WALTER MORK CO INC	EDR Digital Archive
2010	WALTER MORK CO INC	EDR Digital Archive
	WALTER MORK CO INC	EDR Digital Archive

6TH ST

2418 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	WALTER MORK CO	Haines Company, Inc.
	MORKWALTERCO	Haines Company, Inc.
2000	WALTER MORK CO INC	Pacific Bell

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1996	WALTER MORK CO INC	PACIFIC BELL DIRECTORY
1992	WALTER MORK CO INC	PACIFIC BELL DIRECTORY
1975	BARNETT WELDERS	Pacific Telephone
1970	BARNETT WELDERS BERKELEY	Pacific Telephone Directory
1962	BARNETT WELDERS	Pacific Telephone
1955	LEADER WELDING & MFG CO BERKELEY	The Pacific Telephone & Telegraph Co.
1945	LEADER WELDING & MFG CO BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Leaders Welding Works Forest Leader	R. L. Polk & Co.
1938	LEADER S WELDING WORKS	Pacific Telephone

2421 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	No Current Listing	Haines Company, Inc.
1992	RAMIREZ ENRIQUE	PACIFIC BELL DIRECTORY
1991	Manriquez Sacramento	PACIFIC BELL WHITE PAGES
	Mansel Richard	PACIFIC BELL WHITE PAGES
1955	KNOPIK ADOLPH T BERKELEY	The Pacific Telephone & Telegraph Co.

2423 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	No Current Listing	Haines Company, Inc.
1955	CROSS J W BERKELEY	The Pacific Telephone & Telegraph Co.
1945	WISNEWSKI A J R BERKELEY	The Pacific Telephone & Telegraph Co.

6th St

2424 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	POLYPLUS BATTERY COMPANY	EDR Digital Archive
	POLYPLUS BATTERY COMPANY	EDR Digital Archive
2010	ELLIS HAROLD INC	EDR Digital Archive
	RJ LEE GROUP BERKELEY DIVSN	EDR Digital Archive
	MCL ENTERPRISE INC	EDR Digital Archive
	ELLIS HAROLD INC	EDR Digital Archive
	RJ LEE GROUP BERKELEY DIVSN	EDR Digital Archive
	MCL ENTERPRISE INC	EDR Digital Archive

FINDINGS

6TH ST

2424 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	TWIPROPERTIES	Haines Company, Inc.
	TWPROPERTIES	Haines Company, Inc.
	TW PROPERTIES	Haines Company, Inc.
	HAROLD ELLIS INC	Haines Company, Inc.
2000	100 MCL ENTERPRISE INC	Pacific Bell
	HAROLD ELLIS INC	Pacific Bell
1996	HAROLD ELLIS INC	PACIFIC BELL DIRECTORY
1992	200 RJ LEE GROUP	PACIFIC BELL DIRECTORY
	HAROLD ELLIS INC	PACIFIC BELL DIRECTORY
1970	VICTOR EQUIPMENT CO BERKELEY	Pacific Telephone Directory
	VICTOR CALIFORNIA BERKELEY	Pacific Telephone Directory
1962	VICTOR EQUIPMENT CO	Pacific Telephone
	Leader Welding & Mfg Co	Pacific Telephone
	L & B Welding Equipment Inc	Pacific Telephone

2425 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	No Current Listing	Haines Company, Inc.
1996	G & C PAPER RECYCLING & SALVAGE	PACIFIC BELL DIRECTORY
1992	G & C PAPER RECYCLING & SALVAGE	PACIFIC BELL DIRECTORY
1991	G & C Paper Recycling & Salvage	PACIFIC BELL WHITE PAGES
	GCB Company	PACIFIC BELL WHITE PAGES
1955	SUPER A D BERKELEY	The Pacific Telephone & Telegraph Co.
1945	DERR ELWOOD L R BERKELEY	The Pacific Telephone & Telegraph Co.

2427 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	MEJIAAntonio	Haines Company, Inc.
2000	FINKELMAN CHAIM	Pacific Bell
1962	Reid Frances	Pacific Telephone
1955	FUGATE ROBT BERKELEY	The Pacific Telephone & Telegraph Co.

2429 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1943	Balestracci Emil Clemtine lab h	R. L. Polk & Co.
	Balestracci Irene r	R. L. Polk & Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	BALASTRACCI EMILE (CARMENTINA) H BERKELEY	R. L. Polk & Co.
1928	Ballestracci Emillio Clementina H	R.L. Polk and Co of California

2433 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1945	PIEROTTI MARIO R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Picrotti Eleanor E gro r	R. L. Polk & Co.
	Pierotti Mario Emma lab h	R. L. Polk & Co.
1938	PIEROTTI MARIO R	Pacific Telephone
1933	PIERATTI M MACH OPR R BERKELEY	R. L. Polk & Co.
	PIEROTTI MARIO (EMMA) H BERKELEY	R. L. Polk & Co.
1928	h Mario Emma H	R.L. Polk and Co of California
1920	SIMPSON MRS C H R	R. L. Polk & Co. of California

2434 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1955	HARVEY J W R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Crosetti Maggiorino shipydwkr h	R. L. Polk & Co.
	Haltom Jas Birdie shipydwkr h	R. L. Polk & Co.
1933	CAIRNS MALANDIA (WID ALEX) H BERKELEY	R. L. Polk & Co.
1928	Cairns Malmda A wid Alex H	R.L. Polk and Co of California
1925	CAIRNS MISS ELIZABETH R	R. L. Polk & Co. of California
1920	CAIRNS MISS BETTY R	R. L. Polk & Co. of California

6th St

2437 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	ACROKIN ENGINEERING INC	EDR Digital Archive
	KEENS SHAY KENS ORNGE CNTY INC	EDR Digital Archive
	ACROKIN ENGINEERING INC	EDR Digital Archive
	KEENS SHAY KENS ORNGE CNTY INC	EDR Digital Archive

6TH ST

2437 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	ABED LABORATORIES INC	Pacific Bell

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1996	ABED LABORATORIES INC	PACIFIC BELL DIRECTORY
1992	ABED LABORATORIES INC	PACIFIC BELL DIRECTORY
1991	Abejuro Mary Ann	PACIFIC BELL WHITE PAGES
	Abed Laboratories Inc	PACIFIC BELL WHITE PAGES
1970	BIO-RESEARCH LABS BERKELEY	Pacific Telephone Directory
1962	Bio Research Laboratories	Pacific Telephone
1955	BIO-RESEARCH LABORATORIES BERKELEY	The Pacific Telephone & Telegraph Co.

2445 6TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	KARLER LABORATORY	Pacific Bell
1996	KARLER LABORATORY	PACIFIC BELL DIRECTORY
1992	KARLER LABORATORY	PACIFIC BELL DIRECTORY
1975	KARIER LABORATORY	Pacific Telephone
1970	KARLER LABORATORY BERKELEY	Pacific Telephone Directory
1962	Standard Veterinary Laboratories	Pacific Telephone
	American Remedy Company	Pacific Telephone
	Borden Laboratories Inc	Pacific Telephone

6th St

2448 6th St

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	BAYER HEALTHCARE LLC	EDR Digital Archive
	BAYER HEALTHCARE LLC	EDR Digital Archive
2010	BAYER HEALTHCARE LLC	EDR Digital Archive
	BAYER HEALTHCARE LLC	EDR Digital Archive

7TH

2404 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Hines Lola P	PACIFIC BELL WHITE PAGES

2408 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Carroll Valcour Sr	PACIFIC BELL WHITE PAGES
	Adler Corlnne Mrs	PACIFIC BELL WHITE PAGES

FINDINGS

2411 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Leasure Larry	PACIFIC BELL WHITE PAGES

2412 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	JOYCE PERRY M R	The Pacific Telephone & Telegraph Co.

2413 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	BOTTGER KATHERINE D R	The Pacific Telephone & Telegraph Co.

2414 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Bettencourt Fltz	PACIFIC BELL WHITE PAGES

2415 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	PATTERSON L R	The Pacific Telephone & Telegraph Co.

2418 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Branch Margaret N	PACIFIC BELL WHITE PAGES

2421 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Owens H	PACIFIC BELL WHITE PAGES
1950	PERSON IDA C MRS R	The Pacific Telephone & Telegraph Co.

2422 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	CAROUSO DOROTHY N R	The Pacific Telephone & Telegraph Co.

2424 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	Shaw M	PACIFIC BELL WHITE PAGES

2429 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	VIRAMONTES MARIAN R	The Pacific Telephone & Telegraph Co.

FINDINGS

2430 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	NORRIS J P B R	The Pacific Telephone & Telegraph Co.

2432 7TH

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	A Brewer Geo ervin h u	PACIFIC BELL WHITE PAGES
	Esprey Joseph	PACIFIC BELL WHITE PAGES

7TH ST

2404 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	GONZALEZ Leandro	Haines Company, Inc.
2000	GONZALEZ LEANDRO	Pacific Bell
1992	HINES LOLA P	PACIFIC BELL DIRECTORY
1962	Hines Lola P	Pacific Telephone
1943	Majuri Vincent Margt elect welder h	R. L. Polk & Co.

2405 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1975	ODONNELL LENORE	Pacific Telephone

2408 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	CARROLL Corinne	Haines Company, Inc.
2000	CARROLL VALCOUR SR	Pacific Bell
	ADLER CORINNE MRS	Pacific Bell
1996	ADLER CORINNE MRS	PACIFIC BELL DIRECTORY
	CARROLL VALCOUR SR	PACIFIC BELL DIRECTORY
1992	CARROLL VALCOUR SR	PACIFIC BELL DIRECTORY
	ADLER CORINNE MRS	PACIFIC BELL DIRECTORY
1975	ADLER CORINNE MRS	Pacific Telephone
1962	Adler Corinne Mrs	Pacific Telephone

2411 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	LEASURELany	Haines Company, Inc.
1996	REAGAN REPAIRS	PACIFIC BELL DIRECTORY
1992	REAGAN REPAIRS	PACIFIC BELL DIRECTORY
1975	LEASURE LARRY	Pacific Telephone

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1943	Scaparro Jos Betty mech h	R. L. Polk & Co.
	Cis Clemente lab Bkly Dept Pub Wks r	R. L. Polk & Co.

2412 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1943	Bettencourt Anthony C Frances clk h	R. L. Polk & Co.

2413 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	PRUITTL	Haines Company, Inc.
	MORRIS Latoya	Haines Company, Inc.
1962	De La Riva Joe S	Pacific Telephone
1943	Bottger Kath D h	R. L. Polk & Co.

2414 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	No Current Listing	Haines Company, Inc.
2000	GARDEN RESTORATIONS	Pacific Bell
1996	RIDGWAY-TICHELAAR MELINDA	PACIFIC BELL DIRECTORY
1975	BETTENCOURT FITZ	Pacific Telephone
1962	Bettencourt Fitz haulng	Pacific Telephone
1943	Bettencourt Mildred r	R. L. Polk & Co.
	Bettencourt Kath r	R. L. Polk & Co.
	Bettencourt Alf Lydia shipydwr h	R. L. Polk & Co.

2415 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	MARAH Jasmine	Haines Company, Inc.
1962	Galindo Antonio	Pacific Telephone
	Zappola J H	Pacific Telephone
	Galindo Mary	Pacific Telephone
1943	Bertheaud Edw J h	R. L. Polk & Co.

2418 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	STERLING Jason	Haines Company, Inc.
1996	DEAN MARGARET	PACIFIC BELL DIRECTORY
1992	BRANCH MARGARET N	PACIFIC BELL DIRECTORY
1975	BRANCH MARGARET N	Pacific Telephone
1962	Bidou John Mrs	Pacific Telephone

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1943	Manize Manuel whsmn h	R. L. Polk & Co.

2421 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	FRANKLIN Freeman	Haines Company, Inc.
1992	FRANKLIN FREEMAN	PACIFIC BELL DIRECTORY
1975	OWENS H	Pacific Telephone
1962	Owens Virgile	Pacific Telephone
1943	Person Lucelle r	R. L. Polk & Co.
	Person Ida C Mrs h	R. L. Polk & Co.

2422 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	WASHBURN Melissa	Haines Company, Inc.
1962	Carouso Nina	Pacific Telephone
1943	Carouso Victor Nina h	R. L. Polk & Co.
	Carouso Nichols r	R. L. Polk & Co.

2424 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	a BRIDGMAN Jennifer	Haines Company, Inc.
2000	BONNER M	Pacific Bell
	BRIDGMAN JOEL	Pacific Bell

2426 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	TUMARablya S	Haines Company, Inc.
2000	MCLAUGHLIN ASHA & MARK	Pacific Bell

2411 1/2 7TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	LEASURE LARRY	Pacific Bell
1996	LEASURE LARRY	PACIFIC BELL DIRECTORY
1992	LEASURE LARRY	PACIFIC BELL DIRECTORY

Channing Way

701 Channing Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	OLD SFC LLC	EDR Digital Archive
	OLD SFC LLC	EDR Digital Archive

FINDINGS

CHANNING WAY

701 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	GRATEFULBODY	Haines Company, Inc.
1992	PRIME PUMP CORP	PACIFIC BELL DIRECTORY
1986	BILLS MACHINE SHOP	PACIFIC BELL WHITE PAGES
1980	Tetradex	Pacific Telephone
	Ziegler Peter	Pacific Telephone
1933	HELSTEN ERNEST FACTYWKR R BERKELEY	R. L. Polk & Co.
	HELSTEN GUSTAVE (AMELIA) H BERKELEY	R. L. Polk & Co.
	HELSTEN ROBT R BERKELEY	R. L. Polk & Co.
1928	h Gustav Ame Lia H	R.L. Polk and Co of California

702 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1962	Mc Daniel Donald R	Pacific Telephone
1955	ANDERSON LARZ T BERKELEY	The Pacific Telephone & Telegraph Co.
1950	CONNOR TOTS R	The Pacific Telephone & Telegraph Co.
1943	Hurley Ray W Beatrice USA h	R. L. Polk & Co.
1933	MEANS JAS (MATILDA) WTCHMN H BERKELEY	R. L. Polk & Co.

708 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1955	WILLIAMS H MRS R BERKELEY	The Pacific Telephone & Telegraph Co.
1950	WILLIAMS H MRS R	The Pacific Telephone & Telegraph Co.
1945	WILLIAMS H MRS R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Williams Harry Kath h	R. L. Polk & Co.
1938	WILLIAMS GLADYS R	Pacific Telephone
1933	WILLIAMS HARRY W (KATH) H BERKELEY	R. L. Polk & Co.
	WAGNER GEO (IRENE) CARRIER BKLY PO R BERKELEY	R. L. Polk & Co.
	WILLIAMS KATH LABELER R BERKELEY	R. L. Polk & Co.
1928	av Gladys fctywkr R	R.L. Polk and Co of California

709 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1943	Perez Rafael Josephine lab h	R. L. Polk & Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1943	Perez Consuelo r	R. L. Polk & Co.
	Perez Connie r	R. L. Polk & Co.
1933	MCKINNON JOHN J (MARGT) ENG H BERKELEY	R. L. Polk & Co.
	MCKINNON ELOISE R BERKELEY	R. L. Polk & Co.
	MCKINNON HECTOR FIREMN R BERKELEY	R. L. Polk & Co.
1928	Grand Jos Margt slsmn H	R.L. Polk and Co of California
	Grand Hector J R	R.L. Polk and Co of California
1925	MCKINNON JOS R	R. L. Polk & Co. of California

Channing Way

710 Channing Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	COOKIE DEPARTMENT INC	EDR Digital Archive
	LABORDE ARCHITECTURE	EDR Digital Archive
	ALDERSON CONSTRUCTION INC	EDR Digital Archive
	ALDERSON CONSTRUCTION INC	EDR Digital Archive
	LABORDE ARCHITECTURE	EDR Digital Archive
	COOKIE DEPARTMENT INC	EDR Digital Archive
2010	LABORDE ARCHITECTURE	EDR Digital Archive
	ALDERSON CONSTRUCTION INC	EDR Digital Archive
	ALDERSON CONSTRUCTION INC	EDR Digital Archive
	LABORDE ARCHITECTURE	EDR Digital Archive

CHANNING WAY

710 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	CONSTRUCTION	Haines Company, Inc.
	ALDERSON	Haines Company, Inc.
2000	ALDERSON CONSTRUCTION	Pacific Bell
1996	ALDERSON CONSTRUCTION	PACIFIC BELL DIRECTORY
1975	HODGE P Z	Pacific Telephone
1970	WATT S O BERKELEY	Pacific Telephone Directory
	THOMMES MARLIN BERKELEY	Pacific Telephone Directory
	NETHAWAY T BERKELEY	Pacific Telephone Directory
1955	GRUBB FLOYD BERKELEY	The Pacific Telephone & Telegraph Co.
1945	GARRISON HAROLD E R BERKELEY	The Pacific Telephone & Telegraph Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1943	Streeter Geo E elev opr r	R. L. Polk & Co.
	Garrison Harold E Helen pntr h	R. L. Polk & Co.
1933	CARLSON MARY (WID VICTOR) H BERKELEY	R. L. Polk & Co.
1928	rr Mary wid Victor H	R.L. Polk and Co of California

711 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1986	BEADAZZLED INC	PACIFIC BELL WHITE PAGES

Channing Way

720 Channing Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	GOLDIN MIKE	EDR Digital Archive
	EAT/WORK DEVELOPMENT LP	EDR Digital Archive
	JOHN MCNEIL STUDIO INC	EDR Digital Archive
	OROPALLO DEBROAH	EDR Digital Archive
	OROPALLO DEBROAH	EDR Digital Archive
	GOLDIN MIKE	EDR Digital Archive
	JOHN MCNEIL STUDIO INC	EDR Digital Archive
	EAT/WORK DEVELOPMENT LP	EDR Digital Archive
2010	JOHN MCNEIL STUDIO INC	EDR Digital Archive
	EAT/WORK DEVELOPMENT LP	EDR Digital Archive
	GOLDIN MIKE	EDR Digital Archive
	OROPALLO DEBROAH	EDR Digital Archive
	GOLDIN MIKE	EDR Digital Archive
	OROPALLO DEBROAH	EDR Digital Archive
	JOHN MCNEIL STUDIO INC	EDR Digital Archive
	EAT/WORK DEVELOPMENT LP	EDR Digital Archive

CHANNING WAY

720 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	HAHN NICOLE A	Pacific Bell
	HAHN NICOLE A	Pacific Bell
1996	TOLON DESIGN	PACIFIC BELL DIRECTORY
1992	OLIVER & COMPANY	PACIFIC BELL DIRECTORY
1975	BUSINESS SERVICES	Pacific Telephone

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1970	BERKELEY PUBLIC SCHOOLS	Pacific Telephone Directory
1955	MULVANY HARRY A ENGR BERKELEY	The Pacific Telephone & Telegraph Co.
1950	MULVANY HARRY A ENGR	The Pacific Telephone & Telegraph Co.

Channing Way

721 Channing Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	GRATEFULBODY	EDR Digital Archive
	GRATEFULBODY	EDR Digital Archive

CHANNING WAY

721 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	STUPID FUN CLUB	Haines Company, Inc.

Channing Way

725 Channing Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	POLY-SEAL INDUSTRIES	EDR Digital Archive
	POLY-SEAL INDUSTRIES	EDR Digital Archive
2010	POLY-SEAL INDUSTRIES	EDR Digital Archive
	POLY-SEAL INDUSTRIES	EDR Digital Archive

CHANNING WAY

725 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	INDUSTRIES	Haines Company, Inc.
	POLY SEAL	Haines Company, Inc.
2000	FRT POLY SEAL INDUSTRIES	Pacific Bell
1996	FRT POLY-SEAL INDUSTRIES	PACIFIC BELL DIRECTORY
1992	POLY-SEAL INDUSTRIES	PACIFIC BELL DIRECTORY
1991	Poly Seal Industries	PACIFIC BELL WHITE PAGES
	POLY TE KIN C	PACIFIC BELL WHITE PAGES
1986	POLY SEALINC INC	PACIFIC BELL WHITE PAGES
	Poly Seal Inc	PACIFIC BELL WHITE PAGES
1980	Poly Seal Inc	Pacific Telephone

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1975	GIBBS PLASTICS	Pacific Telephone
1970	GIBBS MANUFACTURING PLASTC MOLDNG BERKELEY	Pacific Telephone Directory
1962	GIBBS MANUFACTURING	Pacific Telephone
1955	GIBBS MFG PLASTICS BERKELEY	The Pacific Telephone & Telegraph Co.
1950	GIBBS MFG PLASTICS CARTER & SON TOOL & DIE WRKS	The Pacific Telephone & Telegraph Co. The Pacific Telephone & Telegraph Co.

730 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	No Current Listing	Haines Company, Inc.
2000	KLISH JENNIFER S HAHN NICOLE	Pacific Bell Pacific Bell
1980	Celestin Erbin	Pacific Telephone
1975	CELESTIN ERBIN	Pacific Telephone
1970	CELESTIN ERBIN BERKELEY	Pacific Telephone Directory
1962	Celestin Erbin	Pacific Telephone
1955	CELESTIN ERBIN BERKELEY	The Pacific Telephone & Telegraph Co.
1950	CELESTIN ERBIN R	The Pacific Telephone & Telegraph Co.
1945	LENEVE BERTHA R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Cozad Ella wid S L r Leneve Edw Bertha lab h	R. L. Polk & Co. R. L. Polk & Co.
1938	LENEVE BERTHA R	Pacific Telephone
1933	GODDARD LEO (ANNA) CARP H BERKELEY	R. L. Polk & Co.
1928	PD Jose Lupie lab H	R.L. Polk and Co of California
1925	TAKANO T R	R. L. Polk & Co. of California

Channing Way

732 Channing Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	OLIVERIA ENGINEERING OLIVERIA ENGINEERING	EDR Digital Archive EDR Digital Archive
2010	OLIVERIA ENGINEERING OLIVERIA ENGINEERING	EDR Digital Archive EDR Digital Archive

FINDINGS

CHANNING WAY

732 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	OLIVERIA ENGINEERING	Haines Company, Inc. Haines Company, Inc.
2000	OLIVERIA ENGINEERING	Pacific Bell
1996	OLIVERIA ENGINEERING	PACIFIC BELL DIRECTORY
1992	OLIVERIA ENGINEERING	PACIFIC BELL DIRECTORY
1991	OLIVE RIA E N GIN E E RIN G	PACIFIC BELL WHITE PAGES
1986	OLIVE RIA E N GIN E E RIN G OLIVERIA ENGINEERING	PACIFIC BELL WHITE PAGES PACIFIC BELL WHITE PAGES
1980	Oliveria Engineering	Pacific Telephone
1950	LEWIS H M R	The Pacific Telephone & Telegraph Co.
1945	LEWIS H M R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Lewis Dorothy M tchr Berkeley Day Nursery r Lewis Hugh M h	R. L. Polk & Co. R. L. Polk & Co.
1938	LEWIS H M R	Pacific Telephone
1933	ABILA DOLORES MRS H REAR BERKELEY REGO IGNACIO LAB H BERKELEY	R. L. Polk & Co. R. L. Polk & Co.
1928	Sheredar S Heredice Beninga H	R.L. Polk and Co of California

735 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1975	FANTANELLO MICHAEL L	Pacific Telephone

736 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	o GIOLUND Peler LEWIS Juanita	Haines Company, Inc. Haines Company, Inc.
2000	LEWIS ALFORNIA & JUANITA	Pacific Bell
1996	LEWIS ALFORNIA & JUANITA	PACIFIC BELL DIRECTORY
1975	LEWIS ALFORNIA	Pacific Telephone
1970	LEWIS ALFORNIA BERKELEY	Pacific Telephone Directory
1962	Lewis Juanita	Pacific Telephone
1955	NEELY JAS F BERKELEY	The Pacific Telephone & Telegraph Co.

FINDINGS

739 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1962	Walker Rebecca	Pacific Telephone
	Walker Robt	Pacific Telephone
1955	JONES HARRY R BERKELEY	The Pacific Telephone & Telegraph Co.
1950	JONES HARRY R	The Pacific Telephone & Telegraph Co.
1945	JONES HARRY R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Jones Harry Phyllis I eng h	R. L. Polk & Co.
1933	JONES HARRY ENG R	R. L. Polk & Co.
	JONES EDW H BERKELEY	R. L. Polk & Co.
1928	nock Harry R	R.L. Polk and Co of California
	JONES Edw H	R.L. Polk and Co of California
1925	JONES HARRY R	R. L. Polk & Co. of California

742 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	No Current Listing	Haines Company, Inc.
2000	SHAW LESTER D	Pacific Bell
1996	SHAW LESTER D	PACIFIC BELL DIRECTORY
1992	SHAW LESTER D	PACIFIC BELL DIRECTORY
1991	Shaw Linda	PACIFIC BELL WHITE PAGES
	Shaw Lester D	PACIFIC BELL WHITE PAGES
	Shaw Lisa	PACIFIC BELL WHITE PAGES
1986	Shaw Lester D	PACIFIC BELL WHITE PAGES
	Shaw Lester D	PACIFIC BELL WHITE PAGES
1980	Shaw Lester D	Pacific Telephone
1970	SHAW LESTER D BERKELEY	Pacific Telephone Directory
1962	Shaw Lester D	Pacific Telephone
1955	SHAW LESTER D BERKELEY	The Pacific Telephone & Telegraph Co.
1950	SHAW LESTER D R	The Pacific Telephone & Telegraph Co.
1945	COWEN MORRIS D R BERKELEY	The Pacific Telephone & Telegraph Co.

800 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	No Current Listing	Haines Company, Inc.
1962	Williams S W r	Pacific Telephone
1955	WILLIAMS S W R BERKELEY	The Pacific Telephone & Telegraph Co.
1950	WILLIAMS S W R	The Pacific Telephone & Telegraph Co.
1945	GEIGER LOUIS F R BERKELEY	The Pacific Telephone & Telegraph Co.

FINDINGS

801 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	a LARKS Linda	Haines Company, Inc.
2000	GURULE JOE E	Pacific Bell
1996	GURULE JOE E	PACIFIC BELL DIRECTORY
1992	GURULE JOE E	PACIFIC BELL DIRECTORY
1991	Gurule Joe E	PACIFIC BELL WHITE PAGES
1986	Gurule Joe E	PACIFIC BELL WHITE PAGES
	Gurule Mary	PACIFIC BELL WHITE PAGES
	Gurule Joe E E	PACIFIC BELL WHITE PAGES
	Gurule Mary	PACIFIC BELL WHITE PAGES
1980	Gurule Joe E	Pacific Telephone
1970	GURULE JOE E BERKELEY	Pacific Telephone Directory
1962	Gurule Joe E	Pacific Telephone
1955	WADE DEE BERKELEY	The Pacific Telephone & Telegraph Co.
1950	WADE DEE R	The Pacific Telephone & Telegraph Co.
1945	FERGUSON ARTHUR E R BERKELEY	The Pacific Telephone & Telegraph Co.

805 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	ZAPATAcaios	Haines Company, Inc.
1992	3 BOSER JEFFREY	PACIFIC BELL DIRECTORY
1955	HOLLAND THULA BERKELEY	The Pacific Telephone & Telegraph Co.
1945	HOLLAND THULA R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Figueiredo Jos Mary mach h	R. L. Polk & Co.
	Soares Alice r	R. L. Polk & Co.
	Soares Irene r	R. L. Polk & Co.
1938	RAMOS J W R	Pacific Telephone
1933	RAMOS JOS W (ELSIE) MTRMN H BERKELEY	R. L. Polk & Co.

Channing Way

806 Channing Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	PELTON STEPHEN	EDR Digital Archive
	PELTON STEPHEN	EDR Digital Archive

FINDINGS

CHANNING WAY

806 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	HOURULA ROBT & SIRPA	Pacific Bell
1996	HOURULA ROBT & SIRPA	PACIFIC BELL DIRECTORY
1992	HOURULA ROBT & SIRPA	PACIFIC BELL DIRECTORY
1991	Tuomainen Sirpa	PACIFIC BELL WHITE PAGES
	Hourula Robt & Sirpa	PACIFIC BELL WHITE PAGES
1986	Hourula Robt & Sirpa	PACIFIC BELL WHITE PAGES
	Hourula Robt J & Sirpa	PACIFIC BELL WHITE PAGES
1980	Tiffith Freddie Jean	Pacific Telephone
	Yamasaki Harry C	Pacific Telephone
1975	FUKAWA MASAO	Pacific Telephone
1970	COLEMAN ALLEN BERKELEY	Pacific Telephone Directory
	COLEMAN LOU BERKELEY	Pacific Telephone Directory
	GARCIA MARTA BERKELEY	Pacific Telephone Directory
	YAMASAKI HARRY C BERKELEY	Pacific Telephone Directory
1962	Nakagaki Geo	Pacific Telephone
1955	NAKAGAKI GEO BERKELEY	The Pacific Telephone & Telegraph Co.
1950	NAKAGAKI GEO R	The Pacific Telephone & Telegraph Co.
1943	St John John Grace restr h	R. L. Polk & Co.
	Matson Danl mach r	R. L. Polk & Co.
	HYNES Phillip USA r	R. L. Polk & Co.
	HYNES Mary Mrs h	R. L. Polk & Co.
	HYNES Kath clk r	R. L. Polk & Co.
1933	KOENIG FRED F (LOUISE) IRONWKR H BERKELEY	R. L. Polk & Co.

809 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	Bush AC	Haines Company, Inc.
2000	BUSH A C	Pacific Bell
1996	BUSH A C	PACIFIC BELL DIRECTORY
1992	BUSH A C	PACIFIC BELL DIRECTORY
1991	Bush A C	PACIFIC BELL WHITE PAGES
1970	GARCIA JOAQUIN BERKELEY	Pacific Telephone Directory
1962	Churchill Roy L	Pacific Telephone
1955	JENSEN KNUD R BERKELEY	The Pacific Telephone & Telegraph Co.
1945	WICKMAN OSCAR R BERKELEY	The Pacific Telephone & Telegraph Co.

FINDINGS

810 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	a OLIVA Glenn	Haines Company, Inc.
1986	Coleman Lou	PACIFIC BELL WHITE PAGES
	Coleman Allen	PACIFIC BELL WHITE PAGES
	Coleman Ann	PACIFIC BELL WHITE PAGES
	Coleman Lou	PACIFIC BELL WHITE PAGES
1980	Coleman Allen	Pacific Telephone
	Coleman Lou	Pacific Telephone
1970	ROGERS DOROTHY BERKELEY	Pacific Telephone Directory
1962	Thompson Charmaine	Pacific Telephone
1955	CHAN KIN J R BERKELEY	The Pacific Telephone & Telegraph Co.
1945	PINKSTON H L R BERKELEY	The Pacific Telephone & Telegraph Co.

Channing Way

811 Channing Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	INDIAN ROCK CNSTR & DESIGN	EDR Digital Archive
	INDIAN ROCK CNSTR & DESIGN	EDR Digital Archive
2010	INDIAN ROCK CNSTR & DESIGN	EDR Digital Archive
	PLANTDRIVE	EDR Digital Archive
	INDIAN ROCK CNSTR & DESIGN	EDR Digital Archive
	PLANTDRIVE	EDR Digital Archive

CHANNING WAY

811 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	a REECECraig	Haines Company, Inc.
1986	Terrell Jas	PACIFIC BELL WHITE PAGES
1980	Hubbard Theresa	Pacific Telephone
1962	Strickland Dorothy E	Pacific Telephone
1955	WEIL ALLEN M BERKELEY	The Pacific Telephone & Telegraph Co.

813 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	JOHNSON Brook 00 e	Haines Company, Inc.
1975	MC DONALD WILLIE R	Pacific Telephone
1970	MCDONALD WILLIE R BERKELEY	Pacific Telephone Directory

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1962	Mc Donald Willie R	Pacific Telephone
1955	MCDONALD WILLIE R BERKELEY	The Pacific Telephone & Telegraph Co.
1950	BROWN AARON N R	The Pacific Telephone & Telegraph Co.

Channing Way

818 Channing Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	BERTANI CHRISTY BOOKKEEPING	EDR Digital Archive
	BERTANI CHRISTY BOOKKEEPING	EDR Digital Archive
2010	BERTANI CHRISTY BOOKKEEPING	EDR Digital Archive
	BERTANI CHRISTY BOOKKEEPING	EDR Digital Archive

CHANNING WAY

818 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	No Current Listing	Haines Company, Inc.
1970	RICHARDSON L T BERKELEY	Pacific Telephone Directory
1962	Sayles Thelma	Pacific Telephone
1955	SMITH JAS B BERKELEY	The Pacific Telephone & Telegraph Co.
1950	JARAMILLO ERNEST R	The Pacific Telephone & Telegraph Co.
1945	ROBISON C C R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Robison Carlisle C Dorothy carp h	R. L. Polk & Co.

820 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	ROYCE Nicky	Haines Company, Inc.
	Varonlce	Haines Company, Inc.
2000	ROYCE NICKY VERONICA	Pacific Bell
1996	ROYCE NICKY VERONICA	PACIFIC BELL DIRECTORY
1992	ROYCE NICKY VERONICA	PACIFIC BELL DIRECTORY
	PICKETT SEAN	PACIFIC BELL DIRECTORY
1986	Bilboa PJ	PACIFIC BELL WHITE PAGES
	Bilboa PJ	PACIFIC BELL WHITE PAGES
1980	Bilboa P J	Pacific Telephone
1975	BLLBOA PJ	Pacific Telephone
1970	BILBOA P J BERKELEY	Pacific Telephone Directory
1962	Bilboa P J	Pacific Telephone
1955	BILBOA P J BERKELEY	The Pacific Telephone & Telegraph Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	BILBOA P J R	The Pacific Telephone & Telegraph Co.
1945	BILBOA P J R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Bilboa Patk J Sadie H driver h	R. L. Polk & Co.
1928	av Waino A Anna electn H	R.L. Polk and Co of California

824 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	WOODS Alex	Haines Company, Inc.
2000	WOODS ALEX	Pacific Bell
1996	WOODS ALEX	PACIFIC BELL DIRECTORY
1992	WOODS ALEX	PACIFIC BELL DIRECTORY
1991	Woods Alex	PACIFIC BELL WHITE PAGES
1986	Woods Alex	PACIFIC BELL WHITE PAGES
	Woods Alex	PACIFIC BELL WHITE PAGES
1980	Woods Alex	Pacific Telephone
1970	WOODS LESSIE D BERKELEY	Pacific Telephone Directory
1962	Woods Lessie D	Pacific Telephone
1955	VERBECK R D R BERKELEY	The Pacific Telephone & Telegraph Co.
1950	VERBECK R D R	The Pacific Telephone & Telegraph Co.
1945	VERBECK R D R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Verbeck Rene C clk r	R. L. Polk & Co.
	Verbeck Rene D Edith shtmtlwkr h	R. L. Polk & Co.
1933	MOSELY GLENN E (MARY) SEAMN R BERKELEY	R. L. Polk & Co.
	MEANS FRANK H MACH H BERKELEY	R. L. Polk & Co.

827 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	PEREZ Consuelo	Haines Company, Inc.
2000	MARTINEZ L A	Pacific Bell
	PEREZ CONSUELO	Pacific Bell
1996	PEREZ CONSUELO	PACIFIC BELL DIRECTORY
1986	Sakamoto Henry	PACIFIC BELL WHITE PAGES
1980	Sakamoto Henry	Pacific Telephone
1970	SAKAMOTO HENRY BERKELEY	Pacific Telephone Directory
1962	Sakamoto Henry	Pacific Telephone
1955	SAKAMOTO HENRY R BERKELEY	The Pacific Telephone & Telegraph Co.
1950	SAKAMOTO HENRY R	The Pacific Telephone & Telegraph Co.
1945	PUTERBAUGH G E R BERKELEY	The Pacific Telephone & Telegraph Co.

FINDINGS

828 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	RUBIO Katharine	Haines Company, Inc.
2000	VELARDE KAREN	Pacific Bell
1970	WALKER JAS H BERKELEY	Pacific Telephone Directory
1962	Yoshil Tad	Pacific Telephone
1955	YOSHII TAD BERKELEY	The Pacific Telephone & Telegraph Co.
1950	RAMSEY JOHN W R	The Pacific Telephone & Telegraph Co.

834 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	COX Darothy	Haines Company, Inc.
	CABRALAdolfo	Haines Company, Inc.
1962	Torres Rudolph C	Pacific Telephone
1950	MAYNES W A R	The Pacific Telephone & Telegraph Co.
1933	TILDEN DOUGLAS SCULPTOR BERKELEY	R. L. Polk & Co.
1928	Teden Douglas sculpto R	R.L. Polk and Co of California

Channing Way

835 Channing Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2010	WSR BAND	EDR Digital Archive
	WSR BAND	EDR Digital Archive

CHANNING WAY

835 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	C ALORIDGEAnn	Haines Company, Inc.
	BENSINGER Lauren	Haines Company, Inc.
	MATHEWS L	Haines Company, Inc.
2000	A WILLCOX BRADRICK J	Pacific Bell
	B MANALUS GARY	Pacific Bell
	C GREENSMITH BRIAN T	Pacific Bell
	D YAROSLASKI DAVID P	Pacific Bell
	E SPACEK DANIEL E	Pacific Bell
	6 NAGUIAT JAMES R	Pacific Bell
1986	Tugwell Janice	PACIFIC BELL WHITE PAGES
	B Tugwell Janice	PACIFIC BELL WHITE PAGES

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1980	Hill E	Pacific Telephone
1970	RAMBO SHIRLEY BERKELEY	Pacific Telephone Directory

836 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	CARRIEDO Catalina	Haines Company, Inc.
1991	Simns Gloria G	PACIFIC BELL WHITE PAGES
1986	Contd C Sims Gloria G	PACIFIC BELL WHITE PAGES
	A Malone Helen	PACIFIC BELL WHITE PAGES
	Sims Gloria G	PACIFIC BELL WHITE PAGES
	Malone Helen	PACIFIC BELL WHITE PAGES
1980	Sims Gloria G	Pacific Telephone
	Loyd Katie	Pacific Telephone
1970	SIMS GLORIA G BERKELEY	Pacific Telephone Directory
	THOMPSON C BERKELEY	Pacific Telephone Directory
	MALONE ULIS JR BERKELEY	Pacific Telephone Directory
1955	WATCHERS H K BERKELEY	The Pacific Telephone & Telegraph Co.
1950	WATCHERS H K R	The Pacific Telephone & Telegraph Co.
1945	WATCHERS H K R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Watchers Herbt K Carolyn h	R. L. Polk & Co.
1933	FOREMAN ALFD R (GOLDIE) LAB H BERKELEY	R. L. Polk & Co.
1928	rite Harvey Ethel H	R.L. Polk and Co of California

839 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	VALENZUELA Allen	Haines Company, Inc.
1986	Jones Alfred B	PACIFIC BELL WHITE PAGES
1980	Jones Alfred B	Pacific Telephone
1975	JONES ALFRED B	Pacific Telephone
1970	JONES LILLIE BERKELEY	Pacific Telephone Directory
1962	Jones Lillie	Pacific Telephone
	Jones Alfred B	Pacific Telephone
1955	TROIEL COMPANIES INC BERKELEY	The Pacific Telephone & Telegraph Co.
1950	TROIEL COMPANLES INC	The Pacific Telephone & Telegraph Co.
	TROIEL A E R	The Pacific Telephone & Telegraph Co.
1945	TROIEL A E R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Troiell Arth E Alfride cementwkr h	R. L. Polk & Co.
	Troiell Jacob E r	R. L. Polk & Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1933	NIEHAUS MATHILDE (WID EDW F) H BERKELEY	R. L. Polk & Co.
1928	Wahlefeld Henry P R	R.L. Polk and Co of California
	Relva Esperanza Mrs H	R.L. Polk and Co of California
	av Mafthilde wid Edw F H	R.L. Polk and Co of California
1925	NIEHAUS MATHILDE R	R. L. Polk & Co. of California
1920	NIEHAUS MATHILDE R	R. L. Polk & Co. of California

840 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	a JHITTASuqii	Haines Company, Inc.
1980	Brooks Janet Lee	Pacific Telephone
1970	COPEES EGERLY BERKELEY	Pacific Telephone Directory
1962	Gandy Vernon G Elder	Pacific Telephone
1950	WILLS LOIS R	The Pacific Telephone & Telegraph Co.
1945	LA ROCCA ANDREW R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	De Costa Anthony F Anna firemn BFD h	R. L. Polk & Co.
1933	BRUNO FRANK (LOUISE) RANCHER H BERKELEY	R. L. Polk & Co.
1928	Vericenia Jos Mary H	R.L. Polk and Co of California

850 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	MOORE Frankie	Haines Company, Inc.
1996	MOORE PERVIS	PACIFIC BELL DIRECTORY
1992	MOORE PERVIS	PACIFIC BELL DIRECTORY
1991	Moore Pervis	PACIFIC BELL WHITE PAGES
1986	Moore Pervis	PACIFIC BELL WHITE PAGES
	Moore Pervis	PACIFIC BELL WHITE PAGES
1980	Moore Pervis	Pacific Telephone
1962	Miller Money Jr	Pacific Telephone
1955	COLLINS CLEVELAND M BERKELEY	The Pacific Telephone & Telegraph Co.
1950	MILLER MONEY JR R	The Pacific Telephone & Telegraph Co.
1945	JOHNSON LAWRENCE T R BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Nobrega Eva R jan r	R. L. Polk & Co.
	Nabriga Fernandes h	R. L. Polk & Co.
1938	FERNANDES E R	Pacific Telephone
1933	FERNANDEZ EVA LABELER H BERKELEY	R. L. Polk & Co.

FINDINGS

900 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	No Current Listing	Haines Company, Inc.
2000	COPELAND MABLE M	Pacific Bell
1996	COPELAND MABLE M	PACIFIC BELL DIRECTORY
1992	COPELAND MABLE M	PACIFIC BELL DIRECTORY
1991	Copeland Mable M	PACIFIC BELL WHITE PAGES
1986	Copeland Mable M	PACIFIC BELL WHITE PAGES
	Copeland Mable M	PACIFIC BELL WHITE PAGES
1980	Copeland Mable M	Pacific Telephone
1975	COPELAND MABLE M	Pacific Telephone
1970	COPELAND MABLE M BERKELEY	Pacific Telephone Directory
1962	Copeland Mable M	Pacific Telephone
	Copeland W E	Pacific Telephone
1955	YOUNG ROBT B BERKELEY	The Pacific Telephone & Telegraph Co.
1950	COPELAND W E R	The Pacific Telephone & Telegraph Co.
1933	NICHOLSON DAVID R BERKELEY	R. L. Polk & Co.
	NICHOLSON ETHEL R BERKELEY	R. L. Polk & Co.
	NICHOLSON KEITH R BERKELEY	R. L. Polk & Co.
	NICHOLSON ROBT H BERKELEY	R. L. Polk & Co.
	RENO ADA (WID S H) H BERKELEY	R. L. Polk & Co.
	RENO FLORENCE CLK R BERKELEY	R. L. Polk & Co.
1925	MARTIN M R	R. L. Polk & Co. of California

0850 CHANNING WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1991	Moore Pervis	PACIFIC BELL WHITE PAGES

DWIGHT CRES

845 DWIGHT CRES

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1992	DOTSON FLORA	PACIFIC BELL DIRECTORY
1991	Dotson Flora	PACIFIC BELL WHITE PAGES
1975	BOLDEN GAIL	Pacific Telephone
1962	Wilson Sylvester B	Pacific Telephone

847 DWIGHT CRES

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	JONES Thals	Haines Company, Inc.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1962	Norrise Cosey D	Pacific Telephone

849 DWIGHT CRES

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	No Current Listing	Haines Company, Inc.

851 DWIGHT CRES

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2000	TURNER Q ESTHER	Pacific Bell
1996	TURNER Q ESTHER	PACIFIC BELL DIRECTORY
1992	TURNER Q ESTHER	PACIFIC BELL DIRECTORY
1991	Turner Q Esther	PACIFIC BELL WHITE PAGES
1986	Turner Q Esther	PACIFIC BELL WHITE PAGES
	851 Turner Q Esther	PACIFIC BELL WHITE PAGES
1980	Hall Linda F	Pacific Telephone

Dwight Cres

890 Dwight Cres

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	ROBINSON JAMES D PHD	EDR Digital Archive
	ROBINSON JAMES D PHD	EDR Digital Archive
2010	ROBINSON JAMES D PHD	EDR Digital Archive
	ROBINSON JAMES D PHD	EDR Digital Archive

DWIGHT WAY

715 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1996	CABRIOLET INTERNATIONAL	PACIFIC BELL DIRECTORY
1992	CABRIOLET INTERNATIONAL	PACIFIC BELL DIRECTORY
1991	Cabriolet International	PACIFIC BELL WHITE PAGES
1986	Cabriolet International	PACIFIC BELL WHITE PAGES
	1 VITAL SIGNS	PACIFIC BELL WHITE PAGES
	CABRIOLET INTERNATIONAL	PACIFIC BELL WHITE PAGES
1980	C E D Machine Products Co	Pacific Telephone
	C E D MACHINE PRODUCTS	Pacific Telephone
1975	C E D MACHINE PRODUCTS	Pacific Telephone
1970	DEL MONTE CORP	Pacific Telephone Directory
1955	CALIF PACKING CORP	The Pacific Telephone & Telegraph Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1950	CALIF PACKING CORP (CONTD)	The Pacific Telephone & Telegraph Co.

Dwight Way

723 Dwight Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	AARVAKS HEATING & AC	EDR Digital Archive
	ACCURATE AUTO APPRAISERS	EDR Digital Archive
	AARVAKS HEATING & AC	EDR Digital Archive
	ACCURATE AUTO APPRAISERS	EDR Digital Archive
2010	ACCURATE AUTO APPRAISERS	EDR Digital Archive
	AARVAKS HEATING & AC	EDR Digital Archive
	ACCURATE AUTO APPRAISERS	EDR Digital Archive
	AARVAKS HEATING & AC	EDR Digital Archive

DWIGHT WAY

723 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	AIR CONDNG	Haines Company, Inc.
	AARVAKSHTNG	Haines Company, Inc.
	HEATING&AC	Haines Company, Inc.
	AARVAKS	Haines Company, Inc.
	AARVAKS	Haines Company, Inc.
2000	AARVAKS HEATING & AIR CONDITIONING	Pacific Bell
1996	AARVAKS HEATING & AIR CONDITIONING	PACIFIC BELL DIRECTORY
1992	ACCURATE AUTO APPRAISERS	PACIFIC BELL DIRECTORY
1980	California Street	Pacific Telephone
	Blotnick Elihu	Pacific Telephone
	B B M Associates	Pacific Telephone

725 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1975	LONGSTRETH RICHARD Z	Pacific Telephone

FINDINGS

Dwight Way

727 Dwight Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	ANN S CATERING INC	EDR Digital Archive
	ANN S CATERING INC	EDR Digital Archive
2010	ANN S CATERING INC	EDR Digital Archive
	AFRICAN ART EXPEDITIONS	EDR Digital Archive
	ANN S CATERING INC	EDR Digital Archive
	AFRICAN ART EXPEDITIONS	EDR Digital Archive

DWIGHT WAY

727 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	TWW ASSOCIATES	Haines Company, Inc.
1996	SAAB REPLAY	PACIFIC BELL DIRECTORY
1992	MEDIA ONE RADIO	PACIFIC BELL DIRECTORY
1991	Wynn Ezra F	PACIFIC BELL WHITE PAGES
	Wynn Jane	PACIFIC BELL WHITE PAGES
1986	WYNN EZRA F	PACIFIC BELL WHITE PAGES

729 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	INSULATION	Haines Company, Inc.
	GOLDEN BEAR	Haines Company, Inc.

731 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1992	JOHNSON PLUMBING & HEATING CO	PACIFIC BELL DIRECTORY
1991	JOHN S ON PLUMBING & HEATING CO	PACIFIC BELL WHITE PAGES
	Johnson Price M	PACIFIC BELL WHITE PAGES
1986	FANTASY JUNCTION	PACIFIC BELL WHITE PAGES
	Fantasy Junction	PACIFIC BELL WHITE PAGES
1980	Fantasy Junction	Pacific Telephone

733 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1962	Sierra Machine Co	Pacific Telephone
1955	SIERRA MACHINE CO BERKELEY	The Pacific Telephone & Telegraph Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1945	SIERRA MACHINE CO BERKELEY	The Pacific Telephone & Telegraph Co.
1943	SIERRA MACHINE CO INC C B Noyes Pres Manufacturers of Sierra Refrigerating Machines and Pumps	R. L. Polk & Co.
1938	SIERRA MACHINE CO	Pacific Telephone

734 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1925	RELIABLE MANUFACTURING CO	R. L. Polk & Co. of California

Dwight Way

735 Dwight Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	LEWIS KERMIT M	EDR Digital Archive
	LEWIS KERMIT M	EDR Digital Archive
2010	BAY AREA MAILING SERVICES	EDR Digital Archive
	BAY AREA MAILING SERVICES	EDR Digital Archive

DWIGHT WAY

735 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	BAYAREA MAILING SERVICES	Haines Company, Inc. Haines Company, Inc.
2000	BAY AREA MAILING SERVICES	Pacific Bell
1996	BAY AREA MAILING SERVICES	PACIFIC BELL DIRECTORY
1992	BAY AREA MAILING SERVICES	PACIFIC BELL DIRECTORY
1970	COMPACT COFFEE SERVICE OF BERKELEY BERKELEY	Pacific Telephone Directory

737 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	HATTAM JOHN	Haines Company, Inc.
2000	HATTAM JOHN ROLF	Pacific Bell
1996	ORGANIC HARVEST NETWORK	PACIFIC BELL DIRECTORY
1992	ORGANIC HARVEST NETWORK	PACIFIC BELL DIRECTORY
1991	Bond Charles	PACIFIC BELL WHITE PAGES
	From San Francisco Telephones Call	PACIFIC BELL WHITE PAGES
	Bond Charles F	PACIFIC BELL WHITE PAGES
	Law Offices Of Leonard D Weller	PACIFIC BELL WHITE PAGES

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1991	Physicians Advocates	PACIFIC BELL WHITE PAGES
1986	Adax Inc	PACIFIC BELL WHITE PAGES
1980	Bedayn Construction	Pacific Telephone
1975	BEDAYN CONSTRUCTION	Pacific Telephone
1970	BEDAYN CONSTRUCTION BERKELEY	Pacific Telephone Directory

Dwight Way

739 Dwight Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	BRENDE & LAMB LLC	EDR Digital Archive
	BRENDE & LAMB LLC	EDR Digital Archive
2010	BRENDE & LAMB LLC	EDR Digital Archive
	BRENDE & LAMB LLC	EDR Digital Archive

DWIGHT WAY

739 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	TREE & SHRUB CR	Haines Company, Inc.
	BRENDE&LAMB	Haines Company, Inc.
1986	Wilson Leslie	PACIFIC BELL WHITE PAGES
	Belanger BJ	PACIFIC BELL WHITE PAGES
	i Wilson Leslie D	PACIFIC BELL WHITE PAGES
	Belanger B J	PACIFIC BELL WHITE PAGES
1980	Belanger B J	Pacific Telephone
	Wilson Leslie D	Pacific Telephone
1955	SUR FIT WHEEL WEIGHT CO BERKELEY	The Pacific Telephone & Telegraph Co.

743 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1962	Vaughn Chemical Co	Pacific Telephone
	Custom Lubricant Co	Pacific Telephone
	Residence	Pacific Telephone
	Cornish Robert E Dr Laboratories chmst	Pacific Telephone
	Apex Scientific Co furn & apratus	Pacific Telephone
1955	TECHNICAL EQUIPMENT CO BERKELEY	The Pacific Telephone & Telegraph Co.
	CORNISH ROBERT E DR LABORATORIES CHMST BERKELEY	The Pacific Telephone & Telegraph Co.

FINDINGS

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1955	CORNISH ROBERT E DR LABORATORIES CHMST BERKELEY	The Pacific Telephone & Telegraph Co.
	CHEMICAL SERVICE CO BERKELEY	The Pacific Telephone & Telegraph Co.
1950	CORNISH ROBERT E DR LABORATORIES CHMST	The Pacific Telephone & Telegraph Co.
1945	BEAURLINE PRODUCTS CO BERKELEY	The Pacific Telephone & Telegraph Co.
	CORNISH ROBERT E DR LABORATORIES CHMST BERKELEY	The Pacific Telephone & Telegraph Co.
1943	Cornish Robt E chemist	R. L. Polk & Co.
1938	CORNISH ROBERT E	Pacific Telephone

Dwight Way

800 Dwight Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	BIOTECH PARTNERS	EDR Digital Archive
	EUREST DINING SVC CORP	EDR Digital Archive
	COMPASS ONE LLC	EDR Digital Archive
	BAYER HEALTHCARE LLC	EDR Digital Archive
	BERKELEY GATEWAY TRAN MGT ASSN	EDR Digital Archive
	EUREST DINING SVC CORP	EDR Digital Archive
	COMPASS ONE LLC	EDR Digital Archive
	BAYER HEALTHCARE LLC	EDR Digital Archive
	BIOTECH PARTNERS	EDR Digital Archive
	BERKELEY GATEWAY TRAN MGT ASSN	EDR Digital Archive
2010	BAYER HEALTHCARE LLC	EDR Digital Archive
	BAYER HEALTHCARE LLC	EDR Digital Archive

851 Dwight Way

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2014	CALIRI SUSAN DDS	EDR Digital Archive
	CALIRI SUSAN DDS	EDR Digital Archive
2010	CALIRI SUSAN DDS	EDR Digital Archive
	CALIRI SUSAN DDS	EDR Digital Archive

FINDINGS

DWIGHT WAY

851 DWIGHT WAY

<u>Year</u>	<u>Uses</u>	<u>Source</u>
2006	CALIRI SUSAN DDS	Haines Company, Inc.
2000	CALIRI SUSAN DDS	Pacific Bell
1991	Aachen Chiropractic	PACIFIC BELL WHITE PAGES
	Davidson Donald Richard DC	PACIFIC BELL WHITE PAGES
	West Berkeley Chiropractic	PACIFIC BELL WHITE PAGES
1986	DAVIDSON DONALD RICHARD DC	PACIFIC BELL WHITE PAGES
1980	Davidson Donn Dr DC	Pacific Telephone
1962	Patching Fred E MD	Pacific Telephone

E 4TH ST

2435 E 4TH ST

<u>Year</u>	<u>Uses</u>	<u>Source</u>
1928	Aldred Sam I shtmtlwkr H	R.L. Polk and Co of California

FINDINGS

TARGET PROPERTY: ADDRESS NOT IDENTIFIED IN RESEARCH SOURCE

The following Target Property addresses were researched for this report, and the addresses were not identified in the research source.

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
2422 5th Street	2014, 2010, 2002, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1943, 1940, 1932, 1926, 1925, 1920

ADJOINING PROPERTY: ADDRESSES NOT IDENTIFIED IN RESEARCH SOURCE

The following Adjoining Property addresses were researched for this report, and the addresses were not identified in research source.

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
0850 CHANNING WAY	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2322 5TH ST	2014, 2010, 2002, 2000, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2322 6th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2322 6th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2323 5th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2323 5th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2323 5TH ST	2014, 2010, 2002, 1993, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2323 6th St	2014, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2323 6th St	2014, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2325 4TH ST	2014, 2010, 2002, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2326 4TH ST	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926

FINDINGS

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
2337 5TH ST	2014, 2010, 2002, 2000, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1938, 1932, 1926, 1920
2337 6TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2337 6TH ST	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2337 6th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2337 6th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2338 4 GROVE	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2338 6TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2338 6TH ST	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1932, 1926
2340 6TH AVE	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1926, 1925, 1920
2341 5TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2341 5TH ST	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1932, 1926, 1925, 1920
2341 6TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2341 6TH ST	2014, 2010, 2002, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2342 6TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2342 6TH ST	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1940, 1932, 1926
2344 6TH ST	2014, 2010, 2002, 2000, 1996, 1993, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2344 6th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920

FINDINGS

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
2406 6TH ST	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1932, 1926, 1925, 1920
2407 4TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2407 4TH ST	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2408 7TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2408 7TH ST	2014, 2010, 2002, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2409 6TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2409 6TH ST	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1938, 1932, 1926
2410 5TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2410 5TH ST	2014, 2010, 2002, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1943, 1940, 1938, 1933, 1932, 1926
2410 6TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2410 6TH ST	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1932, 1926, 1925, 1920
2410 6th St	2014, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2410 6th St	2014, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2411 1/2 7TH ST	2014, 2010, 2006, 2002, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2411 4TH ST	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1932, 1928, 1926, 1925, 1920
2411 5TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2411 5TH ST	2014, 2010, 2002, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1938, 1932, 1928, 1926, 1925

FINDINGS

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
2411 6TH ST	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1932, 1926, 1920
2411 6th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2411 6th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2411 7TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2411 7TH ST	2014, 2010, 2002, 2000, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2411A 5TH ST	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2412 1/2 5TH ST	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2412 5TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2412 5TH ST	2014, 2010, 2002, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1932, 1926, 1925, 1920
2412 6TH ST	2014, 2010, 2002, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1932, 1926
2412 7TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2412 7TH ST	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2413 4TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2413 4TH ST	2014, 2010, 2002, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1940, 1938, 1932, 1928, 1926, 1925, 1920
2413 4th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2413 4th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2413 5th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920

FINDINGS

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
2418 6TH ST	2014, 2010, 2002, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1933, 1932, 1928, 1926, 1925, 1920
2418 6th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2418 6th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2418 7TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2418 7TH ST	2014, 2010, 2002, 2000, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2420 4TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2420 5th Street	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2421 4TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2421 4TH ST	2014, 2010, 2002, 1993, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1932, 1926, 1920
2421 4th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2421 4th St	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2421 4th Street	2014, 2010, 2002, 1993, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1954, 1951, 1946, 1940, 1932, 1926, 1920
2421 5TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2421 5TH ST	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1938, 1933, 1932, 1926, 1925, 1920
2421 5th Street	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1940, 1938, 1933, 1932, 1926, 1925, 1920
2421 6TH	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
2421 6TH ST	2014, 2010, 2002, 2000, 1996, 1993, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920

FINDINGS

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
725 DWIGHT WAY	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
727 DWIGHT WAY	2014, 2010, 2002, 2000, 1993, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
727 Dwight Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
727 Dwight Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
729 DWIGHT WAY	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
730 CHANNING WAY	2014, 2010, 2002, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1940, 1932, 1926, 1920
731 DWIGHT WAY	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1984, 1982, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
732 CHANNING WAY	2014, 2010, 2002, 1993, 1984, 1982, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1940, 1932, 1926, 1925, 1920
732 Channing Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
732 Channing Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
733 DWIGHT WAY	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1933, 1932, 1928, 1926, 1925, 1920
734 DWIGHT WAY	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1920
735 CHANNING WAY	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
735 DWIGHT WAY	2014, 2010, 2002, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
735 Dwight Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
735 Dwight Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
736 CHANNING WAY	2014, 2010, 2002, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
737 DWIGHT WAY	2014, 2010, 2002, 1993, 1984, 1982, 1979, 1976, 1973, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920

FINDINGS

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
739 CHANNING WAY	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1940, 1938, 1932, 1926, 1920
739 DWIGHT WAY	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
739 Dwight Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
739 Dwight Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
742 CHANNING WAY	2014, 2010, 2002, 1993, 1984, 1982, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
743 DWIGHT WAY	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1940, 1933, 1932, 1928, 1926, 1925, 1920
800 CHANNING WAY	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
800 Dwight Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
800 Dwight Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
801 CHANNING WAY	2014, 2010, 2002, 1993, 1984, 1982, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
805 CHANNING WAY	2014, 2010, 2002, 2000, 1996, 1993, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1940, 1932, 1928, 1926, 1925, 1920
806 CHANNING WAY	2014, 2010, 2006, 2002, 1993, 1984, 1982, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1945, 1940, 1938, 1932, 1928, 1926, 1925, 1920
806 Channing Way	2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
806 Channing Way	2010, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
809 CHANNING WAY	2014, 2010, 2002, 1993, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
810 CHANNING WAY	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
811 CHANNING WAY	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920

FINDINGS

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
811 Channing Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
811 Channing Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
813 CHANNING WAY	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
818 CHANNING WAY	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
818 Channing Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
818 Channing Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
820 CHANNING WAY	2014, 2010, 2002, 1993, 1991, 1984, 1982, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1940, 1938, 1933, 1932, 1926, 1925, 1920
824 CHANNING WAY	2014, 2010, 2002, 1993, 1984, 1982, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1940, 1938, 1932, 1928, 1926, 1925, 1920
827 CHANNING WAY	2014, 2010, 2002, 1993, 1992, 1991, 1984, 1982, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
828 CHANNING WAY	2014, 2010, 2002, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
834 CHANNING WAY	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1932, 1926, 1925, 1920
835 CHANNING WAY	2014, 2010, 2002, 1996, 1993, 1992, 1991, 1984, 1982, 1979, 1976, 1975, 1973, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
835 Channing Way	2014, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
835 Channing Way	2014, 2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
836 CHANNING WAY	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1984, 1982, 1979, 1976, 1975, 1973, 1967, 1965, 1962, 1960, 1959, 1956, 1954, 1951, 1946, 1940, 1938, 1932, 1926, 1925, 1920
839 CHANNING WAY	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1984, 1982, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1940, 1938, 1932, 1926
840 CHANNING WAY	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1979, 1976, 1975, 1973, 1967, 1965, 1960, 1959, 1956, 1955, 1954, 1951, 1946, 1940, 1938, 1932, 1926, 1925, 1920
845 DWIGHT CRES	2014, 2010, 2006, 2002, 2000, 1996, 1993, 1986, 1984, 1982, 1980, 1979, 1976, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920

FINDINGS

<u>Address Researched</u>	<u>Address Not Identified in Research Source</u>
847 DWIGHT CRES	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
849 DWIGHT CRES	2014, 2010, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
850 CHANNING WAY	2014, 2010, 2002, 2000, 1993, 1984, 1982, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1940, 1932, 1928, 1926, 1925, 1920
851 DWIGHT CRES	2014, 2010, 2006, 2002, 1993, 1984, 1982, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
851 DWIGHT WAY	2014, 2010, 2002, 1996, 1993, 1992, 1984, 1982, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
851 Dwight Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
851 Dwight Way	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
890 Dwight Cres	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
890 Dwight Cres	2006, 2002, 2000, 1996, 1993, 1992, 1991, 1986, 1984, 1982, 1980, 1979, 1976, 1975, 1973, 1970, 1967, 1965, 1962, 1960, 1959, 1956, 1955, 1954, 1951, 1950, 1946, 1945, 1943, 1940, 1938, 1933, 1932, 1928, 1926, 1925, 1920
900 CHANNING WAY	2014, 2010, 2002, 1993, 1984, 1982, 1979, 1976, 1973, 1967, 1965, 1960, 1959, 1956, 1954, 1951, 1946, 1945, 1943, 1940, 1938, 1932, 1928, 1926, 1920

Residential Duplex
2422 5th Street
Berkeley, CA 94710


Inquiry Number: 5312825.4
May 29, 2018

EDR Historical Topo Map Report

with QuadMatch™



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Historical Topo Map Report		05/29/18
Site Name: Residential Duplex 2422 5th Street Berkeley, CA 94710 EDR Inquiry # 5312825.4	Client Name: Partner Engineering and Science, Inc. 2154 Torrance Blvd, Suite 200 Torrance, CA 90501-0000 Contact: Colleen Tubridy	

EDR Topographic Map Library has been searched by EDR and maps covering the target property location as provided by Partner Engineering and Science, Inc. were identified for the years listed below. EDR's Historical Topo Map Report is designed to assist professionals in evaluating potential liability on a target property resulting from past activities. EDRs Historical Topo Map Report includes a search of a collection of public and private color historical topographic maps, dating back to the late 1800s.

Search Results:	Coordinates:
P.O.# NA	Latitude: 37.860555 37° 51' 38" North
Project: 18-217285.1	Longitude: -122.296828 -122° 17' 49" West
	UTM Zone: Zone 10 North
	UTM X Meters: 561853.73
	UTM Y Meters: 4190576.45
	Elevation: 29.26' above sea level

Maps Provided:

- | | |
|------|------|
| 1895 | 1980 |
| 1899 | 1996 |
| 1915 | 2012 |
| 1948 | |
| 1949 | |
| 1959 | |
| 1968 | |
| 1973 | |

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Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

1895 Source Sheets



San Francisco
1895
15-minute, 62500

1899 Source Sheets



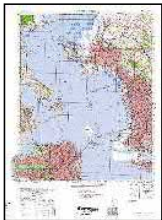
San Francisco
1899
15-minute, 62500

1915 Source Sheets



San Francisco
1915
15-minute, 62500

1948 Source Sheets



SAN FRANCISCO
1948
15-minute, 50000

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

1949 Source Sheets



Richmond
1949
7.5-minute, 24000
Aerial Photo Revised 1946



Oakland West
1949
7.5-minute, 24000
Aerial Photo Revised 1946

1959 Source Sheets



Richmond
1959
7.5-minute, 24000
Aerial Photo Revised 1958



Oakland West
1959
7.5-minute, 24000
Aerial Photo Revised 1958

1968 Source Sheets



Oakland West
1968
7.5-minute, 24000
Aerial Photo Revised 1947

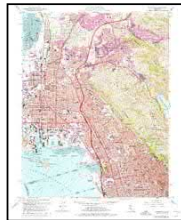


Richmond
1968
7.5-minute, 24000
Aerial Photo Revised 1968

1973 Source Sheets



Oakland West
1973
7.5-minute, 24000
Aerial Photo Revised 1973



Richmond
1973
7.5-minute, 24000
Aerial Photo Revised 1973

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

1980 Source Sheets



Richmond
1980
7.5-minute, 24000
Aerial Photo Revised 1979



Oakland West
1980
7.5-minute, 24000
Aerial Photo Revised 1979

1996 Source Sheets



Richmond
1996
7.5-minute, 24000
Aerial Photo Revised 1993



Oakland West
1996
7.5-minute, 24000
Aerial Photo Revised 1993

2012 Source Sheets



Richmond
2012
7.5-minute, 24000



Oakland West
2012
7.5-minute, 24000



TP, San Francisco, 1895, 15-minute



Key: Subject Property 

APPENDIX B: Topographic Maps
Project No.

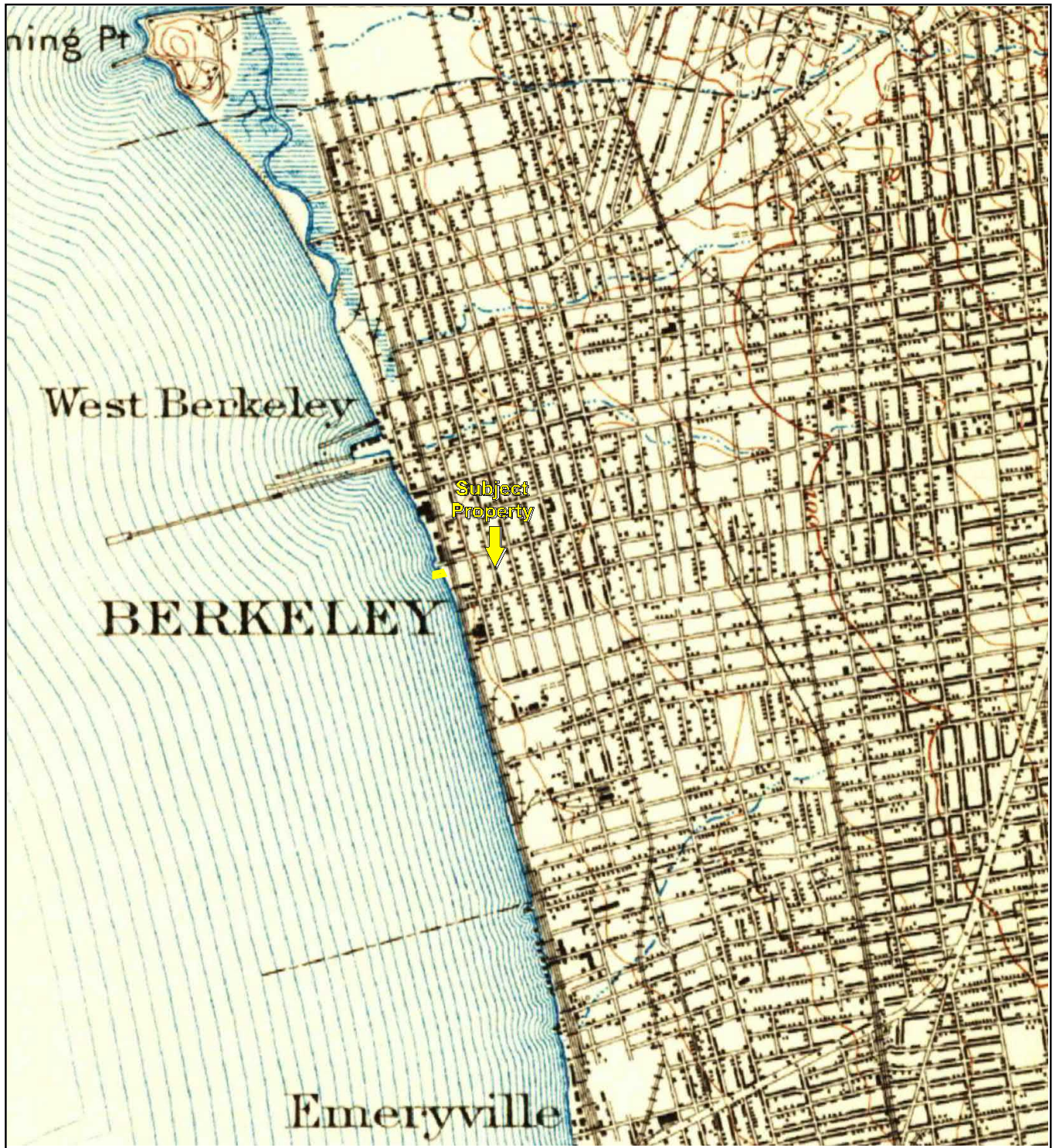




TP, San Francisco, 1899, 15-minute



Key: Subject Property 



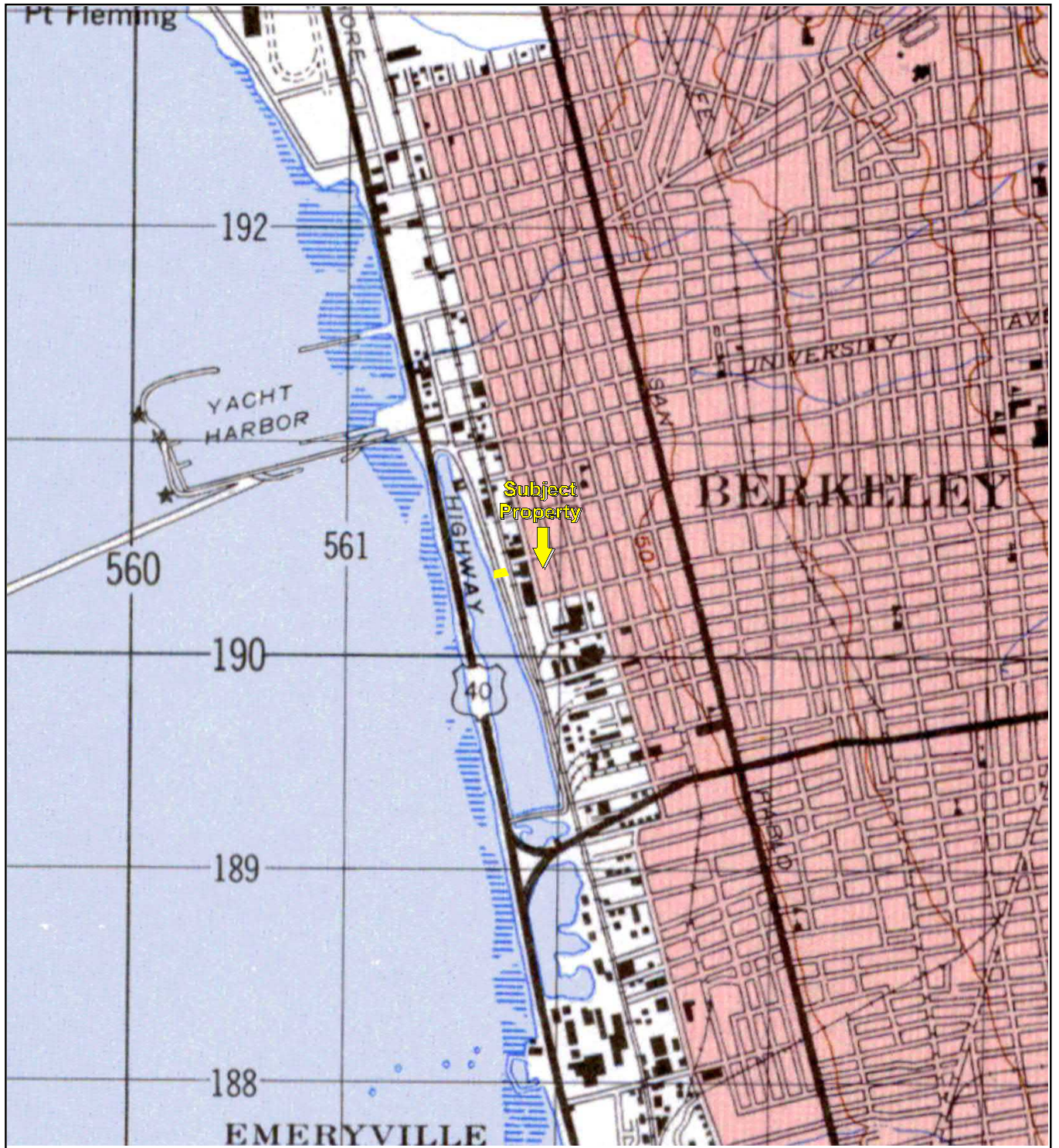
TP, San Francisco, 1915, 15-minute



Key: Subject Property 

APPENDIX B: Topographic Maps
Project No.





TP, SAN FRANCISCO, 1948, 15-minute



Key: Subject Property

APPENDIX B: Topographic Maps
Project No.





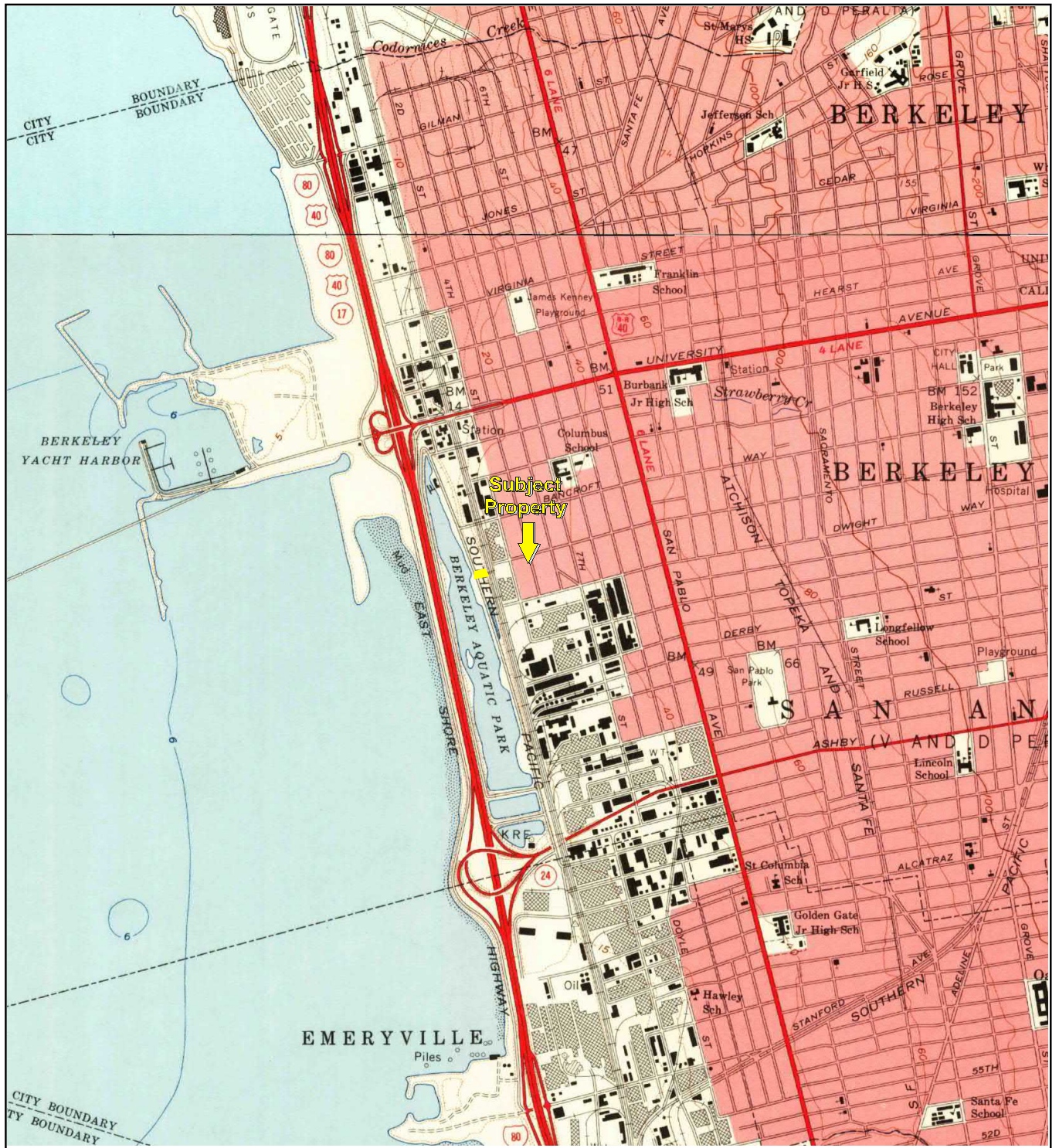
TP, Oakland West, 1949, 7.5-minute
N, Richmond, 1949, 7.5-minute



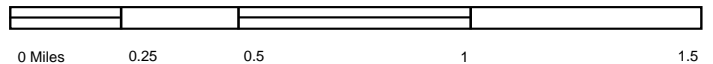
Key: Subject Property

APPENDIX B: Topographic Maps
Project No.





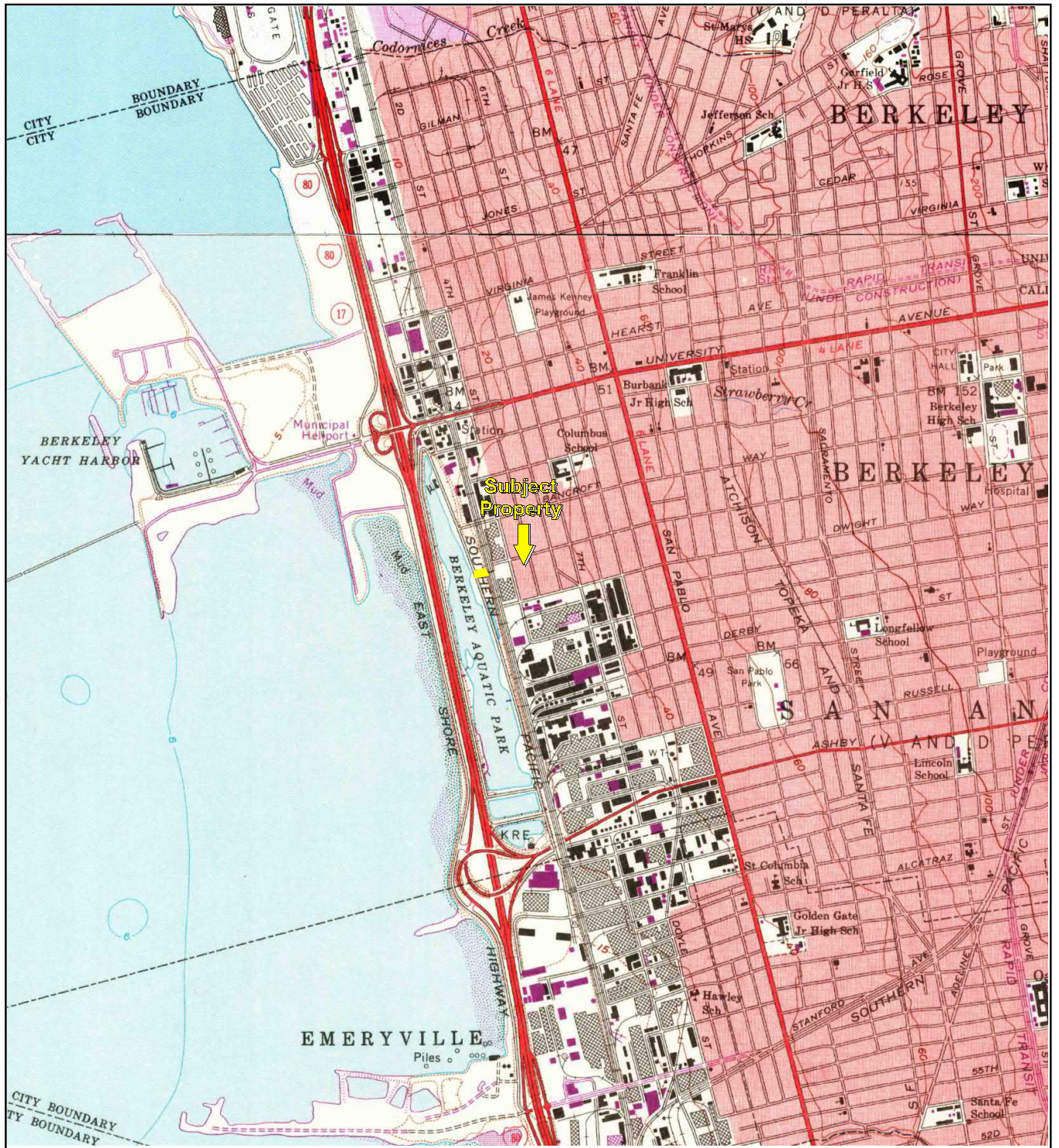
TP, Oakland West, 1959, 7.5-minute
 N, Richmond, 1959, 7.5-minute



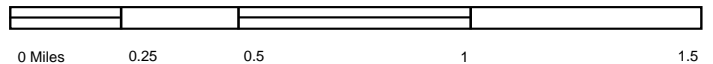
Key: Subject Property

APPENDIX B: Topographic Maps
 Project No.





TP, Oakland West, 1968, 7.5-minute
 N, Richmond, 1968, 7.5-minute



Key: Subject Property

APPENDIX B: Topographic Maps
 Project No.





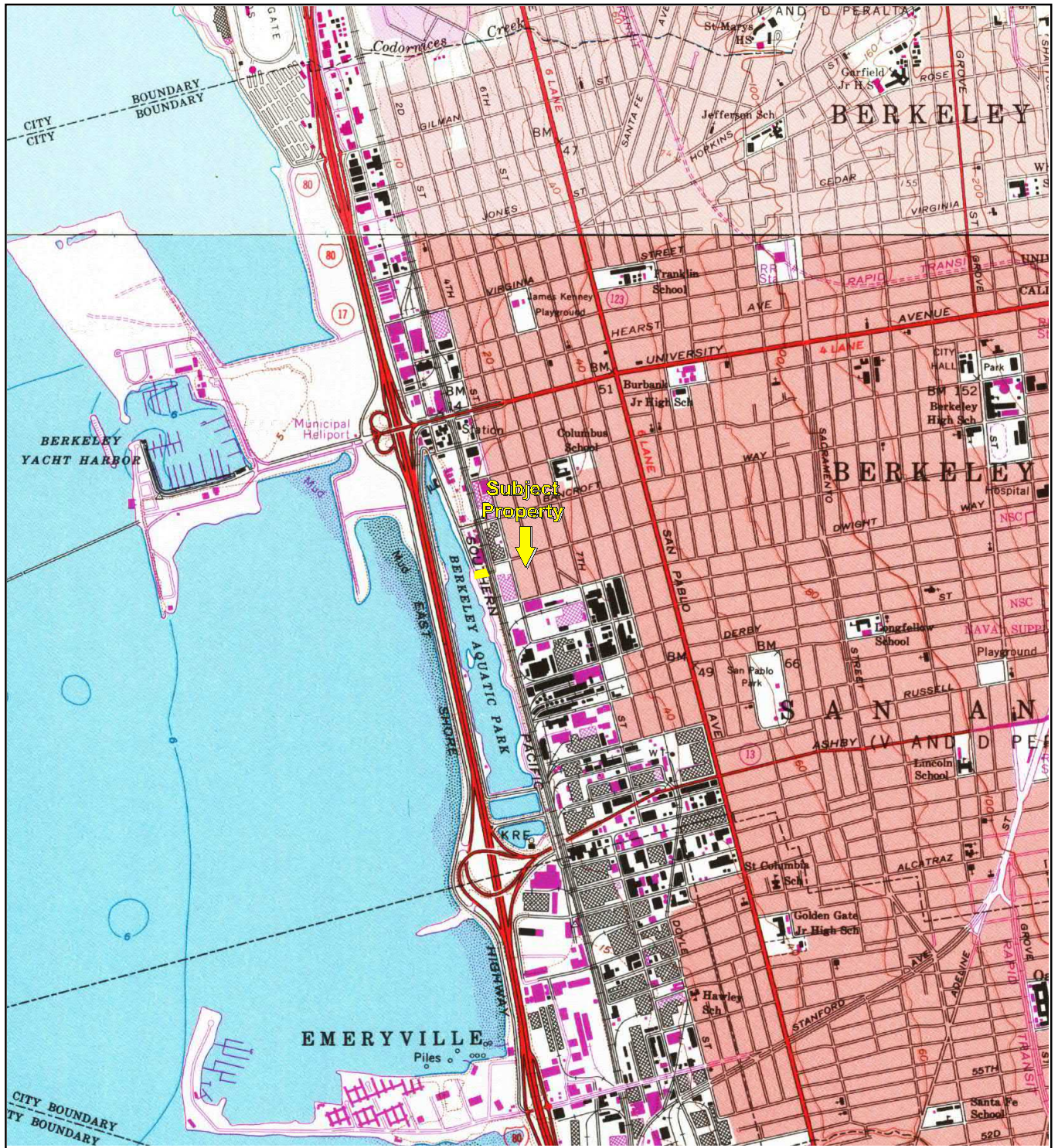
TP, Oakland West, 1973, 7.5-minute
 N, Richmond, 1973, 7.5-minute



Key: Subject Property

APPENDIX B: Topographic Maps
 Project No.





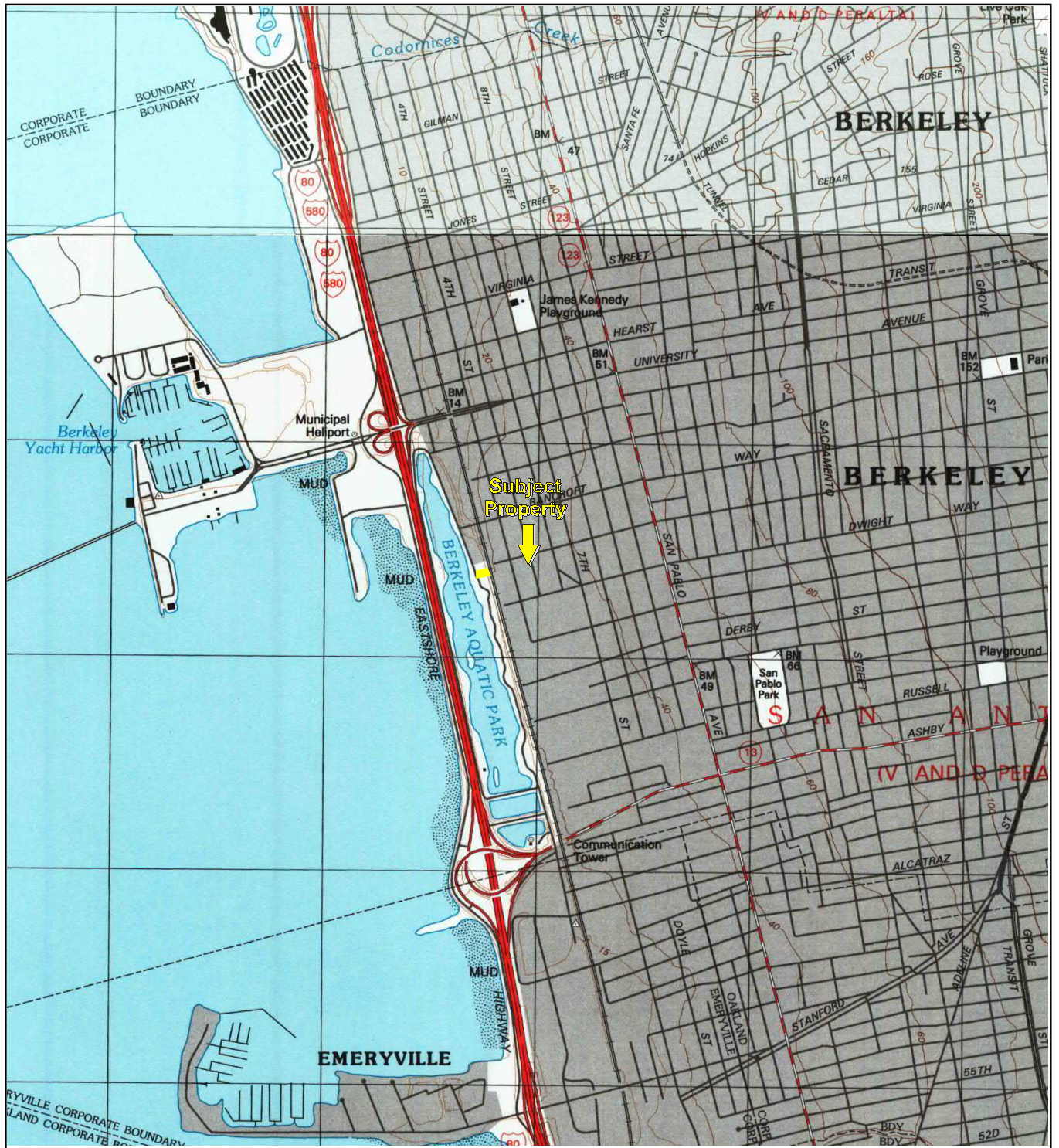
TP, Oakland West, 1980, 7.5-minute
 N, Richmond, 1980, 7.5-minute



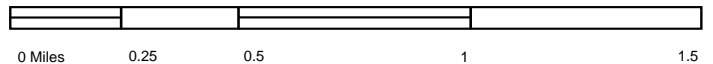
Key: Subject Property

APPENDIX B: Topographic Maps
 Project No.





TP, Oakland West, 1996, 7.5-minute
N, Richmond, 1996, 7.5-minute



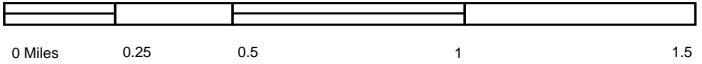
Key: Subject Property

APPENDIX B: Topographic Maps
Project No.





TP, Oakland West, 2012, 7.5-minute
N, Richmond, 2012, 7.5-minute



Key: Subject Property

APPENDIX B: Topographic Maps
Project No.





May 29, 2018

Berkeley Fire Department
2100 Martin Luther King Jr. Way, Second Floor
Berkeley, CA 94704
Tel: 510-981-3473

Subject: FOIA Record Request

To: Whom It May Concern,

As part of an environmental report being prepared by Partner Engineering and Science, Inc. (Partner), we are requesting all current and historical public records (permits, violations, inspections, etc.), especially any related to underground storage tanks or hazardous materials for the following address:

- 2422 5th Street, Berkeley, CA 94710

Your assistance in this matter is greatly appreciated.

Please send records to or contact me to schedule an appointment to review the records at jxiao@partneresi.com or (415) 934-9043 Ext. 3357 as soon as possible.

Sincerely,

A handwritten signature in blue ink that reads "Jane Xiao".

Jane Xiao
Staff Assessor

Xiao, Jane

From: Gard, Alisha <AGard@cityofberkeley.info>
Sent: Thursday, May 31, 2018 4:30 PM
To: Xiao, Jane
Subject: RE: public records request
Attachments: 2422 5th Street.pdf

Hi Jane,

I have received the record request you sent regarding 2422 5th Street in Berkeley, CA 94710. I am attaching the two relevant pages I located in our property files. Please feel free to visit the Fire Administration office at 2100 Martin Luther King Jr. Way (2nd Floor) if you would like to review these or other physical property files. Going forward, I am glad to be your point of contact with the City of Berkeley Fire Department, as I am the person who handles FOIA and PRA requests.

Thank you,

Alisha

Alisha Gard

Administrative & Fiscal Services

City of Berkeley – Fire Department

2100 Martin Luther King Jr. Way

Berkeley, CA 94704

510.981.5519 *Direct Line*

510.981.5579 *Fax*

Website: www.cityofberkeley.info

From: Jones, Brenda
Sent: Wednesday, May 30, 2018 10:11 AM
To: Gard, Alisha <AGard@cityofberkeley.info>
Subject: FW: public records request

Thank You!

bj

From: Xiao, Jane [<mailto:JXiao@partneresi.com>]
Sent: Tuesday, May 29, 2018 2:42 PM
To: Jones, Brenda <BJones@cityofberkeley.info>
Subject: public records request

Hello,

Please see the attached public records request.

Thank you,

Jane Xiao
Staff Assessor

PARTNER ENGINEERING AND SCIENCE, INC.

111 Pine Street, Suite 1750, San Francisco, CA 94111

Office: 415-934-9043 Ext. 3357 | Cell: 628-233-7258 | Fax: 415-952-9421

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FIRE DEPARTMENT

CITY OF BERKELEY

Division of Fire Prevention
City Hall, Berkeley, CA 94704
644-6158 or 644-6189

PERMIT

P A I D

5-17-90 RECEIVED

Date: May 7, 1990

Permit No. 7425

Permit Fee Amt. \$ 31.00

Address: 2422 Fifth St., Berkeley

Name of concern: _____ Phone _____

This permit is issued in accordance with City of Berkeley Ordinance No. _____ NS, known as the "Berkeley Fire Code". The applicant and his or her agents and employees shall carry out activities allowed by this permit in compliance with all the requirements of the Berkeley Fire Code and any other applicable laws and regulations, whether or not specified herein, and in complete accordance with the approved plans and specifications submitted precedent to application for this permit. At all times this permit shall be kept on premises and made available to officers and inspectors of the City of Berkeley upon demand. During the term of this permit, the premises shall be subject to inspection by officers of the Berkeley Fire Department or representatives thereof; periodic inspections are a condition of this permit.

Permission is hereby granted All ~~add~~ Fumigation

Address 1049 Dell Ave., Campbell, CA 95008 Phone (408) 379-8662

TO: XX
Maintain Store Use or handle Conduct Processes Install Remove
Fumigation using Methyl Bromide with required amount Chloropicrin
Type of permit _____ as per state law.

Additional Requirements WATCHMAN REQUIRED DURING FUMIGATION. (24 hours on-duty awake and alert until all ventilation work is completed.)

THE GAS TO THE STRUCTURE SHALL BE SHUT OFF BY PG&E AND TAGGED BEFORE BEING WRAPPED.
May 8, 1990 to May 9, 1990 11:30 - 11:30

I hereby acknowledge that I have read the conditions of this permit; that the information provided in application for this permit is correct; and that I am the owner, or the duly authorized agent of the owner, of the premises.

David Perkol
Signature of owner, contractor or agent

5-8-90
Date

Approved Subject to Field Inspection

David M. [Signature] 1907
Signature and Title of Issuing Authority

This permit does not take the place of any license required by law and is not transferable. Any change in use, occupancy operation or ownership shall require a new permit.

RECEIVED
MAY 07 1990
DIV. OF FIRE PREVENTION
BERKELEY FIRE DEPT.

DATE: 05/01/90

NOTIFICATION OF FUMIGATION TO BE PERFORMED

DIVISION FIRE PREVENTION
2121 MCKINLEY
BERKELEY
CA
94704

PAID
5-7-90 A 7425
CHK. 1333

Property Address: 2422 5TH STREET
BERKELEY, CA

CLOSING DATE: 05/08/90 TIME: APPROX 8:00 AM

OPENING DATE: 05/10/90 TIME: APPROX 8:00 AM

TYPE OF GAS TO BE USED: BROMIDE

Raylene Harris
OPERATOR IN CHARGE

STATE LICENSE NUMBER: PR0415

EMERGENCY PHONE NUMBER (408) 379-8662
ALLIED FUMIGATION

Xiao, Jane

From: Miller, Paul <PaMiller@cityofberkeley.info>
Sent: Wednesday, May 30, 2018 10:51 AM
To: Xiao, Jane; ToxicsMailbox
Subject: RE: public records request

Hello,

We have completed our search for files for 2422 Fifth Street, Berkeley. Toxics Management does not have any paper or electronic files for this address. Feel free to contact me if you have any questions, thank you.

Paul Miller

From: Xiao, Jane [mailto:JXiao@partneresi.com]
Sent: Tuesday, May 29, 2018 2:31 PM
To: ToxicsMailbox <Planningtoxicsmailbox@cityofberkeley.info>
Subject: public records request

Hello,

Please see the attached public records request.

Thank you,

Jane Xiao
Staff Assessor

PARTNER ENGINEERING AND SCIENCE, INC.

111 Pine Street, Suite 1750, San Francisco, CA 94111
Office: 415-934-9043 Ext. 3357 | Cell: 628-233-7258 | Fax: 415-952-9421

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Date: May 29, 2018



Department of Planning and Development
Land Use Planning Division

MICROFICHE REQUEST

We no longer offer Microfiche viewing by machine. All Microfiche film has been scanned and digitized. To view files, you may choose one of the following options:

1. You may purchase a CD containing all Microfiche files for a given address, for \$10.00.
2. If there are less than 100 pages, we will print them for a fee of \$.10 per page (each side).
3. Furnish us with your flash drive and we will load the files at no charge.

If ordering by mail, please complete this form and return it to this office with your payment (by check). *Do not send cash in the mail.* Allow approximately five (5) business days after receipt of order for processing.

If you are placing an order in person, complete this form, give it to a staff member to enter the price, and take it to the Permit Service Center (1st floor) for payment. We accept cash, checks (with proper ID), and all major credit cards. Bring your receipt to the 2nd floor and we will fill your order while you wait, if possible. If we are unable to complete your order at that time, we will mail it or call you to pick up.

SITE ADDRESS: 2422, 2426 5th Street, Berkeley, CA 94710

How would you like to receive CD/copies? Pick-up Mail

Name: Jane T Xiao
(Please print clearly) First Middle Initial Last

If you would like the CD or copies mailed, please furnish mailing address:

Street Number Street Name City, State Zip Code

Daytime Telephone Number: (415) 934-9043 ext. 3357 Cell: (628) 233-7258

Disclaimer: There is no guarantee as to what is available. The CD will contain all documents in the file.

FOR OFFICE USE ONLY	
<u>CD's @ \$10 each: \$</u> _____ (Code P250)	<u>Paper copies @ \$.10 each: \$</u> _____ (Code P341)
<u>Customer's Personal Flash Drive: <u>No Charge</u></u>	
<u>Date request received:</u> _____	<u>Staff:</u> _____
<u>Date Mailed to Customer:</u> _____	<u>Date Called for Pick-up:</u> _____

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

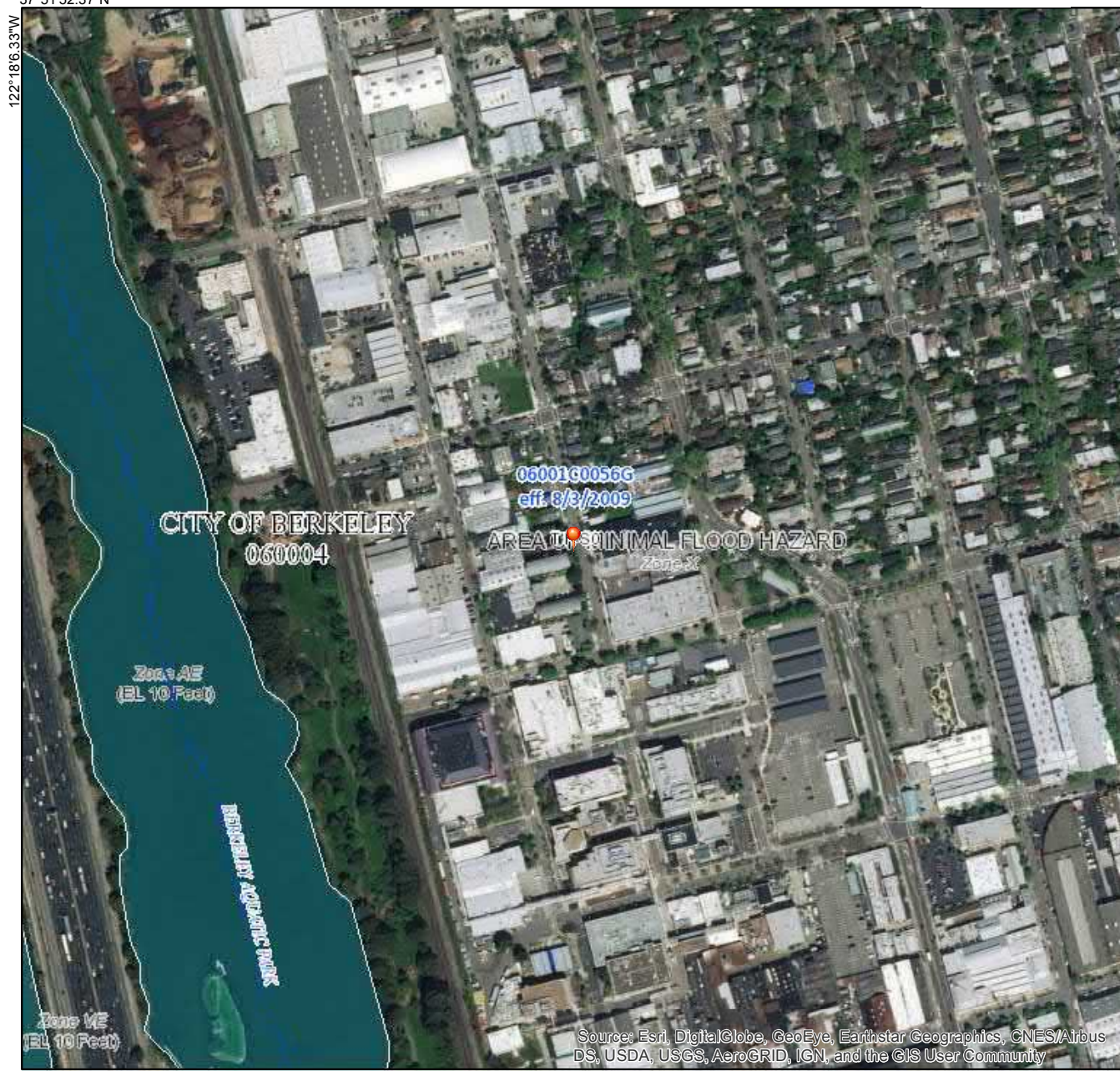
SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Regulatory Floodway Zone AE, AO, AH, VE, AR
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The base map shown complies with FEMA's base map accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/1/2018 at 4:28:59 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: base map imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

37°51'52.37"N
122°18'16.33"W



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
1:6,000
37°51'23.97"N
122°17'28.87"W



Wetland Map



June 1, 2018

Wetlands

- | | | |
|--------------------------------|-----------------------------------|----------|
| Estuarine and Marine Deepwater | Freshwater Emergent Wetland | Lake |
| Estuarine and Marine Wetland | Freshwater Forested/Shrub Wetland | Other |
| | Freshwater Pond | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

APPENDIX C: REGULATORY DATABASE REPORT

Residential Duplex
2422 5th Street
Berkeley, CA 94710

Inquiry Number: 5312825.2s
May 29, 2018

The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
Executive Summary	ES1
Overview Map	2
Detail Map	3
Map Findings Summary	4
Map Findings	8
Orphan Summary	415
Government Records Searched/Data Currency Tracking	GR-1
 <u>GEOCHECK ADDENDUM</u>	
Physical Setting Source Addendum	A-1
Physical Setting Source Summary	A-2
Physical Setting SSURGO Soil Map	A-6
Physical Setting Source Map	A-8
Physical Setting Source Map Findings	A-10
Physical Setting Source Records Searched	PSGR-1

Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-13), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E 2247-16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E 1528-14) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

2422 5TH STREET
BERKELEY, CA 94710

COORDINATES

Latitude (North): 37.8605550 - 37° 51' 37.99"
Longitude (West): 122.2968280 - 122° 17' 48.58"
Universal Transverse Mercator: Zone 10
UTM X (Meters): 561855.2
UTM Y (Meters): 4190371.0
Elevation: 30 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 5641112 OAKLAND WEST, CA
Version Date: 2012

North Map: 5640624 RICHMOND, CA
Version Date: 2012

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 20140608
Source: USDA

MAPPED SITES SUMMARY

Target Property Address:
2422 5TH STREET
BERKELEY, CA 94710

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi. DIRECTION)
A1	AUTO UNIBODY SPECIAL	2431 5TH ST	RCRA-SQG, FINDS, ECHO	Higher	113, 0.021, ESE
B2	MANTROSE HAEUSER COM	2424 4TH ST	RCRA-SQG	Lower	216, 0.041, WSW
B3	PACIFIC COAST CHEMIC	2424 FOURTH STREET	CA LUST	Lower	216, 0.041, WSW
B4	BAYER HEALTHCARE PHA	2424 4TH ST	SEMS-ARCHIVE, RCRA NonGen / NLR	Lower	216, 0.041, WSW
B5	PACIFIC COAST CHEMIC	2424 FOURTH STREET	RCRA NonGen / NLR	Lower	216, 0.041, WSW
A6	MERCOR INC	2448 SIXTH ST	RCRA-SQG	Higher	358, 0.068, ESE
7		2465 FOURTH ST	CA AST	Lower	373, 0.071, SSW
C8	BAYER HEALTHCARE	800 DWIGHT WAY	CA AST	Higher	387, 0.073, SE
C9	BAYER HEALTHCARE PHA	800 DWIGHT WAY	RCRA-LQG, CA AST, FINDS, ECHO	Higher	387, 0.073, SE
C10	BAYER, FORMER MILES/	800 DWIGHT WAY	CA LUST, CA CHMIRS, CA NPDES, CA CIWQS	Higher	387, 0.073, SE
11	TRUST SECURITY MANAG	2321 4TH ST	CA LUST, CA HIST CORTESE	Lower	673, 0.127, NNW
D12	CURTIS & TOMPKINS LA	2323 FIFTH ST.	RCRA-LQG	Higher	728, 0.138, North
D13	H R I RESEARCH	2315 5TH	NY MANIFEST	Higher	777, 0.147, North
D14	SIEMONS MAILING SERV	742 BANCROFT WAY	CA HIST UST	Lower	911, 0.173, NNW
D15	SIEMONS MAILING SERV	742 BANCROFT WAY	CA SWEEPS UST, CA FID UST	Lower	911, 0.173, NNW
E16	C D H METALS INC	2550 7TH STREET	CA HIST UST	Higher	921, 0.174, ESE
E17	MILES LABS CUTTER	2550 7TH STREET	CA CPS-SLIC, CA FID UST	Higher	921, 0.174, ESE
D18	DAVLIN PAINT COMPANY	800 BANCROFT	CA CPS-SLIC, CA HIST CORTESE	Higher	924, 0.175, North
D19	VERIFLOW METAL FINIS	800 BANCROFT WY	SEMS-ARCHIVE, RCRA-SQG	Higher	924, 0.175, North
F20	UC BERKELEY	UNKNOWN 4TH ST & PAR	CA HIST CORTESE	Lower	935, 0.177, South
21	BERKELEY USD BERKELE	801 PARKER ST	RCRA-SQG, CA SWEEPS UST, CA HIST UST, CA FID UST,...	Higher	937, 0.177, SSE
E22	GARY STEEL COMPANY	2560 7TH ST	CA LUST, CA FID UST, CA HIST CORTESE	Higher	962, 0.182, ESE
F23	MILES INC CUTTER BIO	4TH AND PARKER STREE	CA ENVIROSTOR	Lower	973, 0.184, South
F24	MILES LABS CUTTER	UNKNOWN 4TH ST & PAR	CA CPS-SLIC	Lower	975, 0.185, South
25	CUTTER LABORATORIES	4TH & PARKER ST MA	CA FID UST	Lower	1032, 0.195, SSW
G26	PEERLESS LIGHTING CO	747 BANCROFT WAY	CA CPS-SLIC, FINDS, ECHO, CA WIP	Lower	1069, 0.202, NNW
H27	IMO DELAVAL BERKELEY	827 BANCROFT WAY	CA CPS-SLIC	Higher	1105, 0.209, North
H28	PUMPTRON DIV TRANSAM	829 BANCROFT WAY	RCRA-SQG, FINDS, ECHO	Higher	1106, 0.209, North
H29	BERKELEY PUMP	829 BANCROFT WAY	CA ENVIROSTOR, CA LUST, CA HIST CORTESE	Higher	1106, 0.209, North
I30	BANCROFT WAY	614 BANCROFT WAY	RCRA-SQG	Lower	1156, 0.219, NW
I31	ENGINEERING SCIENCE	600 BANCROFT WAY	CA LUST, CA HAZNET, CA HIST CORTESE	Lower	1191, 0.226, NW
I32	ENGINEERING SCIENCE	600 BANCROFT WAY	RCRA-SQG, CA LUST, FINDS, ECHO, CA HAZNET, NY...	Lower	1191, 0.226, NW
J33	WEST COAST PROPERTY	2547 8TH ST	CA LUST	Higher	1244, 0.236, ESE
J34	WEST COAST PROPERTY	2547 8TH	CA LUST, CA SWEEPS UST, CA HIST CORTESE	Higher	1244, 0.236, ESE
J35	WEST COAST PROPERTY	2547 8TH	CA FID UST	Higher	1244, 0.236, ESE
36	PHOTOLAB	2235 5TH ST	RCRA-SQG, FINDS, ECHO, CA HAZNET	Lower	1286, 0.244, North
G37	TERMINEX-PEERLESS	2240 4TH STREET	CA ENVIROSTOR	Lower	1298, 0.246, NNW
K38	MACAULAY FOUNDRY INC	811 CARELTON ST	CA CPS-SLIC	Higher	1332, 0.252, SSW
K39	MACAULAY FOUNDRY	811 CARLETON	CA LUST, CA HIST CORTESE	Higher	1332, 0.252, SSW

MAPPED SITES SUMMARY

Target Property Address:
2422 5TH STREET
BERKELEY, CA 94710

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi. DIRECTION
L40	PEERLESS ELECTRIC	2220 4TH STREET	SEMS-ARCHIVE, RCRA-SQG	Lower	1387, 0.263, NN
L41	PEERLESS ELECTRIC	2220 4TH STREET	CA ENVIROSTOR, CA LUST, CA VCP, CA HIST CORTESE	Lower	1387, 0.263, NN
L42	PEERLESS ELECTRIC	2220 4TH STREET	CA HIST Cal-Sites	Lower	1387, 0.263, NN
L43	OH OLSEN	2220 4TH ST	CA CPS-SLIC	Lower	1387, 0.263, NN
44	AQUATIC PARK SCIENCE	80 BOLIVAR DR.	CA LUST	Lower	1396, 0.264, WN
45	CONSOLIDATED FREIGHT	2515 9TH ST	CA LUST, CA HIST UST, CA FID UST, CA HIST CORTESE	Higher	1562, 0.296, Ea
M46	ELECTRO-COATINGS OF	893 CARLETON STREET	SEMS-ARCHIVE, RCRA-LQG, CA ENVIROSTOR, CA...	Higher	1574, 0.298, SE
L47	DAVLIN COATINGS LLC	700 ALLSTON WAY	CA LUST, CA CPS-SLIC, CA SWEEPS UST, CA HIST UST,...	Lower	1616, 0.306, NN
L48	DAVLIN PAINT COMPANY	700 ALLSTON WAY	CA ENVIROSTOR	Lower	1616, 0.306, NN
49	CONSOLIDATED PRINTER	2630 2630 8TH ST	RCRA-CESQG, CA EMI, CA HAZNET, CA HIST CORTESE	Higher	1673, 0.317, SE
M50	CARLETON BUSINESS CE	2703 7TH AVE	CA LUST, CA HIST CORTESE	Higher	1844, 0.349, SE
M51	PARCEL 54 174711	2703 7TH ST	CA CPS-SLIC	Higher	1844, 0.349, SE
N52	1X UC LAWERENCE BERK	2700 7TH AVE	CA ENVIROSTOR, CA HAZNET	Higher	1857, 0.352, SE
N53	COLGATE PALMOLIVE CO	2700 7TH ST	RCRA-SQG, CA LUST, CA HIST Cal-Sites, CA HIST UST,...	Higher	1857, 0.352, SE
N54	CARLETON BUSINESS CE	2700 7TH ST	CA LUST	Higher	1857, 0.352, SE
O55	AQUATIC PARK SCIENCE	2222 3RD STREET	CA ENVIROSTOR, CA VCP	Lower	1879, 0.356, NN
O56	TRIANGLE COATINGS	2222 THIRD STREET	CA ENVIROSTOR, CA VCP	Lower	1879, 0.356, NN
P57	EUROPEAN MOTORS	2396 SAN PABLO AVE	CA LUST, CA HIST CORTESE	Higher	1969, 0.373, EN
58	BERKELEY HUMANE SOCI	2700 9TH ST	CA LUST, CA HIST CORTESE	Higher	1980, 0.375, ES
P59	BERKELEY AUTO REPAIR	2378/2366 SAN PABLO	CA RESPONSE, CA ENVIROSTOR, CA HIST Cal-Sites, CA...	Higher	1998, 0.378, EN
Q60	FORMER EXXON 7-8465	2300 SAN PABLO AVE	CA LUST, CA SWEEPS UST, CA HIST UST, CA HIST...	Higher	2126, 0.403, NE
61	PQ CORP THE	801 GRAYSON ST	RCRA-SQG, CA LUST, CA SWEEPS UST, CA HIST UST, CA...	Lower	2159, 0.409, So
P62	2371 SAN PABLO AVENU	2371 SAN PABLO AVENU	CA ENVIROSTOR, CA VCP	Higher	2166, 0.410, EN
R63	TAKARA SAKE USA INCO	708 ADDISON ST	CA LUST, CA HIST CORTESE, CA NPDES, CA WDS, CA...	Lower	2181, 0.413, NN
S64	STUDIO COMPLEX	1025 CARLETON ST	CA LUST, CA HIST CORTESE	Higher	2238, 0.424, ES
65	HEINZ/GRAYSON PLUME	7TH STREET AND GRAYS	CA RESPONSE, CA ENVIROSTOR	Higher	2246, 0.425, SS
R66	SIERRA DESIGNS LILY	2039 4TH ST	CA LUST, CA HIST CORTESE	Lower	2252, 0.427, NN
67	CHASE PROPERTY	2366 78 SAN PABLO	CA LUST, CA CPS-SLIC, CA HIST CORTESE	Higher	2268, 0.430, EN
68	KAPLAN PROPERTY	2234 SAN PABLO AVE	CA LUST, CA HIST CORTESE, CA NON-CASE INFO	Higher	2274, 0.431, NE
S69	OLIVER COMPANY	1035 CARLETON ST	CA LUST, CA HIST CORTESE	Higher	2284, 0.433, ES
T70	HENKEL CORP	742 GRAYSON ST	CA CPS-SLIC, CA NPDES, CA CIWQS	Lower	2298, 0.435, So
T71	NATIONAL STARCH & CH	742 GRAYSON ST.	RCRA-SQG, CA CPS-SLIC, FINDS, ECHO, CA WDS, CA...	Lower	2298, 0.435, So
72	2601 SAN PABLO AVENU	2601 SAN PABLO AVENU	CA LUST	Higher	2338, 0.443, ES
Q73	PINNACLE AUTOBODY &	2285 SAN PABLO AVE	CA EMI, CA HIST CORTESE	Higher	2355, 0.446, NE
U74	COBURN CONSTRUCTION	1006 PARDEE ST	CA LUST, CA HIST CORTESE	Higher	2364, 0.448, SE
75	BLOCK PROPERTY	651 ADDISON ST	CA LUST, CA HIST CORTESE	Lower	2387, 0.452, NN
V76	RI BERKELEY, LLC	2001 4TH ST	CA CPS-SLIC, CA BROWNFIELDS, CA HAZNET	Lower	2447, 0.463, NN
U77	PROEN PRODUCTS	2777 9TH ST	CA LUST, CA CPS-SLIC, CA HIST CORTESE	Higher	2453, 0.465, SE
U78	GERMAIN'S	2777-9TH ST.	SEMS-ARCHIVE	Higher	2453, 0.465, SE

MAPPED SITES SUMMARY

Target Property Address:
2422 5TH STREET
BERKELEY, CA 94710

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi. DIRECTION)
79	CHRONICLE DEPOT	2817 7TH ST	CA LUST, CA HIST CORTESE	Higher	2542, 0.481, SS
W80	CROWN MINI-MART	2700 SAN PABLO AVE	CA LUST, CA SWEEPS UST, CA FID UST, CA HIST...	Higher	2569, 0.487, ES
W81	NOMURA BROS., INC.	2720 SAN PABLO AVE	CA LUST, CA SWEEPS UST, CA FID UST, CA HIST...	Higher	2576, 0.488, ES
V82	JIM DOTEN HONDA	2000 5TH ST	CA LUST, CA HIST UST, CA CHMIRS, CA HIST CORTESE	Lower	2601, 0.493, NM
83	TEMESCAL BUSINESS CE	2850 7TH ST	CA RESPONSE, CA ENVIROSTOR, CA CPS-SLIC	Higher	2605, 0.493, SS
X84	BERKELEY INDUSTRIAL	729 HEINZ AVENUE	CA RESPONSE, CA ENVIROSTOR, CA LUST, CA CPS-SLIC,...	Lower	2826, 0.535, SS
X85	NATIONAL STARCH AND	742 AND 800 HEINZ AV	CA RESPONSE, CA ENVIROSTOR	Lower	2890, 0.547, SS
86	EMERALD PACKAGING IN	2821 TENTH ST.	CA Notify 65	Higher	2982, 0.565, SE
X87	SEVENTH STREET PROPE	700 HEINZ AVENUE	CA RESPONSE, CA ENVIROSTOR, CA LUST, CA HIST...	Lower	3021, 0.572, SS
88	TOWER CLEANERS	1110 UNIVERSITY AVE	RCRA-SQG, CA CPS-SLIC, FINDS, ECHO, CA...	Higher	3365, 0.637, NM
Y89	CAMP ASHBY		FUDS	Higher	3526, 0.668, SS
Y90	CAMP ASHBY		CA ENVIROSTOR	Higher	3536, 0.670, SS
Z91	NAVAL INDUSTRIAL RES		FUDS	Lower	3761, 0.712, So
Z92	NIRP BERKELEY		CA ENVIROSTOR	Lower	3764, 0.713, So
93	UNIVERSITY OF CALIFO	317 UNIVERSITY HALL,	CA ENVIROSTOR	Lower	3880, 0.735, WN
94	SAFETY KLEEN CORP	1717 FOURTH ST	RCRA NonGen / NLR, CA HWP	Lower	3993, 0.756, NM
95	KAISER FOUNDATION HO	1795 SECOND STREET	RCRA-LQG, US FIN ASSUR, CA Financial Assurance, CA...	Lower	4029, 0.763, NM
96	K & S MANAGEMENT	1138 DELAWARE ST	CA RESPONSE, CA ENVIROSTOR, CA HIST Cal-Sites	Higher	4368, 0.827, NM
97	MIKE ROBERTS COLOR P	6707 BAY ST	CA ENVIROSTOR, CA CPS-SLIC, CA Alameda County CS,...	Lower	4438, 0.841, So
98	BERKELEY REDEVELOPME	1631 FIFTH STREET	CA ENVIROSTOR, CA VCP	Lower	4500, 0.852, NM
99	METALCO	1475 - 67TH STREET	CA ENVIROSTOR	Lower	4504, 0.853, SS
100	JOE'S UNOCAL 76	2501 SACRAMENTO	CA LUST, CA HIST CORTESE, CA Notify 65	Higher	4555, 0.863, Ea
101	LBA REALTY	6701 SAN PABLO AVE.	CA ENVIROSTOR, CA VCP, CA ENF, CA HAZNET, CA CIWQS	Higher	4854, 0.919, SE
AA102	COURTAULDS AEROSPACE	1608 4TH ST	SEMS-ARCHIVE, CORRACTS, RCRA-TSDF, RCRA-SQG, CA...	Lower	4898, 0.928, NM
AA103	COURTAULDS AEROSPACE	1608 FOURTH ST	CA ENVIROSTOR, CA HWP	Lower	4898, 0.928, NM
104	COSHELL LAUNDRY	1634 SAN PABLO AVE	CA LUST, CA HIST CORTESE, CA Notify 65, CA...	Higher	4997, 0.946, No
AB105	MYERS DRUM - OAKLAND	6549 SAN PABLO AVE	CA RESPONSE, CA ENVIROSTOR, CA HIST UST, CA FID...	Higher	5243, 0.993, SE
AB106	MYERS DRUM - OAKLAND	6549 SAN PABLO AVENU	CA HIST Cal-Sites	Higher	5243, 0.993, SE

EXECUTIVE SUMMARY

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List
Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

FEDERAL FACILITY..... Federal Facility Site Information listing
SEMS..... Superfund Enterprise Management System

Federal institutional controls / engineering controls registries

LUCIS..... Land Use Control Information System
US ENG CONTROLS..... Engineering Controls Sites List
US INST CONTROL..... Sites with Institutional Controls

Federal ERNS list

ERNS..... Emergency Response Notification System

State and tribal landfill and/or solid waste disposal site lists

CA SWF/LF..... Solid Waste Information System

State and tribal leaking storage tank lists

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

FEMA UST..... Underground Storage Tank Listing
CA UST..... Active UST Facilities

EXECUTIVE SUMMARY

INDIAN UST..... Underground Storage Tanks on Indian Land

State and tribal voluntary cleanup sites

INDIAN VCP..... Voluntary Cleanup Priority Listing

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS..... A Listing of Brownfields Sites

Local Lists of Landfill / Solid Waste Disposal Sites

CA WMUDS/SWAT..... Waste Management Unit Database
CA SWRCY..... Recycler Database
CA HAULERS..... Registered Waste Tire Haulers Listing
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations
ODI..... Open Dump Inventory
IHS OPEN DUMPS..... Open Dumps on Indian Land

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL..... Delisted National Clandestine Laboratory Register
CA SCH..... School Property Evaluation Program
CA CDL..... Clandestine Drug Labs
CA Toxic Pits..... Toxic Pits Cleanup Act Sites
US CDL..... National Clandestine Laboratory Register

Local Land Records

LIENS 2..... CERCLA Lien Information

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System
CA LDS..... Land Disposal Sites Listing
CA MCS..... Military Cleanup Sites Listing
CA SPILLS 90..... SPILLS 90 data from FirstSearch

Other Ascertainable Records

DOD..... Department of Defense Sites
SCRD DRYCLEANERS..... State Coalition for Remediation of Drycleaners Listing
EPA WATCH LIST..... EPA WATCH LIST
TSCA..... Toxic Substances Control Act
TRIS..... Toxic Chemical Release Inventory System
SSTS..... Section 7 Tracking Systems
ROD..... Records Of Decision
RMP..... Risk Management Plans
RAATS..... RCRA Administrative Action Tracking System
PRP..... Potentially Responsible Parties
PADS..... PCB Activity Database System

EXECUTIVE SUMMARY

ICIS.....	Integrated Compliance Information System
MLTS.....	Material Licensing Tracking System
COAL ASH DOE.....	Steam-Electric Plant Operation Data
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER.....	PCB Transformer Registration Database
RADINFO.....	Radiation Information Database
DOT OPS.....	Incident and Accident Data
CONSENT.....	Superfund (CERCLA) Consent Decrees
INDIAN RESERV.....	Indian Reservations
FUSRAP.....	Formerly Utilized Sites Remedial Action Program
UMTRA.....	Uranium Mill Tailings Sites
LEAD SMELTERS.....	Lead Smelter Sites
US AIRS.....	Aerometric Information Retrieval System Facility Subsystem
US MINES.....	Mines Master Index File
ABANDONED MINES.....	Abandoned Mines
UXO.....	Unexploded Ordnance Sites
DOCKET HWC.....	Hazardous Waste Compliance Docket Listing
FUELS PROGRAM.....	EPA Fuels Program Registered Listing
CA CUPA Listings.....	CUPA Resources List
CA ICE.....	ICE
CA HWT.....	Registered Hazardous Waste Transporter Database
CA MINES.....	Mines Site Location Listing
CA MWMP.....	Medical Waste Management Program Listing
CA PEST LIC.....	Pesticide Regulation Licenses Listing
CA PROC.....	Certified Processors Database
CA UIC.....	UIC Listing
CA WASTEWATER PITS.....	Oil Wastewater Pits Listing
CA PROD WATER PONDS.....	PROD WATER PONDS (GEOTRACKER)
CA PROJECT.....	PROJECT (GEOTRACKER)
CA UIC GEO.....	UIC GEO (GEOTRACKER)
CA OTHER OIL GAS.....	OTHER OIL & GAS (GEOTRACKER)
CA WELL STIM PROJ.....	Well Stimulation Project (GEOTRACKER)
CA SAMPLING POINT.....	SAMPLING POINT (GEOTRACKER)
CA MILITARY PRIV SITES.....	MILITARY PRIV SITES (GEOTRACKER)

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP.....	EDR Proprietary Manufactured Gas Plants
EDR Hist Auto.....	EDR Exclusive Historical Auto Stations
EDR Hist Cleaner.....	EDR Exclusive Historical Cleaners

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

CA RGA LF.....	Recovered Government Archive Solid Waste Facilities List
CA RGA LUST.....	Recovered Government Archive Leaking Underground Storage Tank

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

EXECUTIVE SUMMARY

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property. Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE: SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

A review of the SEMS-ARCHIVE list, as provided by EDR, and dated 01/09/2018 has revealed that there are 5 SEMS-ARCHIVE sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>VERIFLOW METAL FINIS</i>	<i>800 BANCROFT WY</i>	<i>N 1/8 - 1/4 (0.175 mi.)</i>	<i>D19</i>	<i>81</i>
<i>ELECTRO-COATINGS OF GERMAIN'S</i>	<i>893 CARLETON STREET 2777-9TH ST.</i>	<i>SE 1/4 - 1/2 (0.298 mi.) SE 1/4 - 1/2 (0.465 mi.)</i>	<i>M46 U78</i>	<i>139 276</i>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>BAYER HEALTHCARE PHA</i>	<i>2424 4TH ST</i>	<i>WSW 0 - 1/8 (0.041 mi.)</i>	<i>B4</i>	<i>13</i>
<i>PEERLESS ELECTRIC</i>	<i>2220 4TH STREET</i>	<i>NNW 1/4 - 1/2 (0.263 mi.)</i>	<i>L40</i>	<i>120</i>

Federal RCRA CORRACTS facilities list

CORRACTS: CORRACTS is a list of handlers with RCRA Corrective Action Activity. This report shows which nationally-defined corrective action core events have occurred for every handler that has had corrective action activity.

A review of the CORRACTS list, as provided by EDR, and dated 12/11/2017 has revealed that there is 1 CORRACTS site within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>COURTAULDS AEROSPACE</i>	<i>1608 4TH ST</i>	<i>NNW 1/2 - 1 (0.928 mi.)</i>	<i>AA102</i>	<i>363</i>

EXECUTIVE SUMMARY

Federal RCRA generators list

RCRA-LQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

A review of the RCRA-LQG list, as provided by EDR, and dated 12/11/2017 has revealed that there are 2 RCRA-LQG sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BAYER HEALTHCARE PHA	800 DWIGHT WAY	SE 0 - 1/8 (0.073 mi.)	C9	19
CURTIS & TOMPKINS LA	2323 FIFTH ST.	N 1/8 - 1/4 (0.138 mi.)	D12	58

RCRA-SQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

A review of the RCRA-SQG list, as provided by EDR, and dated 12/11/2017 has revealed that there are 9 RCRA-SQG sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
AUTO UNIBODY SPECIAL	2431 5TH ST	ESE 0 - 1/8 (0.021 mi.)	A1	8
MERCOR INC	2448 SIXTH ST	ESE 0 - 1/8 (0.068 mi.)	A6	17
VERIFLOW METAL FINIS	800 BANCROFT WY	N 1/8 - 1/4 (0.175 mi.)	D19	81
BERKELEY USD BERKELE	801 PARKER ST	SSE 1/8 - 1/4 (0.177 mi.)	21	84
PUMPTRON DIV TRANSAM	829 BANCROFT WAY	N 1/8 - 1/4 (0.209 mi.)	H28	96

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MANTROSE HAEUSER COM	2424 4TH ST	WSW 0 - 1/8 (0.041 mi.)	B2	9
BANCROFT WAY	614 BANCROFT WAY	NW 1/8 - 1/4 (0.219 mi.)	I30	100
ENGINEERING SCIENCE	600 BANCROFT WAY	NW 1/8 - 1/4 (0.226 mi.)	I32	105
PHOTOLAB	2235 5TH ST	N 1/8 - 1/4 (0.244 mi.)	36	113

State- and tribal - equivalent NPL

CA RESPONSE: Identifies confirmed release sites where DTSC is involved in remediation, either in a lead or oversight capacity. These confirmed release sites are generally high-priority and high potential risk.

A review of the CA RESPONSE list, as provided by EDR, has revealed that there are 8 CA RESPONSE sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BERKELEY AUTO REPAIR	2378/2366 SAN PABLO	ENE 1/4 - 1/2 (0.378 mi.)	P59	216
AWP Facility Id: 01750013				

EXECUTIVE SUMMARY

Status: Certified Facility Id: 1750013				
HEINZ/GRAYSON PLUME	7TH STREET AND GRAYS	SSE 1/4 - 1/2 (0.425 mi.)	65	246
Database: RESPONSE, Date of Government Version: 01/30/2018 Status: Refer: RWQCB Facility Id: 60000399				
TEMESCAL BUSINESS CE	2850 7TH ST	SSE 1/4 - 1/2 (0.493 mi.)	83	288
Database: RESPONSE, Date of Government Version: 01/30/2018 Status: Refer: RWQCB Facility Id: 60000400				
K & S MANAGEMENT	1138 DELAWARE ST	NNE 1/2 - 1 (0.827 mi.)	96	336
Database: RESPONSE, Date of Government Version: 01/30/2018 Status: Certified Facility Id: 1990018				
MYERS DRUM - OAKLAND	6549 SAN PABLO AVE	SE 1/2 - 1 (0.993 mi.)	AB105	400
Database: RESPONSE, Date of Government Version: 01/30/2018 Status: Certified O&M - Land Use Restrictions Only Facility Id: 1340111				

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BERKELEY INDUSTRIAL	729 HEINZ AVENUE	SSE 1/2 - 1 (0.535 mi.)	X84	291
Database: RESPONSE, Date of Government Version: 01/30/2018 Status: Refer: RWQCB Facility Id: 1280069				
NATIONAL STARCH AND	742 AND 800 HEINZ AV	SSE 1/2 - 1 (0.547 mi.)	X85	295
Database: RESPONSE, Date of Government Version: 01/30/2018 Status: Refer: RWQCB Facility Id: 60000668				
SEVENTH STREET PROPE	700 HEINZ AVENUE	SSE 1/2 - 1 (0.572 mi.)	X87	297
Database: RESPONSE, Date of Government Version: 01/30/2018 Status: Certified Facility Id: 1200019				

State- and tribal - equivalent CERCLIS

CA ENVIROSTOR: The Department of Toxic Substances Control's (DTSC's) Site Mitigation and Brownfields Reuse Program's (SMBRP's) EnviroStor database identifies sites that have known contamination or sites for which there may be reasons to investigate further. The database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites. EnviroStor provides similar information to the information that was available in CalSites, and provides additional site information, including, but not limited to, identification of formerly-contaminated properties that have been released for reuse, properties where environmental deed restrictions have been recorded to prevent inappropriate land uses, and risk characterization information that is used to assess potential impacts to public health and the environment at contaminated sites.

A review of the CA ENVIROSTOR list, as provided by EDR, and dated 01/30/2018 has revealed that there are 27 CA ENVIROSTOR sites within approximately 1 mile of the target property.

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BERKELEY PUMP Facility Id: 70000106 Status: No Further Action	829 BANCROFT WAY	N 1/8 - 1/4 (0.209 mi.)	H29	97
ELECTRO-COATINGS OF Facility Id: 1340001 Status: Refer: Other Agency	893 CARLETON STREET	SE 1/4 - 1/2 (0.298 mi.)	M46	139
1X UC LAWERENCE BERK Facility Id: 1280047 Status: Certified	2700 7TH AVE	SE 1/4 - 1/2 (0.352 mi.)	N52	195
BERKELEY AUTO REPAIR Facility Id: 1750013 Status: Certified	2378/2366 SAN PABLO	ENE 1/4 - 1/2 (0.378 mi.)	P59	216
2371 SAN PABLO AVENU Facility Id: 60002253 Status: Active	2371 SAN PABLO AVENU	ENE 1/4 - 1/2 (0.410 mi.)	P62	234
HEINZ/GRAYSON PLUME Facility Id: 60000399 Status: Refer: RWQCB	7TH STREET AND GRAYS	SSE 1/4 - 1/2 (0.425 mi.)	65	246
TEMESCAL BUSINESS CE Facility Id: 60000400 Status: Refer: RWQCB	2850 7TH ST	SSE 1/4 - 1/2 (0.493 mi.)	83	288
CAMP ASHBY Facility Id: 80000378 Status: No Further Action		SSE 1/2 - 1 (0.670 mi.)	Y90	319
K & S MANAGEMENT Facility Id: 1990018 Status: Certified	1138 DELAWARE ST	NNE 1/2 - 1 (0.827 mi.)	96	336
LBA REALTY Facility Id: 60000410 Status: Active	6701 SAN PABLO AVE.	SE 1/2 - 1 (0.919 mi.)	101	346
MYERS DRUM - OAKLAND Facility Id: 1340111 Status: Certified O&M - Land Use Restrictions Only	6549 SAN PABLO AVE	SE 1/2 - 1 (0.993 mi.)	AB105	400
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MILES INC CUTTER BIO Facility Id: 1280085 Status: Refer: Other Agency	4TH AND PARKER STREE	S 1/8 - 1/4 (0.184 mi.)	F23	92
TERMINEX-PEERLESS Facility Id: 1890016 Status: Refer: Other Agency	2240 4TH STREET	NNW 1/8 - 1/4 (0.246 mi.)	G37	116
PEERLESS ELECTRIC Facility Id: 1730067 Status: Inactive - Action Required	2220 4TH STREET	NNW 1/4 - 1/2 (0.263 mi.)	L41	123
DAVLIN PAINT COMPANY Facility Id: 70000107 Status: No Action Required	700 ALLSTON WAY	NNW 1/4 - 1/2 (0.306 mi.)	L48	179
AQUATIC PARK SCIENCE	2222 3RD STREET	NNW 1/4 - 1/2 (0.356 mi.)	O55	206

EXECUTIVE SUMMARY

Facility Id: 70000105 Status: No Further Action				
TRIANGLE COATINGS	2222 THIRD STREET	NNW 1/4 - 1/2 (0.356 mi.)	O56	209
Facility Id: 60000938 Status: Refer: Local Agency				
BERKELEY INDUSTRIAL	729 HEINZ AVENUE	SSE 1/2 - 1 (0.535 mi.)	X84	291
Facility Id: 1280069 Status: Refer: RWQCB				
NATIONAL STARCH AND	742 AND 800 HEINZ AV	SSE 1/2 - 1 (0.547 mi.)	X85	295
Facility Id: 60000668 Status: Refer: RWQCB				
SEVENTH STREET PROPE	700 HEINZ AVENUE	SSE 1/2 - 1 (0.572 mi.)	X87	297
Facility Id: 1200019 Status: Certified				
NIRP BERKELEY		S 1/2 - 1 (0.713 mi.)	Z92	321
Facility Id: 80000154 Status: No Further Action				
UNIVERSITY OF CALIFO	317 UNIVERSITY HALL,	WNW 1/2 - 1 (0.735 mi.)	93	322
Facility Id: 60001619 Status: Inactive - Needs Evaluation				
MIKE ROBERTS COLOR P	6707 BAY ST	S 1/2 - 1 (0.841 mi.)	97	339
Facility Id: 1270025 Status: Refer: Other Agency				
BERKELEY REDEVELOPME	1631 FIFTH STREET	NNW 1/2 - 1 (0.852 mi.)	98	341
Facility Id: 1990025 Status: Certified				
METALCO	1475 - 67TH STREET	SSE 1/2 - 1 (0.853 mi.)	99	343
Facility Id: 71003301 Status: Inactive - Needs Evaluation				
COURTAULDS AEROSPACE	1608 4TH ST	NNW 1/2 - 1 (0.928 mi.)	AA102	363
Facility Id: 1280084 Status: Refer: RWQCB				
COURTAULDS AEROSPACE	1608 FOURTH ST	NNW 1/2 - 1 (0.928 mi.)	AA103	394
Facility Id: 80001589 Status: Refer: RWQCB				

State and tribal leaking storage tank lists

CA LUST: Leaking Underground Storage Tank (LUST) Sites included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

A review of the CA LUST list, as provided by EDR, has revealed that there are 35 CA LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BAYER, FORMER MILES/	800 DWIGHT WAY	SE 0 - 1/8 (0.073 mi.)	C10	40
Database: LUST, Date of Government Version: 03/12/2018				

EXECUTIVE SUMMARY

Status: Completed - Case Closed				
Global Id: T0600100895				
GARY STEEL COMPANY	2560 7TH ST	ESE 1/8 - 1/4 (0.182 mi.)	E22	90
Database: LUST REG 2, Date of Government Version: 09/30/2004				
Database: LUST, Date of Government Version: 03/12/2018				
Status: Completed - Case Closed				
Facility Id: 01-0683				
Facility Status: Case Closed				
Global Id: T0600100628				
date9: 6/25/1999				
BERKELEY PUMP	829 BANCROFT WAY	N 1/8 - 1/4 (0.209 mi.)	H29	97
Database: LUST REG 2, Date of Government Version: 09/30/2004				
Database: LUST, Date of Government Version: 03/12/2018				
Status: Completed - Case Closed				
Facility Id: 01-1496				
Facility Status: Case Closed				
Global Id: T0600101381				
date9: 5/3/1990				
WEST COAST PROPERTY	2547 8TH ST	ESE 1/8 - 1/4 (0.236 mi.)	J33	110
Database: LUST REG 2, Date of Government Version: 09/30/2004				
Facility Id: 01-1659				
Facility Status: Case Closed				
date9: 11/5/1996				
WEST COAST PROPERTY	2547 8TH	ESE 1/8 - 1/4 (0.236 mi.)	J34	111
Database: LUST, Date of Government Version: 03/12/2018				
Status: Completed - Case Closed				
Global Id: T0600101534				
MACAULAY FOUNDRY	811 CARLETON	SSE 1/4 - 1/2 (0.252 mi.)	K39	118
Database: LUST REG 2, Date of Government Version: 09/30/2004				
Database: LUST, Date of Government Version: 03/12/2018				
Status: Completed - Case Closed				
Facility Id: 01-0932				
Facility Status: Case Closed				
Global Id: T0600100857				
date9: 8/24/1994				
CONSOLIDATED FREIGHT	2515 9TH ST	E 1/4 - 1/2 (0.296 mi.)	45	136
Database: LUST REG 2, Date of Government Version: 09/30/2004				
Database: LUST, Date of Government Version: 03/12/2018				
Status: Completed - Case Closed				
Facility Id: 01-0448				
Facility Status: Case Closed				
Global Id: T0600100407				
date9: 3/20/1997				
CARLETON BUSINESS CE	2703 7TH AVE	SE 1/4 - 1/2 (0.349 mi.)	M50	191
Database: LUST REG 2, Date of Government Version: 09/30/2004				
Database: LUST, Date of Government Version: 03/12/2018				
Status: Completed - Case Closed				
Facility Id: 01-0281				
Facility Status: Case Closed				
Global Id: T0600100261				
date9: 3/6/1992				
COLGATE PALMOLIVE CO	2700 7TH ST	SE 1/4 - 1/2 (0.352 mi.)	N53	198
Database: LUST REG 2, Date of Government Version: 09/30/2004				

EXECUTIVE SUMMARY

Facility Id: 01-0280 Facility Status: Case Closed date9: 3/6/1992				
CARLETON BUSINESS CE	2700 7TH ST	SE 1/4 - 1/2 (0.352 mi.)	N54	204
Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Global Id: T0600100260				
EUROPEAN MOTORS	2396 SAN PABLO AVE	ENE 1/4 - 1/2 (0.373 mi.)	P57	212
Database: LUST REG 2, Date of Government Version: 09/30/2004 Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Facility Id: 01-0574 Facility Status: Case Closed Global Id: T0600100527 date9: 3/6/1995				
BERKELEY HUMANE SOCI	2700 9TH ST	ESE 1/4 - 1/2 (0.375 mi.)	58	214
Database: LUST REG 2, Date of Government Version: 09/30/2004 Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Facility Id: 01-0194 Facility Status: Case Closed Global Id: T0600100181 date9: 7/25/1994				
FORMER EXXON 7-8465	2300 SAN PABLO AVE	NE 1/4 - 1/2 (0.403 mi.)	Q60	221
Database: LUST REG 2, Date of Government Version: 09/30/2004 Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Facility Id: 01-2022 Facility Status: Case Closed Global Id: T0600101868 date9: 11/20/2001				
STUDIO COMPLEX	1025 CARLETON ST	ESE 1/4 - 1/2 (0.424 mi.)	S64	244
Database: LUST REG 2, Date of Government Version: 09/30/2004 Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Facility Id: 01-1432 Facility Status: Case Closed Global Id: T0600101322 date9: 5/3/1994				
CHASE PROPERTY	2366 78 SAN PABLO	ENE 1/4 - 1/2 (0.430 mi.)	67	252
Database: LUST REG 2, Date of Government Version: 09/30/2004 Facility Id: 01-0305 Facility Status: Preliminary site assessment workplan submitted				
KAPLAN PROPERTY	2234 SAN PABLO AVE	NE 1/4 - 1/2 (0.431 mi.)	68	253
Database: LUST REG 2, Date of Government Version: 09/30/2004 Facility Id: 01-0851 Facility Status: Preliminary site assessment workplan submitted				
OLIVER COMPANY	1035 CARLETON ST	ESE 1/4 - 1/2 (0.433 mi.)	S69	254
Database: LUST REG 2, Date of Government Version: 09/30/2004 Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Facility Id: 01-1092				

EXECUTIVE SUMMARY

Status: Completed - Case Closed Facility Id: 01-1504 Facility Status: Case Closed Global Id: T0600101388 date9: 9/22/1997				
ENGINEERING SCIENCE	600 BANCROFT WAY	NW 1/8 - 1/4 (0.226 mi.)	I31	101
Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Global Id: T0600102143				
ENGINEERING SCIENCE	600 BANCROFT WAY	NW 1/8 - 1/4 (0.226 mi.)	I32	105
PEERLESS ELECTRIC	2220 4TH STREET	NNW 1/4 - 1/2 (0.263 mi.)	L41	123
Database: LUST REG 2, Date of Government Version: 09/30/2004 Database: LUST, Date of Government Version: 03/12/2018 Status: Open - Assessment & Interim Remedial Action Facility Id: 01-1147 Facility Status: Preliminary site assessment underway Global Id: T0600101057				
AQUATIC PARK SCIENCE	80 BOLIVAR DR.	WNW 1/4 - 1/2 (0.264 mi.)	44	132
Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Global Id: T10000001064				
DAVLIN COATINGS LLC	700 ALLSTON WAY	NNW 1/4 - 1/2 (0.306 mi.)	L47	164
Database: LUST REG 2, Date of Government Version: 09/30/2004 Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Facility Id: 01-2488 Facility Status: Case Closed Global Id: T0600102292 date9: 11/16/1999				
PQ CORP THE	801 GRAYSON ST	S 1/4 - 1/2 (0.409 mi.)	61	226
Database: LUST REG 2, Date of Government Version: 09/30/2004 Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Facility Id: 01-1203 Facility Status: Case Closed Global Id: T0600101106 date9: 4/30/2003				
TAKARA SAKE USA INCO	708 ADDISON ST	NNW 1/4 - 1/2 (0.413 mi.)	R63	238
Database: LUST REG 2, Date of Government Version: 09/30/2004 Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Facility Id: 01-1064 Facility Status: Case Closed Global Id: T0600100981 date9: 5/4/1989				
SIERRA DESIGNS LILY	2039 4TH ST	NNW 1/4 - 1/2 (0.427 mi.)	R66	250
Database: LUST REG 2, Date of Government Version: 09/30/2004 Database: LUST, Date of Government Version: 03/12/2018 Status: Completed - Case Closed Facility Id: 01-1388 Facility Status: Case Closed Global Id: T0600101282 date9: 9/3/1996				
BLOCK PROPERTY	651 ADDISON ST	NNW 1/4 - 1/2 (0.452 mi.)	75	269
Database: LUST REG 2, Date of Government Version: 09/30/2004 Database: LUST, Date of Government Version: 03/12/2018				

EXECUTIVE SUMMARY

Status: Completed - Case Closed
 Facility Id: 01-0209
 Facility Status: Case Closed
 Global Id: T0600100195
 date9: 6/25/1999

JIM DOTEN HONDA	2000 5TH ST	NNW 1/4 - 1/2 (0.493 mi.)	V82	284
Database: LUST REG 2, Date of Government Version: 09/30/2004				
Database: LUST, Date of Government Version: 03/12/2018				
Status: Completed - Case Closed				
Facility Id: 01-0821				
Facility Status: Case Closed				
Global Id: T0600100757				
date9: 10/26/1992				

CA CPS-SLIC: Cleanup Program Sites (CPS; also known as Site Cleanups [SC] and formerly known as Spills, Leaks, Investigations, and Cleanups [SLIC] sites) included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

A review of the CA CPS-SLIC list, as provided by EDR, has revealed that there are 16 CA CPS-SLIC sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MILES LABS CUTTER	2550 7TH STREET	ESE 1/8 - 1/4 (0.174 mi.)	E17	79
Database: CPS-SLIC, Date of Government Version: 03/12/2018				
Global Id: T0600191476				
Facility Status: Open - Inactive				
DAVLIN PAINT COMPANY	800 BANCROFT	N 1/8 - 1/4 (0.175 mi.)	D18	80
Database: CPS-SLIC, Date of Government Version: 03/12/2018				
Global Id: T0600101834				
Facility Status: Open - Verification Monitoring				
IMO DELAVAL BERKELEY	827 BANCROFT WAY	N 1/8 - 1/4 (0.209 mi.)	H27	95
Database: CPS-SLIC, Date of Government Version: 03/12/2018				
Global Id: T10000007960				
Facility Status: Open - Inactive				
MACAULAY FOUNDRY INC	811 CARELTON ST	SSE 1/4 - 1/2 (0.252 mi.)	K38	117
Database: SLIC REG 2, Date of Government Version: 09/30/2004				
Database: CPS-SLIC, Date of Government Version: 03/12/2018				
Global Id: T0600191484				
Facility Id: 01S0066				
Facility Id: SLT2O03036				
Facility Status: Completed - Case Closed				
ELECTRO-COATINGS OF	893 CARLETON STREET	SE 1/4 - 1/2 (0.298 mi.)	M46	139
Database: SLIC REG 2, Date of Government Version: 09/30/2004				
Database: CPS-SLIC, Date of Government Version: 03/12/2018				
Global Id: SLT2O363253				
Facility Id: SLT2O363253				
Facility Status: Open - Verification Monitoring				
PARCEL 54 174711	2703 7TH ST	SE 1/4 - 1/2 (0.349 mi.)	M51	195
Database: SLIC REG 2, Date of Government Version: 09/30/2004				
Facility Id: SLT2O022				
CHASE PROPERTY	2366 78 SAN PABLO	ENE 1/4 - 1/2 (0.430 mi.)	67	252
Database: CPS-SLIC, Date of Government Version: 03/12/2018				

EXECUTIVE SUMMARY

Global Id: T0600100283
Facility Status: Completed - Case Closed

PROEN PRODUCTS	2777 9TH ST	SE 1/4 - 1/2 (0.465 mi.)	U77	273
Database: SLIC REG 2, Date of Government Version: 09/30/2004				
Database: CPS-SLIC, Date of Government Version: 03/12/2018				
Global Id: SLT2O02430				
Global Id: T0600102142				
Facility Id: SLT2O02430				
Facility Status: Open - Verification Monitoring				
TEMESCAL BUSINESS CE	2850 7TH ST	SSE 1/4 - 1/2 (0.493 mi.)	83	288
Database: SLIC REG 2, Date of Government Version: 09/30/2004				
Database: CPS-SLIC, Date of Government Version: 03/12/2018				
Global Id: SLT2O02329				
Facility Id: SLT2O02329				
Facility Status: Open - Inactive				

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
MILES LABS CUTTER	UNKNOWN 4TH ST & PAR	S 1/8 - 1/4 (0.185 mi.)	F24	93
Database: SLIC REG 2, Date of Government Version: 09/30/2004				
Facility Id: 01S0045				
PEERLESS LIGHTING CO	747 BANCROFT WAY	NNW 1/8 - 1/4 (0.202 mi.)	G26	94
Database: SLIC REG 2, Date of Government Version: 09/30/2004				
Database: CPS-SLIC, Date of Government Version: 03/12/2018				
Global Id: SLT2O02935				
Facility Id: SLT2O02935				
Facility Status: Open - Inactive				
OH OLSEN	2220 4TH ST	NNW 1/4 - 1/2 (0.263 mi.)	L43	132
Database: SLIC REG 2, Date of Government Version: 09/30/2004				
Facility Id: SLT2O01725				
DAVLIN COATINGS LLC	700 ALLSTON WAY	NNW 1/4 - 1/2 (0.306 mi.)	L47	164
Database: SLIC REG 2, Date of Government Version: 09/30/2004				
Facility Id: 01S0384				
HENKEL CORP	742 GRAYSON ST	S 1/4 - 1/2 (0.435 mi.)	T70	256
Database: CPS-SLIC, Date of Government Version: 03/12/2018				
Global Id: SLT2O03440				
Facility Status: Open - Assessment & Interim Remedial Action				
NATIONAL STARCH & CH	742 GRAYSON ST.	S 1/4 - 1/2 (0.435 mi.)	T71	260
Database: SLIC REG 2, Date of Government Version: 09/30/2004				
Facility Id: SLT2O03440				
RI BERKELEY, LLC	2001 4TH ST	NNW 1/4 - 1/2 (0.463 mi.)	V76	270
Database: CPS-SLIC, Date of Government Version: 03/12/2018				
Global Id: T10000008693				
Facility Status: Completed - Case Closed				

State and tribal registered storage tank lists

CA AST: A listing of aboveground storage tank petroleum storage tank locations.

A review of the CA AST list, as provided by EDR, has revealed that there are 3 CA AST sites within

EXECUTIVE SUMMARY

approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BAYER HEALTHCARE Database: AST, Date of Government Version: 07/06/2016	800 DWIGHT WAY	SE 0 - 1/8 (0.073 mi.)	C8	19
BAYER HEALTHCARE PHA Database: AST, Date of Government Version: 07/06/2016	800 DWIGHT WAY	SE 0 - 1/8 (0.073 mi.)	C9	19
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
Not reported Database: AST, Date of Government Version: 07/06/2016	2465 FOURTH ST	SSW 0 - 1/8 (0.071 mi.)	7	18

State and tribal voluntary cleanup sites

CA VCP: Contains low threat level properties with either confirmed or unconfirmed releases and the project proponents have request that DTSC oversee investigation and/or cleanup activities and have agreed to provide coverage for DTSC's costs.

A review of the CA VCP list, as provided by EDR, and dated 01/30/2018 has revealed that there are 4 CA VCP sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
2371 SAN PABLO AVENU Status: Active Facility Id: 60002253	2371 SAN PABLO AVENU	ENE 1/4 - 1/2 (0.410 mi.)	P62	234
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEERLESS ELECTRIC Status: Inactive - Action Required Facility Id: 1730067	2220 4TH STREET	NNW 1/4 - 1/2 (0.263 mi.)	L41	123
AQUATIC PARK SCIENCE Status: No Further Action Facility Id: 70000105	2222 3RD STREET	NNW 1/4 - 1/2 (0.356 mi.)	O55	206
TRIANGLE COATINGS Status: Refer: Local Agency Facility Id: 60000938	2222 THIRD STREET	NNW 1/4 - 1/2 (0.356 mi.)	O56	209

State and tribal Brownfields sites

CA BROWNFIELDS: A listing of sites the SWRCB considers to be Brownfields since these are sites have come to them through the MOA Process.

A review of the CA BROWNFIELDS list, as provided by EDR, and dated 03/26/2018 has revealed that there is 1 CA BROWNFIELDS site within approximately 0.5 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
RI BERKELEY, LLC	2001 4TH ST	NNW 1/4 - 1/2 (0.463 mi.)	V76	270

EXECUTIVE SUMMARY

ADDITIONAL ENVIRONMENTAL RECORDS

Local Lists of Hazardous waste / Contaminated Sites

CA HIST Cal-Sites: Formerly known as ASPIS, this database contains both known and potential hazardous substance sites. The source is the California Department of Toxic Substance Control. No longer updated by the state agency. It has been replaced by ENVIROSTOR.

A review of the CA HIST Cal-Sites list, as provided by EDR, and dated 08/08/2005 has revealed that there are 6 CA HIST Cal-Sites sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
COLGATE PALMOLIVE CO	2700 7TH ST	SE 1/4 - 1/2 (0.352 mi.)	N53	198
BERKELEY AUTO REPAIR	2378/2366 SAN PABLO	ENE 1/4 - 1/2 (0.378 mi.)	P59	216
K & S MANAGEMENT	1138 DELAWARE ST	NNE 1/2 - 1 (0.827 mi.)	96	336
MYERS DRUM - OAKLAND	6549 SAN PABLO AVENU	SE 1/2 - 1 (0.993 mi.)	AB106	405
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEERLESS ELECTRIC	2220 4TH STREET	NNW 1/4 - 1/2 (0.263 mi.)	L42	129
SEVENTH STREET PROPE	700 HEINZ AVENUE	SSE 1/2 - 1 (0.572 mi.)	X87	297

Local Lists of Registered Storage Tanks

CA SWEEPS UST: Statewide Environmental Evaluation and Planning System. This underground storage tank listing was updated and maintained by a company contacted by the SWRCB in the early 1990's. The listing is no longer updated or maintained. The local agency is the contact for more information on a site on the SWEEPS list.

A review of the CA SWEEPS UST list, as provided by EDR, and dated 06/01/1994 has revealed that there are 3 CA SWEEPS UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BERKELEY USD BERKELE Comp Number: 54950	801 PARKER ST	SSE 1/8 - 1/4 (0.177 mi.)	21	84
WEST COAST PROPERTY Comp Number: 68854	2547 8TH	ESE 1/8 - 1/4 (0.236 mi.)	J34	111
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
SIEMONS MAILING SERV Comp Number: 66131	742 BANCROFT WAY	NNW 1/8 - 1/4 (0.173 mi.)	D15	78

CA HIST UST: Historical UST Registered Database.

A review of the CA HIST UST list, as provided by EDR, and dated 10/15/1990 has revealed that there are 3 CA HIST UST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
C D H METALS INC	2550 7TH STREET	ESE 1/8 - 1/4 (0.174 mi.)	E16	78

EXECUTIVE SUMMARY

there are 2 RCRA NonGen / NLR sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BAYER HEALTHCARE PHA	2424 4TH ST	WSW 0 - 1/8 (0.041 mi.)	B4	13
PACIFIC COAST CHEMIC	2424 FOURTH STREET	WSW 0 - 1/8 (0.041 mi.)	B5	16

FUDS: The Listing includes locations of Formerly Used Defense Sites Properties where the US Army Corps Of Engineers is actively working or will take necessary cleanup actions.

A review of the FUDS list, as provided by EDR, and dated 01/31/2015 has revealed that there are 2 FUDS sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
CAMP ASHBY		SSE 1/2 - 1 (0.668 mi.)	Y89	318

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
NAVAL INDUSTRIAL RES		S 1/2 - 1 (0.712 mi.)	Z91	320

CA BOND EXP. PLAN: Department of Health Services developed a site-specific expenditure plan as the basis for an appropriation of Hazardous Substance Cleanup Bond Act funds. It is not updated.

A review of the CA BOND EXP. PLAN list, as provided by EDR, and dated 01/01/1989 has revealed that there is 1 CA BOND EXP. PLAN site within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
BERKELEY AUTO REPAIR	2378/2366 SAN PABLO	ENE 1/4 - 1/2 (0.378 mi.)	P59	216

CA HIST CORTESE: The sites for the list are designated by the State Water Resource Control Board [LUST], the Integrated Waste Board [SWF/LS], and the Department of Toxic Substances Control [CALSTATES]. This listing is no longer updated by the state agency.

A review of the CA HIST CORTESE list, as provided by EDR, and dated 04/01/2001 has revealed that there are 33 CA HIST CORTESE sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DAVLIN PAINT COMPANY Reg Id: 01-1985	800 BANCROFT	N 1/8 - 1/4 (0.175 mi.)	D18	80
GARY STEEL COMPANY Reg Id: 01-0683	2560 7TH ST	ESE 1/8 - 1/4 (0.182 mi.)	E22	90
BERKELEY PUMP Reg Id: 01-1496	829 BANCROFT WAY	N 1/8 - 1/4 (0.209 mi.)	H29	97
WEST COAST PROPERTY Reg Id: 01-1659	2547 8TH	ESE 1/8 - 1/4 (0.236 mi.)	J34	111
MACAULAY FOUNDRY Reg Id: 01-0932	811 CARLETON	SSE 1/4 - 1/2 (0.252 mi.)	K39	118
CONSOLIDATED FREIGHT Reg Id: 01-0448	2515 9TH ST	E 1/4 - 1/2 (0.296 mi.)	45	136
ELECTRO-COATINGS OF	893 CARLETON STREET	SE 1/4 - 1/2 (0.298 mi.)	M46	139

EXECUTIVE SUMMARY

Reg Id: 01340001				
CONSOLIDATED PRINTER	2630 2630 8TH ST	SE 1/4 - 1/2 (0.317 mi.)	49	180
Reg Id: 2970				
CARLETON BUSINESS CE	2703 7TH AVE	SE 1/4 - 1/2 (0.349 mi.)	M50	191
Reg Id: 01-0281				
EUROPEAN MOTORS	2396 SAN PABLO AVE	ENE 1/4 - 1/2 (0.373 mi.)	P57	212
Reg Id: 01-0574				
BERKELEY HUMANE SOCI	2700 9TH ST	ESE 1/4 - 1/2 (0.375 mi.)	58	214
Reg Id: 01-0194				
BERKELEY AUTO REPAIR	2378/2366 SAN PABLO	ENE 1/4 - 1/2 (0.378 mi.)	P59	216
Reg Id: 01750013				
FORMER EXXON 7-8465	2300 SAN PABLO AVE	NE 1/4 - 1/2 (0.403 mi.)	Q60	221
Reg Id: 01-2022				
STUDIO COMPLEX	1025 CARLETON ST	ESE 1/4 - 1/2 (0.424 mi.)	S64	244
Reg Id: 01-1432				
CHASE PROPERTY	2366 78 SAN PABLO	ENE 1/4 - 1/2 (0.430 mi.)	67	252
Reg Id: 01-0305				
KAPLAN PROPERTY	2234 SAN PABLO AVE	NE 1/4 - 1/2 (0.431 mi.)	68	253
Reg Id: 01-0851				
OLIVER COMPANY	1035 CARLETON ST	ESE 1/4 - 1/2 (0.433 mi.)	S69	254
Reg Id: 01-1092				
PINNACLE AUTOBODY &	2285 SAN PABLO AVE	NE 1/4 - 1/2 (0.446 mi.)	Q73	265
Reg Id: 2931				
COBURN CONSTRUCTION	1006 PARDEE ST	SE 1/4 - 1/2 (0.448 mi.)	U74	267
Reg Id: 01-0436				
PROEN PRODUCTS	2777 9TH ST	SE 1/4 - 1/2 (0.465 mi.)	U77	273
Reg Id: 01-2329				
CHRONICLE DEPOT	2817 7TH ST	SSE 1/4 - 1/2 (0.481 mi.)	79	277
Reg Id: 01-0396				
CROWN MINI-MART	2700 SAN PABLO AVE	ESE 1/4 - 1/2 (0.487 mi.)	W80	278
Reg Id: 01-1131				
NOMURA BROS., INC.	2720 SAN PABLO AVE	ESE 1/4 - 1/2 (0.488 mi.)	W81	282
Reg Id: 01-1051				

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
TRUST SECURITY MANAG	2321 4TH ST	NNW 1/8 - 1/4 (0.127 mi.)	11	56
Reg Id: 01-1504				
UC BERKELEY	UNKNOWN 4TH ST & PAR	S 1/8 - 1/4 (0.177 mi.)	F20	83
Reg Id: 01-0972				
Reg Id: 01-1512				
ENGINEERING SCIENCE	600 BANCROFT WAY	NW 1/8 - 1/4 (0.226 mi.)	I31	101
Reg Id: 01-2330				
PEERLESS ELECTRIC	2220 4TH STREET	NNW 1/4 - 1/2 (0.263 mi.)	L41	123
Reg Id: 01-1147				
DAVLIN COATINGS LLC	700 ALLSTON WAY	NNW 1/4 - 1/2 (0.306 mi.)	L47	164
Reg Id: 01-2488				
PQ CORP THE	801 GRAYSON ST	S 1/4 - 1/2 (0.409 mi.)	61	226

EXECUTIVE SUMMARY

Reg Id: 01-1203				
TAKARA SAKE USA INCO	708 ADDISON ST	NNW 1/4 - 1/2 (0.413 mi.)	R63	238
Reg Id: 01-1064				
SIERRA DESIGNS LILY	2039 4TH ST	NNW 1/4 - 1/2 (0.427 mi.)	R66	250
Reg Id: 01-1388				
BLOCK PROPERTY	651 ADDISON ST	NNW 1/4 - 1/2 (0.452 mi.)	75	269
Reg Id: 01-0209				
JIM DOTEN HONDA	2000 5TH ST	NNW 1/4 - 1/2 (0.493 mi.)	V82	284
Reg Id: 01-0821				

CA HWP: Detailed information on permitted hazardous waste facilities and corrective action ("cleanups") tracked in EnviroStor.

A review of the CA HWP list, as provided by EDR, and dated 02/20/2018 has revealed that there are 3 CA HWP sites within approximately 1 mile of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
SAFETY KLEEN CORP EPA Id: CAD070148432 Cleanup Status: CLOSED	1717 FOURTH ST	NNW 1/2 - 1 (0.756 mi.)	94	323
KAISER FOUNDATION HO EPA Id: CAD983600339 Cleanup Status: CLOSED	1795 SECOND STREET	NNW 1/2 - 1 (0.763 mi.)	95	332
COURTAULDS AEROSPACE EPA Id: CAD009110867 Cleanup Status: CLOSED	1608 FOURTH ST	NNW 1/2 - 1 (0.928 mi.)	AA103	394

NY MANIFEST: Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

A review of the NY MANIFEST list, as provided by EDR, and dated 12/31/2017 has revealed that there are 2 NY MANIFEST sites within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
H R I RESEARCH EPA ID: CAD981430887	2315 5TH	N 1/8 - 1/4 (0.147 mi.)	D13	76
Lower Elevation	Address	Direction / Distance	Map ID	Page
ENGINEERING SCIENCE EPA ID: CAD982468985	600 BANCROFT WAY	NW 1/8 - 1/4 (0.226 mi.)	I32	105

EXECUTIVE SUMMARY

CA Notify 65: Listings of all Proposition 65 incidents reported to counties by the State Water Resources Control Board and the Regional Water Quality Control Board. This database is no longer updated by the reporting agency.

A review of the CA Notify 65 list, as provided by EDR, and dated 03/23/2018 has revealed that there are 4 CA Notify 65 sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
EMERALD PACKAGING IN	2821 TENTH ST.	SE 1/2 - 1 (0.565 mi.)	86	297
TOWER CLEANERS	1110 UNIVERSITY AVE	NNE 1/2 - 1 (0.637 mi.)	88	309
JOE'S UNOCAL 76	2501 SACRAMENTO	E 1/2 - 1 (0.863 mi.)	100	344
COSHELL LAUNDRY	1634 SAN PABLO AVE	N 1/2 - 1 (0.946 mi.)	104	398

CA WIP: Well Investigation Program case in the San Gabriel and San Fernando Valley area.

A review of the CA WIP list, as provided by EDR, and dated 07/03/2009 has revealed that there is 1 CA WIP site within approximately 0.25 miles of the target property.

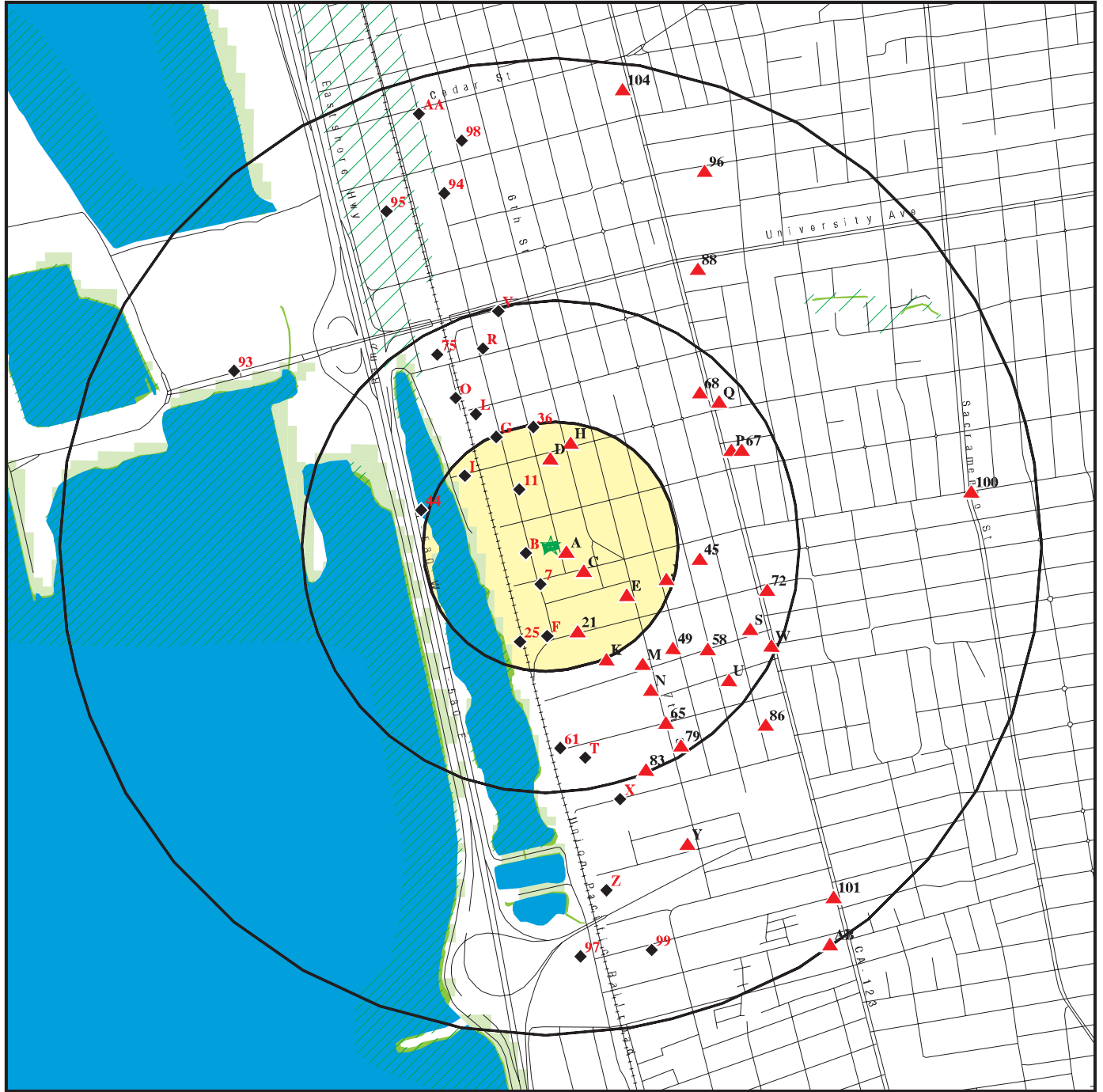
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
PEERLESS LIGHTING CO Facility Status: Historical	747 BANCROFT WAY	NNW 1/8 - 1/4 (0.202 mi.)	G26	94

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 4 records.

<u>Site Name</u>	<u>Database(s)</u>
NORTH BASIN STRIP-II	CA CPS-SLIC
UPTOWN THEATER DISTRICT	CA CPS-SLIC
KRENZ INC	CA ENVIROSTOR
BERKELEY LANDFILL COMPANY	CA ENVIROSTOR

OVERVIEW MAP - 5312825.2S

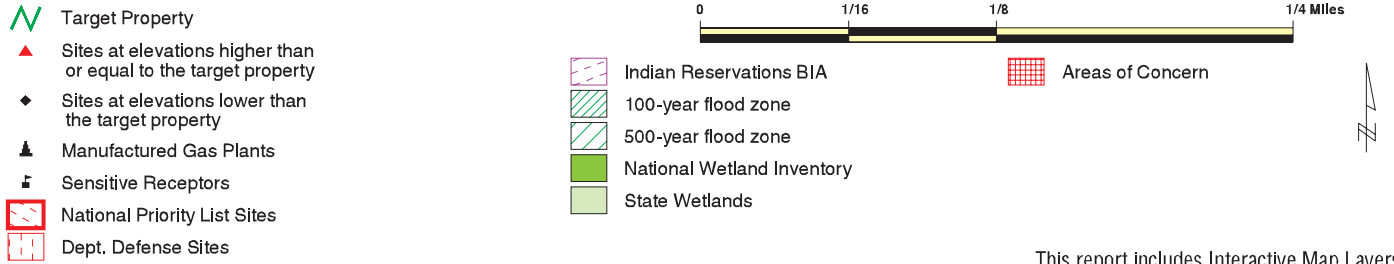
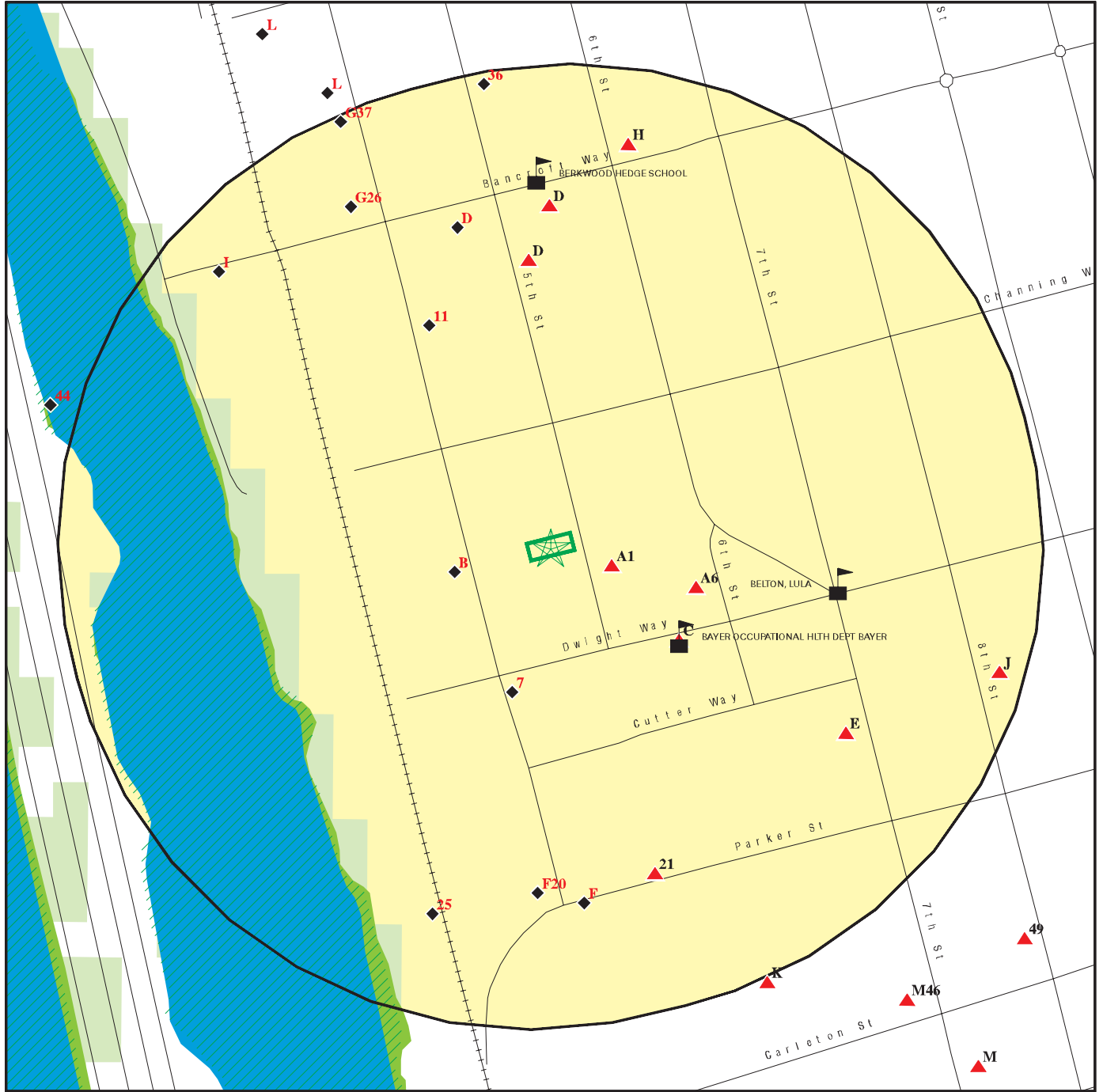


- Target Property
- Sites at elevations higher than or equal to the target property
- Sites at elevations lower than the target property
- Manufactured Gas Plants
- National Priority List Sites
- Dept. Defense Sites
- Indian Reservations BIA
- 100-year flood zone
- 500-year flood zone
- National Wetland Inventory
- State Wetlands
- Upgradient Area
- Areas of Concern

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

<p>SITE NAME: Residential Duplex ADDRESS: 2422 5th Street Berkeley CA 94710 LAT/LONG: 37.860555 / 122.296828</p>	<p>CLIENT: Partner Engineering and Science, Inc. CONTACT: Colleen Tubridy INQUIRY #: 5312825.2s DATE: May 29, 2018 10:55 am</p>
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DETAIL MAP - 5312825.2S



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

<p>SITE NAME: Residential Duplex ADDRESS: 2422 5th Street Berkeley CA 94710 LAT/LONG: 37.860555 / 122.296828</p>	<p>CLIENT: Partner Engineering and Science, Inc. CONTACT: Colleen Tubridy INQUIRY #: 5312825.2s DATE: May 29, 2018 10:59 am</p>
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MAP FINDINGS SUMMARY

<u>Database</u>	<u>Search Distance (Miles)</u>	<u>Target Property</u>	<u>< 1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>> 1</u>	<u>Total Plotted</u>
<u>STANDARD ENVIRONMENTAL RECORDS</u>								
<i>Federal NPL site list</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	TP		NR	NR	NR	NR	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	0	NR	NR	0
<i>Federal CERCLIS NFRAP site list</i>								
SEMS-ARCHIVE	0.500		1	1	3	NR	NR	5
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	1	NR	1
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		1	1	NR	NR	NR	2
RCRA-SQG	0.250		3	6	NR	NR	NR	9
RCRA-CESQG	0.250		0	0	NR	NR	NR	0
<i>Federal institutional controls / engineering controls registries</i>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROL	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent NPL</i>								
CA RESPONSE	1.000		0	0	3	5	NR	8
<i>State- and tribal - equivalent CERCLIS</i>								
CA ENVIROSTOR	1.000		0	3	10	14	NR	27
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
CA SWF/LF	0.500		0	0	0	NR	NR	0
<i>State and tribal leaking storage tank lists</i>								
CA LUST	0.500		2	7	26	NR	NR	35

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
INDIAN LUST	0.500		0	0	0	NR	NR	0
CA CPS-SLIC	0.500		0	5	11	NR	NR	16
CA Alameda County CS	0.500		0	0	0	NR	NR	0
State and tribal registered storage tank lists								
FEMA UST	0.250		0	0	NR	NR	NR	0
CA UST	0.250		0	0	NR	NR	NR	0
CA AST	0.250		3	0	NR	NR	NR	3
INDIAN UST	0.250		0	0	NR	NR	NR	0
State and tribal voluntary cleanup sites								
CA VCP	0.500		0	0	4	NR	NR	4
INDIAN VCP	0.500		0	0	0	NR	NR	0
State and tribal Brownfields sites								
CA BROWNFIELDS	0.500		0	0	1	NR	NR	1
ADDITIONAL ENVIRONMENTAL RECORDS								
Local Brownfield lists								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
Local Lists of Landfill / Solid Waste Disposal Sites								
CA WMUDS/SWAT	0.500		0	0	0	NR	NR	0
CA SWRCY	0.500		0	0	0	NR	NR	0
CA HAULERS	TP		NR	NR	NR	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
Local Lists of Hazardous waste / Contaminated Sites								
US HIST CDL	TP		NR	NR	NR	NR	NR	0
CA HIST Cal-Sites	1.000		0	0	3	3	NR	6
CA SCH	0.250		0	0	NR	NR	NR	0
CA CDL	TP		NR	NR	NR	NR	NR	0
CA Toxic Pits	1.000		0	0	0	0	NR	0
US CDL	TP		NR	NR	NR	NR	NR	0
Local Lists of Registered Storage Tanks								
CA SWEEPS UST	0.250		0	3	NR	NR	NR	3
CA HIST UST	0.250		0	3	NR	NR	NR	3
CA FID UST	0.250		0	6	NR	NR	NR	6
Local Land Records								
CA LIENS	TP		NR	NR	NR	NR	NR	0
LIENS 2	TP		NR	NR	NR	NR	NR	0
CA DEED	0.500		0	0	0	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
Records of Emergency Release Reports								
HMIRS	TP		NR	NR	NR	NR	NR	0
CA CHMIRS	TP		NR	NR	NR	NR	NR	0
CA LDS	TP		NR	NR	NR	NR	NR	0
CA MCS	TP		NR	NR	NR	NR	NR	0
CA SPILLS 90	TP		NR	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA NonGen / NLR	0.250		2	0	NR	NR	NR	2
FUDS	1.000		0	0	0	2	NR	2
DOD	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ROD	1.000		0	0	0	0	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
FUSRAP	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	0.250		0	0	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
UXO	1.000		0	0	0	0	NR	0
DOCKET HWC	TP		NR	NR	NR	NR	NR	0
ECHO	TP		NR	NR	NR	NR	NR	0
FUELS PROGRAM	0.250		0	0	NR	NR	NR	0
CA BOND EXP. PLAN	1.000		0	0	1	0	NR	1
CA Cortese	0.500		0	0	0	NR	NR	0
CA CUPA Listings	0.250		0	0	NR	NR	NR	0
CA DRYCLEANERS	0.250		0	0	NR	NR	NR	0
CA EMI	TP		NR	NR	NR	NR	NR	0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

AUTO UNIBODY SPECIALISTS INC (Continued)

1000921621

Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002754494

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000921621
Registry ID: 110002754494
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002754494>

**B2
WSW
< 1/8
0.041 mi.
216 ft.**

**MANTROSE HAEUSER COMPANY INC
2424 4TH ST
BERKELEY, CA 94710
Site 1 of 4 in cluster B**

**RCRA-SQG 1010562051
CAR000186171**

**Relative:
Lower
Actual:
26 ft.**

RCRA-SQG:
Date form received by agency: 07/23/2007
Facility name: MANTROSE HAEUSER COMPANY INC
Facility address: 2424 4TH ST
BLDG 5 MANTROSE HAEUSER RACKS
BERKELEY, CA 94710
EPA ID: CAR000186171
Mailing address: 1175 POST RD EAST
WESTPORT, CT 01880
Contact: LEE J HYDE
Contact address: 1175 POST RD EAST
WESTPORT, CT 01880
Contact country: US
Contact telephone: 203-767-2174
Contact email: LEE.HYDE@MANTROSE.COM
EPA Region: 09
Classification: Small Small Quantity Generator

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

MANTROSE HAEUSER COMPANY INC (Continued)

1010562051

Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: C AND S ENTERPRISES INC
Owner/operator address: 2424 4TH ST
BERKELEY, CA 94710
Owner/operator country: US
Owner/operator telephone: Not reported
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 05/04/1974
Owner/Op end date: Not reported

Owner/operator name: MANTROSE HAEUSER COMPANY INC
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 01/01/1990
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

. Waste code: U112
. Waste name: ACETIC ACID, ETHYL ESTER (I) (OR) ETHYL ACETATE (I)

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site	Database(s)	EDR ID Number EPA ID Number
------	-------------	--------------------------------

MANTROSE HAEUSER COMPANY INC (Continued)

1010562051

Violation Status: No violations found

**B3
WSW
< 1/8
0.041 mi.
216 ft.**

**PACIFIC COAST CHEMICALS CO.
2424 FOURTH STREET
BERKELEY, CA 94710**

**CA LUST S110042511
N/A**

Site 2 of 4 in cluster B

**Relative:
Lower
Actual:
26 ft.**

LUST:
 Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T10000001541
 Global Id: T10000001541
 Latitude: 37.8688788
 Longitude: -122.3002756
 Status: Completed - Case Closed
 Status Date: 08/08/2014
 Case Worker: MYM
 RB Case Number: 01-3620
 Local Agency: BERKELEY, CITY OF
 File Location: Local Agency
 Local Case Number: TTFou2424
 Potential Media Affect: Other Groundwater (uses other than drinking water), Soil
 Potential Contaminants of Concern: Heating Oil / Fuel Oil
 Site History: The City of Berkeley has flagged this parcel in the City's Land Use database. Future excavation or dewatering on this property will be subject to review, soil and groundwater management plans, and associated fees.

LUST:
 Global Id: T10000001541
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us
 Phone Number: Not reported

Global Id: T10000001541
 Contact Type: Regional Board Caseworker
 Contact Name: MARTIN MUSONGE
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY STREET
 City: OAKLAND
 Email: martin.musonge@waterboards.ca.gov
 Phone Number: Not reported

Global Id: T10000001541
 Contact Type: Regional Board Caseworker
 Contact Name: MATTHEW COHEN
 Organization Name: SWRCB
 Address: 1001 I Street
 City: SACRAMENTO
 Email: mcohen@waterboards.ca.gov
 Phone Number: 9163415751

LUST:
 Global Id: T10000001541

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PACIFIC COAST CHEMICALS CO. (Continued)

S110042511

Action Type:	Other
Date:	04/22/2009
Action:	Leak Reported
Global Id:	T10000001541
Action Type:	ENFORCEMENT
Date:	09/25/2009
Action:	Technical Correspondence / Assistance / Other
Global Id:	T10000001541
Action Type:	ENFORCEMENT
Date:	06/16/2011
Action:	Technical Correspondence / Assistance / Other
Global Id:	T10000001541
Action Type:	ENFORCEMENT
Date:	10/03/2011
Action:	Technical Correspondence / Assistance / Other
Global Id:	T10000001541
Action Type:	REMEDIATION
Date:	10/22/2010
Action:	Excavation
Global Id:	T10000001541
Action Type:	RESPONSE
Date:	01/08/2013
Action:	Request for Closure - Regulator Responded
Global Id:	T10000001541
Action Type:	RESPONSE
Date:	06/29/2009
Action:	Tank Removal Report / UST Sampling Report
Global Id:	T10000001541
Action Type:	Other
Date:	05/29/2009
Action:	Leak Stopped
Global Id:	T10000001541
Action Type:	ENFORCEMENT
Date:	11/06/2013
Action:	13267 Requirement
Global Id:	T10000001541
Action Type:	ENFORCEMENT
Date:	04/05/2010
Action:	Technical Correspondence / Assistance / Other
Global Id:	T10000001541
Action Type:	ENFORCEMENT
Date:	08/08/2014
Action:	Closure/No Further Action Letter
Global Id:	T10000001541
Action Type:	ENFORCEMENT
Date:	11/08/2010

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PACIFIC COAST CHEMICALS CO. (Continued)

S110042511

Action: Technical Correspondence / Assistance / Other

Global Id: T10000001541
Action Type: Other
Date: 04/22/2009
Action: Leak Discovery

Global Id: T10000001541
Action Type: ENFORCEMENT
Date: 06/30/2014
Action: File Review - Closure

LUST:

Global Id: T10000001541
Status: Open - Case Begin Date
Status Date: 04/22/2009

Global Id: T10000001541
Status: Open - Site Assessment
Status Date: 09/25/2009

Global Id: T10000001541
Status: Open - Eligible for Closure
Status Date: 04/17/2013

Global Id: T10000001541
Status: Completed - Case Closed
Status Date: 08/08/2014

**B4
WSW
< 1/8
0.041 mi.
216 ft.**

**BAYER HEALTHCARE PHARMACEUTICALS LLC
2424 4TH ST
BERKELEY, CA 94710
Site 3 of 4 in cluster B**

**SEMS-ARCHIVE 1000355299
RCRA NonGen / NLR CAT000624197**

**Relative:
Lower**

SEMS Archive:
Site ID: 902651
EPA ID: CAT000624197
Cong District: 8
FIPS Code: 6001
FF: N
NPL: Not on the NPL
Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

**Actual:
26 ft.**

SEMS Archive Detail:

Region: 9
Site ID: 902651
EPA ID: CAT000624197
Site Name: MATRECON INC
NPL: N
FF: N
OU: 0
Action Code: VS
Action Name: ARCH SITE
SEQ: 1
Start Date: Not reported
Finish Date: 1985-02-01 00:00:00

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS LLC (Continued)

1000355299

Qual: Not reported
Current Action Lead: EPA Perf In-Hse

Region: 9
Site ID: 902651
EPA ID: CAT000624197
Site Name: MATRECON INC
NPL: N
FF: N
OU: 0
Action Code: DS
Action Name: DISCVRY
SEQ: 1
Start Date: 1980-08-01 00:00:00
Finish Date: 1980-08-01 00:00:00
Qual: Not reported
Current Action Lead: EPA Perf

Region: 9
Site ID: 902651
EPA ID: CAT000624197
Site Name: MATRECON INC
NPL: N
FF: N
OU: 0
Action Code: PA
Action Name: PA
SEQ: 1
Start Date: 1984-08-01 00:00:00
Finish Date: 1985-02-01 00:00:00
Qual: N
Current Action Lead: St Perf

RCRA NonGen / NLR:

Date form received by agency: 05/04/2015
Facility name: BAYER HEALTHCARE PHARMACEUTICALS LLC
Facility address: 2424 4TH ST
BERKELEY, CA 94710
EPA ID: CAT000624197
Mailing address: 800 DWIGHT WAY
PO BOX 1986
BERKELEY, CA 94701-1986
Contact: JEFFREY B BOWMAN
Contact address: 800 DWIGHT WAY PO BOX 1986
BERKELEY, CA 94701-1986
Contact country: US
Contact telephone: 510-705-4870
Contact email: JEFFREY.BOWMAN.B@BAYER.COM
EPA Region: 09
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: CNS ENTERPRISES
Owner/operator address: 2424 4TH ST

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER HEALTHCARE PHARMACEUTICALS LLC (Continued)

1000355299

BERKELEY, CA 94710
Owner/operator country: US
Owner/operator telephone: Not reported
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 12/31/1974
Owner/Op end date: Not reported

Owner/operator name: CNS ENTERPRISES
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 12/31/1974
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Historical Generators:

Date form received by agency: 07/17/2007
Site name: BAYER HEALTHCARE PHARMACEUTICALS LLC
Classification: Small Quantity Generator

. Waste code: 122
. Waste name: Alkaline solution without metals (pH > 12.5)

. Waste code: 791
. Waste name: Liquids with pH < 2

. Waste code: D002
. Waste name: CORROSIVE WASTE

Date form received by agency: 08/18/1980

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER HEALTHCARE PHARMACEUTICALS LLC (Continued)

1000355299

Site name: MATRECON INC
Classification: Not a generator, verified

Violation Status: No violations found

**B5
WSW
< 1/8
0.041 mi.
216 ft.**

**PACIFIC COAST CHEMICALS CO
2424 FOURTH STREET
BERKELEY, CA 94710**

RCRA NonGen / NLR

**1000250594
CAD071693741**

Site 4 of 4 in cluster B

**Relative:
Lower**

RCRA NonGen / NLR:

Date form received by agency: 08/15/1980

**Actual:
26 ft.**

Facility name: PACIFIC COAST CHEMICALS CO
Facility address: 2424 FOURTH STREET
BERKELEY, CA 94710

EPA ID: CAD071693741
Contact: ENVIRONMENTAL MANAGER
Contact address: 2424 FOURTH STREET
BERKELEY, CA 94710

Contact country: US
Contact telephone: 415-549-3535
Contact email: Not reported
EPA Region: 09
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED
Owner/operator address: NOT REQUIRED
NOT REQUIRED, ME 99999

Owner/operator country: Not reported
Owner/operator telephone: 415-555-1212
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED
Owner/operator address: NOT REQUIRED
NOT REQUIRED, ME 99999

Owner/operator country: Not reported
Owner/operator telephone: 415-555-1212
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PACIFIC COAST CHEMICALS CO (Continued)

1000250594

Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

Violation Status: No violations found

**A6
ESE
< 1/8
0.068 mi.
358 ft.**

**MERCOR INC
2448 SIXTH ST
BERKELEY, CA 94710**

**RCRA-SQG 1000353846
CAD980896328**

Site 2 of 2 in cluster A

**Relative:
Higher
Actual:
35 ft.**

RCRA-SQG:
 Date form received by agency: 09/01/1996
 Facility name: MERCOR INC
 Facility address: 2448 SIXTH ST
 BERKELEY, CA 94710
 EPA ID: CAD980896328
 Contact: Not reported
 Contact address: Not reported
 Contact telephone: Not reported
 Contact country: US
 Contact email: Not reported
 EPA Region: 09
 Classification: Small Small Quantity Generator
 Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED
 Owner/operator address: NOT REQUIRED
 NOT REQUIRED, ME 99999
 Owner/operator country: Not reported
 Owner/operator telephone: 415-555-1212
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Owner
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported
 Owner/operator name: NOT REQUIRED
 Owner/operator address: NOT REQUIRED
 NOT REQUIRED, ME 99999

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

MERCOR INC (Continued)

1000353846

Owner/operator country: Not reported
 Owner/operator telephone: 415-555-1212
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Operator
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

Historical Generators:

Date form received by agency: 10/10/1984
 Site name: MERCOR INC
 Classification: Large Quantity Generator

Violation Status: No violations found

7
SSW
< 1/8
0.071 mi.
373 ft.

**2465 FOURTH ST
BERKELEY, CA**

**CA AST A100336897
N/A**

**Relative:
Lower
Actual:
27 ft.**

AST:
 Certified Unified Program Agencies: Berkeley
 Owner: BIOFUEL OASIS
 Total Gallons: 1,320
 CERSID: Not reported
 Facility ID: Not reported
 Business Name: Not reported
 Phone: Not reported
 Fax: Not reported
 Mailing Address: Not reported
 Mailing Address City: Not reported
 Mailing Address State: Not reported
 Mailing Address Zip Code: Not reported
 Operator Name: Not reported
 Operator Phone: Not reported
 Owner Phone: Not reported
 Owner Mail Address: Not reported
 Owner State: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

(Continued)

A100336897

Owner Zip Code: Not reported
 Owner Country: Not reported
 Property Owner Name: Not reported
 Property Owner Phone: Not reported
 Property Owner Mailing Address: Not reported
 Property Owner City: Not reported
 Property Owner Stat : Not reported
 Property Owner Zip Code: Not reported
 Property Owner Country: Not reported
 EPAID: Not reported

**C8
SE
< 1/8
0.073 mi.
387 ft.**

**BAYER HEALTHCARE
800 DWIGHT WAY
BERKELEY, CA 94710
Site 1 of 3 in cluster C**

**CA AST A100417576
N/A**

**Relative:
Higher**

AST:

**Actual:
34 ft.**

Certified Unified Program Agencies: Not reported
 Owner: Bayer HealthCare LLC
 Total Gallons: Not reported
 CERSID: 10151747
 Facility ID: Not reported
 Business Name: Bayer HealthCare LLC
 Phone: 510-705-5000
 Fax: Not reported
 Mailing Address: 800 Dwight Way
 Mailing Address City: Berkeley
 Mailing Address State: CA
 Mailing Address Zip Code: 94710
 Operator Name: Bayer HealthCare LLC
 Operator Phone: 510-705-5000
 Owner Phone: 862-404-3000
 Owner Mail Address: 100 Bayer Boulevard
 Owner State: NJ
 Owner Zip Code: 7981
 Owner Country: United States
 Property Owner Name: Bayer Corporation
 Property Owner Phone: 412-777-2000
 Property Owner Mailing Address: 100 Bayer Road
 Property Owner City: Pittsburgh
 Property Owner Stat : PA
 Property Owner Zip Code: 15205
 Property Owner Country: United States
 EPAID: CAD009126418

**C9
SE
< 1/8
0.073 mi.
387 ft.**

**BAYER HEALTHCARE PHARMACEUTICALS
800 DWIGHT WAY
BERKELEY, CA 94710
Site 2 of 3 in cluster C**

**RCRA-LQG 1000221051
CA AST CAD009126418
FINDS
ECHO**

**Relative:
Higher**

RCRA-LQG:

**Actual:
34 ft.**

Date form received by agency: 02/05/2016
 Facility name: BAYER HEALTHCARE LLC
 Facility address: 800 DWIGHT WAY

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

BERKELEY, CA 94710
 EPA ID: CAD009126418
 Mailing address: PO BOX 1986
 BERKELEY, CA 94701
 Contact: JEFFREY BOWMAN
 Contact address: DWIGHT WAY
 BERKELEY, CA 94710
 Contact country: US
 Contact telephone: 510-705-4870
 Contact email: JEFFREY.BOWMAN@BAYER.COM
 EPA Region: 09
 Land type: Private
 Classification: Large Quantity Generator
 Description: Handler: generates 1,000 kg or more of hazardous waste during any calendar month; or generates more than 1 kg of acutely hazardous waste during any calendar month; or generates more than 100 kg of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month; or generates 1 kg or less of acutely hazardous waste during any calendar month, and accumulates more than 1 kg of acutely hazardous waste at any time; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates more than 100 kg of that material at any time

Owner/Operator Summary:

Owner/operator name: BAYER CORPORATION
 Owner/operator address: Not reported
 Not reported
 Owner/operator country: Not reported
 Owner/operator telephone: Not reported
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Operator
 Owner/Op start date: 01/01/1994
 Owner/Op end date: Not reported

Owner/operator name: BAYER CORPORATION
 Owner/operator address: BAYER BLVD
 WHIPPANY, NJ 07981
 Owner/operator country: US
 Owner/operator telephone: 862-404-3000
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Owner
 Owner/Op start date: 01/01/1974
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

- . Waste code: 122
- . Waste name: Alkaline solution without metals (pH > 12.5)

- . Waste code: 212
- . Waste name: Oxygenated solvents (acetone, butanol, ethyl acetate, etc.)

- . Waste code: 214
- . Waste name: Unspecified solvent mixture

- . Waste code: 343
- . Waste name: Unspecified organic liquid mixture

- . Waste code: 551
- . Waste name: Laboratory waste chemicals

- . Waste code: 791
- . Waste name: Liquids with pH < 2

- . Waste code: D001
- . Waste name: IGNITABLE WASTE

- . Waste code: D002
- . Waste name: CORROSIVE WASTE

- . Waste code: D003
- . Waste name: REACTIVE WASTE

- . Waste code: D004
- . Waste name: ARSENIC

- . Waste code: D005
- . Waste name: BARIUM

- . Waste code: D006
- . Waste name: CADMIUM

- . Waste code: D007
- . Waste name: CHROMIUM

- . Waste code: D008
- . Waste name: LEAD

- . Waste code: D009

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

- . Waste name: MERCURY
- . Waste code: D011
- . Waste name: SILVER
- . Waste code: D022
- . Waste name: CHLOROFORM
- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
- . Waste code: U188
- . Waste name: PHENOL

Historical Generators:

Date form received by agency: 03/01/2014
Site name: BAYER HEALTHCARE LLC
Classification: Large Quantity Generator

- . Waste code: D001
- . Waste name: IGNITABLE WASTE
- . Waste code: D002
- . Waste name: CORROSIVE WASTE
- . Waste code: D003
- . Waste name: REACTIVE WASTE
- . Waste code: D004
- . Waste name: ARSENIC
- . Waste code: D005
- . Waste name: BARIUM
- . Waste code: D006
- . Waste name: CADMIUM
- . Waste code: D007
- . Waste name: CHROMIUM

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

- . Waste code: D008
- . Waste name: LEAD

- . Waste code: D009
- . Waste name: MERCURY

- . Waste code: D011
- . Waste name: SILVER

- . Waste code: D018
- . Waste name: BENZENE

- . Waste code: D022
- . Waste name: CHLOROFORM

- . Waste code: D035
- . Waste name: METHYL ETHYL KETONE

- . Waste code: D038
- . Waste name: PYRIDINE

- . Waste code: F002
- . Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: P105
- . Waste name: SODIUM AZIDE

Date form received by agency: 03/20/2013

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

Site name: BAYER HEALTHCARE PHARMACEUTICALS LLC
 Classification: Large Quantity Generator

. Waste code: D001
 . Waste name: IGNITABLE WASTE

. Waste code: D002
 . Waste name: CORROSIVE WASTE

. Waste code: D003
 . Waste name: REACTIVE WASTE

. Waste code: D004
 . Waste name: ARSENIC

. Waste code: D005
 . Waste name: BARIUM

. Waste code: D006
 . Waste name: CADMIUM

. Waste code: D007
 . Waste name: CHROMIUM

. Waste code: D008
 . Waste name: LEAD

. Waste code: D009
 . Waste name: MERCURY

. Waste code: D011
 . Waste name: SILVER

. Waste code: D022
 . Waste name: CHLOROFORM

. Waste code: F001
 . Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS USED IN DEGREASING:
 TETRACHLOROETHYLENE, TRICHLOROETHYLENE, METHYLENE CHLORIDE,
 1,1,1-TRICHLOROETHANE, CARBON TETRACHLORIDE AND CHLORINATED
 FLUOROCARBONS; ALL SPENT SOLVENT MIXTURES/BLENDS USED IN DEGREASING
 CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF
 ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED
 IN F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE
 SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

. Waste code: F003
 . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL
 ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL
 ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT
 MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT
 NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS
 CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED
 SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR
 MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL
 BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT
 MIXTURES.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

. Waste code: F005
. Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

. Waste code: P105
. Waste name: SODIUM AZIDE

Date form received by agency: 02/19/2010
Site name: BAYER HEALTHCARE PHARMACEUTICAL LLC
Classification: Large Quantity Generator

. Waste code: 122
. Waste name: Alkaline solution without metals (pH > 12.5)

. Waste code: 212
. Waste name: Oxygenated solvents (acetone, butanol, ethyl acetate, etc.)

. Waste code: 331
. Waste name: Off-specification, aged, or surplus organics

. Waste code: 343
. Waste name: Unspecified organic liquid mixture

. Waste code: 352
. Waste name: Other organic solids

. Waste code: 551
. Waste name: Laboratory waste chemicals

. Waste code: 792
. Waste name: Liquids with pH < 2 with metals

. Waste code: D001
. Waste name: IGNITABLE WASTE

. Waste code: D002
. Waste name: CORROSIVE WASTE

. Waste code: D003
. Waste name: REACTIVE WASTE

. Waste code: D004
. Waste name: ARSENIC

. Waste code: D005
. Waste name: BARIUM

. Waste code: D007
. Waste name: CHROMIUM

. Waste code: D008
. Waste name: LEAD

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

- . Waste code: D009
- . Waste name: MERCURY

- . Waste code: D011
- . Waste name: SILVER

- . Waste code: D022
- . Waste name: CHLOROFORM

- . Waste code: F002
- . Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: P012
- . Waste name: ARSENIC OXIDE AS2O3 (OR) ARSENIC TRIOXIDE

- . Waste code: P105
- . Waste name: SODIUM AZIDE

- . Waste code: U135
- . Waste name: HYDROGEN SULFIDE (OR) HYDROGEN SULFIDE H2S

- . Waste code: U188
- . Waste name: PHENOL

- . Waste code: U236
- . Waste name: 2,7-NAPHTHALENEDISULFONIC ACID,3,3'-[(3,3'-DIMETHYL[1,1'-BIPHENYL]-4,4'-DIYL)BIS(AZO)BIS[5-AMINO-4-HYDROXY]-, TETRASODIUM SALT (OR) TRYPAN BLUE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

Date form received by agency: 02/20/2006
 Site name: BAYER PHARMACEUTICAL LLC
 Classification: Large Quantity Generator

- . Waste code: 122
- . Waste name: Alkaline solution without metals (pH > 12.5)

- . Waste code: 331
- . Waste name: Off-specification, aged, or surplus organics

- . Waste code: 343
- . Waste name: Unspecified organic liquid mixture

- . Waste code: 352
- . Waste name: Other organic solids

- . Waste code: 551
- . Waste name: Laboratory waste chemicals

- . Waste code: 725
- . Waste name: Liquids with mercury > 20 mg/l

- . Waste code: 741
- . Waste name: Liquids with halogenated organic compounds > 1000 mg/l

- . Waste code: 791
- . Waste name: Liquids with pH < 2

- . Waste code: D001
- . Waste name: IGNITABLE WASTE

- . Waste code: D002
- . Waste name: CORROSIVE WASTE

- . Waste code: D003
- . Waste name: REACTIVE WASTE

- . Waste code: D004
- . Waste name: ARSENIC

- . Waste code: D005
- . Waste name: BARIUM

- . Waste code: D006
- . Waste name: CADMIUM

- . Waste code: D007
- . Waste name: CHROMIUM

- . Waste code: D008
- . Waste name: LEAD

- . Waste code: D009
- . Waste name: MERCURY

- . Waste code: D010
- . Waste name: SELENIUM

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

- . Waste code: D011
- . Waste name: SILVER

- . Waste code: D018
- . Waste name: BENZENE

- . Waste code: D022
- . Waste name: CHLOROFORM

- . Waste code: D035
- . Waste name: METHYL ETHYL KETONE

- . Waste code: D036
- . Waste name: NITROBENZENE

- . Waste code: F002
- . Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: P030
- . Waste name: CYANIDES (SOLUBLE CYANIDE SALTS), NOT OTHERWISE SPECIFIED

- . Waste code: P077
- . Waste name: BENZENAMINE, 4-NITRO- (OR) P-NITROANILINE

- . Waste code: P098
- . Waste name: POTASSIUM CYANIDE (OR) POTASSIUM CYANIDE K(CN)

- . Waste code: P105

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

- . Waste name: SODIUM AZIDE
- . Waste code: U003
- . Waste name: ACETONITRILE (I,T)
- . Waste code: U056
- . Waste name: BENZENE, HEXAHYDRO- (I) (OR) CYCLOHEXANE (I)
- . Waste code: U080
- . Waste name: METHANE, DICHLORO- (OR) METHYLENE CHLORIDE
- . Waste code: U096
- . Waste name: ALPHA,ALPHA-DIMETHYLBENZYLHYDROPEROXIDE (R) (OR) HYDROPEROXIDE, 1-METHYL-1-PHENYLETHYL- (R)
- . Waste code: U103
- . Waste name: DIMETHYL SULFATE (OR) SULFURIC ACID, DIMETHYL ESTER
- . Waste code: U122
- . Waste name: FORMALDEHYDE
- . Waste code: U123
- . Waste name: FORMIC ACID (C,T)
- . Waste code: U151
- . Waste name: MERCURY
- . Waste code: U154
- . Waste name: METHANOL (I) (OR) METHYL ALCOHOL (I)
- . Waste code: U188
- . Waste name: PHENOL
- . Waste code: U197
- . Waste name: 2,5-CYCLOHEXADIENE-1,4-DIONE (OR) P-BENZOQUINONE
- . Waste code: U236
- . Waste name: 2,7-NAPHTHALENEDISULFONIC ACID,3,3'-[(3,3'-DIMETHYL[1,1'-BIPHENYL]-4,4'-DIYL)BIS(AZO)BIS[5-AMINO-4-HYDROXY]-, TETRASODIUM SALT (OR) TRYPAN BLUE

Date form received by agency: 02/24/2004
Site name: BAYER HEALTHCARE LLC
Classification: Large Quantity Generator

- . Waste code: D001
- . Waste name: IGNITABLE WASTE
- . Waste code: D002
- . Waste name: CORROSIVE WASTE
- . Waste code: D003
- . Waste name: REACTIVE WASTE
- . Waste code: D005
- . Waste name: BARIUM

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

- . Waste code: D007
- . Waste name: CHROMIUM

- . Waste code: D008
- . Waste name: LEAD

- . Waste code: D009
- . Waste name: MERCURY

- . Waste code: D010
- . Waste name: SELENIUM

- . Waste code: D011
- . Waste name: SILVER

- . Waste code: D018
- . Waste name: BENZENE

- . Waste code: D019
- . Waste name: CARBON TETRACHLORIDE

- . Waste code: D020
- . Waste name: CHLORDANE

- . Waste code: D022
- . Waste name: CHLOROFORM

- . Waste code: D035
- . Waste name: METHYL ETHYL KETONE

- . Waste code: D039
- . Waste name: TETRACHLOROETHYLENE

- . Waste code: D040
- . Waste name: TRICHLOROETHYLENE

- . Waste code: F002
- . Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

MIXTURES.

- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: P105
- . Waste name: SODIUM AZIDE

- . Waste code: U002
- . Waste name: 2-PROPANONE (I) (OR) ACETONE (I)

- . Waste code: U122
- . Waste name: FORMALDEHYDE

- . Waste code: U159
- . Waste name: 2-BUTANONE (I,T) (OR) METHYL ETHYL KETONE (MEK) (I,T)

- . Waste code: U188
- . Waste name: PHENOL

Date form received by agency: 03/01/2002
Site name: BAYER CORPORATION
Classification: Large Quantity Generator

Date form received by agency: 10/12/2000
Site name: BAYER CORPORATION
Classification: Large Quantity Generator

Date form received by agency: 03/04/1999
Site name: BAYER CORPORATION
Classification: Large Quantity Generator

Date form received by agency: 09/01/1996
Site name: BAYER CORP
Classification: Large Quantity Generator

Date form received by agency: 02/22/1996
Site name: BAYER CORPORATION
Classification: Large Quantity Generator

Date form received by agency: 04/19/1995
Site name: BAYER CORP
Classification: Small Quantity Generator

Date form received by agency: 03/31/1994
Site name: MILES INC
Classification: Large Quantity Generator

Date form received by agency: 03/09/1992
Site name: MILES INC.
Classification: Large Quantity Generator

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

Date form received by agency: 04/16/1990
Site name: MILES INC./CUTTER LABORATORIES INC
Classification: Large Quantity Generator

Biennial Reports:
Last Biennial Reporting Year: 2017

Annual Waste Handled:

Waste code: D001
Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.
Amount (Lbs): 39360

Waste code: D002
Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.
Amount (Lbs): 46148

Waste code: D003
Waste name: A MATERIAL IS CONSIDERED TO BE A REACTIVE HAZARDOUS WASTE IF IT IS NORMALLY UNSTABLE, REACTS VIOLENTLY WITH WATER, GENERATES TOXIC GASES WHEN EXPOSED TO WATER OR CORROSIVE MATERIALS, OR IF IT IS CAPABLE OF DETONATION OR EXPLOSION WHEN EXPOSED TO HEAT OR A FLAME. ONE EXAMPLE OF SUCH WASTE WOULD BY WASTE GUNPOWDER.
Amount (Lbs): 25519

Waste code: D004
Waste name: ARSENIC
Amount (Lbs): 25519

Waste code: D005
Waste name: BARIUM
Amount (Lbs): 25519

Waste code: D006
Waste name: CADMIUM
Amount (Lbs): 25519

Waste code: D007
Waste name: CHROMIUM
Amount (Lbs): 25519

Waste code: D008
Waste name: LEAD
Amount (Lbs): 25519

Waste code: D009

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

Waste name:	MERCURY
Amount (Lbs):	25519
Waste code:	D011
Waste name:	SILVER
Amount (Lbs):	25519
Waste code:	D022
Waste name:	CHLOROFORM
Amount (Lbs):	25519
Waste code:	F003
Waste name:	THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
Amount (Lbs):	26748
Waste code:	F005
Waste name:	THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
Amount (Lbs):	25519
Waste code:	U188
Waste name:	PHENOL
Amount (Lbs):	25519

Facility Has Received Notices of Violations:

Regulation violated:	Not reported
Area of violation:	Generators - Pre-transport
Date violation determined:	08/09/2016
Date achieved compliance:	09/30/2016
Violation lead agency:	State
Enforcement action:	Not reported
Enforcement action date:	Not reported
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	Not reported
Proposed penalty amount:	Not reported
Final penalty amount:	Not reported
Paid penalty amount:	Not reported
Regulation violated:	Not reported
Area of violation:	Generators - General
Date violation determined:	06/12/2014

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

Date achieved compliance: 07/03/2014
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 06/12/2014
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 09/16/2009
Date achieved compliance: 09/30/2009
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 09/16/2009
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 08/28/2008
Date achieved compliance: 09/26/2008
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 08/28/2008
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 11/29/2007
Date achieved compliance: 12/07/2007
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 11/29/2007
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: F - 262.40-43.D
Area of violation: Generators - General
Date violation determined: 06/30/1999
Date achieved compliance: 09/13/1999

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

Violation lead agency: EPA
 Enforcement action: Not reported
 Enforcement action date: 08/03/1999
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: EPA
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: F - 279
 Area of violation: Used Oil - Generators
 Date violation determined: 06/30/1999
 Date achieved compliance: 09/13/1999
 Violation lead agency: EPA
 Enforcement action: WRITTEN INFORMAL
 Enforcement action date: 08/12/1999
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: EPA
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: F - 262.40-43.D
 Area of violation: Generators - General
 Date violation determined: 06/30/1999
 Date achieved compliance: 09/13/1999
 Violation lead agency: EPA
 Enforcement action: WRITTEN INFORMAL
 Enforcement action date: 08/12/1999
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: EPA
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: F - 279
 Area of violation: Used Oil - Generators
 Date violation determined: 06/30/1999
 Date achieved compliance: 09/13/1999
 Violation lead agency: EPA
 Enforcement action: VERBAL INFORMAL
 Enforcement action date: 08/03/1999
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: EPA
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: F - 279
 Area of violation: Used Oil - Generators
 Date violation determined: 06/30/1999
 Date achieved compliance: 09/13/1999
 Violation lead agency: EPA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

Enforcement action: Not reported
 Enforcement action date: 08/03/1999
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: EPA
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: F - 262.40-43.D
 Area of violation: Generators - General
 Date violation determined: 06/30/1999
 Date achieved compliance: 09/13/1999
 Violation lead agency: EPA
 Enforcement action: VERBAL INFORMAL
 Enforcement action date: 08/03/1999
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: EPA
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: FR - 268.7
 Area of violation: LDR - General
 Date violation determined: 02/27/1989
 Date achieved compliance: 02/27/1989
 Violation lead agency: State
 Enforcement action: Not reported
 Enforcement action date: Not reported
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: Not reported
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: FR - 262.50-60
 Area of violation: Generators - General
 Date violation determined: 02/27/1989
 Date achieved compliance: 02/27/1989
 Violation lead agency: State
 Enforcement action: Not reported
 Enforcement action date: Not reported
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: Not reported
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Evaluation Action Summary:
 Evaluation date: 06/28/2017
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Not reported
 Date achieved compliance: Not reported
 Evaluation lead agency: State

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

Evaluation date: 07/12/2016
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Generators - Pre-transport
 Date achieved compliance: 09/30/2016
 Evaluation lead agency: State

Evaluation date: 07/14/2015
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Not reported
 Date achieved compliance: Not reported
 Evaluation lead agency: State

Evaluation date: 06/12/2014
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Generators - General
 Date achieved compliance: 07/03/2014
 Evaluation lead agency: State

Evaluation date: 06/10/2014
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Not reported
 Date achieved compliance: Not reported
 Evaluation lead agency: State

Evaluation date: 06/09/2014
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Not reported
 Date achieved compliance: Not reported
 Evaluation lead agency: State

Evaluation date: 07/15/2013
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Not reported
 Date achieved compliance: Not reported
 Evaluation lead agency: State

Evaluation date: 06/28/2012
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Not reported
 Date achieved compliance: Not reported
 Evaluation lead agency: State

Evaluation date: 09/16/2009
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Generators - General
 Date achieved compliance: 09/30/2009
 Evaluation lead agency: State

Evaluation date: 08/28/2008
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Generators - General
 Date achieved compliance: 09/26/2008
 Evaluation lead agency: State

Evaluation date: 11/29/2007
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Generators - General

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

Date achieved compliance: 12/07/2007
Evaluation lead agency: State

Evaluation date: 12/13/2006
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 06/15/2005
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State Contractor/Grantee

Evaluation date: 06/30/1999
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - General
Date achieved compliance: 09/13/1999
Evaluation lead agency: EPA

Evaluation date: 06/30/1999
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Used Oil - Generators
Date achieved compliance: 09/13/1999
Evaluation lead agency: EPA

Evaluation date: 02/27/1989
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - General
Date achieved compliance: 02/27/1989
Evaluation lead agency: State

Evaluation date: 02/27/1989
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: LDR - General
Date achieved compliance: 02/27/1989
Evaluation lead agency: State

AST:

Certified Unified Program Agencies: Berkeley
Owner: BAYER CORPORATION
Total Gallons: 10,000
CERSID: Not reported
Facility ID: Not reported
Business Name: Not reported
Phone: Not reported
Fax: Not reported
Mailing Address: Not reported
Mailing Address City: Not reported
Mailing Address State: Not reported
Mailing Address Zip Code: Not reported
Operator Name: Not reported
Operator Phone: Not reported
Owner Phone: Not reported
Owner Mail Address: Not reported
Owner State: Not reported
Owner Zip Code: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

Owner Country: Not reported
 Property Owner Name: Not reported
 Property Owner Phone: Not reported
 Property Owner Mailing Address: Not reported
 Property Owner City: Not reported
 Property Owner Stat : Not reported
 Property Owner Zip Code: Not reported
 Property Owner Country: Not reported
 EPAID: Not reported

FINDS:

Registry ID: 110000483806

Environmental Interest/Information System

NCDB (National Compliance Data Base) supports implementation of the Federal Insecticide, Fungicide, and Rodenticide Act (FIFRA) and the Toxic Substances Control Act (TSCA). The system tracks inspections in regions and states with cooperative agreements, enforcement actions, and settlements.

AIR EMISSIONS CLASSIFICATION UNKNOWN

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

US EPA TRIS (Toxics Release Inventory System) contains information from facilities on the amounts of over 300 listed toxic chemicals that these facilities release directly to air, water, land, or that are transported off-site.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

US National Pollutant Discharge Elimination System (NPDES) module of the Compliance Information System (ICIS) tracks surface water permits issued under the Clean Water Act. Under NPDES, all facilities that discharge pollutants from any point source into waters of the United States are required to obtain a permit. The permit will likely contain limits on what can be discharged, impose monitoring and reporting requirements, and include other provisions to ensure that the discharge does not adversely affect water quality.

STATE MASTER

HAZARDOUS WASTE BIENNIAL REPORTER

US EPA Risk Management Plan (RMP) database stores the risk management plans reported by companies that handle, manufacture, use, or store certain flammable or toxic substances, as required under section 112(r) of the Clean Air Act (CAA).

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

BAYER HEALTHCARE PHARMACEUTICALS (Continued)

1000221051

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:
 Envid: 1000221051
 Registry ID: 110000483806
 DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110000483806>

<p>C10 SE < 1/8 0.073 mi. 387 ft.</p>	<p>BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL 800 DWIGHT WAY BERKELEY, CA 94710</p> <p>Site 3 of 3 in cluster C</p>	<p>CA LUST CA CHMIRS CA NPDES CA CIWQS</p>	<p>S108205108 N/A</p>
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Relative: LUST:
Higher Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Actual: Case Type: LUST Cleanup Site
34 ft. Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100895
 Global Id: T0600100895
 Latitude: 37.8598499064574
 Longitude: -122.29573825264
 Status: Completed - Case Closed
 Status Date: 06/30/2017
 Case Worker: KEB
 RB Case Number: 01-0972
 Local Agency: BERKELEY, CITY OF
 File Location: Local Agency
 Local Case Number: TT01-0972
 Potential Media Affect: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Alcohols, Acetone, Trichloroethylene (TCE), Diesel, Gasoline, Kerosene
 Site History: The Site has operated as a bus maintenance facility for the Berkeley Unified School District (BUSD) from 1971 to 1994, when the property was sold to Miles in 1992. Prior to 1971 it was used by a storage tank and rail car manufacturer. The current Site is a portion of the Miles facility with two (2) buildings, one a vehicle maintenance structure, and the other an office. Four (4) underground fuel storage tanks (UFSTs) and one (1) underground storage tank (UST) and one (1) oil-water separator were removed from the Site in 1993. Approx. 1,850 cubic yards of soil were also removed, along with 2,700 gallons of groundwater in order to help in the excavation process.

LUST:
 Global Id: T0600100895
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us
 Phone Number: Not reported

Global Id: T0600100895
 Contact Type: Regional Board Caseworker
 Contact Name: KEVIN BROWN
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY STREET, SUITE 1400
 City: OAKLAND

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Email: kebrown@waterboards.ca.gov
Phone Number: Not reported

LUST:

Global Id: T0600100895
Action Type: RESPONSE
Date: 09/30/1993
Action: Correspondence

Global Id: T0600100895
Action Type: ENFORCEMENT
Date: 07/06/1993
Action: Closure/No Further Action Letter

Global Id: T0600100895
Action Type: RESPONSE
Date: 05/15/2002
Action: Request for Closure

Global Id: T0600100895
Action Type: Other
Date: 08/11/1987
Action: Leak Stopped

Global Id: T0600100895
Action Type: ENFORCEMENT
Date: 06/28/2016
Action: File Review - Closure

Global Id: T0600100895
Action Type: ENFORCEMENT
Date: 05/02/2017
Action: Notification - Public Notice of Case Closure

Global Id: T0600100895
Action Type: RESPONSE
Date: 02/07/1994
Action: Request for Closure

Global Id: T0600100895
Action Type: RESPONSE
Date: 02/15/1988
Action: Other Report / Document

Global Id: T0600100895
Action Type: RESPONSE
Date: 02/15/1996
Action: Other Report / Document

Global Id: T0600100895
Action Type: RESPONSE
Date: 08/10/1995
Action: Other Report / Document

Global Id: T0600100895
Action Type: RESPONSE
Date: 05/24/1991

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Action: Soil and Water Investigation Workplan

Global Id: T0600100895

Action Type: RESPONSE

Date: 09/24/1991

Action: Request for Closure

Global Id: T0600100895

Action Type: RESPONSE

Date: 11/11/1996

Action: Remedial Progress Report

Global Id: T0600100895

Action Type: RESPONSE

Date: 02/01/1992

Action: Monitoring Report - Quarterly

Global Id: T0600100895

Action Type: RESPONSE

Date: 02/01/1992

Action: Monitoring Report - Quarterly

Global Id: T0600100895

Action Type: RESPONSE

Date: 07/24/1992

Action: Monitoring Report - Quarterly

Global Id: T0600100895

Action Type: RESPONSE

Date: 11/20/1995

Action: Soil and Water Investigation Report

Global Id: T0600100895

Action Type: RESPONSE

Date: 01/01/1996

Action: Site Assessment Report

Global Id: T0600100895

Action Type: RESPONSE

Date: 09/04/1992

Action: Monitoring Report - Quarterly

Global Id: T0600100895

Action Type: RESPONSE

Date: 07/28/1993

Action: Other Workplan

Global Id: T0600100895

Action Type: RESPONSE

Date: 08/06/1992

Action: Request for Closure

Global Id: T0600100895

Action Type: RESPONSE

Date: 07/10/2001

Action: Well Destruction Report

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Global Id:	T0600100895
Action Type:	RESPONSE
Date:	10/30/1997
Action:	Other Report / Document
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	05/01/1993
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	02/01/1994
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	06/12/1991
Action:	Other Workplan
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	07/02/1993
Action:	Other Report / Document
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	11/01/1991
Action:	Well Installation Workplan
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	01/17/1992
Action:	Other Workplan
Global Id:	T0600100895
Action Type:	REMEDIATION
Date:	01/01/1989
Action:	Excavation
Global Id:	T0600100895
Action Type:	ENFORCEMENT
Date:	11/30/2015
Action:	Staff Letter
Global Id:	T0600100895
Action Type:	ENFORCEMENT
Date:	02/29/2016
Action:	13267 Requirement
Global Id:	T0600100895
Action Type:	ENFORCEMENT
Date:	07/23/2009
Action:	Staff Letter
Global Id:	T0600100895
Action Type:	ENFORCEMENT

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Date: 07/23/2009
Action: Staff Letter

Global Id: T0600100895
Action Type: RESPONSE
Date: 03/16/2001
Action: Other Report / Document

Global Id: T0600100895
Action Type: RESPONSE
Date: 02/22/1995
Action: Correspondence

Global Id: T0600100895
Action Type: RESPONSE
Date: 05/23/1997
Action: NPDES / WDR Reports

Global Id: T0600100895
Action Type: RESPONSE
Date: 09/03/1986
Action: Unauthorized Release Form

Global Id: T0600100895
Action Type: RESPONSE
Date: 03/20/1998
Action: Monitoring Report - Quarterly

Global Id: T0600100895
Action Type: ENFORCEMENT
Date: 02/01/1994
Action: Closure/No Further Action Letter

Global Id: T0600100895
Action Type: ENFORCEMENT
Date: 06/05/2009
Action: Closure/No Further Action Letter

Global Id: T0600100895
Action Type: ENFORCEMENT
Date: 08/19/2009
Action: Staff Letter

Global Id: T0600100895
Action Type: Other
Date: 08/11/1987
Action: Leak Reported

Global Id: T0600100895
Action Type: RESPONSE
Date: 03/24/2016
Action: Request for Closure - Regulator Responded

Global Id: T0600100895
Action Type: RESPONSE
Date: 05/15/2002
Action: Request for Closure

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Global Id:	T0600100895
Action Type:	ENFORCEMENT
Date:	06/12/2013
Action:	Letter - Notice
Global Id:	T0600100895
Action Type:	ENFORCEMENT
Date:	06/16/2015
Action:	File Review - Closure
Global Id:	T0600100895
Action Type:	ENFORCEMENT
Date:	11/27/2001
Action:	Staff Letter
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	05/15/2002
Action:	Request for Closure - Regulator Responded
Global Id:	T0600100895
Action Type:	ENFORCEMENT
Date:	05/18/1995
Action:	Site Visit / Inspection / Sampling
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	02/07/1994
Action:	Soil and Water Investigation Workplan
Global Id:	T0600100895
Action Type:	ENFORCEMENT
Date:	02/07/1994
Action:	Closure/No Further Action Letter
Global Id:	T0600100895
Action Type:	ENFORCEMENT
Date:	07/22/2009
Action:	File Review - Closure
Global Id:	T0600100895
Action Type:	ENFORCEMENT
Date:	05/06/1997
Action:	Staff Letter
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	05/15/2002
Action:	Request for Closure
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	05/15/2002
Action:	Request for Closure
Global Id:	T0600100895
Action Type:	RESPONSE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Date: 09/18/1987
Action: Site Assessment Report

Global Id: T0600100895
Action Type: RESPONSE
Date: 03/10/1987
Action: Soil and Water Investigation Report

Global Id: T0600100895
Action Type: RESPONSE
Date: 02/10/1993
Action: Request for Closure

Global Id: T0600100895
Action Type: RESPONSE
Date: 06/11/2001
Action: Well Destruction Report

Global Id: T0600100895
Action Type: RESPONSE
Date: 06/12/1995
Action: Other Report / Document

Global Id: T0600100895
Action Type: RESPONSE
Date: 07/17/2002
Action: Correspondence

Global Id: T0600100895
Action Type: ENFORCEMENT
Date: 04/09/2014
Action: Site Visit / Inspection / Sampling

Global Id: T0600100895
Action Type: ENFORCEMENT
Date: 07/30/2015
Action: Site Visit / Inspection / Sampling

Global Id: T0600100895
Action Type: RESPONSE
Date: 06/19/1991
Action: Well Installation Report

Global Id: T0600100895
Action Type: RESPONSE
Date: 11/01/1993
Action: Monitoring Report - Quarterly

Global Id: T0600100895
Action Type: RESPONSE
Date: 03/23/1995
Action: Monitoring Report - Quarterly

Global Id: T0600100895
Action Type: RESPONSE
Date: 09/18/1987
Action: Site Assessment Report

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Global Id:	T0600100895
Action Type:	RESPONSE
Date:	11/20/1993
Action:	Remedial Progress Report
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	05/01/1991
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	04/01/1994
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	10/01/1994
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	01/28/1993
Action:	Other Report / Document
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	11/01/1992
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	02/10/1993
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	10/07/2009
Action:	Correspondence
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	02/24/1992
Action:	Other Report / Document
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	02/16/1996
Action:	Other Report / Document
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	03/04/1996
Action:	Other Report / Document
Global Id:	T0600100895
Action Type:	RESPONSE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Date: 09/01/1992
Action: Request for Closure

Global Id: T0600100895
Action Type: RESPONSE
Date: 04/22/2005
Action: Other Workplan

Global Id: T0600100895
Action Type: RESPONSE
Date: 12/20/1995
Action: Monitoring Report - Quarterly

Global Id: T0600100895
Action Type: RESPONSE
Date: 07/25/1996
Action: Other Report / Document

Global Id: T0600100895
Action Type: RESPONSE
Date: 04/28/2005
Action: Other Report / Document

Global Id: T0600100895
Action Type: RESPONSE
Date: 04/24/1997
Action: Monitoring Report - Quarterly

Global Id: T0600100895
Action Type: RESPONSE
Date: 09/24/1997
Action: Monitoring Report - Quarterly

Global Id: T0600100895
Action Type: RESPONSE
Date: 02/10/1999
Action: Monitoring Report - Semi-Annually

Global Id: T0600100895
Action Type: RESPONSE
Date: 02/25/1994
Action: Preliminary Site Assessment Report

Global Id: T0600100895
Action Type: RESPONSE
Date: 07/06/1987
Action: Soil and Water Investigation Report

Global Id: T0600100895
Action Type: RESPONSE
Date: 02/14/1991
Action: Monitoring Report - Quarterly

Global Id: T0600100895
Action Type: RESPONSE
Date: 09/01/1993
Action: Monitoring Report - Quarterly

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Global Id:	T0600100895
Action Type:	RESPONSE
Date:	06/06/1996
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	10/14/1996
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	05/31/2005
Action:	Soil and Water Investigation Report
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	06/19/1991
Action:	Well Installation Report
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	08/24/1991
Action:	Request for Closure
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	07/23/1993
Action:	Other Workplan
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	05/28/1993
Action:	Other Report / Document
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	02/23/1994
Action:	Correspondence
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	11/11/1996
Action:	Remedial Progress Report
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	08/01/1991
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	01/01/1992
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Date:	01/07/1994
Action:	Correspondence
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	07/26/1995
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	05/17/1994
Action:	Tank Removal Workplan
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	06/25/2001
Action:	Other Report / Document
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	05/17/1994
Action:	Tank Removal Workplan
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	02/01/1995
Action:	Monitoring Report - Quarterly
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	09/18/1987
Action:	Soil and Water Investigation Report
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	10/21/1987
Action:	CAP/RAP - Other Report
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	09/09/1993
Action:	Tank Removal Workplan
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	09/26/1997
Action:	Other Report / Document
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	10/09/1995
Action:	Other Report / Document
Global Id:	T0600100895
Action Type:	RESPONSE
Date:	09/24/1995
Action:	Monitoring Report - Quarterly

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Global Id: T0600100895
Action Type: Other
Date: 08/11/1987
Action: Leak Discovery

Global Id: T0600100895
Action Type: ENFORCEMENT
Date: 08/05/1997
Action: Closure/No Further Action Letter - #2198.17

Global Id: T0600100895
Action Type: ENFORCEMENT
Date: 06/30/2017
Action: Closure/No Further Action Letter

Global Id: T0600100895
Action Type: REMEDIATION
Date: 04/01/1987
Action: Excavation

LUST:

Global Id: T0600100895
Status: Open - Verification Monitoring
Status Date: 01/02/1965

Global Id: T0600100895
Status: Open - Case Begin Date
Status Date: 01/13/1987

Global Id: T0600100895
Status: Open - Site Assessment
Status Date: 01/13/1987

Global Id: T0600100895
Status: Open - Site Assessment
Status Date: 05/19/1987

Global Id: T0600100895
Status: Open - Site Assessment
Status Date: 08/30/1990

Global Id: T0600100895
Status: Open - Verification Monitoring
Status Date: 05/28/2009

Global Id: T0600100895
Status: Open - Referred
Status Date: 08/14/2009

Global Id: T0600100895
Status: Open - Verification Monitoring
Status Date: 08/14/2009

Global Id: T0600100895
Status: Open - Verification Monitoring
Status Date: 10/28/2010

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Global Id: T0600100895
Status: Open - Eligible for Closure
Status Date: 10/02/2013

Global Id: T0600100895
Status: Completed - Case Closed
Status Date: 06/30/2017

CHMIRS:

OES Incident Number: 4-6993
OES notification: 12/09/2014
OES Date: Not reported
OES Time: Not reported
Date Completed: Not reported
Property Use: Not reported
Agency Id Number: Not reported
Agency Incident Number: Not reported
Time Notified: Not reported
Time Completed: Not reported
Surrounding Area: Not reported
Estimated Temperature: Not reported
Property Management: Not reported
More Than Two Substances Involved?: Not reported
Resp Agency Personel # Of Decontaminated: Not reported
Responding Agency Personel # Of Injuries: Not reported
Responding Agency Personel # Of Fatalities: Not reported
Others Number Of Decontaminated: Not reported
Others Number Of Injuries: Not reported
Others Number Of Fatalities: Not reported
Vehicle Make/year: Not reported
Vehicle License Number: Not reported
Vehicle State: Not reported
Vehicle Id Number: Not reported
CA DOT PUC/ICC Number: Not reported
Company Name: Not reported
Reporting Officer Name/ID: Not reported
Report Date: Not reported
Facility Telephone: Not reported
Waterway Involved: No
Waterway: Not reported
Spill Site: Merchant/Business
Cleanup By: No
Containment: Not reported
What Happened: Not reported
Type: Not reported
Measure: Not reported
Other: Not reported
Type: VAPOR
Measure: Lbs.
Other: Not reported
Date/Time: 1600
Year: 2014
Agency: BAYER
Incident Date: 12/8/2014
Admin Agency: Not reported
Amount: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Contained: Yes
 Site Type: Not reported
 E Date: Not reported
 Substance: R404A
 Quantity Released: 100
 Unknown: Not reported
 Substance #2: Not reported
 Substance #3: Not reported
 Evacuations: Not reported
 Number of Injuries: Not reported
 Number of Fatalities: Not reported
 #1 Pipeline: No
 #2 Pipeline: No
 #3 Pipeline: No
 #1 Vessel >= 300 Tons: No
 #2 Vessel >= 300 Tons: No
 #3 Vessel >= 300 Tons: No
 Evacs: No
 Injuries: Mechanical
 Fatals: No
 Comments: Not reported
 Description: RP states that an evaporator coil failed causing the release. Release is unrecoverable. Lockout Tagout procedures implemented. Repairs are in progress.

NPDES:

Npdes Number: Not reported
 Facility Status: Not reported
 Agency Id: Not reported
 Region: 2
 Regulatory Measure Id: 180730
 Order No: Not reported
 Regulatory Measure Type: Industrial
 Place Id: Not reported
 WDID: 2 01I003630
 Program Type: Not reported
 Adoption Date Of Regulatory Measure: Not reported
 Effective Date Of Regulatory Measure: Not reported
 Expiration Date Of Regulatory Measure: Not reported
 Termination Date Of Regulatory Measure: Not reported
 Discharge Name: Not reported
 Discharge Address: Not reported
 Discharge City: Not reported
 Discharge State: Not reported
 Discharge Zip: Not reported
 RECEIVED DATE: 05/09/2008
 PROCESSED DATE: 04/06/1992
 STATUS CODE NAME: Active
 STATUS DATE: 04/06/1992
 PLACE SIZE: 45
 PLACE SIZE UNIT: Acres
 FACILITY CONTACT NAME: Jeffrey Bowman
 FACILITY CONTACT TITLE: Environmental Manager
 FACILITY CONTACT PHONE: 510-705-4870
 FACILITY CONTACT PHONE EXT: Not reported
 FACILITY CONTACT EMAIL: jeffrey.bowman@bayer.com

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

OPERATOR NAME:	Bayer Corp
OPERATOR ADDRESS:	800 Dwight Way
OPERATOR CITY:	Berkeley
OPERATOR STATE:	California
OPERATOR ZIP:	94710
OPERATOR CONTACT NAME:	Jeffrey Bowman
OPERATOR CONTACT TITLE:	Environmental Manager
OPERATOR CONTACT PHONE:	510-705-4870
OPERATOR CONTACT PHONE EXT:	Not reported
OPERATOR CONTACT EMAIL:	jeffrey.bowman@bayer.com
OPERATOR TYPE:	Private Business
DEVELOPER NAME:	Not reported
DEVELOPER ADDRESS:	Not reported
DEVELOPER CITY:	Not reported
DEVELOPER STATE:	California
DEVELOPER ZIP:	Not reported
DEVELOPER CONTACT NAME:	Not reported
DEVELOPER CONTACT TITLE:	Not reported
CONSTYPE LINEAR UTILITY IND:	Not reported
EMERGENCY PHONE NO:	510-705-4870
EMERGENCY PHONE EXT:	Not reported
CONSTYPE ABOVE GROUND IND:	Not reported
CONSTYPE BELOW GROUND IND:	Not reported
CONSTYPE CABLE LINE IND:	Not reported
CONSTYPE COMM LINE IND:	Not reported
CONSTYPE COMMERTIAL IND:	Not reported
CONSTYPE ELECTRICAL LINE IND:	Not reported
CONSTYPE GAS LINE IND:	Not reported
CONSTYPE INDUSTRIAL IND:	Not reported
CONSTYPE OTHER DESRIPTION:	Not reported
CONSTYPE OTHER IND:	Not reported
CONSTYPE RECONS IND:	Not reported
CONSTYPE RESIDENTIAL IND:	Not reported
CONSTYPE TRANSPORT IND:	Not reported
CONSTYPE UTILITY DESCRIPTION:	Not reported
CONSTYPE UTILITY IND:	Not reported
CONSTYPE WATER SEWER IND:	Not reported
DIR DISCHARGE USWATER IND:	Y
RECEIVING WATER NAME:	Aquatic Parkberkeley
CERTIFIER NAME:	Jeffrey Bowman
CERTIFIER TITLE:	Environmental Manager
CERTIFICATION DATE:	25-JUN-15
PRIMARY SIC:	2836-Biological Products, Except Diagnostic Substances
SECONDARY SIC:	Not reported
TERTIARY SIC:	Not reported
Npdes Number:	CAS000001
Facility Status:	Active
Agency Id:	0
Region:	2
Regulatory Measure Id:	180730
Order No:	97-03-DWQ
Regulatory Measure Type:	Enrollee
Place Id:	Not reported
WDID:	2 01I003630
Program Type:	Industrial
Adoption Date Of Regulatory Measure:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

Effective Date Of Regulatory Measure: 04/06/1992
 Expiration Date Of Regulatory Measure: Not reported
 Termination Date Of Regulatory Measure: Not reported
 Discharge Name: Bayer Corp
 Discharge Address: 800 Dwight Way
 Discharge City: Berkeley
 Discharge State: California
 Discharge Zip: 94710
 RECEIVED DATE: Not reported
 PROCESSED DATE: Not reported
 STATUS CODE NAME: Not reported
 STATUS DATE: Not reported
 PLACE SIZE: Not reported
 PLACE SIZE UNIT: Not reported
 FACILITY CONTACT NAME: Not reported
 FACILITY CONTACT TITLE: Not reported
 FACILITY CONTACT PHONE: Not reported
 FACILITY CONTACT PHONE EXT: Not reported
 FACILITY CONTACT EMAIL: Not reported
 OPERATOR NAME: Not reported
 OPERATOR ADDRESS: Not reported
 OPERATOR CITY: Not reported
 OPERATOR STATE: Not reported
 OPERATOR ZIP: Not reported
 OPERATOR CONTACT NAME: Not reported
 OPERATOR CONTACT TITLE: Not reported
 OPERATOR CONTACT PHONE: Not reported
 OPERATOR CONTACT PHONE EXT: Not reported
 OPERATOR CONTACT EMAIL: Not reported
 OPERATOR TYPE: Not reported
 DEVELOPER NAME: Not reported
 DEVELOPER ADDRESS: Not reported
 DEVELOPER CITY: Not reported
 DEVELOPER STATE: Not reported
 DEVELOPER ZIP: Not reported
 DEVELOPER CONTACT NAME: Not reported
 DEVELOPER CONTACT TITLE: Not reported
 CONSTYPE LINEAR UTILITY IND: Not reported
 EMERGENCY PHONE NO: Not reported
 EMERGENCY PHONE EXT: Not reported
 CONSTYPE ABOVE GROUND IND: Not reported
 CONSTYPE BELOW GROUND IND: Not reported
 CONSTYPE CABLE LINE IND: Not reported
 CONSTYPE COMM LINE IND: Not reported
 CONSTYPE COMMERCIAL IND: Not reported
 CONSTYPE ELECTRICAL LINE IND: Not reported
 CONSTYPE GAS LINE IND: Not reported
 CONSTYPE INDUSTRIAL IND: Not reported
 CONSTYPE OTHER DESCRIPTION: Not reported
 CONSTYPE OTHER IND: Not reported
 CONSTYPE RECONS IND: Not reported
 CONSTYPE RESIDENTIAL IND: Not reported
 CONSTYPE TRANSPORT IND: Not reported
 CONSTYPE UTILITY DESCRIPTION: Not reported
 CONSTYPE UTILITY IND: Not reported
 CONSTYPE WATER SEWER IND: Not reported
 DIR DISCHARGE USWATER IND: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BAYER, FORMER MILES/CUTTER/BERKELEY UNIFIED SCHOOL DISTRICT (Continued)

S108205108

RECEIVING WATER NAME: Not reported
 CERTIFIER NAME: Not reported
 CERTIFIER TITLE: Not reported
 CERTIFICATION DATE: Not reported
 PRIMARY SIC: Not reported
 SECONDARY SIC: Not reported
 TERTIARY SIC: Not reported

CIWQS:

Agency: Bayer Corp
 Agency Address: 800 Dwight Way, Berkeley, CA 94710
 Place/Project Type: Industrial - Biological Products, Except Diagnostic Substances
 SIC/NAICS: 2836
 Region: 2
 Program: INDSTW
 Regulatory Measure Status: Active
 Regulatory Measure Type: Storm water industrial
 Order Number: 2014-0057-DWQ
 WDID: 2 01I003630
 NPDES Number: CAS000001
 Adoption Date: Not reported
 Effective Date: 04/06/1992
 Termination Date: Not reported
 Expiration/Review Date: Not reported
 Design Flow: Not reported
 Major/Minor: Not reported
 Complexity: Not reported
 TTWQ: Not reported
 Enforcement Actions within 5 years: 0
 Violations within 5 years: 0
 Latitude: 37.85989
 Longitude: -122.2956

**11
NNW
1/8-1/4
0.127 mi.
673 ft.**

**TRUST SECURITY MANAGEMENT
2321 4TH ST
BERKELEY, CA 94704**

**CA LUST S101306362
CA HIST CORTESE N/A**

**Relative:
Lower
Actual:
26 ft.**

LUST:

Lead Agency: BERKELEY, CITY OF
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101388
 Global Id: T0600101388
 Latitude: 37.862268
 Longitude: -122.298088
 Status: Completed - Case Closed
 Status Date: 09/22/1997
 Case Worker: GAF
 RB Case Number: 01-1504
 Local Agency: BERKELEY, CITY OF
 File Location: Not reported
 Local Case Number: 01-1504
 Potential Media Affect: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Gasoline
 Site History: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

TRUST SECURITY MANAGEMENT (Continued)

S101306362

LUST:

Global Id: T0600101388
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600101388
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:

Global Id: T0600101388
Action Type: Other
Date: 03/03/1987
Action: Leak Stopped

Global Id: T0600101388
Action Type: Other
Date: 03/03/1987
Action: Leak Reported

Global Id: T0600101388
Action Type: Other
Date: 03/03/1987
Action: Leak Discovery

LUST:

Global Id: T0600101388
Status: Open - Case Begin Date
Status Date: 03/03/1987

Global Id: T0600101388
Status: Open - Site Assessment
Status Date: 05/15/1987

Global Id: T0600101388
Status: Completed - Case Closed
Status Date: 09/22/1997

LUST REG 2:

Region: 2
Facility Id: 01-1504
Facility Status: Case Closed
Case Number: 01-1504
How Discovered: Tank Closure

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

TRUST SECURITY MANAGEMENT (Continued)

S101306362

Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: Not reported
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: 5/15/1987
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-1504

**D12
North
1/8-1/4
0.138 mi.
728 ft.**

**CURTIS & TOMPKINS LABS
2323 FIFTH ST.
BERKELEY, CA 94710
Site 1 of 6 in cluster D**

**RCRA-LQG 1000427446
CAD980737449**

**Relative:
Higher
Actual:
31 ft.**

RCRA-LQG:
Date form received by agency: 07/25/2016
Facility name: CURTIS & TOMPKINS LABS
Facility address: 2323 FIFTH ST.
BERKELEY, CA 94710
EPA ID: CAD980737449
Mailing address: FIFTH ST.
BERKELEY, CA 94710
Contact: JOHN GOYETTE
Contact address: FIFTH ST.
BERKELEY, CA 94710
Contact country: US
Contact telephone: 510-204-2233
Contact email: GOYETTE@CTBERK.COM
EPA Region: 09
Land type: Private
Classification: Large Quantity Generator
Description: Handler: generates 1,000 kg or more of hazardous waste during any calendar month; or generates more than 1 kg of acutely hazardous waste during any calendar month; or generates more than 100 kg of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month; or generates 1 kg or less of acutely hazardous waste during any calendar month, and accumulates more than 1 kg of acutely hazardous waste at any time; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates more than 100 kg of that material at any time

Owner/Operator Summary:

Owner/operator name: CURTIS & TOMPKINS LABS
Owner/operator address: Not reported
Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CURTIS & TOMPKINS LABS (Continued)

1000427446

Owner/operator country: Not reported
 Owner/operator telephone: Not reported
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Operator
 Owner/Op start date: 01/01/1998
 Owner/Op end date: Not reported

Owner/operator name: MONTROSE ENVIRONMENTAL GROUP
 Owner/operator address: PARK PLAZA SUITE 1000
 IRVINE, CA 92614

Owner/operator country: US
 Owner/operator telephone: 949-988-3514
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Owner
 Owner/Op start date: 06/19/2015
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

- . Waste code: 134
- . Waste name: Aqueous solution with <10% total organic residues

- . Waste code: 212
- . Waste name: Oxygenated solvents (acetone, butanol, ethyl acetate, etc.)

- . Waste code: 223
- . Waste name: Unspecified oil-containing waste

- . Waste code: 352
- . Waste name: Other organic solids

- . Waste code: 711
- . Waste name: Liquids with cyanides > 1000 mg/l

- . Waste code: 731
- . Waste name: Liquids with polychlorinated biphenyls > 50 mg/l

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CURTIS & TOMPKINS LABS (Continued)

1000427446

- . Waste code: 741
- . Waste name: Liquids with halogenated organic compounds > 1000 mg/l

- . Waste code: 792
- . Waste name: Liquids with pH < 2 with metals

- . Waste code: D001
- . Waste name: IGNITABLE WASTE

- . Waste code: D002
- . Waste name: CORROSIVE WASTE

- . Waste code: D003
- . Waste name: REACTIVE WASTE

- . Waste code: D007
- . Waste name: CHROMIUM

- . Waste code: D009
- . Waste name: MERCURY

- . Waste code: D011
- . Waste name: SILVER

- . Waste code: D012
- . Waste name: ENDRIN
(1,2,3,4,10,10-HEXACHLORO-1,7-EPOXY-1,4,4A,5,6,7,8,8A-OCTAHYDRO-1,4-EN
DO, ENDO-5,8-DIMETH-ANO-NAPHTHALENE)

- . Waste code: D013
- . Waste name: LINDANE (1,2,3,4,5,6-HEXA-CHLOROCYCLOHEXANE, GAMMA ISOMER)

- . Waste code: D022
- . Waste name: CHLOROFORM

- . Waste code: D038
- . Waste name: PYRIDINE

- . Waste code: F002
- . Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE,
METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE,
CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE,
ORTHO-DICHLOROBENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2,
TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE
USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE
ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND
F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND
SPENT SOLVENT MIXTURES.

- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL
ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL
ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT
MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT
NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS
CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED
SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CURTIS & TOMPKINS LABS (Continued)

1000427446

MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Historical Generators:

Date form received by agency: 03/01/2014
Site name: CURTIS & TOMPKINS, LTD.
Classification: Large Quantity Generator

- . Waste code: 134
- . Waste name: Aqueous solution with <10% total organic residues

- . Waste code: 212
- . Waste name: Oxygenated solvents (acetone, butanol, ethyl acetate, etc.)

- . Waste code: 223
- . Waste name: Unspecified oil-containing waste

- . Waste code: 352
- . Waste name: Other organic solids

- . Waste code: 551
- . Waste name: Laboratory waste chemicals

- . Waste code: 711
- . Waste name: Liquids with cyanides > 1000 mg/l

- . Waste code: 731
- . Waste name: Liquids with polychlorinated biphenyls > 50 mg/l

- . Waste code: 741
- . Waste name: Liquids with halogenated organic compounds > 1000 mg/l

- . Waste code: 791
- . Waste name: Liquids with pH < 2

- . Waste code: 792
- . Waste name: Liquids with pH < 2 with metals

- . Waste code: D001
- . Waste name: IGNITABLE WASTE

- . Waste code: D002
- . Waste name: CORROSIVE WASTE

- . Waste code: D003
- . Waste name: REACTIVE WASTE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CURTIS & TOMPKINS LABS (Continued)

1000427446

- . Waste code: D005
- . Waste name: BARIUM

- . Waste code: D007
- . Waste name: CHROMIUM

- . Waste code: D009
- . Waste name: MERCURY

- . Waste code: D012
- . Waste name: ENDRIN
(1,2,3,4,10,10-HEXACHLORO-1,7-EPOXY-1,4,4A,5,6,7,8,8A-OCTAHYDRO-1,4-EN
DO, ENDO-5,8-DIMETH-ANO-NAPHTHALENE)

- . Waste code: D013
- . Waste name: LINDANE (1,2,3,4,5,6-HEXA-CHLOROCYCLOHEXANE, GAMMA ISOMER)

- . Waste code: D022
- . Waste name: CHLOROFORM

- . Waste code: D038
- . Waste name: PYRIDINE

- . Waste code: F002
- . Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE,
METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE,
CHLORO BENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE,
ORTHO-DICHLOROBENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2,
TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE
USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE
ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND
F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND
SPENT SOLVENT MIXTURES.

- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL
ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL
ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT
MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT
NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS
CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED
SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR
MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL
BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT
MIXTURES.

- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL
KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE,
2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS
CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF
ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS
LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF
THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Date form received by agency: 01/23/2013
Site name: CURTIS & TOMPKINS, LTD.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

CURTIS & TOMPKINS LABS (Continued)

1000427446

- Classification: Large Quantity Generator
- . Waste code: 131
- . Waste name: Aqueous solution (2 < pH < 12.5) containing reactive anions (azide, bromate, chlorate, cyanide, fluoride, hypochlorite, nitrite, perchlorate, and sulfide anions)
- . Waste code: 134
- . Waste name: Aqueous solution with <10% total organic residues
- . Waste code: 212
- . Waste name: Oxygenated solvents (acetone, butanol, ethyl acetate, etc.)
- . Waste code: 352
- . Waste name: Other organic solids
- . Waste code: 711
- . Waste name: Liquids with cyanides > 1000 mg/l
- . Waste code: 731
- . Waste name: Liquids with polychlorinated biphenyls > 50 mg/l
- . Waste code: 741
- . Waste name: Liquids with halogenated organic compounds > 1000 mg/l
- . Waste code: 792
- . Waste name: Liquids with pH < 2 with metals
- . Waste code: D001
- . Waste name: IGNITABLE WASTE
- . Waste code: D002
- . Waste name: CORROSIVE WASTE
- . Waste code: D007
- . Waste name: CHROMIUM
- . Waste code: D009
- . Waste name: MERCURY
- . Waste code: D011
- . Waste name: SILVER
- . Waste code: D022
- . Waste name: CHLOROFORM
- . Waste code: F002
- . Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CURTIS & TOMPKINS LABS (Continued)

1000427446

. Waste code: F003
. Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Date form received by agency: 09/16/2010
Site name: CURTIS & TOMPKINS, LTD.
Classification: Large Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

. Waste code: D002
. Waste name: CORROSIVE WASTE

. Waste code: D007
. Waste name: CHROMIUM

. Waste code: D009
. Waste name: MERCURY

. Waste code: D011
. Waste name: SILVER

. Waste code: D012
. Waste name: ENDRIN
(1,2,3,4,10,10-HEXACHLORO-1,7-EPOXY-1,4,4A,5,6,7,8,8A-OCTAHYDRO-1,4-EN DO, ENDO-5,8-DIMETH-ANO-NAPHTHALENE)

. Waste code: D013
. Waste name: LINDANE (1,2,3,4,5,6-HEXA-CHLOROCYCLOHEXANE, GAMMA ISOMER)

. Waste code: D014
. Waste name: METHOXYCHLOR (1,1,1-TRICHLORO-2,2-BIS [P-METHOXYPHENYL] ETHANE)

. Waste code: D015
. Waste name: TOXAPHENE (C10 H10 CL8, TECHNICAL CHLORINATED CAMPHENE, 67-69 PERCENT CHLORINE)

. Waste code: D038
. Waste name: PYRIDINE

. Waste code: F002
. Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLORO BENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLORO BENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CURTIS & TOMPKINS LABS (Continued)

1000427446

F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

. Waste code: F003
. Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

. Waste code: F005
. Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Date form received by agency: 01/31/2008
Site name: CURTIS & TOMPKINS, LTD.
Classification: Large Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

. Waste code: D002
. Waste name: CORROSIVE WASTE

. Waste code: D007
. Waste name: CHROMIUM

. Waste code: D009
. Waste name: MERCURY

. Waste code: D011
. Waste name: SILVER

. Waste code: D012
. Waste name: ENDRIN
(1,2,3,4,10,10-HEXACHLORO-1,7-EPOXY-1,4,4A,5,6,7,8,8A-OCTAHYDRO-1,4-EN DO, ENDO-5,8-DIMETH-ANO-NAPHTHALENE)

. Waste code: D013
. Waste name: LINDANE (1,2,3,4,5,6-HEXA-CHLOROCYCLOHEXANE, GAMMA ISOMER)

. Waste code: D014
. Waste name: METHOXYCHLOR (1,1,1-TRICHLORO-2,2-BIS [P-METHOXYPHENYL] ETHANE)

. Waste code: D015
. Waste name: TOXAPHENE (C10 H10 CL8, TECHNICAL CHLORINATED CAMPHENE, 67-69 PERCENT CHLORINE)

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CURTIS & TOMPKINS LABS (Continued)

1000427446

- . Waste code: D038
- . Waste name: PYRIDINE

- . Waste code: F002
- . Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Date form received by agency: 03/01/2004
Site name: CURTIS & TOMPKINS, LTD.
Classification: Large Quantity Generator

- . Waste code: D001
- . Waste name: IGNITABLE WASTE

- . Waste code: D002
- . Waste name: CORROSIVE WASTE

- . Waste code: D038
- . Waste name: PYRIDINE

- . Waste code: F002
- . Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CURTIS & TOMPKINS LABS (Continued)

1000427446

SPENT SOLVENT MIXTURES.

. Waste code: F003
. Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Date form received by agency: 02/25/2002
Site name: CURTIS & TOMPKINS, LTD.
Classification: Large Quantity Generator

. Waste code: D001
. Waste name: IGNITABLE WASTE

. Waste code: D002
. Waste name: CORROSIVE WASTE

. Waste code: D007
. Waste name: CHROMIUM

. Waste code: D009
. Waste name: MERCURY

. Waste code: D011
. Waste name: SILVER

. Waste code: D038
. Waste name: PYRIDINE

. Waste code: F002
. Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2, TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

. Waste code: F003
. Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CURTIS & TOMPKINS LABS (Continued)

1000427446

MIXTURES.

Date form received by agency: 09/01/1996
Site name: CURTIS AND TOMPKINS LTD
Classification: Small Quantity Generator

Date form received by agency: 07/01/1994
Site name: CURTIS AND TOMPKINS LTD
Classification: Large Quantity Generator

Biennial Reports:

Last Biennial Reporting Year: 2017

Annual Waste Handled:

Waste code: D001
Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKEY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.
Amount (Lbs): 3038

Waste code: D002
Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.
Amount (Lbs): 15779.6

Waste code: D003
Waste name: A MATERIAL IS CONSIDERED TO BE A REACTIVE HAZARDOUS WASTE IF IT IS NORMALLY UNSTABLE, REACTS VIOLENTLY WITH WATER, GENERATES TOXIC GASES WHEN EXPOSED TO WATER OR CORROSIVE MATERIALS, OR IF IT IS CAPABLE OF DETONATION OR EXPLOSION WHEN EXPOSED TO HEAT OR A FLAME. ONE EXAMPLE OF SUCH WASTE WOULD BY WASTE GUNPOWDER.
Amount (Lbs): 481.7

Waste code: D007
Waste name: CHROMIUM
Amount (Lbs): 75

Waste code: D009
Waste name: MERCURY
Amount (Lbs): 75

Waste code: D011
Waste name: SILVER
Amount (Lbs): 75

Waste code: D012
Waste name: ENDRIN
Amount (Lbs): 1200

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CURTIS & TOMPKINS LABS (Continued)

1000427446

Waste code:	D013
Waste name:	LINDANE
Amount (Lbs):	1200
Waste code:	D022
Waste name:	CHLOROFORM
Amount (Lbs):	9151.4
Waste code:	D038
Waste name:	PYRIDINE
Amount (Lbs):	481.7
Waste code:	F002
Waste name:	THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFUOROMETHANE, AND 1,1,2-TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE HALOGENATED SOLVENTS OR THOSE LISTED IN F001, F004, OR F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
Amount (Lbs):	40885.1
Waste code:	F003
Waste name:	THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
Amount (Lbs):	9853
Waste code:	F005
Waste name:	THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
Amount (Lbs):	481.7

Facility Has Received Notices of Violations:

Regulation violated:	Not reported
Area of violation:	Generators - Pre-transport
Date violation determined:	08/09/2017
Date achieved compliance:	08/11/2017
Violation lead agency:	State
Enforcement action:	Not reported
Enforcement action date:	Not reported
Enf. disposition status:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CURTIS & TOMPKINS LABS (Continued)

1000427446

Enf. disp. status date: Not reported
Enforcement lead agency: Not reported
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - Pre-transport
Date violation determined: 08/31/2016
Date achieved compliance: 10/28/2016
Violation lead agency: State
Enforcement action: Not reported
Enforcement action date: Not reported
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: Not reported
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 08/31/2016
Date achieved compliance: 10/28/2016
Violation lead agency: State
Enforcement action: Not reported
Enforcement action date: Not reported
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: Not reported
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 08/19/2015
Date achieved compliance: 08/26/2015
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 08/19/2015
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 09/18/2014
Date achieved compliance: 12/17/2014
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 09/24/2014
Enf. disposition status: Not reported
Enf. disp. status date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CURTIS & TOMPKINS LABS (Continued)

1000427446

Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 09/18/2014
Date achieved compliance: 12/17/2014
Violation lead agency: State
Enforcement action: FINAL 3008(A) COMPLIANCE ORDER
Enforcement action date: 10/03/2014
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: 2500
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - Pre-transport
Date violation determined: 09/18/2014
Date achieved compliance: 06/29/2015
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 09/24/2014
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - Records/Reporting
Date violation determined: 09/18/2014
Date achieved compliance: 12/17/2014
Violation lead agency: State
Enforcement action: FINAL 3008(A) COMPLIANCE ORDER
Enforcement action date: 10/03/2014
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: 2500
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 09/18/2014
Date achieved compliance: 01/07/2015
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 09/24/2014
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CURTIS & TOMPKINS LABS (Continued)

1000427446

Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - Pre-transport
Date violation determined: 09/18/2014
Date achieved compliance: 01/07/2015
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 09/24/2014
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 09/18/2014
Date achieved compliance: 10/24/2014
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 09/24/2014
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 09/18/2014
Date achieved compliance: 10/24/2014
Violation lead agency: State
Enforcement action: FINAL 3008(A) COMPLIANCE ORDER
Enforcement action date: 10/03/2014
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: 2500
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - Records/Reporting
Date violation determined: 09/18/2014
Date achieved compliance: 12/17/2014
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 09/24/2014
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CURTIS & TOMPKINS LABS (Continued)

1000427446

Final penalty amount:	Not reported
Paid penalty amount:	Not reported
Regulation violated:	Not reported
Area of violation:	Generators - General
Date violation determined:	08/20/2013
Date achieved compliance:	10/08/2013
Violation lead agency:	State
Enforcement action:	WRITTEN INFORMAL
Enforcement action date:	08/20/2013
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	Not reported
Final penalty amount:	Not reported
Paid penalty amount:	Not reported
Regulation violated:	Not reported
Area of violation:	Generators - General
Date violation determined:	06/23/2009
Date achieved compliance:	06/23/2009
Violation lead agency:	State
Enforcement action:	WRITTEN INFORMAL
Enforcement action date:	06/23/2009
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	Not reported
Final penalty amount:	Not reported
Paid penalty amount:	Not reported
Regulation violated:	Not reported
Area of violation:	Generators - General
Date violation determined:	06/04/2008
Date achieved compliance:	07/07/2008
Violation lead agency:	State
Enforcement action:	WRITTEN INFORMAL
Enforcement action date:	06/04/2008
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	Not reported
Final penalty amount:	Not reported
Paid penalty amount:	Not reported
Regulation violated:	Not reported
Area of violation:	Generators - General
Date violation determined:	04/28/2005
Date achieved compliance:	04/28/2005
Violation lead agency:	State
Enforcement action:	WRITTEN INFORMAL
Enforcement action date:	04/28/2005
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	Not reported
Final penalty amount:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

CURTIS & TOMPKINS LABS (Continued)

1000427446

Paid penalty amount: Not reported

Evaluation Action Summary:

Evaluation date: 08/09/2017
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Generators - Pre-transport
 Date achieved compliance: 08/11/2017
 Evaluation lead agency: State

Evaluation date: 08/31/2016
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Generators - General
 Date achieved compliance: 10/28/2016
 Evaluation lead agency: State

Evaluation date: 08/31/2016
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Generators - Pre-transport
 Date achieved compliance: 10/28/2016
 Evaluation lead agency: State

Evaluation date: 08/19/2015
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Generators - General
 Date achieved compliance: 08/26/2015
 Evaluation lead agency: State

Evaluation date: 09/24/2014
 Evaluation: NOT A SIGNIFICANT NON-COMPLIER
 Area of violation: Not reported
 Date achieved compliance: Not reported
 Evaluation lead agency: State

Evaluation date: 09/18/2014
 Evaluation: SIGNIFICANT NON-COMPLIER
 Area of violation: Generators - Pre-transport
 Date achieved compliance: 06/29/2015
 Evaluation lead agency: State

Evaluation date: 09/18/2014
 Evaluation: SIGNIFICANT NON-COMPLIER
 Area of violation: Generators - General
 Date achieved compliance: 12/17/2014
 Evaluation lead agency: State

Evaluation date: 09/18/2014
 Evaluation: SIGNIFICANT NON-COMPLIER
 Area of violation: Generators - General
 Date achieved compliance: 10/24/2014
 Evaluation lead agency: State

Evaluation date: 09/18/2014
 Evaluation: SIGNIFICANT NON-COMPLIER
 Area of violation: Generators - Records/Reporting
 Date achieved compliance: 12/17/2014
 Evaluation lead agency: State

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CURTIS & TOMPKINS LABS (Continued)

1000427446

Evaluation date:	09/18/2014
Evaluation:	SIGNIFICANT NON-COMPLIER
Area of violation:	Generators - General
Date achieved compliance:	01/07/2015
Evaluation lead agency:	State
Evaluation date:	09/18/2014
Evaluation:	SIGNIFICANT NON-COMPLIER
Area of violation:	Generators - Pre-transport
Date achieved compliance:	01/07/2015
Evaluation lead agency:	State
Evaluation date:	08/20/2013
Evaluation:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation:	Generators - General
Date achieved compliance:	10/08/2013
Evaluation lead agency:	State
Evaluation date:	08/08/2013
Evaluation:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation:	Not reported
Date achieved compliance:	Not reported
Evaluation lead agency:	State
Evaluation date:	06/30/2010
Evaluation:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation:	Not reported
Date achieved compliance:	Not reported
Evaluation lead agency:	State
Evaluation date:	06/23/2009
Evaluation:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation:	Generators - General
Date achieved compliance:	06/23/2009
Evaluation lead agency:	State
Evaluation date:	06/23/2009
Evaluation:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation:	Not reported
Date achieved compliance:	Not reported
Evaluation lead agency:	State
Evaluation date:	06/04/2008
Evaluation:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation:	Generators - General
Date achieved compliance:	07/07/2008
Evaluation lead agency:	State
Evaluation date:	04/28/2005
Evaluation:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation:	Generators - General
Date achieved compliance:	04/28/2005
Evaluation lead agency:	State Contractor/Grantee

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

H R I RESEARCH (Continued)

1009219008

Alt Facility RCRA ID: Not reported
 Alt Facility Sign Date: Not reported
 MGMT Method Type Code: Not reported
 Waste Code: D003 - NON-LISTED REACTIVE WASTES
 Waste Code: Not reported
 Waste Code: Not reported
 Waste Code: Not reported
 Waste Code: Not reported
 Waste Code: Not reported
 Waste Code: Not reported
 Quantity: 00003
 Units: P - Pounds
 Number of Containers: 001
 Container Type: DM - Metal drums, barrels
 Handling Method: T Chemical, physical, or biological treatment.
 Specific Gravity: 100

[Click this hyperlink](#) while viewing on your computer to access additional NY_MANIFEST: detail in the EDR Site Report.

**D14
NNW
1/8-1/4
0.173 mi.
911 ft.**

**SIEMONS MAILING SERVICE INC
742 BANCROFT WAY
BERKELEY, CA 94710
Site 3 of 6 in cluster D**

**CA HIST UST U001599670
N/A**

**Relative:
Lower
Actual:
28 ft.**

HIST UST:
 File Number: 00036372
 URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/00036372.pdf>
 Region: STATE
 Facility ID: 00000066131
 Facility Type: Other
 Other Type: SERVICE
 Contact Name: ROBERT SIEMONS
 Telephone: 4158411131
 Owner Name: SIEMONS MAILING SERVICE, INC.
 Owner Address: 742 BANCROFT WAY
 Owner City,St,Zip: BERKELEY, CA 94710
 Total Tanks: 0001

 Tank Num: 001
 Container Num: #1
 Year Installed: 1969
 Tank Capacity: 00001000
 Tank Used for: WASTE
 Type of Fuel: 1
 Container Construction Thickness: X
 Leak Detection: Stock Inventor

Click here for Geo Tracker PDF:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

D15 **SIEMONS MAILING SERVICE INC.** **CA SWEEPS UST** **S101624616**
NNW **742 BANCROFT WAY** **CA FID UST** **N/A**
1/8-1/4 **BERKELEY, CA 94710**
0.173 mi.
911 ft. **Site 4 of 6 in cluster D**

Relative: SWEEPS UST:
Lower Status: Not reported
Actual: Comp Number: 66131
28 ft. Number: Not reported
Board Of Equalization: Not reported
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-066131-000001
Tank Status: Not reported
Capacity: 1000
Active Date: Not reported
Tank Use: M.V. FUEL
STG: PRODUCT
Content: REG UNLEADED
Number Of Tanks: 1

CA FID UST:
Facility ID: 01003160
Regulated By: UTNKA
Regulated ID: 00066131
Cortese Code: Not reported
SIC Code: Not reported
Facility Phone: 4158411131
Mail To: Not reported
Mailing Address: 742 BANCROFT WAY
Mailing Address 2: Not reported
Mailing City,St,Zip: BERKELEY 94710
Contact: Not reported
Contact Phone: Not reported
DUNs Number: Not reported
NPDES Number: Not reported
EPA ID: Not reported
Comments: Not reported
Status: Active

E16 **C D H METALS INC** **CA HIST UST** **U001599650**
ESE **2550 7TH STREET** **N/A**
1/8-1/4 **BERKELEY, CA 94710**
0.174 mi.
921 ft. **Site 1 of 3 in cluster E**

Relative: HIST UST:
Higher File Number: 00035F2C
Actual: URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/00035F2C.pdf>
38 ft. Region: STATE
Facility ID: 00000065004
Facility Type: Other
Other Type: METAL FABRICATION
Contact Name: ROBERT KRAUSS
Telephone: 4156440900
Owner Name: DUCOMMUN METALS COMPANY

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

C D H METALS INC (Continued)

U001599650

Owner Address: 4890 S. ALAMEDA STREET
 Owner City,St,Zip: LOS ANGELES, CA 90058
 Total Tanks: 0001

 Tank Num: 001
 Container Num: D-1
 Year Installed: Not reported
 Tank Capacity: 00010000
 Tank Used for: PRODUCT
 Type of Fuel: DIESEL
 Container Construction Thickness: Not reported
 Leak Detection: Stock Inventor

[Click here for Geo Tracker PDF:](#)

**E17
ESE
1/8-1/4
0.174 mi.
921 ft.**

**MILES LABS CUTTER
2550 7TH STREET
BERKELEY, CA 94710
Site 2 of 3 in cluster E**

**CA CPS-SLIC S101624599
CA FID UST N/A**

**Relative:
Higher
Actual:
38 ft.**

CPS-SLIC:
 Region: STATE
Facility Status: Open - Inactive
 Status Date: 06/05/2009
 Global Id: T0600191476
 Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
 Lead Agency Case Number: Not reported
 Latitude: 37.8578
 Longitude: -122.2965
 Case Type: Cleanup Program Site
 Case Worker: KEB
 Local Agency: Not reported
 RB Case Number: 01S0045
 File Location: Regional Board
 Potential Media Affected: Other Groundwater (uses other than drinking water), Soil
 Potential Contaminants of Concern: Dichloroethene (DCE), Trichloroethylene (TCE), Vinyl chloride, Diesel, Gasoline, Total Petroleum Hydrocarbons (TPH)

 Site History: The Cutter Laboratory began operations at its present west Berkeley site in 1917. In 1974, Cutter Laboratories was purchased by Bayer AG of Germany and in 1983, was merged into Miles, Inc. In 1992, Miles, Inc. purchased the 5.6 acre parcel then occupied by the Gary Steel Company, the City of Berkeley School Bus Yard, and Western Intermodals. The Miles facility became a nearly 30-acre site located in the industrially zoned flatlands area west of San Pablo Avenue. The project site contains various one-to three-story research laboratories, process/manufacturing facilities, storage/warehouse buildings and administrative/office buildings. The facility has historically used numerous underground storage tanks (USTs) for storage of hazardous materials, all of which have been removed; contamination has been encountered and documented for these USTs.

[Click here to access the California GeoTracker records for this facility:](#)

CA FID UST:
 Facility ID: 01000806
 Regulated By: UTKNA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

MILES LABS CUTTER (Continued)

S101624599

Regulated ID: 00065004
Cortese Code: Not reported
SIC Code: Not reported
Facility Phone: 4156440900
Mail To: Not reported
Mailing Address: 2550 7TH ST
Mailing Address 2: Not reported
Mailing City,St,Zip: BERKELEY 94710
Contact: Not reported
Contact Phone: Not reported
DUNs Number: Not reported
NPDES Number: Not reported
EPA ID: Not reported
Comments: Not reported
Status: Active

**D18
North
1/8-1/4
0.175 mi.
924 ft.**

**DAVLIN PAINT COMPANY
800 BANCROFT
BERKELEY, CA 94710
Site 5 of 6 in cluster D**

**CA CPS-SLIC S103472173
CA HIST CORTESE N/A**

**Relative:
Higher
Actual:
32 ft.**

CPS-SLIC: STATE
Region: STATE
Facility Status: Open - Verification Monitoring
Status Date: 01/01/2006
Global Id: T0600101834
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Lead Agency Case Number: Not reported
Latitude: 37.863252
Longitude: -122.29652
Case Type: Cleanup Program Site
Case Worker: MZ
Local Agency: Not reported
RB Case Number: 01S0671
File Location: All Files are on GeoTracker or in the Local Agency Database
Potential Media Affected: Other Groundwater (uses other than drinking water)
Potential Contaminants of Concern: Tetrachloroethylene (PCE), Trichloroethylene (TCE), Vinyl chloride
Site History: The former Veriflo facility operated as a metals-finishing plant from 1968 to 1994. The metals finishing process included five sumps which stored acidic solutions. Volatile organic compounds (VOCs) were also used at the Site and were stored in aboveground storage tanks (ASTs). After Veriflo discontinued operations in 1994, soil and groundwater investigations revealed chemical impacts to soil and groundwater beneath the Site. Results of the investigations indicated elevated concentrations of zinc, nickel, and chrome in shallow soils beneath the former chrome plating room. Elevated levels of VOCs, mostly TCE, were also detected in soil and groundwater sampled near the drain pipes, Sump F located in the pre-treatment room, and the sanitary sewer. In October and November 1996, soils were excavated to remove the heavy metals- and VOC-impacted soils outside the building. The plant building was demolished in 1999. Additional site investigation followed - 13 groundwater MWs were installed at and offsite. Onsite MWs decommissioned due to construction of a new building. There are four remaining offsite wells. Groundwater remediation 2000-2004: injections of potassium permanganate and later implementation of EISB to stimulate degradation of VOCs. Site redeveloped w/new building in 2005. The new building foundation is equipped with a vapor barrier. A

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

DAVLIN PAINT COMPANY (Continued)

S103472173

passive vent system beneath the slab-on-grade foundation of the new building was installed as an additional mitigation measure to protect on-site occupants from potential intrusion by VOCs vapor. In July 2015 groundwater sampling event of the existing four offsite wells: MW-7, MW-8, MW-10, and MW-11. In general, concentrations of TCE and VC have decreased significantly.

[Click here to access the California GeoTracker records for this facility:](#)

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-1985

D19
North
1/8-1/4
0.175 mi.
924 ft.

VERIFLOW METAL FINISHING DIV
800 BANCROFT WY
BERKELEY, CA 94710

SEMS-ARCHIVE 1015732769
RCRA-SQG CAD070148457

Site 6 of 6 in cluster D

Relative:
Higher
Actual:
32 ft.

SEMS Archive:
Site ID: 901548
EPA ID: CAD070148457
Cong District: 8
FIPS Code: 6001
FF: N
NPL: Not on the NPL
Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

SEMS Archive Detail:

Region: 9
Site ID: 901548
EPA ID: CAD070148457
Site Name: BAUM ELECTROLAB
NPL: N
FF: N
OU: 0
Action Code: VS
Action Name: ARCH SITE
SEQ: 1
Start Date: Not reported
Finish Date: 1986-10-01 00:00:00
Qual: Not reported
Current Action Lead: EPA Perf In-Hse

Region: 9
Site ID: 901548
EPA ID: CAD070148457
Site Name: BAUM ELECTROLAB
NPL: N
FF: N
OU: 0
Action Code: DS
Action Name: DISCVRY
SEQ: 1
Start Date: 1980-08-01 00:00:00
Finish Date: 1980-08-01 00:00:00

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

VERIFLOW METAL FINISHING DIV (Continued)

1015732769

Qual: Not reported
Current Action Lead: EPA Perf

Region: 9
Site ID: 901548
EPA ID: CAD070148457
Site Name: BAUM ELECTROLAB
NPL: N
FF: N
OU: 0
Action Code: PA
Action Name: PA
SEQ: 1
Start Date: 1984-08-01 00:00:00
Finish Date: 1986-10-01 00:00:00
Qual: N
Current Action Lead: St Perf

RCRA-SQG:

Date form received by agency: 09/01/1996
Facility name: VERIFLOW METAL FINISHING DIV
Facility address: 800 BANCROFT WY
BERKELEY, CA 94710
EPA ID: CAD070148457
Mailing address: BANCROFT WY
BERKELEY, CA 94710
Contact: Not reported
Contact address: Not reported
Not reported
Contact country: US
Contact telephone: Not reported
Contact email: Not reported
EPA Region: 09
Classification: Small Small Quantity Generator
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: VERIFLOW CORPORATION
Owner/operator address: PO BOX 4034
RICHMOND, CA 94804
Owner/operator country: Not reported
Owner/operator telephone: 510-235-9590
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

VERIFLOW METAL FINISHING DIV (Continued)

1015732769

Owner/operator address: NOT REQUIRED
NOT REQUIRED, ME 99999
Owner/operator country: Not reported
Owner/operator telephone: 415-555-1212
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Historical Generators:

Date form received by agency: 09/01/1996
Site name: VERIFLOW METAL FINISHING DIV
Classification: Small Quantity Generator

Date form received by agency: 03/30/1994
Site name: VERIFLO CORP-METAL FINISHING DIV
Classification: Large Quantity Generator

Violation Status: No violations found

**F20
South
1/8-1/4
0.177 mi.
935 ft.**

**UC BERKELEY
UNKNOWN 4TH ST & PARKER
BERKELEY, CA 94704
Site 1 of 3 in cluster F**

**CA HIST CORTESE S104233663
N/A**

**Relative:
Lower
Actual:
26 ft.**

HIST CORTESE:
Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0972

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-1512

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

21
SSE
1/8-1/4
0.177 mi.
937 ft.
Relative:
Higher
Actual:
30 ft.

BERKELEY USD BERKELEY HIGH SCHOOL
801 PARKER ST
BERKELEY, CA 94710

RCRA-SQG **1000268544**
CA SWEEPS UST **CAD982011785**
CA HIST UST
CA FID UST
FINDS
ECHO
CA HAZNET

RCRA-SQG:
Date form received by agency: 07/07/1987
Facility name: BERKELEY USD BERKELEY HIGH SCHOOL
Facility address: 801 PARKER ST
BERKELEY, CA 94710
EPA ID: CAD982011785
Mailing address: 2234 MELVIA ST
BERKELEY, CA 94703
Contact: ENVIRONMENTAL MANAGER
Contact address: 801 PARKER ST
BERKELEY, CA 94710
Contact country: US
Contact telephone: 415-644-6182
Contact email: Not reported
EPA Region: 09
Classification: Small Small Quantity Generator
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:
Owner/operator name: BERKELEY UNIFIED SCHOOL DISTRICT
Owner/operator address: NOT REQUIRED
NOT REQUIRED, ME 99999
Owner/operator country: Not reported
Owner/operator telephone: 415-555-1212
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: District
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: NOT REQUIRED
Owner/operator address: NOT REQUIRED
NOT REQUIRED, ME 99999
Owner/operator country: Not reported
Owner/operator telephone: 415-555-1212
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: District
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BERKELEY USD BERKELEY HIGH SCHOOL (Continued)

1000268544

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

Violation Status: No violations found

SWEEPS UST:

Status: Not reported
 Comp Number: 54950
 Number: Not reported
 Board Of Equalization: 44-001526
 Referral Date: Not reported
 Action Date: Not reported
 Created Date: Not reported
 Owner Tank Id: Not reported
 SWRCB Tank Id: 01-020-054950-000001
 Tank Status: Not reported
 Capacity: 7500
 Active Date: Not reported
 Tank Use: M.V. FUEL
 STG: PRODUCT
 Content: LEADED
 Number Of Tanks: 5

Status: Not reported
 Comp Number: 54950
 Number: Not reported
 Board Of Equalization: 44-001526
 Referral Date: Not reported
 Action Date: Not reported
 Created Date: Not reported
 Owner Tank Id: Not reported
 SWRCB Tank Id: 01-020-054950-000002
 Tank Status: Not reported
 Capacity: 7500
 Active Date: Not reported
 Tank Use: M.V. FUEL
 STG: PRODUCT
 Content: REG UNLEADED
 Number Of Tanks: Not reported

Status: Not reported
 Comp Number: 54950
 Number: Not reported
 Board Of Equalization: 44-001526
 Referral Date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BERKELEY USD BERKELEY HIGH SCHOOL (Continued)

1000268544

Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-054950-000003
Tank Status: Not reported
Capacity: 7500
Active Date: Not reported
Tank Use: M.V. FUEL
STG: PRODUCT
Content: DIESEL
Number Of Tanks: Not reported

Status: Not reported
Comp Number: 54950
Number: Not reported
Board Of Equalization: 44-001526
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-054950-000004
Tank Status: Not reported
Capacity: 10000
Active Date: Not reported
Tank Use: M.V. FUEL
STG: PRODUCT
Content: DIESEL
Number Of Tanks: Not reported

Status: Not reported
Comp Number: 54950
Number: Not reported
Board Of Equalization: 44-001526
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-054950-000005
Tank Status: Not reported
Capacity: 250
Active Date: Not reported
Tank Use: OIL
STG: WASTE
Content: WASTE OIL
Number Of Tanks: Not reported

HIST UST:

File Number: 00035D8D
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/00035D8D.pdf>
Region: STATE
Facility ID: 00000054950
Facility Type: Other
Other Type: TRANSPORTATION FOR P
Contact Name: MS. ELAINE PECOT
Telephone: 4158411880
Owner Name: BERKELEY UNIFIED SCHOOL DISTRI
Owner Address: 2134 MARTIN LUTHER KING WAY

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BERKELEY USD BERKELEY HIGH SCHOOL (Continued)

1000268544

Owner City,St,Zip: BERKELEY, CA 94704
Total Tanks: 0005

Tank Num: 001
Container Num: 001 OF 6
Year Installed: 1971
Tank Capacity: 00007500
Tank Used for: PRODUCT
Type of Fuel: REGULAR
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

Tank Num: 002
Container Num: 002 OF 6
Year Installed: 1971
Tank Capacity: 00007500
Tank Used for: PRODUCT
Type of Fuel: UNLEADED
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

Tank Num: 003
Container Num: 003 OF 6
Year Installed: 1971
Tank Capacity: 00007500
Tank Used for: PRODUCT
Type of Fuel: DIESEL
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

Tank Num: 004
Container Num: 004 OF 6
Year Installed: 1974
Tank Capacity: 00010000
Tank Used for: PRODUCT
Type of Fuel: DIESEL
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

Tank Num: 005
Container Num: 005 OF 6
Year Installed: Not reported
Tank Capacity: 00000250
Tank Used for: WASTE
Type of Fuel: WASTE OIL
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

[Click here for Geo Tracker PDF:](#)

CA FID UST:
Facility ID: 01003149
Regulated By: UTNKA
Regulated ID: 00054950
Cortese Code: Not reported
SIC Code: Not reported
Facility Phone: 4158411880

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BERKELEY USD BERKELEY HIGH SCHOOL (Continued)

1000268544

Mail To: Not reported
Mailing Address: 801 PARKER ST
Mailing Address 2: Not reported
Mailing City,St,Zip: BERKELEY 94710
Contact: Not reported
Contact Phone: Not reported
DUNs Number: Not reported
NPDES Number: Not reported
EPA ID: Not reported
Comments: Not reported
Status: Active

FINDS:

Registry ID: 110002775881

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000268544
Registry ID: 110002775881
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002775881>

HAZNET:

envid: 1000268544
Year: 1993
GEPAID: CAD982011785
Contact: BERKELEY USD
Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 2134 MARTIN LUTHER KING WAY
Mailing City,St,Zip: BERKELEY, CA 000000000
Gen County: Not reported
TSD EPA ID: CAT080022148
TSD County: Not reported
Waste Category: Alkaline solution without metals pH >= 12.5
Disposal Method: Transfer Station
Tons: 0.83399999999
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1000268544
Year: 1993
GEPAID: CAD982011785
Contact: BERKELEY USD

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BERKELEY USD BERKELEY HIGH SCHOOL (Continued)

1000268544

Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 2134 MARTIN LUTHER KING WAY
Mailing City,St,Zip: BERKELEY, CA 000000000
Gen County: Not reported
TSD EPA ID: CAT080022148
TSD County: Not reported
Waste Category: Unspecified sludge waste
Disposal Method: Transfer Station
Tons: 0.25
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1000268544
Year: 1993
GEPAID: CAD982011785
Contact: BERKELEY USD
Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 2134 MARTIN LUTHER KING WAY
Mailing City,St,Zip: BERKELEY, CA 000000000
Gen County: Not reported
TSD EPA ID: CAT080022148
TSD County: Not reported
Waste Category: Other organic solids
Disposal Method: Transfer Station
Tons: 0.25
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1000268544
Year: 1993
GEPAID: CAD982011785
Contact: BERKELEY USD
Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 2134 MARTIN LUTHER KING WAY
Mailing City,St,Zip: BERKELEY, CA 000000000
Gen County: Not reported
TSD EPA ID: CAT080022148
TSD County: Not reported
Waste Category: Unspecified aqueous solution
Disposal Method: Transfer Station
Tons: 2.52280000000
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1000268544
Year: 1993
GEPAID: CAD982011785
Contact: BERKELEY USD
Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 2134 MARTIN LUTHER KING WAY

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BERKELEY USD BERKELEY HIGH SCHOOL (Continued)

1000268544

Mailing City,St,Zip: BERKELEY, CA 000000000
Gen County: Not reported
TSD EPA ID: CAT080022148
TSD County: Not reported
Waste Category: Hydrocarbon solvents (benzene, hexane, Stoddard, Etc.)
Disposal Method: Transfer Station
Tons: 0.20849999999
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

[Click this hyperlink](#) while viewing on your computer to access
15 additional CA_HAZNET: record(s) in the EDR Site Report.

**E22
ESE
1/8-1/4
0.182 mi.
962 ft.**

**GARY STEEL COMPANY
2560 7TH ST
BERKELEY, CA 94710**

**CA LUST S101580558
CA FID UST N/A
CA HIST CORTESE**

Site 3 of 3 in cluster E

**Relative:
Higher
Actual:
38 ft.**

LUST:
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100628
Global Id: T0600100628
Latitude: 37.8591276
Longitude: -122.2937291
Status: Completed - Case Closed
Status Date: 06/25/1999
Case Worker: UUU
RB Case Number: 01-0683
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-0683
Potential Media Affect: Soil
Potential Contaminants of Concern: Diesel
Site History: Not reported

LUST:
Global Id: T0600100628
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600100628
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

GARY STEEL COMPANY (Continued)

S101580558

LUST:

Global Id: T0600100628
Action Type: ENFORCEMENT
Date: 06/25/1999
Action: Closure/No Further Action Letter

Global Id: T0600100628
Action Type: Other
Date: 06/16/1986
Action: Leak Stopped

Global Id: T0600100628
Action Type: Other
Date: 06/16/1986
Action: Leak Reported

Global Id: T0600100628
Action Type: Other
Date: 06/16/1986
Action: Leak Discovery

LUST:

Global Id: T0600100628
Status: Open - Case Begin Date
Status Date: 06/16/1986

Global Id: T0600100628
Status: Open - Site Assessment
Status Date: 09/03/1990

Global Id: T0600100628
Status: Completed - Case Closed
Status Date: 06/25/1999

LUST REG 2:

Region: 2
Facility Id: 01-0683
Facility Status: Case Closed
Case Number: 01-0683
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 9/3/1990
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

CA FID UST:

Facility ID: 01003169
Regulated By: UTNKA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

GARY STEEL COMPANY (Continued)

S101580558

Regulated ID: Not reported
Cortese Code: Not reported
SIC Code: Not reported
Facility Phone: 4156440900
Mail To: Not reported
Mailing Address: 2201 BROADWAY
Mailing Address 2: Not reported
Mailing City,St,Zip: BERKELEY 94710
Contact: Not reported
Contact Phone: Not reported
DUNs Number: Not reported
NPDES Number: Not reported
EPA ID: Not reported
Comments: Not reported
Status: Active

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0683

**F23
South
1/8-1/4
0.184 mi.
973 ft.**

**MILES INC CUTTER BIOLOGICAL FACILITY #38
4TH AND PARKER STREETS
BERKELEY, CA 94710**

**CA ENVIROSTOR S116165213
N/A**

Site 2 of 3 in cluster F

**Relative:
Lower
Actual:
27 ft.**

ENVIROSTOR:
Facility ID: 1280085
Status: Refer: Other Agency
Status Date: 03/13/1995
Site Code: Not reported
Site Type: Historical
Site Type Detailed: * Historical
Acres: Not reported
NPL: NO
Regulatory Agencies: SMBRP
Lead Agency: SMBRP
Program Manager: Not reported
Supervisor: Referred - Not Assigned
Division Branch: Cleanup Berkeley
Assembly: 15
Senate: 09
Special Program: Not reported
Restricted Use: NO
Site Mgmt Req: NONE SPECIFIED
Funding: Not reported
Latitude: 37.8575
Longitude: -122.2966
APN: NONE SPECIFIED
Past Use: NONE SPECIFIED
Potential COC: * HALOGENATED SOLVENTS * OTHER ORGANIC SOLIDS
Confirmed COC: NONE SPECIFIED
Potential Description: NONE SPECIFIED
Alias Name: Not reported
Alias Type: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

MILES INC CUTTER BIOLOGICAL FACILITY #38 (Continued)

S116165213

Completed Info:

Completed Area Name: Not reported
Completed Sub Area Name: Not reported
Completed Document Type: Not reported
Completed Date: Not reported
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

F24
South
1/8-1/4
0.185 mi.
975 ft.

MILES LABS CUTTER
UNKNOWN 4TH ST & PARKER ST
BERKELEY, CA 94710

CA CPS-SLIC S106163134
N/A

Site 3 of 3 in cluster F

Relative:
Lower
Actual:
28 ft.

SLIC REG 2:
Region: 2
Facility ID: 01S0045
Facility Status: Preliminary site assessment underway
Date Closed: Not reported
Local Case #: Not reported
How Discovered: Tank Closure
Leak Cause: UNK
Leak Source: UNK
Date Confirmed: Not reported
Date Prelim Site Assmnt Workplan Submitted: Not reported
Date Preliminary Site Assessment Began: 2/15/1985
Date Pollution Characterization Began: Not reported
Date Remediation Plan Submitted: Not reported
Date Remedial Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

25
SSW
1/8-1/4
0.195 mi.
1032 ft.

CUTTER LABORATORIES BERKELEY P
4TH & PARKER ST MA
BERKELEY, CA 94701

CA FID UST S101624562
N/A

Relative:
Lower
Actual:
22 ft.

CA FID UST:
Facility ID: 01001920
Regulated By: UTNKA
Regulated ID: 00054572
Cortese Code: Not reported
SIC Code: Not reported
Facility Phone: 4154204000
Mail To: Not reported
Mailing Address: 4TH & PARKER ST MA
Mailing Address 2: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CUTTER LABORATORIES BERKELEY P (Continued)

S101624562

Mailing City,St,Zip: BERKELEY 94701
Contact: Not reported
Contact Phone: Not reported
DUNs Number: Not reported
NPDES Number: Not reported
EPA ID: Not reported
Comments: Not reported
Status: Active

**G26
NNW
1/8-1/4
0.202 mi.
1069 ft.**

**PEERLESS LIGHTING CORPORATION
747 BANCROFT WAY
BERKELEY, CA 94710
Site 1 of 2 in cluster G**

**CA CPS-SLIC 1000364205
FINDS N/A
ECHO
CA WIP**

**Relative:
Lower
Actual:
24 ft.**

CPS-SLIC:
Region: STATE
Facility Status: Open - Inactive
Status Date: 06/03/2009
Global Id: SLT2O02935
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Lead Agency Case Number: Not reported
Latitude: 37.8630750596032
Longitude: -122.298783223556
Case Type: Cleanup Program Site
Case Worker: CSF
Local Agency: Not reported
RB Case Number: 01S0017
File Location: Not reported
Potential Media Affected: Other Groundwater (uses other than drinking water), Soil
Potential Contaminants of Concern: Chlordane, Pentachlorophenol (PCP)
Site History: Not reported

Click here to access the California GeoTracker records for this facility:

SLIC REG 2:
Region: 2
Facility ID: SLT2O02935
Facility Status: Leak being confirmed
Date Closed: Not reported
Local Case #: Not reported
How Discovered: Not reported
Leak Cause: Not reported
Leak Source: Not reported
Date Confirmed: Not reported
Date Prelim Site Assmnt Workplan Submitted: Not reported
Date Preliminary Site Assessment Began: Not reported
Date Pollution Characterization Began: Not reported
Date Remediation Plan Submitted: Not reported
Date Remedial Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

FINDS:

Registry ID: 110000831379

Environmental Interest/Information System

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

PEERLESS LIGHTING CORPORATION (Continued)

1000364205

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

HAZARDOUS AIR POLLUTANT MAJOR

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000364205
Registry ID: 110000831379
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110000831379>

WIP:

Region: 4
File Number: 105.0155
File Status: Historical
Staff: RWANG
Facility Suite: Not reported

H27
North
1/8-1/4
0.209 mi.
1105 ft.

IMO DELAVAL BERKELEY MACHINE SHOP
827 BANCROFT WAY
BERKELEY, CA 94710

CA CPS-SLIC S118406176
N/A

Site 1 of 3 in cluster H

Relative:
Higher
Actual:
35 ft.

CPS-SLIC:
Region: STATE
Facility Status: Open - Inactive
Status Date: 11/12/2015
Global Id: T10000007960
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Lead Agency Case Number: Not reported
Latitude: 37.86352
Longitude: -122.29623
Case Type: Cleanup Program Site
Case Worker: Not reported
Local Agency: Not reported
RB Case Number: 01SBS0140
File Location: Regional Board
Potential Media Affected: Other Groundwater (uses other than drinking water)
Potential Contaminants of Concern: Kerosene
Site History: Not reported

Click here to access the California GeoTracker records for this facility:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PUMPTRON DIV TRANSAMER DELAVAL INC (Continued)

1000350079

Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002713047

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000350079
 Registry ID: 110002713047
 DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002713047>

**H29
North
1/8-1/4
0.209 mi.
1106 ft.**

**BERKELEY PUMP
829 BANCROFT WAY
BERKELEY, CA 94710**

**CA ENVIROSTOR S101306297
CA LUST N/A
CA HIST CORTESE**

Site 3 of 3 in cluster H

**Relative:
Higher
Actual:
35 ft.**

ENVIROSTOR:
 Facility ID: 70000106
 Status: No Further Action
 Status Date: 12/05/2005
 Site Code: Not reported
 Site Type: Evaluation
 Site Type Detailed: Evaluation
 Acres: 2.25
 NPL: NO
 Regulatory Agencies: SMBRP
 Lead Agency: SMBRP
 Program Manager: Claude Jemison
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Assembly: 15

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BERKELEY PUMP (Continued)

S101306297

Senate: 09
 Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Not Applicable
 Latitude: 37.86351
 Longitude: -122.2962
 APN: NONE SPECIFIED
 Past Use: NONE
 Potential COC: NONE SPECIFIED No Contaminants found
 Confirmed COC: No Contaminants found
 Potential Description: NMA
 Alias Name: 110002713047
 Alias Type: EPA (FRS #)
 Alias Name: 70000106
 Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Screening
 Completed Date: 12/06/2005
 Comments: No Further required. Confirmation samples detected no petroleum hydrocarbons or VOCs.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Characterization Report
 Completed Date: 07/08/1988
 Comments: This report was not prepared under DTSC oversight.

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

LUST:

Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101381
 Global Id: T0600101381
 Latitude: 37.8635299
 Longitude: -122.2962185
 Status: Completed - Case Closed
 Status Date: 05/03/1990
 Case Worker: UUU
 RB Case Number: 01-1496
 Local Agency: BERKELEY, CITY OF
 File Location: Not reported
 Local Case Number: 01-1496
 Potential Media Affect: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Diesel

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BERKELEY PUMP (Continued)

S101306297

Site History: Not reported

LUST:

Global Id: T0600101381
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600101381
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:

Global Id: T0600101381
Action Type: Other
Date: 05/06/1988
Action: Leak Discovery

Global Id: T0600101381
Action Type: Other
Date: 05/06/1988
Action: Leak Stopped

Global Id: T0600101381
Action Type: Other
Date: 05/06/1988
Action: Leak Reported

Global Id: T0600101381
Action Type: ENFORCEMENT
Date: 06/23/2010
Action: Referral to Other State Agency

LUST:

Global Id: T0600101381
Status: Open - Case Begin Date
Status Date: 04/30/1988

Global Id: T0600101381
Status: Open - Site Assessment
Status Date: 04/30/1988

Global Id: T0600101381
Status: Completed - Case Closed
Status Date: 05/03/1990

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BERKELEY PUMP (Continued)

S101306297

LUST REG 2:

Region: 2
 Facility Id: 01-1496
 Facility Status: Case Closed
 Case Number: 01-1496
 How Discovered: Tank Closure
 Leak Cause: Structure Failure
 Leak Source: Tank
 Date Leak Confirmed: Not reported
 Oversight Program: LUST
 Prelim. Site Assessment Workplan Submitted: Not reported
 Preliminary Site Assessment Began: 4/30/1988
 Pollution Characterization Began: Not reported
 Pollution Remediation Plan Submitted: Not reported
 Date Remediation Action Underway: Not reported
 Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
 Facility County Code: 1
 Reg By: LTNKA
 Reg Id: 01-1496

I30
NW
1/8-1/4
0.219 mi.
1156 ft.

BANCROFT WAY
614 BANCROFT WAY
BERKELEY, CA 94710

Site 1 of 3 in cluster I

RCRA-SQG 1007879288
CAR000159160

Relative:
Lower

Actual:
11 ft.

RCRA-SQG:
 Date form received by agency: 12/22/2004
 Facility name: BANCROFT WAY
 Facility address: 614 BANCROFT WAY
 BERKELEY, CA 94710
 EPA ID: CAR000159160
 Mailing address: 2332 5TH ST
 BERKELEY, CA 94710
 Contact: STEVEN GOLDIN
 Contact address: 2332 5TH ST
 BERKELEY, CA 94710
 Contact country: US
 Contact telephone: 510-549-2332
 Contact email: Not reported
 EPA Region: 09
 Classification: Small Small Quantity Generator
 Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: BANCROFT WAY LLC
 Owner/operator address: Not reported
 Not reported
 Owner/operator country: US

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

BANCROFT WAY (Continued)

1007879288

Owner/operator telephone: Not reported
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Owner
 Owner/Op start date: 09/01/2004
 Owner/Op end date: Not reported

Owner/operator name: BANCROFT WAY LLC
 Owner/operator address: Not reported
 Not reported

Owner/operator country: US
 Owner/operator telephone: Not reported
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Operator
 Owner/Op start date: 09/01/2004
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

. Waste code: D008
 . Waste name: LEAD

Violation Status: No violations found

**I31
NW
1/8-1/4
0.226 mi.
1191 ft.**

**ENGINEERING SCIENCE
600 BANCROFT WAY
BERKELEY, CA 94710**

Site 2 of 3 in cluster I

**CA LUST S103666203
CA HAZNET N/A
CA HIST CORTESE**

**Relative:
Lower
Actual:
9 ft.**

LUST:
 Lead Agency: BERKELEY, CITY OF
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600102143
 Global Id: T0600102143
 Latitude: 37.862268
 Longitude: -122.299921
 Status: Completed - Case Closed

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ENGINEERING SCIENCE (Continued)

S103666203

Status Date: 10/06/1999
Case Worker: GAF
RB Case Number: 01-2330
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-2330
Potential Media Affect: Under Investigation
Potential Contaminants of Concern: Gasoline
Site History: Not reported

LUST:

Global Id: T0600102143
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600102143
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:

Global Id: T0600102143
Action Type: Other
Date: 02/12/1993
Action: Leak Stopped

Global Id: T0600102143
Action Type: Other
Date: 02/12/1993
Action: Leak Reported

Global Id: T0600102143
Action Type: Other
Date: 02/12/1993
Action: Leak Discovery

Global Id: T0600102143
Action Type: ENFORCEMENT
Date: 06/24/1999
Action: Closure/No Further Action Letter

LUST:

Global Id: T0600102143
Status: Open - Case Begin Date
Status Date: 02/12/1993

Global Id: T0600102143
Status: Open - Site Assessment

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ENGINEERING SCIENCE (Continued)

S103666203

Status Date: 04/29/1998

Global Id: T0600102143
Status: Completed - Case Closed
Status Date: 10/06/1999

HAZNET:

envid: S103666203
Year: 2016
GEPaid: CAL000405809
Contact: TOM SUESS
Telephone: 5107048930
Mailing Name: Not reported
Mailing Address: 600 BANCROFT WAY, SUITE A
Mailing City,St,Zip: BERKELEY, CA 947100000
Gen County: Alameda
TSD EPA ID: TXD982560294
TSD County: 99
Waste Category: Laboratory waste chemicals
Disposal Method: Incineration--Thermal Destruction Other Than Use As A Fuel
Tons: 0.005
Cat Decode: Laboratory waste chemicals
Method Decode: Incineration--Thermal Destruction Other Than Use As A Fuel
Facility County: Alameda

envid: S103666203
Year: 2016
GEPaid: CAL000405809
Contact: TOM SUESS
Telephone: 5107048930
Mailing Name: Not reported
Mailing Address: 600 BANCROFT WAY, SUITE A
Mailing City,St,Zip: BERKELEY, CA 947100000
Gen County: Alameda
TSD EPA ID: TXD982560294
TSD County: 99
Waste Category: Off-specification, aged or surplus organics
Disposal Method: Incineration--Thermal Destruction Other Than Use As A Fuel
Tons: 0.01
Cat Decode: Off-specification, aged or surplus organics
Method Decode: Incineration--Thermal Destruction Other Than Use As A Fuel
Facility County: Alameda

envid: S103666203
Year: 2016
GEPaid: CAL000400835
Contact: ALEXANDER TERAN
Telephone: 6092401743
Mailing Name: Not reported
Mailing Address: 600 BANCROFT WAY
Mailing City,St,Zip: BERKELEY, CA 94710
Gen County: Alameda
TSD EPA ID: CAD008302903
TSD County: Los Angeles
Waste Category: Off-specification, aged or surplus organics
Disposal Method: Fuel Blending Prior To Energy Recovery At Another Site

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ENGINEERING SCIENCE (Continued)

S103666203

Tons: 0.0325
 Cat Decode: Off-specification, aged or surplus organics
 Method Decode: Fuel Blending Prior To Energy Recovery At Another Site
 Facility County: Alameda

envid: S103666203
 Year: 2016
 GEPAID: CAL000400835
 Contact: ALEXANDER TERAN
 Telephone: 6092401743
 Mailing Name: Not reported
 Mailing Address: 600 BANCROFT WAY
 Mailing City,St,Zip: BERKELEY, CA 94710
 Gen County: Alameda
 TSD EPA ID: CAD008302903
 TSD County: Los Angeles
 Waste Category: Aqueous solution with total organic residues less than 10 percent
 Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)

Tons: 0.08
 Cat Decode: Aqueous solution with total organic residues less than 10 percent
 Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)
 Facility County: Alameda

envid: S103666203
 Year: 2016
 GEPAID: CAL000400835
 Contact: ALEXANDER TERAN
 Telephone: 6092401743
 Mailing Name: Not reported
 Mailing Address: 600 BANCROFT WAY
 Mailing City,St,Zip: BERKELEY, CA 94710
 Gen County: Alameda
 TSD EPA ID: CAD008302903
 TSD County: Los Angeles
 Waste Category: Off-specification, aged or surplus inorganics
 Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)

Tons: 0.005
 Cat Decode: Off-specification, aged or surplus inorganics
 Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)
 Facility County: Alameda

[Click this hyperlink](#) while viewing on your computer to access
13 additional CA_HAZNET: record(s) in the EDR Site Report.

HIST CORTESE:
 Region: CORTESE
 Facility County Code: 1
 Reg By: LTNKA
 Reg Id: 01-2330

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

I32 ENGINEERING SCIENCE RCRA-SQG 1000256484
NW 600 BANCROFT WAY CA LUST CAD982468985
1/8-1/4 BERKELEY, CA 94710 FINDS
0.226 mi. ECHO
1191 ft. Site 3 of 3 in cluster I CA HAZNET
NY MANIFEST

**Relative:
Lower**

**Actual:
9 ft.**

RCRA-SQG:
 Date form received by agency: 09/30/1988
 Facility name: ENGINEERING SCIENCE
 Facility address: 600 BANCROFT WAY
 BERKELEY, CA 94710
 EPA ID: CAD982468985
 Mailing address: BANCROFT WAY
 BERKELEY, CA 94710
 Contact: ENVIRONMENTAL MANAGER
 Contact address: 600 BANCROFT WAY
 BERKELEY, CA 94710
 Contact country: US
 Contact telephone: 415-548-7970
 Contact email: Not reported
 EPA Region: 09
 Classification: Small Small Quantity Generator
 Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:
 Owner/operator name: ENGINEERING SCIENCE
 Owner/operator address: NOT REQUIRED
 NOT REQUIRED, ME 99999
 Owner/operator country: Not reported
 Owner/operator telephone: 415-555-1212
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Owner
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported

 Owner/operator name: NOT REQUIRED
 Owner/operator address: NOT REQUIRED
 NOT REQUIRED, ME 99999
 Owner/operator country: Not reported
 Owner/operator telephone: 415-555-1212
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Operator
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported

Handler Activities Summary:
 U.S. importer of hazardous waste: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

ENGINEERING SCIENCE (Continued)

1000256484

Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

Violation Status: No violations found

LUST REG 2:

Region: 2
 Facility Id: 01-2330
 Facility Status: Case Closed
 Case Number: 01-2330
 How Discovered: Tank Closure
 Leak Cause: UNK
 Leak Source: UNK
 Date Leak Confirmed: 4/29/1998
 Oversight Program: LUST
 Prelim. Site Assessment Workplan Submitted: Not reported
 Preliminary Site Assessment Began: Not reported
 Pollution Characterization Began: Not reported
 Pollution Remediation Plan Submitted: Not reported
 Date Remediation Action Underway: Not reported
 Date Post Remedial Action Monitoring Began: Not reported

FINDS:

Registry ID: 110002819086

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

STATE MASTER

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000256484
 Registry ID: 110002819086
 DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002819086>

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ENGINEERING SCIENCE (Continued)

1000256484

HAZNET:

envid: 1000256484
Year: 1994
GEPAID: CAD982468985
Contact: Not reported
Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 600 BANCROFT WAY
Mailing City,St,Zip: BERKELEY, CA 947100000
Gen County: Not reported
TSD EPA ID: CAD028409019
TSD County: Not reported
Waste Category: Off-specification, aged or surplus inorganics
Disposal Method: Transfer Station
Tons: .0041
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1000256484
Year: 1994
GEPAID: CAD982468985
Contact: Not reported
Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 600 BANCROFT WAY
Mailing City,St,Zip: BERKELEY, CA 947100000
Gen County: Not reported
TSD EPA ID: CAD028409019
TSD County: Not reported
Waste Category: Other inorganic solid waste
Disposal Method: Transfer Station
Tons: .0400
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1000256484
Year: 1994
GEPAID: CAD982468985
Contact: Not reported
Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 600 BANCROFT WAY
Mailing City,St,Zip: BERKELEY, CA 947100000
Gen County: Not reported
TSD EPA ID: CAD028409019
TSD County: Not reported
Waste Category: Unspecified aqueous solution
Disposal Method: Transfer Station
Tons: .0041
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1000256484
Year: 1993

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ENGINEERING SCIENCE (Continued)

1000256484

GEPaid: CAD982468985
 Contact: Not reported
 Telephone: 0000000000
 Mailing Name: Not reported
 Mailing Address: 600 BANCROFT WAY
 Mailing City,St,Zip: BERKELEY, CA 947100000
 Gen County: Not reported
 TSD EPA ID: NVT330010000
 TSD County: Not reported
 Waste Category: Polychlorinated biphenyls and material containing PCBs
 Disposal Method: Not reported
 Tons: 0.11020000000
 Cat Decode: Not reported
 Method Decode: Not reported
 Facility County: 1

envid: 1000256484
 Year: 1993
 GEPaid: CAD982468985
 Contact: Not reported
 Telephone: 0000000000
 Mailing Name: Not reported
 Mailing Address: 600 BANCROFT WAY
 Mailing City,St,Zip: BERKELEY, CA 947100000
 Gen County: Not reported
 TSD EPA ID: CAT080010101
 TSD County: Not reported
 Waste Category: Liquids with pH <= 2 with metals
 Disposal Method: Treatment, Tank
 Tons: 1.0425
 Cat Decode: Not reported
 Method Decode: Not reported
 Facility County: 1

[Click this hyperlink](#) while viewing on your computer to access
8 additional CA_HAZNET: record(s) in the EDR Site Report.

NY MANIFEST:

Country: USA
 EPA ID: CAD982468985
 Facility Status: Not reported
 Location Address 1: 600 BANCROFT WAY
 Code: BP
 Location Address 2: Not reported
 Total Tanks: Not reported
 Location City: BERKELEY
 Location State: CA
 Location Zip: 94710
 Location Zip 4: Not reported

NY MANIFEST:

EPAID: CAD982468985
 Mailing Name: ENGINEERING SCIENCE
 Mailing Contact: ENGINEERING SCIENCE
 Mailing Address 1: 600 BANCROFT WAY
 Mailing Address 2: Not reported
 Mailing City: BERKELEY

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

ENGINEERING SCIENCE (Continued)

1000256484

Mailing State: CA
Mailing Zip: 94710
Mailing Zip 4: Not reported
Mailing Country: USA
Mailing Phone: 4158417353

NY MANIFEST:

Document ID: NYA7889814
Manifest Status: K
seq: Not reported
Year: 1989
Trans1 State ID: Not reported
Trans2 State ID: Not reported
Generator Ship Date: 09/19/1989
Trans1 Recv Date: 09/19/1989
Trans2 Recv Date: 09/20/1989
TSD Site Recv Date: 10/02/1989
Part A Recv Date: 10/27/1989
Part B Recv Date: 10/10/1989
Generator EPA ID: CAD982468985
Trans1 EPA ID: NYD980769947
Trans2 EPA ID: Not reported
TSD ID 1: NYD000632372
TSD ID 2: Not reported
Manifest Tracking Number: Not reported
Import Indicator: Not reported
Export Indicator: Not reported
Discr Quantity Indicator: Not reported
Discr Type Indicator: Not reported
Discr Residue Indicator: Not reported
Discr Partial Reject Indicator: Not reported
Discr Full Reject Indicator: Not reported
Manifest Ref Number: Not reported
Alt Facility RCRA ID: Not reported
Alt Facility Sign Date: Not reported
MGMT Method Type Code: Not reported
Waste Code: D001 - NON-LISTED IGNITABLE WASTES
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00020
Units: P - Pounds
Number of Containers: 001
Container Type: DM - Metal drums, barrels
Handling Method: B Incineration, heat recovery, burning.
Specific Gravity: 100
Waste Code: D001 - NON-LISTED IGNITABLE WASTES
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Waste Code: Not reported
Quantity: 00020
Units: P - Pounds
Number of Containers: 001
Container Type: DM - Metal drums, barrels

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

ENGINEERING SCIENCE (Continued)

1000256484

Handling Method:	T Chemical, physical, or biological treatment.
Specific Gravity:	100
Waste Code:	D002 - NON-LISTED CORROSIVE WASTES
Waste Code:	Not reported
Waste Code:	Not reported
Waste Code:	Not reported
Waste Code:	Not reported
Quantity:	00025
Units:	P - Pounds
Number of Containers:	001
Container Type:	DM - Metal drums, barrels
Handling Method:	T Chemical, physical, or biological treatment.
Specific Gravity:	100
Waste Code:	D002 - NON-LISTED CORROSIVE WASTES
Waste Code:	Not reported
Waste Code:	Not reported
Waste Code:	Not reported
Waste Code:	Not reported
Quantity:	00020
Units:	P - Pounds
Number of Containers:	001
Container Type:	DM - Metal drums, barrels
Handling Method:	T Chemical, physical, or biological treatment.
Specific Gravity:	100
Waste Code:	D002 - NON-LISTED CORROSIVE WASTES
Quantity:	00020
Units:	P - Pounds
Number of Containers:	001
Container Type:	DM - Metal drums, barrels
Handling Method:	T Chemical, physical, or biological treatment.
Specific Gravity:	100

[Click this hyperlink](#) while viewing on your computer to access additional NY_MANIFEST: detail in the EDR Site Report.

**J33
ESE
1/8-1/4
0.236 mi.
1244 ft.**

**WEST COAST PROPERTY MANAGEMENT
2547 8TH ST
BERKELEY, CA 94710
Site 1 of 3 in cluster J**

**CA LUST S100226170
N/A**

**Relative:
Higher
Actual:
43 ft.**

LUST REG 2:
Region: 2
Facility Id: 01-1659
Facility Status: Case Closed
Case Number: 01-1659
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 4/14/1994
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

J34 WEST COAST PROPERTY MGMNT/ACCUTITE CA LUST S101580201
ESE 2547 8TH CA SWEEPS UST N/A
1/8-1/4 BERKELEY, CA 94710 CA HIST CORTESE
0.236 mi.
1244 ft. Site 2 of 3 in cluster J

Relative:
Higher
Actual:
43 ft.

LUST:
 Lead Agency: BERKELEY, CITY OF
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101534
 Global Id: T0600101534
 Latitude: 37.859627
 Longitude: -122.29234
 Status: Completed - Case Closed
 Status Date: 11/05/1996
 Case Worker: GAF
 RB Case Number: 01-1659
 Local Agency: BERKELEY, CITY OF
 File Location: Not reported
 Local Case Number: 01-1659
 Potential Media Affect: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Diesel
 Site History: Not reported

LUST:
 Global Id: T0600101534
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us
 Phone Number: Not reported

Global Id: T0600101534
 Contact Type: Regional Board Caseworker
 Contact Name: Regional Water Board
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY ST SUITE 1400
 City: OAKLAND
 Email: Not reported
 Phone Number: Not reported

LUST:
 Global Id: T0600101534
 Action Type: Other
 Date: 02/09/1990
 Action: Leak Stopped

Global Id: T0600101534
 Action Type: Other
 Date: 02/09/1990
 Action: Leak Discovery

Global Id: T0600101534
 Action Type: Other
 Date: 02/09/1990
 Action: Leak Reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

WEST COAST PROPERTY MGMNT/ACCUTITE (Continued)

S101580201

LUST:

Global Id:	T0600101534
Status:	Open - Case Begin Date
Status Date:	02/09/1990
Global Id:	T0600101534
Status:	Open - Site Assessment
Status Date:	04/14/1994
Global Id:	T0600101534
Status:	Completed - Case Closed
Status Date:	11/05/1996

SWEEPS UST:

Status:	Not reported
Comp Number:	68854
Number:	Not reported
Board Of Equalization:	Not reported
Referral Date:	Not reported
Action Date:	Not reported
Created Date:	Not reported
Owner Tank Id:	Not reported
SWRCB Tank Id:	01-020-068854-000001
Tank Status:	Not reported
Capacity:	2000
Active Date:	Not reported
Tank Use:	OIL
STG:	WASTE
Content:	WASTE OIL
Number Of Tanks:	2

Status:	Not reported
Comp Number:	68854
Number:	Not reported
Board Of Equalization:	Not reported
Referral Date:	Not reported
Action Date:	Not reported
Created Date:	Not reported
Owner Tank Id:	Not reported
SWRCB Tank Id:	01-020-068854-000002
Tank Status:	Not reported
Capacity:	550
Active Date:	Not reported
Tank Use:	OIL
STG:	WASTE
Content:	WASTE OIL
Number Of Tanks:	Not reported

HIST CORTESE:

Region:	CORTESE
Facility County Code:	1
Reg By:	LTNKA
Reg Id:	01-1659

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

J35 **WEST COAST PROPERTY MGMNT/** **CA FID UST** **S106027255**
ESE **2547 8TH**
1/8-1/4 **BERKELEY, CA 94710** **N/A**
0.236 mi.
1244 ft. **Site 3 of 3 in cluster J**

Relative: CA FID UST:
Higher Facility ID: 01001773
Actual: Regulated By: UTNKI
43 ft. Regulated ID: Not reported
 Cortese Code: Not reported
 SIC Code: Not reported
 Facility Phone: 4158856970
 Mail To: Not reported
 Mailing Address: 710 VAN NESS AVE
 Mailing Address 2: Not reported
 Mailing City,St,Zip: BERKELEY 94710
 Contact: Not reported
 Contact Phone: Not reported
 DUNs Number: Not reported
 NPDES Number: Not reported
 EPA ID: Not reported
 Comments: Not reported
 Status: Inactive

36 **PHOTOLAB** **RCRA-SQG** **1001075599**
North **2235 5TH ST** **FINDS** **CAR000006874**
1/8-1/4 **BERKELEY, CA 94710** **ECHO**
0.244 mi. **CA HAZNET**
1286 ft.

Relative: RCRA-SQG:
Lower Date form received by agency: 11/01/1995
Actual: Facility name: PHOTOLAB
29 ft. Facility address: 2235 5TH ST
 BERKELEY, CA 94710-2216
 EPA ID: CAR000006874
 Mailing address: 5TH ST
 BERKELEY, CA 94710-2216
 Contact: ANDREA MCLAUGHLIN
 Contact address: 2235 5TH ST
 BERKELEY, CA 94710-2216
 Contact country: US
 Contact telephone: 510-644-1400
 Contact email: Not reported
 EPA Region: 09
 Classification: Small Small Quantity Generator
 Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:
 Owner/operator name: ANDREA MCLAUGHLIN
 Owner/operator address: 2235 5TH ST
 BERKELEY, CA 94710
 Owner/operator country: Not reported
 Owner/operator telephone: 510-526-5242

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PHOTOLAB (Continued)

1001075599

Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Owner
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

Violation Status: No violations found

FINDS:

Registry ID: 110002908872

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

STATE MASTER

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1001075599
 Registry ID: 110002908872
 DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002908872>

HAZNET:

envid: 1001075599
 Year: 1999
 GEPAID: CAR000006874
 Contact: ANDREA MCLAUGHLIN
 Telephone: 5106441400

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PHOTOLAB (Continued)

1001075599

Mailing Name: Not reported
Mailing Address: 2235 5TH ST
Mailing City,St,Zip: BERKELEY, CA 947102216
Gen County: Not reported
TSD EPA ID: CAD003963592
TSD County: Not reported
Waste Category: Other inorganic solid waste
Disposal Method: Recycler
Tons: .0125
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1001075599
Year: 1998
GEPAID: CAR000006874
Contact: ANDREA MCLAUGHLIN
Telephone: 5106441400
Mailing Name: Not reported
Mailing Address: 2235 5TH ST
Mailing City,St,Zip: BERKELEY, CA 947102216
Gen County: Not reported
TSD EPA ID: CAD003963592
TSD County: Not reported
Waste Category: Metal sludge (Alkaline solution (pH >= 12.5) with metals)
Disposal Method: Recycler
Tons: .1000
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1001075599
Year: 1997
GEPAID: CAR000006874
Contact: ANDREA MCLAUGHLIN
Telephone: 5106441400
Mailing Name: Not reported
Mailing Address: 2235 5TH ST
Mailing City,St,Zip: BERKELEY, CA 947102216
Gen County: Not reported
TSD EPA ID: CAD003963592
TSD County: Not reported
Waste Category: Metal sludge (Alkaline solution (pH >= 12.5) with metals)
Disposal Method: Recycler
Tons: .1550
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1001075599
Year: 1996
GEPAID: CAR000006874
Contact: ANDREA MCLAUGHLIN
Telephone: 5106441400
Mailing Name: Not reported
Mailing Address: 2235 5TH ST
Mailing City,St,Zip: BERKELEY, CA 947102216

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PHOTOLAB (Continued)

1001075599

Gen County: Not reported
TSD EPA ID: CAT000613976
TSD County: Not reported
Waste Category: Photochemicals/photoprocessing waste
Disposal Method: Transfer Station
Tons: .0417
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1001075599
Year: 1995
GEPAID: CAR000006874
Contact: ANDREA MCLAUGHLIN
Telephone: 5106441400
Mailing Name: Not reported
Mailing Address: 2235 5TH ST
Mailing City,St,Zip: BERKELEY, CA 947102216
Gen County: Not reported
TSD EPA ID: CAD070148432
TSD County: Not reported
Waste Category: Photochemicals/photoprocessing waste
Disposal Method: Recycler
Tons: .0417
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

[Click this hyperlink](#) while viewing on your computer to access additional CA_HAZNET: detail in the EDR Site Report.

**G37
NNW
1/8-1/4
0.246 mi.
1298 ft.**

**TERMINEX-PEERLESS
2240 4TH STREET
BERKELEY, CA 94710

Site 2 of 2 in cluster G**

**CA ENVIROSTOR S102008271
N/A**

**Relative:
Lower
Actual:
24 ft.**

ENVIROSTOR:
Facility ID: 1890016
Status: Refer: Other Agency
Status Date: 03/13/1995
Site Code: Not reported
Site Type: Historical
Site Type Detailed: * Historical
Acres: Not reported
NPL: NO
Regulatory Agencies: NONE SPECIFIED
Lead Agency: NONE SPECIFIED
Program Manager: Not reported
Supervisor: Referred - Not Assigned
Division Branch: Cleanup Berkeley
Assembly: 15
Senate: 09
Special Program: Not reported
Restricted Use: NO
Site Mgmt Req: NONE SPECIFIED
Funding: Not reported
Latitude: 37.86388

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

TERMINEX-PEERLESS (Continued)

S102008271

Longitude: -122.2991
 APN: NONE SPECIFIED
 Past Use: NONE SPECIFIED
 Potential COC: * HALOGENATED SOLVENTS * HYDROCARBON SOLVENTS * OXYGENATED SOLVENTS
 Confirmed COC: NONE SPECIFIED
 Potential Description: NONE SPECIFIED
 Alias Name: Not reported
 Alias Type: Not reported

Completed Info:
 Completed Area Name: Not reported
 Completed Sub Area Name: Not reported
 Completed Document Type: Not reported
 Completed Date: Not reported
 Comments: Not reported

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

**K38
SSE
1/4-1/2
0.252 mi.
1332 ft.**

**MACAULAY FOUNDRY INC
811 CARELTON ST
BERKELEY, CA 97410
Site 1 of 2 in cluster K**

**CA CPS-SLIC 1004638493
N/A**

**Relative:
Higher
Actual:
32 ft.**

CPS-SLIC:
 Region: STATE
Facility Status: Completed - Case Closed
 Status Date: 08/24/1994
 Global Id: T0600191484
 Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
 Lead Agency Case Number: Not reported
 Latitude: 37.8568506632843
 Longitude: -122.294268608093
 Case Type: Cleanup Program Site
 Case Worker: UUU
 Local Agency: BERKELEY, CITY OF
 RB Case Number: 01S0066
 File Location: Not reported
 Potential Media Affected: Soil
 Potential Contaminants of Concern: * Solvents
 Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

SLIC REG 2:
 Region: 2
 Facility ID: 01S0066
 Facility Status: Case Closed
 Date Closed: 8/24/1994
 Local Case #: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

MACAULAY FOUNDRY INC (Continued)

1004638493

How Discovered: Tank Closure
Leak Cause: UNK
Leak Source: UNK
Date Confirmed: Not reported
Date Prelim Site Assmnt Workplan Submitted: Not reported
Date Preliminary Site Assessment Began: Not reported
Date Pollution Characterization Began: Not reported
Date Remediation Plan Submitted: Not reported
Date Remedial Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

Region: 2
Facility ID: SLT2003036
Facility Status: Leak being confirmed
Date Closed: Not reported
Local Case #: Not reported
How Discovered: Not reported
Leak Cause: Not reported
Leak Source: Not reported
Date Confirmed: Not reported
Date Prelim Site Assmnt Workplan Submitted: Not reported
Date Preliminary Site Assessment Began: Not reported
Date Pollution Characterization Began: Not reported
Date Remediation Plan Submitted: Not reported
Date Remedial Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

K39 **MACAULAY FOUNDRY**
SSE **811 CARLETON**
1/4-1/2 **BERKELEY, CA 94710**
0.252 mi.
1332 ft. **Site 2 of 2 in cluster K**

CA LUST 1002851261
CA HIST CORTESE N/A

Relative: LUST:
Higher Lead Agency: BERKELEY, CITY OF
Actual: Case Type: LUST Cleanup Site
32 ft. Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100857
Global Id: T0600100857
Latitude: 37.857211
Longitude: -122.294725
Status: Completed - Case Closed
Status Date: 08/24/1994
Case Worker: GAF
RB Case Number: 01-0932
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-0932
Potential Media Affect: Soil
Potential Contaminants of Concern: Stoddard solvent / Mineral Spruits / Distillates
Site History: Not reported

LUST:
Global Id: T0600100857
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

MACAULAY FOUNDRY (Continued)

1002851261

Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600100857
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:
Global Id: T0600100857
Action Type: Other
Date: 02/10/1987
Action: Leak Stopped

Global Id: T0600100857
Action Type: Other
Date: 02/10/1987
Action: Leak Reported

Global Id: T0600100857
Action Type: Other
Date: 02/10/1987
Action: Leak Discovery

LUST:
Global Id: T0600100857
Status: Open - Case Begin Date
Status Date: 02/10/1987

Global Id: T0600100857
Status: Open - Site Assessment
Status Date: 04/17/1990

Global Id: T0600100857
Status: Completed - Case Closed
Status Date: 08/24/1994

LUST REG 2:
Region: 2
Facility Id: 01-0932
Facility Status: Case Closed
Case Number: 01-0932
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 4/17/1990
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

MACAULAY FOUNDRY (Continued)

1002851261

Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0932

**L40
NNW
1/4-1/2
0.263 mi.
1387 ft.**

**PEERLESS ELECTRIC
2220 4TH STREET
BERKELEY, CA**

**SEMS-ARCHIVE 1015730647
RCRA-SQG CAD981371313**

Site 1 of 6 in cluster L

**Relative:
Lower**

SEMS Archive:
Site ID: 906090
EPA ID: CAD981371313
Cong District: Not reported
FIPS Code: 6001
FF: N
NPL: Not on the NPL
Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

**Actual:
24 ft.**

SEMS Archive Detail:

Region: 9
Site ID: 906090
EPA ID: CAD981371313
Site Name: PEERLESS ELECTRIC
NPL: N
FF: N
OU: 0
Action Code: VS
Action Name: ARCH SITE
SEQ: 1
Start Date: Not reported
Finish Date: 2013-11-07 00:00:00
Qual: Not reported
Current Action Lead: EPA Perf In-Hse

Region: 9
Site ID: 906090
EPA ID: CAD981371313
Site Name: PEERLESS ELECTRIC
NPL: N
FF: N
OU: 0
Action Code: PA
Action Name: PA
SEQ: 1
Start Date: 2004-10-18 00:00:00
Finish Date: 2007-05-22 00:00:00
Qual: N
Current Action Lead: EPA Perf

Region: 9
Site ID: 906090
EPA ID: CAD981371313

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PEERLESS ELECTRIC (Continued)

1015730647

Site Name: PEERLESS ELECTRIC
 NPL: N
 FF: N
 OU: 0
 Action Code: DS
 Action Name: DISCVRY
 SEQ: 1
 Start Date: 2004-01-09 00:00:00
 Finish Date: 2004-01-09 00:00:00
 Qual: Not reported
 Current Action Lead: St Perf

RCRA-SQG:

Date form received by agency: 06/16/1999
 Facility name: LITHONIA LIGHTING
 Facility address: 747 BANCROFT WAY
 BERKELEY, CA 94710
 EPA ID: CAD981371313
 Mailing address: P O BOX 2556
 BERKELEY, CA 94702-0556
 Contact: DAVID KOESTER
 Contact address: P O BOX 2556
 BERKELEY, CA 94702-0556
 Contact country: US
 Contact telephone: 510-845-2760
 Contact email: Not reported
 EPA Region: 09
 Classification: Small Small Quantity Generator
 Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: NATL SERVICE INDUSTRIES INC
 Owner/operator address: 1420 PEACHTREE ST NE
 ATLANTA, GA 30309
 Owner/operator country: Not reported
 Owner/operator telephone: 404-853-1000
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Owner
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported
 Owner/operator name: NOT REQUIRED
 Owner/operator address: NOT REQUIRED
 NOT REQUIRED, ME 99999
 Owner/operator country: Not reported
 Owner/operator telephone: 415-555-1212
 Owner/operator email: Not reported
 Owner/operator fax: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PEERLESS ELECTRIC (Continued)

1015730647

Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: D001
. Waste name: IGNITABLE WASTE

. Waste code: D018
. Waste name: BENZENE

. Waste code: D035
. Waste name: METHYL ETHYL KETONE

. Waste code: D039
. Waste name: TETRACHLOROETHYLENE

. Waste code: D040
. Waste name: TRICHLOROETHYLENE

. Waste code: F003
. Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

. Waste code: F005
. Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PEERLESS ELECTRIC (Continued)

1015730647

THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Historical Generators:

Date form received by agency: 03/04/1999
Site name: PEERLESS LIGHTING CORP.
Classification: Large Quantity Generator

Date form received by agency: 09/01/1996
Site name: LITHONIA LIGHTING
Classification: Small Quantity Generator

Date form received by agency: 03/31/1994
Site name: PEERLESS LIGHTING
Classification: Large Quantity Generator

Date form received by agency: 02/28/1992
Site name: PEERLESS LIGHTING
Classification: Large Quantity Generator

Violation Status: No violations found

**L41
NNW
1/4-1/2
0.263 mi.
1387 ft.**

**PEERLESS ELECTRIC
2220 4TH STREET
BERKELEY, CA 94710
Site 2 of 6 in cluster L**

**CA ENVIROSTOR S100226159
CA LUST N/A
CA VCP
CA HIST CORTESE**

**Relative:
Lower
Actual:
24 ft.**

ENVIROSTOR:
Facility ID: 1730067
Status: Inactive - Action Required
Status Date: 06/24/2010
Site Code: 201519
Site Type: Voluntary Cleanup
Site Type Detailed: Voluntary Cleanup
Acres: 0.34
NPL: NO
Regulatory Agencies: SMBRP
Lead Agency: SMBRP
Program Manager: Tom Price
Supervisor: Karen Toth
Division Branch: Cleanup Berkeley
Assembly: 15
Senate: 09
Special Program: Voluntary Cleanup Program
Restricted Use: NO
Site Mgmt Req: NONE SPECIFIED
Funding: Responsible Party
Latitude: 37.86394
Longitude: -122.2993
APN: 56-1957-2-3, 56-1957-2-4, 56-1957-3-1, 56-1957-7-1, 56-1957-71-2
Past Use: MANUFACTURING - PESTICIDES
Potential COC: * Pesticides - Wastes From Production Chlordane Pentachlorophenol
Confirmed COC: Chlordane Pentachlorophenol
Potential Description: OTH, SOIL
Alias Name: Not reported
Alias Type: Not reported

Completed Info:
Completed Area Name: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PEERLESS ELECTRIC (Continued)

S100226159

Completed Sub Area Name: Not reported
Completed Document Type: Not reported
Completed Date: Not reported
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

LUST:

Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101057
Global Id: T0600101057
Latitude: 37.8641020539904
Longitude: -122.29895954418
Status: Open - Assessment & Interim Remedial Action
Status Date: 10/28/2013
Case Worker: JMJ
RB Case Number: 01-1147
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: TT01-1147
Potential Media Affect: Soil
Potential Contaminants of Concern: Gasoline
Site History:

The subject property (Site) is a commercially-zoned parcel situate in an area of longstanding commercial and industrial activity on Fourth Street, within West Berkeley, California. A large industrial warehouse resides on the Site, with access from Fourth Street. Neighboring warehouses abut the Site and buildings such as a wine distributor and a specialized commercial coating company to the north. Various industrial metals businesses have used the Site including metal fabricators, machine shops, foundries, laboratories and paint manufacturing. Other previous business have included pesticide companies who used thinners (solvents) with their pesticide mixes. These solvents included Pentachlorophenol (PCP) mixed with kerosene (a petroleum distillate) and diesel fuel. Use of heavy metals, hydrocarbon fuels, oils, lubricant, degreasers, cutting fluids, solvents, acids, bases, and dyes / paint intermediates were found at previous on-Site business operations. Known and documented releases of these and other hydrocarbon compounds have been documented from the Site. Local soil and groundwater on Site has been impacted from vertical and lateral migration of these hydrocarbon and related contaminants. detected concentrations of hydrocarbons include total petroleum hydrocarbons as diesel (TPHd) up to 39,000 ug/L in groundwater (Environmental Screening Levels for TPHd in groundwater are 200 ug/L). PCP was identified up to 460 mg/kg in on-Site soil samples. TPH as kerosene (jet fuel) was found up to 6,000 mg/kg in soil and TPH up to 10,000 mg/kg in soil.

LUST:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PEERLESS ELECTRIC (Continued)

S100226159

Global Id: T0600101057
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600101057
Contact Type: Regional Board Caseworker
Contact Name: JOHN JANG
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY STREET, SUITE 1400
City: OAKLAND
Email: jjang@waterboards.ca.gov
Phone Number: Not reported

Global Id: T0600101057
Contact Type: Regional Board Caseworker
Contact Name: MATTHEW COHEN
Organization Name: SWRCB
Address: 1001 I Street
City: SACRAMENTO
Email: mcohen@waterboards.ca.gov
Phone Number: 9163415751

LUST:

Global Id: T0600101057
Action Type: RESPONSE
Date: 08/25/1993
Action: Correspondence

Global Id: T0600101057
Action Type: REMEDIATION
Date: 10/28/2013
Action: Monitored Natural Attenuation

Global Id: T0600101057
Action Type: Other
Date: 07/02/1987
Action: Leak Stopped

Global Id: T0600101057
Action Type: RESPONSE
Date: 04/27/1994
Action: Soil and Water Investigation Report

Global Id: T0600101057
Action Type: RESPONSE
Date: 06/08/1988
Action: Corrective Action Plan / Remedial Action Plan

Global Id: T0600101057
Action Type: RESPONSE
Date: 10/29/1993
Action: Monitoring Report - Other

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PEERLESS ELECTRIC (Continued)

S100226159

Global Id:	T0600101057
Action Type:	RESPONSE
Date:	05/03/1994
Action:	Correspondence
Global Id:	T0600101057
Action Type:	ENFORCEMENT
Date:	06/12/2013
Action:	Letter - Notice
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	03/11/1994
Action:	Correspondence
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	12/23/2015
Action:	Site Investigation Workplan - Regulator Responded
Global Id:	T0600101057
Action Type:	Other
Date:	07/02/1987
Action:	Leak Reported
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	04/15/1994
Action:	Other Report / Document
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	10/11/1988
Action:	Soil and Water Investigation Report
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	01/22/1986
Action:	CAP/RAP - Feasibility Study Report
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	07/02/1987
Action:	Soil and Water Investigation Report
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	10/01/1993
Action:	Other Report / Document
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	07/27/1988
Action:	Soil and Water Investigation Report
Global Id:	T0600101057
Action Type:	RESPONSE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PEERLESS ELECTRIC (Continued)

S100226159

Date:	12/28/1993
Action:	Other Report / Document
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	01/01/1994
Action:	Conceptual Site Model
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	08/07/2007
Action:	Site Assessment Report
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	09/19/1994
Action:	Soil and Water Investigation Workplan
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	01/30/1995
Action:	Site Assessment Report
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	06/25/2006
Action:	Preliminary Site Assessment Report
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	02/27/2007
Action:	Site Assessment Report
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	10/06/1993
Action:	Other Report / Document
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	05/12/1994
Action:	Soil and Water Investigation Report
Global Id:	T0600101057
Action Type:	RESPONSE
Date:	09/09/1994
Action:	Other Report / Document
Global Id:	T0600101057
Action Type:	Other
Date:	07/02/1987
Action:	Leak Discovery
Global Id:	T0600101057
Action Type:	ENFORCEMENT
Date:	11/23/2015
Action:	Staff Letter

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PEERLESS ELECTRIC (Continued)

S100226159

LUST:

Global Id:	T0600101057
Status:	Open - Site Assessment
Status Date:	01/02/1965
Global Id:	T0600101057
Status:	Open - Case Begin Date
Status Date:	07/02/1987
Global Id:	T0600101057
Status:	Open - Site Assessment
Status Date:	10/28/2010
Global Id:	T0600101057
Status:	Open - Assessment & Interim Remedial Action
Status Date:	10/28/2013

LUST REG 2:

Region:	2
Facility Id:	01-1147
Facility Status:	Preliminary site assessment underway
Case Number:	01-1147
How Discovered:	Tank Closure
Leak Cause:	Structure Failure
Leak Source:	Tank
Date Leak Confirmed:	Not reported
Oversight Program:	LUST
Prelim. Site Assesment Wokplan Submitted:	Not reported
Preliminary Site Assesment Began:	1/2/1965
Pollution Characterization Began:	Not reported
Pollution Remediation Plan Submitted:	Not reported
Date Remediation Action Underway:	Not reported
Date Post Remedial Action Monitoring Began:	Not reported

VCP:

Facility ID:	1730067
Site Type:	Voluntary Cleanup
Site Type Detail:	Voluntary Cleanup
Site Mgmt. Req.:	NONE SPECIFIED
Acres:	0.34
National Priorities List:	NO
Cleanup Oversight Agencies:	SMBRP
Lead Agency:	SMBRP
Lead Agency Description:	DTSC - Site Cleanup Program
Project Manager:	Tom Price
Supervisor:	Karen Toth
Division Branch:	Cleanup Berkeley
Site Code:	201519
Assembly:	15
Senate:	09
Special Programs Code:	Voluntary Cleanup Program
Status:	Inactive - Action Required
Status Date:	06/24/2010
Restricted Use:	NO
Funding:	Responsible Party

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PEERLESS ELECTRIC (Continued)

S100226159

Lat/Long: 37.86394 / -122.2993
 APN: 56-1957-2-3, 56-1957-2-4, 56-1957-3-1, 56-1957-7-1, 56-1957-71-2
 Past Use: MANUFACTURING - PESTICIDES
 Potential COC: 10077, 30004, 30448
 Confirmed COC: 30004,30448
 Potential Description: OTH, SOIL
 Alias Name: Not reported
 Alias Type: Not reported

Completed Info:
 Completed Area Name: Not reported
 Completed Sub Area Name: Not reported
 Completed Document Type: Not reported
 Completed Date: Not reported
 Comments: Not reported

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

HIST CORTESE:
 Region: CORTESE
 Facility County Code: 1
 Reg By: LTNKA
 Reg Id: 01-1147

**L42
NNW
1/4-1/2
0.263 mi.
1387 ft.**

**PEERLESS ELECTRIC
2220 4TH STREET
BERKELEY, CA 94710
Site 3 of 6 in cluster L**

**CA HIST Cal-Sites S102008257
N/A**

**Relative:
Lower
Actual:
24 ft.**

Calsite:
 Region: BERKELEY
 Facility ID: 01730067
 Facility Type: RP
 Type: RESPONSIBLE PARTY
 Branch: NC
 Branch Name: NORTH COAST
 File Name: Not reported
 State Senate District: 01072004
 Status: ANNUAL WORKPLAN (AWP) - ACTIVE SITE
 Status Name: ANNUAL WORKPLAN - ACTIVE SITE
 Lead Agency: DEPT OF TOXIC SUBSTANCES CONTROL
 NPL: Not Listed
 SIC Code: 73
 SIC Name: BUSINESS SERVICES
 Access: Not reported
 Cortese: Not reported
 Hazardous Ranking Score: Not reported
 Date Site Hazard Ranked: Not reported
 Groundwater Contamination: Confirmed

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PEERLESS ELECTRIC (Continued)

S102008257

Staff Member Responsible for Site: CJEMISON
 Supervisor Responsible for Site: Not reported
 Region Water Control Board: SF
 Region Water Control Board Name: SAN FRANCISCO BAY
 Lat/Long Direction: Not reported
 Lat/Long (dms): 0 0 0 / 0 0 0
 Lat/long Method: Not reported
 Lat/Long Description: Not reported
 State Assembly District Code: 14
 State Senate District Code: 09
 Facility ID: 01730067
 Activity: CERT
 Activity Name: CERTIFICATION
 AWP Code: Not reported
 Proposed Budget: 0
 AWP Completion Date: Not reported
 Revised Due Date: Not reported
 Comments Date: 01011983
 Est Person-Yrs to complete: 0
 Estimated Size: Not reported
 Request to Delete Activity: Not reported
 Activity Status: PEAR
 Definition of Status: PRELIMINARY ENDANGERMENT ASSESSMENT REQUIRED
 Liquids Removed (Gals): 0
 Liquids Treated (Gals): 0
 Action Included Capping: Not reported
 Well Decommissioned: Not reported
 Action Included Fencing: Not reported
 Removal Action Certification: Not reported
 Activity Comments: Not reported
 For Commercial Reuse: 0
 For Industrial Reuse: 0
 For Residential Reuse: 0
 Unknown Type: 0
 Facility ID: 01730067
 Activity: PEA
 Activity Name: PRELIMINARY ENDANGERMENT ASSESSMENT
 AWP Code: Not reported
 Proposed Budget: 0
 AWP Completion Date: Not reported
 Revised Due Date: Not reported
 Comments Date: 01072004
 Est Person-Yrs to complete: 0
 Estimated Size: Not reported
 Request to Delete Activity: Not reported
 Activity Status: PEAR
 Definition of Status: PRELIMINARY ENDANGERMENT ASSESSMENT REQUIRED
 Liquids Removed (Gals): 0
 Liquids Treated (Gals): 0
 Action Included Capping: Not reported
 Well Decommissioned: Not reported
 Action Included Fencing: Not reported
 Removal Action Certification: Not reported
 Activity Comments: Not reported
 For Commercial Reuse: 0
 For Industrial Reuse: 0
 For Residential Reuse: 0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PEERLESS ELECTRIC (Continued)

S102008257

Unknown Type: 0
 Alternate Address: 2220 4TH STREET
 Alternate City,St,Zip: BERKELEY, CA 94710
 Background Info: A succession of pesticide companies including, Able Termite Control Company, Able Termite Control, Inc., Terminix Norcal, and its successor Terminix International occupied this property. These companies mixed pesticides with thinners. Peerless Electric Company bought the property from Terminix in 1981. Soil investigation conducted in 1983 identified aldrin, heptachlor, and chlordane at hazardous levels and the underlying groundwater detected chlordane and heptachlor. In 1984, the contaminated soil was removed and the surface was sealed.

Comments Date: 01011983
 Comments: Certified Site. A soil removal occurred in 1983. This
 Comments Date: 01011983
 Comments: certification was confirmed by a report prepared by the Auditor
 Comments Date: 01011983
 Comments: General. The Auditor General conducted an audit of the
 Comments Date: 01011983
 Comments: Department's records to confirm a list of sites where the
 Comments Date: 01011983
 Comments: Department was involved in the cleanup and it was completed.
 Comments Date: 01011983
 Comments: This list became the basis for our historical certification
 Comments Date: 01011983
 Comments: information. Many of the sites on the list were handled by our
 Comments Date: 01011983
 Comments: Compliance Branch. Most of these were in response to a
 Comments Date: 01011983
 Comments: complaint from the public or reports from the industry and the
 Comments Date: 01011983
 Comments: response action may have only addressed an immediate problem and
 Comments Date: 01011983
 Comments: not the entire facility.
 Comments Date: 01072004
 Comments: Decertified Site. Completed PEA. In 1994, the SF Regional
 Comments Date: 01072004
 Comments: Water Quality Control Board (RWQCB) and the City of Berkeley
 Comments Date: 01072004
 Comments: required additional soil and groundwater investigations. Soil
 Comments Date: 01072004
 Comments: and groundwater sampling report submitted to the City of
 Comments Date: 01072004
 Comments: Berkeley indicated that the soil was impacted by total petroleum
 Comments Date: 01072004
 Comments: extractable hydrocarbon (1 to 6,100 mg/kg), pentachlorophenol
 Comments Date: 01072004
 Comments: (PCB) (1,300 to 130,000 ug/kg), dieldrin (6 to 2,800 ug/kg), and
 Comments Date: 01072004
 Comments: chlordane (36 ug/kg). Levels of chlordane, dieldrin, and PCP in
 Comments Date: 01072004
 Comments: the soil exceed residential screening values. Groundwater
 Comments Date: 01072004
 Comments: samples collected detected PCP (130 to 52,000 ug/l), total
 Comments Date: 01072004
 Comments: petroleum extractable hydrocarbons (440 to 1,700,000 ug/l),
 Comments Date: 01072004

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PEERLESS ELECTRIC (Continued)

S102008257

Comments: chlordan (56 to 620 ug/l), dieldrin (2.5 ug/l), and heptachlor
 Comments Date: 01072004
 Comments: epoxide.
 ID Name: CALSTARS CODE
 ID Value: 201519
 Alternate Name: TERMINEX OF NORTHERN CALIFORNIA INC
 Alternate Name: PEERLESS ELECTRIC
 Alternate Name: Not reported
 Special Programs Code: Not reported
 Special Programs Name: Not reported

**L43
NNW
1/4-1/2
0.263 mi.
1387 ft.**

**OH OLSEN
2220 4TH ST
BERKELEY, CA
Site 4 of 6 in cluster L**

**CA CPS-SLIC S106235267
N/A**

**Relative:
Lower
Actual:
24 ft.**

SLIC REG 2:
 Region: 2
 Facility ID: SLT2O01725
 Facility Status: Leak being confirmed
 Date Closed: Not reported
 Local Case #: Not reported
 How Discovered: Not reported
 Leak Cause: Not reported
 Leak Source: Not reported
 Date Confirmed: Not reported
 Date Prelim Site Assmnt Workplan Submitted: Not reported
 Date Preliminary Site Assessment Began: Not reported
 Date Pollution Characterization Began: Not reported
 Date Remediation Plan Submitted: Not reported
 Date Remedial Action Underway: Not reported
 Date Post Remedial Action Monitoring Began: Not reported

**44
WNW
1/4-1/2
0.264 mi.
1396 ft.**

**AQUATIC PARK SCIENCE CENTER
80 BOLIVAR DR.
BERKELEY, CA 94710**

**CA LUST S121132510
N/A**

**Relative:
Lower
Actual:
2 ft.**

LUST:
 Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T10000001064
 Global Id: T10000001064
 Latitude: 37.8618949203986
 Longitude: -122.299482822419
 Status: Completed - Case Closed
 Status Date: 07/14/2014
 Case Worker: MYM
 RB Case Number: 01-3618
 Local Agency: BERKELEY, CITY OF
 File Location: All Files are on GeoTracker or in the Local Agency Database
 Local Case Number: Not reported
 Potential Media Affect: Other Groundwater (uses other than drinking water), Soil
 Potential Contaminants of Concern: Diesel, Gasoline, Stoddard solvent / Mineral Spruits / Distillates

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

AQUATIC PARK SCIENCE CENTER (Continued)

S121132510

Site History: Case history for Preliminary Endangerment Assessment can be found at DTSC, with electronic information captured in DTSC's EnviroStor database. Petroleum corrective actions assigned to the City of Berkeley, Toxics Management Division, by DTSC. Property has been used commercially or industrially as a paint formulator. Commercial/industrial activity at this site spans approximately 100 years. Corrective actions implemented to remove impacted soil. Added observation well in excavation area and added oxygen releasing material to soil/groundwater interface to enhance petroleum degradation in groundwater. Fourth quarter monitoring results due in July 2013. Continued improvement of groundwater suggests corrective action completion has met goals and should be considered for no further action.

LUST:

Global Id: T10000001064
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T10000001064
Contact Type: Regional Board Caseworker
Contact Name: MARTIN MUSONGE
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY STREET
City: OAKLAND
Email: martin.musonge@waterboards.ca.gov
Phone Number: Not reported

Global Id: T10000001064
Contact Type: Regional Board Caseworker
Contact Name: MATTHEW COHEN
Organization Name: SWRCB
Address: 1001 I Street
City: SACRAMENTO
Email: mcohen@waterboards.ca.gov
Phone Number: 9163415751

LUST:

Global Id: T10000001064
Action Type: Other
Date: 11/13/2008
Action: Leak Reported

Global Id: T10000001064
Action Type: ENFORCEMENT
Date: 03/06/1998
Action: Staff Letter

Global Id: T10000001064
Action Type: RESPONSE
Date: 04/03/2017
Action: Email Correspondence

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

AQUATIC PARK SCIENCE CENTER (Continued)

S121132510

Global Id:	T10000001064
Action Type:	ENFORCEMENT
Date:	11/06/2013
Action:	13267 Requirement
Global Id:	T10000001064
Action Type:	RESPONSE
Date:	07/27/1999
Action:	Tank Removal Report / UST Sampling Report
Global Id:	T10000001064
Action Type:	RESPONSE
Date:	04/19/2000
Action:	Soil and Water Investigation Report
Global Id:	T10000001064
Action Type:	RESPONSE
Date:	05/17/1999
Action:	Tank Removal Workplan
Global Id:	T10000001064
Action Type:	RESPONSE
Date:	12/31/2013
Action:	Unknown
Global Id:	T10000001064
Action Type:	ENFORCEMENT
Date:	07/14/2014
Action:	Closure/No Further Action Letter
Global Id:	T10000001064
Action Type:	RESPONSE
Date:	11/16/2000
Action:	Soil and Water Investigation Workplan
Global Id:	T10000001064
Action Type:	ENFORCEMENT
Date:	10/26/2009
Action:	Technical Correspondence / Assistance / Other
Global Id:	T10000001064
Action Type:	REMEDATION
Date:	01/10/2012
Action:	Excavation
Global Id:	T10000001064
Action Type:	RESPONSE
Date:	06/06/1988
Action:	Correspondence
Global Id:	T10000001064
Action Type:	ENFORCEMENT
Date:	11/13/2008
Action:	Unauthorized Release Form
Global Id:	T10000001064
Action Type:	ENFORCEMENT

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

AQUATIC PARK SCIENCE CENTER (Continued)

S121132510

Date:	12/23/1998
Action:	Notice to Comply
Global Id:	T1000001064
Action Type:	ENFORCEMENT
Date:	06/12/2013
Action:	Letter - Notice
Global Id:	T1000001064
Action Type:	ENFORCEMENT
Date:	06/21/2013
Action:	Technical Correspondence / Assistance / Other
Global Id:	T1000001064
Action Type:	ENFORCEMENT
Date:	02/15/2012
Action:	Technical Correspondence / Assistance / Other
Global Id:	T1000001064
Action Type:	ENFORCEMENT
Date:	10/08/2013
Action:	Notification - Public Notice of Case Closure
Global Id:	T1000001064
Action Type:	Other
Date:	04/01/2007
Action:	Leak Discovery
Global Id:	T1000001064
Action Type:	RESPONSE
Date:	04/19/2000
Action:	Soil and Water Investigation Report
Global Id:	T1000001064
Action Type:	RESPONSE
Date:	01/10/2000
Action:	Soil and Water Investigation Report
Global Id:	T1000001064
Action Type:	RESPONSE
Date:	06/11/2008
Action:	Site Assessment Report
Global Id:	T1000001064
Action Type:	RESPONSE
Date:	06/11/2008
Action:	Site Assessment Report
Global Id:	T1000001064
Action Type:	RESPONSE
Date:	12/23/1998
Action:	Correspondence
Global Id:	T1000001064
Action Type:	RESPONSE
Date:	08/30/2013
Action:	Request for Closure - Regulator Responded

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

AQUATIC PARK SCIENCE CENTER (Continued)

S121132510

LUST:
 Global Id: T10000001064
 Status: Open - Case Begin Date
 Status Date: 04/01/2007

 Global Id: T10000001064
 Status: Open - Assessment & Interim Remedial Action
 Status Date: 05/01/2009

 Global Id: T10000001064
 Status: Open - Assessment & Interim Remedial Action
 Status Date: 12/05/2011

 Global Id: T10000001064
 Status: Open - Verification Monitoring
 Status Date: 06/10/2013

 Global Id: T10000001064
 Status: Open - Eligible for Closure
 Status Date: 07/09/2013

 Global Id: T10000001064
 Status: Completed - Case Closed
 Status Date: 07/14/2014

**45
East
1/4-1/2
0.296 mi.
1562 ft.**

**CONSOLIDATED FREIGHTWAYS
2515 9TH ST
BERKELEY, CA 94710**

**CA LUST S101630391
CA HIST UST N/A
CA FID UST
CA HIST CORTESE**

**Relative:
Higher
Actual:
49 ft.**

LUST:
 Lead Agency: BERKELEY, CITY OF
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100407
 Global Id: T0600100407
 Latitude: 37.860187
 Longitude: -122.291208
 Status: Completed - Case Closed
 Status Date: 03/20/1997
 Case Worker: GAF
 RB Case Number: 01-0448
 Local Agency: BERKELEY, CITY OF
 File Location: Not reported
 Local Case Number: 01-0448
 Potential Media Affect: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Diesel
 Site History: Not reported

 LUST:
 Global Id: T0600100407
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CONSOLIDATED FREIGHTWAYS (Continued)

S101630391

Phone Number: Not reported

Global Id: T0600100407
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:

Global Id: T0600100407
Action Type: ENFORCEMENT
Date: 03/20/1997
Action: Closure/No Further Action Letter

Global Id: T0600100407
Action Type: Other
Date: 12/10/1990
Action: Leak Stopped

Global Id: T0600100407
Action Type: Other
Date: 12/10/1990
Action: Leak Discovery

Global Id: T0600100407
Action Type: Other
Date: 12/10/1990
Action: Leak Reported

LUST:

Global Id: T0600100407
Status: Open - Case Begin Date
Status Date: 12/10/1990

Global Id: T0600100407
Status: Open - Site Assessment
Status Date: 03/22/1991

Global Id: T0600100407
Status: Open - Site Assessment
Status Date: 07/26/1993

Global Id: T0600100407
Status: Completed - Case Closed
Status Date: 03/20/1997

LUST REG 2:

Region: 2
Facility Id: 01-0448
Facility Status: Case Closed
Case Number: 01-0448
How Discovered: Tank Closure

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CONSOLIDATED FREIGHTWAYS (Continued)

S101630391

Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 3/22/1991
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: 7/26/1993
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST UST:

File Number: 00035EB2
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/00035EB2.pdf>
Region: Not reported
Facility ID: Not reported
Facility Type: Not reported
Other Type: Not reported
Contact Name: Not reported
Telephone: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City,St,Zip: Not reported
Total Tanks: Not reported

Tank Num: Not reported
Container Num: Not reported
Year Installed: Not reported
Tank Capacity: Not reported
Tank Used for: Not reported
Type of Fuel: Not reported
Container Construction Thickness: Not reported
Leak Detection: Not reported

Click here for Geo Tracker PDF:

CA FID UST:

Facility ID: 01000583
Regulated By: UTNKA
Regulated ID: CAC000201
Cortese Code: Not reported
SIC Code: Not reported
Facility Phone: 4155485780
Mail To: Not reported
Mailing Address: 175 LINFIELD DR
Mailing Address 2: Not reported
Mailing City,St,Zip: BERKELEY 94710
Contact: Not reported
Contact Phone: Not reported
DUNs Number: Not reported
NPDES Number: Not reported
EPA ID: Not reported
Comments: Not reported
Status: Active

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CONSOLIDATED FREIGHTWAYS (Continued)

S101630391

HIST CORTESE:
Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0448

**M46
SE
1/4-1/2
0.298 mi.
1574 ft.

Relative:
Higher

Actual:
36 ft.**

**ELECTRO-COATINGS OF CALIFORNIA, INC
893 CARLETON STREET
BERKELEY, CA 94710

Site 1 of 3 in cluster M**

**SEMS-ARCHIVE 1000181777
RCRA-LQG CAD009116211
CA ENVIROSTOR
CA CPS-SLIC
CA SWEEPS UST
CA HIST UST
CA FID UST
FINDS
ECHO
CA HIST CORTESE
CA NPDES
CA WDS
CA CIWQS**

SEMS Archive:
Site ID: 901139
EPA ID: CAD009116211
Cong District: 8
FIPS Code: 6001
FF: N
NPL: Not on the NPL
Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

SEMS Archive Detail:
Region: 9
Site ID: 901139
EPA ID: CAD009116211
Site Name: ELECTRO-COATINGS IND
NPL: N
FF: N
OU: 0
Action Code: VS
Action Name: ARCH SITE
SEQ: 1
Start Date: Not reported
Finish Date: 1987-12-01 00:00:00
Qual: Not reported
Current Action Lead: EPA Perf In-Hse

Region: 9
Site ID: 901139
EPA ID: CAD009116211
Site Name: ELECTRO-COATINGS IND
NPL: N
FF: N
OU: 0
Action Code: DS
Action Name: DISCVRY
SEQ: 1
Start Date: 1984-11-01 00:00:00
Finish Date: 1984-11-01 00:00:00
Qual: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Current Action Lead: EPA Perf

Region: 9
Site ID: 901139
EPA ID: CAD009116211
Site Name: ELECTRO-COATINGS IND
NPL: N
FF: N
OU: 0
Action Code: PA
Action Name: PA
SEQ: 1
Start Date: Not reported
Finish Date: 1987-12-01 00:00:00
Qual: N
Current Action Lead: St Perf

RCRA-LQG:

Date form received by agency: 01/25/2016
Facility name: ELECTRO-COATINGS OF CALIFORNIA, INC
Facility address: 893 CARLETON STREET
BERKELEY, CA 94710
EPA ID: CAD009116211
Mailing address: CARLETON STREET
BERKELEY, CA 94710
Contact: AARON PLECHATY
Contact address: CARLETON STREET
BERKELEY, CA 94710
Contact country: US
Contact telephone: 510-849-4075
Telephone ext.: 220
Contact email: APLECHATY@ELECTRO-COATINGS.COM
EPA Region: 09
Land type: Private
Classification: Large Quantity Generator
Description: Handler: generates 1,000 kg or more of hazardous waste during any calendar month; or generates more than 1 kg of acutely hazardous waste during any calendar month; or generates more than 100 kg of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month; or generates 1 kg or less of acutely hazardous waste during any calendar month, and accumulates more than 1 kg of acutely hazardous waste at any time; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates more than 100 kg of that material at any time

Owner/Operator Summary:

Owner/operator name: ELECTRO-COATINGS OF CALIFORNIA, INC.
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Owner/operator email: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Operator
 Owner/Op start date: 08/30/1974
 Owner/Op end date: Not reported

Owner/operator name: ELECTRO-COATINGS OF CALIFORNIA, INC.
 Owner/operator address: CARLETON STREET
 BERKELEY, CA 94710

Owner/operator country: US
 Owner/operator telephone: 510-849-4075
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: 220
 Legal status: Private
 Owner/Operator Type: Owner
 Owner/Op start date: 08/30/1974
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

- . Waste code: 135
- . Waste name: Unspecified aqueous solution

- . Waste code: 171
- . Waste name: Metal sludge (see 121)

- . Waste code: 172
- . Waste name: Metal dust (see 121) and machining waste

- . Waste code: 181
- . Waste name: Other inorganic solid waste

- . Waste code: 331
- . Waste name: Off-specification, aged, or surplus organics

- . Waste code: 343
- . Waste name: Unspecified organic liquid mixture

- . Waste code: 352
- . Waste name: Other organic solids

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

- . Waste code: 723
- . Waste name: Liquids with chromium (VI) > 500 mg/l

- . Waste code: 726
- . Waste name: Liquids with nickel > 134 mg/l

- . Waste code: 791
- . Waste name: Liquids with pH < 2

- . Waste code: 792
- . Waste name: Liquids with pH < 2 with metals

- . Waste code: D002
- . Waste name: CORROSIVE WASTE

- . Waste code: D004
- . Waste name: ARSENIC

- . Waste code: D007
- . Waste name: CHROMIUM

- . Waste code: D008
- . Waste name: LEAD

- . Waste code: D010
- . Waste name: SELENIUM

- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Historical Generators:

- Date form received by agency: 03/01/2014
- Site name: ELECTRO-COATINGS OF CALIFORNIA, INC
- Classification: Large Quantity Generator

- . Waste code: 135
- . Waste name: Unspecified aqueous solution

- . Waste code: 171
- . Waste name: Metal sludge (see 121)

- . Waste code: 172
- . Waste name: Metal dust (see 121) and machining waste

- . Waste code: 181
- . Waste name: Other inorganic solid waste

- . Waste code: 331

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

- . Waste name: Off-specification, aged, or surplus organics
- . Waste code: 343
- . Waste name: Unspecified organic liquid mixture
- . Waste code: 352
- . Waste name: Other organic solids
- . Waste code: 723
- . Waste name: Liquids with chromium (VI) > 500 mg/l
- . Waste code: 726
- . Waste name: Liquids with nickel > 134 mg/l
- . Waste code: 792
- . Waste name: Liquids with pH < 2 with metals
- . Waste code: D002
- . Waste name: CORROSIVE WASTE
- . Waste code: D004
- . Waste name: ARSENIC
- . Waste code: D007
- . Waste name: CHROMIUM
- . Waste code: D008
- . Waste name: LEAD
- . Waste code: D010
- . Waste name: SELENIUM
- . Waste code: F003
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NONHALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS, AND A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
- Date form received by agency: 06/19/2012
- Site name: ELECTRO-COATINGS OF CALIFORNIA, INC
- Classification: Large Quantity Generator
- . Waste code: 132
- . Waste name: Aqueous solution w/metals (< restricted levels and see waste code 121 for a list of metals)
- . Waste code: 172
- . Waste name: Metal dust (see 121) and machining waste
- . Waste code: 181
- . Waste name: Other inorganic solid waste

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

- . Waste code: 331
- . Waste name: Off-specification, aged, or surplus organics

- . Waste code: 343
- . Waste name: Unspecified organic liquid mixture

- . Waste code: 723
- . Waste name: Liquids with chromium (VI) > 500 mg/l

- . Waste code: 792
- . Waste name: Liquids with pH < 2 with metals

- . Waste code: D002
- . Waste name: CORROSIVE WASTE

- . Waste code: D004
- . Waste name: ARSENIC

- . Waste code: D007
- . Waste name: CHROMIUM

- . Waste code: D008
- . Waste name: LEAD

- . Waste code: D010
- . Waste name: SELENIUM

Date form received by agency: 05/28/2010

Site name: ELECTRO-COATINGS OF CALIFORNIA, INC.
Classification: Large Quantity Generator

- . Waste code: 132
- . Waste name: Aqueous solution w/metals (< restricted levels and see waste code 121 for a list of metals)

- . Waste code: 135
- . Waste name: Unspecified aqueous solution

- . Waste code: 171
- . Waste name: Metal sludge (see 121)

- . Waste code: 181
- . Waste name: Other inorganic solid waste

- . Waste code: 221
- . Waste name: Waste oil and mixed oil

- . Waste code: 343
- . Waste name: Unspecified organic liquid mixture

- . Waste code: 611
- . Waste name: Contaminated soil from site clean-ups

- . Waste code: 723
- . Waste name: Liquids with chromium (VI) > 500 mg/l

- . Waste code: D002

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

- . Waste name: CORROSIVE WASTE
- . Waste code: D007
- . Waste name: CHROMIUM
- . Waste code: D008
- . Waste name: LEAD

Date form received by agency: 02/26/2008
Site name: ELECTRO-COATINGS OF CALIFORNIA, INC.
Classification: Large Quantity Generator

- . Waste code: D001
- . Waste name: IGNITABLE WASTE
- . Waste code: D002
- . Waste name: CORROSIVE WASTE
- . Waste code: D003
- . Waste name: REACTIVE WASTE
- . Waste code: D004
- . Waste name: ARSENIC
- . Waste code: D006
- . Waste name: CADMIUM
- . Waste code: D007
- . Waste name: CHROMIUM
- . Waste code: D008
- . Waste name: LEAD
- . Waste code: D010
- . Waste name: SELENIUM
- . Waste code: F005
- . Waste name: THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Date form received by agency: 02/10/2006
Site name: ELECTRO-COATINGS OF CALIFORNIA, INC.
Classification: Large Quantity Generator

- . Waste code: 132
- . Waste name: Aqueous solution w/metals (< restricted levels and see waste code 121 for a list of metals)
- . Waste code: 134
- . Waste name: Aqueous solution with <10% total organic residues
- . Waste code: 171

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

- . Waste name: Metal sludge (see 121)
- . Waste code: 172
- . Waste name: Metal dust (see 121) and machining waste
- . Waste code: 181
- . Waste name: Other inorganic solid waste
- . Waste code: 723
- . Waste name: Liquids with chromium (VI) > 500 mg/l
- . Waste code: 726
- . Waste name: Liquids with nickel > 134 mg/l
- . Waste code: D002
- . Waste name: CORROSIVE WASTE
- . Waste code: D004
- . Waste name: ARSENIC
- . Waste code: D006
- . Waste name: CADMIUM
- . Waste code: D007
- . Waste name: CHROMIUM
- . Waste code: D008
- . Waste name: LEAD
- . Waste code: D010
- . Waste name: SELENIUM

Date form received by agency: 02/06/2004
Site name: ELECTRO-COATINGS OF CALIFORNIA, INC.
Classification: Large Quantity Generator

- . Waste code: D002
- . Waste name: CORROSIVE WASTE
- . Waste code: D004
- . Waste name: ARSENIC
- . Waste code: D006
- . Waste name: CADMIUM
- . Waste code: D007
- . Waste name: CHROMIUM
- . Waste code: D008
- . Waste name: LEAD
- . Waste code: D010
- . Waste name: SELENIUM

Date form received by agency: 02/10/2002
Site name: ELECTRO-COATINGS, INC.
Classification: Large Quantity Generator

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

- . Waste code: 132
- . Waste name: Aqueous solution w/metals (< restricted levels and see waste code 121 for a list of metals)

- . Waste code: 134
- . Waste name: Aqueous solution with <10% total organic residues

- . Waste code: 171
- . Waste name: Metal sludge (see 121)

- . Waste code: 172
- . Waste name: Metal dust (see 121) and machining waste

- . Waste code: 181
- . Waste name: Other inorganic solid waste

- . Waste code: 723
- . Waste name: Liquids with chromium (VI) > 500 mg/l

- . Waste code: 792
- . Waste name: Liquids with pH < 2 with metals

- . Waste code: D002
- . Waste name: CORROSIVE WASTE

- . Waste code: D004
- . Waste name: ARSENIC

- . Waste code: D006
- . Waste name: CADMIUM

- . Waste code: D007
- . Waste name: CHROMIUM

- . Waste code: D008
- . Waste name: LEAD

- . Waste code: D010
- . Waste name: SELENIUM

Date form received by agency: 10/12/2000
Site name: ELECTRO-COATINGS OF CA, INC.
Classification: Large Quantity Generator

Date form received by agency: 03/04/1999
Site name: ELECTRO-COATINGS INC.
Classification: Large Quantity Generator

Date form received by agency: 09/01/1996
Site name: ELECTRO-COATINGS
Classification: Large Quantity Generator

Date form received by agency: 03/22/1996
Site name: ELECTRO-COATINGS INC.
Classification: Large Quantity Generator

Date form received by agency: 03/29/1994

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Site name: ELECTRO-COATINGS INC
Classification: Large Quantity Generator

Date form received by agency: 01/23/1992
Site name: ELECTRO-COATINGS
Classification: Large Quantity Generator

Date form received by agency: 08/07/1980
Site name: ELECTRO-COATINGS
Classification: Large Quantity Generator

Biennial Reports:

Last Biennial Reporting Year: 2017

Annual Waste Handled:

Waste code: D002
Waste name: A WASTE WHICH HAS A PH OF LESS THAN 2 OR GREATER THAN 12.5 IS CONSIDERED TO BE A CORROSIVE HAZARDOUS WASTE. SODIUM HYDROXIDE, A CAUSTIC SOLUTION WITH A HIGH PH, IS OFTEN USED BY INDUSTRIES TO CLEAN OR DEGREASE PARTS. HYDROCHLORIC ACID, A SOLUTION WITH A LOW PH, IS USED BY MANY INDUSTRIES TO CLEAN METAL PARTS PRIOR TO PAINTING. WHEN THESE CAUSTIC OR ACID SOLUTIONS BECOME CONTAMINATED AND MUST BE DISPOSED, THE WASTE WOULD BE A CORROSIVE HAZARDOUS WASTE.
Amount (Lbs): 9038.5

Waste code: D007
Waste name: CHROMIUM
Amount (Lbs): 50178.5

Waste code: D008
Waste name: LEAD
Amount (Lbs): 12000

Waste code: F003
Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
Amount (Lbs): 250

Facility Has Received Notices of Violations:

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 04/09/2015
Date achieved compliance: 06/05/2015
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 04/09/2015
Enf. disposition status: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - Pre-transport
Date violation determined: 04/09/2015
Date achieved compliance: 05/20/2015
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 04/09/2015
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - Records/Reporting
Date violation determined: 04/09/2015
Date achieved compliance: 05/20/2015
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 04/09/2015
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 08/06/2008
Date achieved compliance: 09/02/2009
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 08/06/2008
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: F - 262.10-12.A
Area of violation: Generators - General
Date violation determined: 06/21/2001
Date achieved compliance: 09/05/2001
Violation lead agency: EPA
Enforcement action: Not reported
Enforcement action date: 07/24/2001
Enf. disposition status: Not reported
Enf. disp. status date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Enforcement lead agency: EPA
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: F - 262.40-43.D
Area of violation: Generators - General
Date violation determined: 06/21/2001
Date achieved compliance: 09/05/2001
Violation lead agency: EPA
Enforcement action: Not reported
Enforcement action date: 07/24/2001
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: EPA
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: F - 262.30-34.C
Area of violation: Generators - General
Date violation determined: 06/21/2001
Date achieved compliance: 09/05/2001
Violation lead agency: EPA
Enforcement action: Not reported
Enforcement action date: 07/24/2001
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: EPA
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: FR - 262.50-60
Area of violation: Generators - General
Date violation determined: 10/30/1990
Date achieved compliance: 11/19/1990
Violation lead agency: EPA
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/30/1990
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: EPA
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Evaluation Action Summary:
Evaluation date: 04/04/2016
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 04/09/2015
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - General

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Date achieved compliance: 06/05/2015
Evaluation lead agency: State

Evaluation date: 04/09/2015
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - Records/Reporting
Date achieved compliance: 05/20/2015
Evaluation lead agency: State

Evaluation date: 04/09/2015
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - Pre-transport
Date achieved compliance: 05/20/2015
Evaluation lead agency: State

Evaluation date: 04/15/2014
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 05/15/2013
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 02/14/2013
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 06/15/2010
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 02/12/2009
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 08/06/2008
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - General
Date achieved compliance: 09/02/2009
Evaluation lead agency: State

Evaluation date: 03/13/2008
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Evaluation date: 07/31/2006
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: Local

Evaluation date: 06/21/2001
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - General
Date achieved compliance: 09/05/2001
Evaluation lead agency: EPA

Evaluation date: 10/30/1990
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - General
Date achieved compliance: 11/19/1990
Evaluation lead agency: EPA

ENVIROSTOR:

Facility ID: 1340001
Status: Refer: Other Agency
Status Date: 10/21/1987
Site Code: Not reported
Site Type: Historical
Site Type Detailed: * Historical
Acres: Not reported
NPL: NO
Regulatory Agencies: NONE SPECIFIED
Lead Agency: NONE SPECIFIED
Program Manager: Not reported
Supervisor: Referred - Not Assigned
Division Branch: Cleanup Berkeley
Assembly: 15
Senate: 09
Special Program: * CERC2
Restricted Use: NO
Site Mgmt Req: NONE SPECIFIED
Funding: Not reported
Latitude: 37.85720
Longitude: -122.2934
APN: 54-1770-2-2
Past Use: NONE SPECIFIED
Potential COC: * HALOGENATED SOLVENTS * Metals - Sludge * ACID SOLUTION 2>PH WITH METALS * Sludge - Degreasing
Confirmed COC: NONE SPECIFIED
Potential Description: NONE SPECIFIED
Alias Name: Not reported
Alias Type: Not reported

Completed Info:

Completed Area Name: Not reported
Completed Sub Area Name: Not reported
Completed Document Type: Not reported
Completed Date: Not reported
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

CPS-SLIC:

Region: STATE
Facility Status: **Open - Verification Monitoring**
 Status Date: 07/02/2013
 Global Id: SLT2O363253
 Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
 Lead Agency Case Number: Not reported
 Latitude: 37.8571005548451
 Longitude: -122.293399572372
 Case Type: Cleanup Program Site
 Case Worker: MZ
 Local Agency: Not reported
 RB Case Number: 01S0742
 File Location: All Files are on GeoTracker or in the Local Agency Database
 Potential Media Affected: Aquifer used for drinking water supply, Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Not reported

Site History: Groundwater contamination due to a plating shop operations since 1960's; historical spills and leaks around tanks with chromic acid. Groundwater and soil contaminated with total and hexavalent chromium. Soil and groundwater chromium contamination has been found on- and offsite. In 1991 the City of Berkeley TMD required the RP to prepare a work plan for chromium 6 contamination delineation in soil and GW, a feasibility study for corrective actions to remove chromium from soil and GW, risk assessment, and evaluation of the facility storm water pollution prevention plan. Implementation of the in-situ reduction of Cr 6 to Cr 3 as proposed in the 3/1998 Arcadis Gerathy & Miller revised CAP; installation of 12 injection points on- and offsite and injections of an enriched carbohydrate solution into the saturated and vadose zones in 12/1998 and 4/1999. Site closure requested from the TMD in April 2005 by Tamalpais Environmental Consultants (TEC) based on low concentrations in GW. Additional subsurface treatments in 11/2008 to address residual Cr 6 at the site based on results from well MW-1 downgradient of the former source area. Temporary injection points installed to inject a remediation mixture w/whey and an emulsified soybean oil. An additional round of groundwater remediation injections performed in four locations in June 2013 to address chromium 6 detected in well MW-1. The concentration of chromium 6 in MW-1 was below 10 ug/L during the groundwater monitoring events conducted in 12/2014 and 12/2015 by TEC

Click here to access the California GeoTracker records for this facility:

SLIC REG 2:

Region: 2
 Facility ID: SLT2O363253
 Facility Status: Leak being confirmed

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Date Closed: Not reported
 Local Case #: Not reported
 How Discovered: GOV
 Leak Cause: Not reported
 Leak Source: Not reported
 Date Confirmed: Not reported
 Date Prelim Site Assmnt Workplan Submitted: Not reported
 Date Preliminary Site Assessment Began: Not reported
 Date Pollution Characterization Began: Not reported
 Date Remediation Plan Submitted: Not reported
 Date Remedial Action Underway: Not reported
 Date Post Remedial Action Monitoring Began: Not reported

SWEEPS UST:

Status: Active
 Comp Number: 3412
 Number: 9
 Board Of Equalization: 44-001456
 Referral Date: 07-01-85
 Action Date: Not reported
 Created Date: 02-29-88
 Owner Tank Id: 1
 SWRCB Tank Id: 01-020-003412-000001
 Tank Status: A
 Capacity: 2088
 Active Date: 07-01-85
 Tank Use: UNKNOWN
 STG: W
 Content: Not reported
 Number Of Tanks: 9

Status: Active
 Comp Number: 3412
 Number: 9
 Board Of Equalization: 44-001456
 Referral Date: 07-01-85
 Action Date: Not reported
 Created Date: 02-29-88
 Owner Tank Id: 2
 SWRCB Tank Id: 01-020-003412-000002
 Tank Status: A
 Capacity: 3055
 Active Date: 07-01-85
 Tank Use: UNKNOWN
 STG: P
 Content: Not reported
 Number Of Tanks: Not reported

Status: Active
 Comp Number: 3412
 Number: 9
 Board Of Equalization: 44-001456
 Referral Date: 07-01-85
 Action Date: Not reported
 Created Date: 02-29-88
 Owner Tank Id: 3
 SWRCB Tank Id: 01-020-003412-000003

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Tank Status: A
Capacity: 2060
Active Date: 07-01-85
Tank Use: UNKNOWN
STG: P
Content: Not reported
Number Of Tanks: Not reported

Status: Active
Comp Number: 3412
Number: 9
Board Of Equalization: 44-001456
Referral Date: 07-01-85
Action Date: Not reported
Created Date: 02-29-88
Owner Tank Id: 4
SWRCB Tank Id: 01-020-003412-000004
Tank Status: A
Capacity: 3991
Active Date: 07-01-85
Tank Use: UNKNOWN
STG: P
Content: Not reported
Number Of Tanks: Not reported

Status: Active
Comp Number: 3412
Number: 9
Board Of Equalization: 44-001456
Referral Date: 07-01-85
Action Date: Not reported
Created Date: 02-29-88
Owner Tank Id: 6
SWRCB Tank Id: 01-020-003412-000005
Tank Status: A
Capacity: 790
Active Date: 07-01-85
Tank Use: UNKNOWN
STG: P
Content: Not reported
Number Of Tanks: Not reported

Status: Active
Comp Number: 3412
Number: 9
Board Of Equalization: 44-001456
Referral Date: 07-01-85
Action Date: Not reported
Created Date: 02-29-88
Owner Tank Id: MURIATIC 1
SWRCB Tank Id: 01-020-003412-000006
Tank Status: A
Capacity: 582
Active Date: 07-01-85
Tank Use: UNKNOWN
STG: P
Content: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Number Of Tanks: Not reported

Status: Active
Comp Number: 3412
Number: 9
Board Of Equalization: 44-001456
Referral Date: 07-01-85
Action Date: Not reported
Created Date: 02-29-88
Owner Tank Id: 7
SWRCB Tank Id: 01-020-003412-000007
Tank Status: A
Capacity: 1176
Active Date: 07-01-85
Tank Use: UNKNOWN
STG: P
Content: Not reported
Number Of Tanks: Not reported

Status: Active
Comp Number: 3412
Number: 9
Board Of Equalization: 44-001456
Referral Date: 07-01-85
Action Date: Not reported
Created Date: 02-29-88
Owner Tank Id: ELECTR-STR
SWRCB Tank Id: 01-020-003412-000008
Tank Status: A
Capacity: 582
Active Date: 07-01-85
Tank Use: UNKNOWN
STG: P
Content: Not reported
Number Of Tanks: Not reported

Status: Active
Comp Number: 3412
Number: 9
Board Of Equalization: 44-001456
Referral Date: 07-01-85
Action Date: Not reported
Created Date: 02-29-88
Owner Tank Id: CAUSTIC 1
SWRCB Tank Id: 01-020-003412-000009
Tank Status: A
Capacity: 582
Active Date: 07-01-85
Tank Use: UNKNOWN
STG: P
Content: Not reported
Number Of Tanks: Not reported

HIST UST:
File Number: 00035F5E
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/00035F5E.pdf>
Region: STATE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Facility ID: 0000003412
Facility Type: Other
Other Type: METAL FINISHING
Contact Name: WALTER LUND.
Telephone: 4158494075
Owner Name: ELECTRO-COATINGS INC.
Owner Address: 893 CARLETON STREET
Owner City,St,Zip: BERKELEY, CA 94710
Total Tanks: 0009

Tank Num: 001
Container Num: 1
Year Installed: 1984
Tank Capacity: 00002088
Tank Used for: WASTE
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual

Tank Num: 002
Container Num: 2
Year Installed: 1975
Tank Capacity: 00003055
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 003
Container Num: 3
Year Installed: 1976
Tank Capacity: 00002060
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 004
Container Num: 4
Year Installed: 1982
Tank Capacity: 00003991
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 005
Container Num: 6
Year Installed: 1970
Tank Capacity: 00000790
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 006
Container Num: MURIATIC 1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Year Installed: 1983
Tank Capacity: 00000582
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 1/4
Leak Detection: Visual, Stock Inventor

Tank Num: 007
Container Num: 7
Year Installed: 1971
Tank Capacity: 00001176
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 008
Container Num: ELECTR-STR
Year Installed: 1970
Tank Capacity: 00000582
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 009
Container Num: CAUSTIC 1
Year Installed: 1970
Tank Capacity: 00000582
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Click here for Geo Tracker PDF:

CA FID UST:

Facility ID: 01000002
Regulated By: UTNKA
Regulated ID: 00003412
Cortese Code: Not reported
SIC Code: Not reported
Facility Phone: 4158494075
Mail To: Not reported
Mailing Address: SAME
Mailing Address 2: Not reported
Mailing City,St,Zip: BERKELEY 94710
Contact: Not reported
Contact Phone: Not reported
DUNs Number: Not reported
NPDES Number: Not reported
EPA ID: Not reported
Comments: Not reported
Status: Active

FINDS:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Registry ID: 110000886499

Environmental Interest/Information System

California Hazardous Waste Tracking System - Datamart (HWTS-DATAMART) provides California with information on hazardous waste shipments for generators, transporters, and treatment, storage, and disposal facilities.

US EPA TRIS (Toxics Release Inventory System) contains information from facilities on the amounts of over 300 listed toxic chemicals that these facilities release directly to air, water, land, or that are transported off-site.

US National Pollutant Discharge Elimination System (NPDES) module of the Compliance Information System (ICIS) tracks surface water permits issued under the Clean Water Act. Under NPDES, all facilities that discharge pollutants from any point source into waters of the United States are required to obtain a permit. The permit will likely contain limits on what can be discharged, impose monitoring and reporting requirements, and include other provisions to ensure that the discharge does not adversely affect water quality.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

HAZARDOUS AIR POLLUTANT MAJOR

STATE MASTER

HAZARDOUS WASTE BIENNIAL REPORTER

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000181777
Registry ID: 110000886499
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110000886499>

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: CALSI
Reg Id: 01340001

NPDES:

Npdes Number: CAS000001
Facility Status: Active
Agency Id: 0
Region: 2
Regulatory Measure Id: 180825

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Order No: 97-03-DWQ
 Regulatory Measure Type: Enrollee
 Place Id: Not reported
 WDID: 2 011007260
 Program Type: Industrial
 Adoption Date Of Regulatory Measure: Not reported
 Effective Date Of Regulatory Measure: 06/23/1992
 Expiration Date Of Regulatory Measure: Not reported
 Termination Date Of Regulatory Measure: Not reported
 Discharge Name: Electro Coating
 Discharge Address: 893 Carleton St
 Discharge City: Berkeley
 Discharge State: California
 Discharge Zip: 94710
 RECEIVED DATE: Not reported
 PROCESSED DATE: Not reported
 STATUS CODE NAME: Not reported
 STATUS DATE: Not reported
 PLACE SIZE: Not reported
 PLACE SIZE UNIT: Not reported
 FACILITY CONTACT NAME: Not reported
 FACILITY CONTACT TITLE: Not reported
 FACILITY CONTACT PHONE: Not reported
 FACILITY CONTACT PHONE EXT: Not reported
 FACILITY CONTACT EMAIL: Not reported
 OPERATOR NAME: Not reported
 OPERATOR ADDRESS: Not reported
 OPERATOR CITY: Not reported
 OPERATOR STATE: Not reported
 OPERATOR ZIP: Not reported
 OPERATOR CONTACT NAME: Not reported
 OPERATOR CONTACT TITLE: Not reported
 OPERATOR CONTACT PHONE: Not reported
 OPERATOR CONTACT PHONE EXT: Not reported
 OPERATOR CONTACT EMAIL: Not reported
 OPERATOR TYPE: Not reported
 DEVELOPER NAME: Not reported
 DEVELOPER ADDRESS: Not reported
 DEVELOPER CITY: Not reported
 DEVELOPER STATE: Not reported
 DEVELOPER ZIP: Not reported
 DEVELOPER CONTACT NAME: Not reported
 DEVELOPER CONTACT TITLE: Not reported
 CONSTYPE LINEAR UTILITY IND: Not reported
 EMERGENCY PHONE NO: Not reported
 EMERGENCY PHONE EXT: Not reported
 CONSTYPE ABOVE GROUND IND: Not reported
 CONSTYPE BELOW GROUND IND: Not reported
 CONSTYPE CABLE LINE IND: Not reported
 CONSTYPE COMM LINE IND: Not reported
 CONSTYPE COMMERTIAL IND: Not reported
 CONSTYPE ELECTRICAL LINE IND: Not reported
 CONSTYPE GAS LINE IND: Not reported
 CONSTYPE INDUSTRIAL IND: Not reported
 CONSTYPE OTHER DESRIPTION: Not reported
 CONSTYPE OTHER IND: Not reported
 CONSTYPE RECONS IND: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

CONSTYPE RESIDENTIAL IND:	Not reported
CONSTYPE TRANSPORT IND:	Not reported
CONSTYPE UTILITY DESCRIPTION:	Not reported
CONSTYPE UTILITY IND:	Not reported
CONSTYPE WATER SEWER IND:	Not reported
DIR DISCHARGE USWATER IND:	Not reported
RECEIVING WATER NAME:	Not reported
CERTIFIER NAME:	Not reported
CERTIFIER TITLE:	Not reported
CERTIFICATION DATE:	Not reported
PRIMARY SIC:	Not reported
SECONDARY SIC:	Not reported
TERTIARY SIC:	Not reported
Npdes Number:	Not reported
Facility Status:	Not reported
Agency Id:	Not reported
Region:	2
Regulatory Measure Id:	180825
Order No:	Not reported
Regulatory Measure Type:	Industrial
Place Id:	Not reported
WDID:	2 01I007260
Program Type:	Not reported
Adoption Date Of Regulatory Measure:	Not reported
Effective Date Of Regulatory Measure:	Not reported
Expiration Date Of Regulatory Measure:	Not reported
Termination Date Of Regulatory Measure:	Not reported
Discharge Name:	Not reported
Discharge Address:	Not reported
Discharge City:	Not reported
Discharge State:	Not reported
Discharge Zip:	Not reported
RECEIVED DATE:	05/09/2008
PROCESSED DATE:	06/23/1992
STATUS CODE NAME:	Active
STATUS DATE:	11/17/2015
PLACE SIZE:	20000
PLACE SIZE UNIT:	SqFt
FACILITY CONTACT NAME:	Aaron Plechaty
FACILITY CONTACT TITLE:	Production Manager
FACILITY CONTACT PHONE:	510-849-4075
FACILITY CONTACT PHONE EXT:	220
FACILITY CONTACT EMAIL:	aplechaty@electro-coatings.com
OPERATOR NAME:	Electro Coating
OPERATOR ADDRESS:	893 Carleton St
OPERATOR CITY:	Berkeley
OPERATOR STATE:	California
OPERATOR ZIP:	94710
OPERATOR CONTACT NAME:	Bryan Carney
OPERATOR CONTACT TITLE:	Production Manager
OPERATOR CONTACT PHONE:	510-849-4075
OPERATOR CONTACT PHONE EXT:	212
OPERATOR CONTACT EMAIL:	bcarney@electro-coatings.com
OPERATOR TYPE:	Private Business
DEVELOPER NAME:	Not reported
DEVELOPER ADDRESS:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

DEVELOPER CITY: Not reported
 DEVELOPER STATE: California
 DEVELOPER ZIP: Not reported
 DEVELOPER CONTACT NAME: Not reported
 DEVELOPER CONTACT TITLE: Not reported
 CONSTYPE LINEAR UTILITY IND: Not reported
 EMERGENCY PHONE NO: 510-849-4075
 EMERGENCY PHONE EXT: Not reported
 CONSTYPE ABOVE GROUND IND: Not reported
 CONSTYPE BELOW GROUND IND: Not reported
 CONSTYPE CABLE LINE IND: Not reported
 CONSTYPE COMM LINE IND: Not reported
 CONSTYPE COMMERTIAL IND: Not reported
 CONSTYPE ELECTRICAL LINE IND: Not reported
 CONSTYPE GAS LINE IND: Not reported
 CONSTYPE INDUSTRIAL IND: Not reported
 CONSTYPE OTHER DESRIPTION: Not reported
 CONSTYPE OTHER IND: Not reported
 CONSTYPE RECONS IND: Not reported
 CONSTYPE RESIDENTIAL IND: Not reported
 CONSTYPE TRANSPORT IND: Not reported
 CONSTYPE UTILITY DESCRIPTION: Not reported
 CONSTYPE UTILITY IND: Not reported
 CONSTYPE WATER SEWER IND: Not reported
 DIR DISCHARGE USWATER IND: N
 RECEIVING WATER NAME: San Francisco Bay
 CERTIFIER NAME: Daniel Beigel
 CERTIFIER TITLE: Compliance Manager
 CERTIFICATION DATE: 24-MAR-15
 PRIMARY SIC: 3471-Electroplating, Plating, Polishing, Anodizing, and Coloring
 SECONDARY SIC: Not reported
 TERTIARY SIC: Not reported

WDS:

Facility ID: San Francisco Bay 011007260
 Facility Type: Industrial - Facility that treats and/or disposes of liquid or semisolid wastes from any servicing, producing, manufacturing or processing operation of whatever nature, including mining, gravel washing, geothermal operations, air conditioning, ship building and repairing, oil production, storage and disposal operations, water pumping.
 Facility Status: Active - Any facility with a continuous or seasonal discharge that is under Waste Discharge Requirements.
 NPDES Number: CAS000001 The 1st 2 characters designate the state. The remaining 7 are assigned by the Regional Board
 Subregion: 2
 Facility Telephone: 5108494075
 Facility Contact: TOM MARTIN
 Agency Name: ELECTROCOATINGS
 Agency Address: 893 Carleton St
 Agency City,St,Zip: Berkeley 947102696
 Agency Contact: TOM MARTIN
 Agency Telephone: 5108494075
 Agency Type: Private
 SIC Code: 0
 SIC Code 2: Not reported
 Primary Waste Type: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

ELECTRO-COATINGS OF CALIFORNIA, INC (Continued)

1000181777

Primary Waste: Not reported
Waste Type2: Not reported
Waste2: Not reported
Primary Waste Type: Not reported
Secondary Waste: Not reported
Secondary Waste Type: Not reported
Design Flow: 0
Baseline Flow: 0
Reclamation: Not reported
POTW: Not reported
Treat To Water: Minor Threat to Water Quality. A violation of a regional board order should cause a relatively minor impairment of beneficial uses compared to a major or minor threat. Not: All nurds without a TTWQ will be considered a minor threat to water quality unless coded at a higher Level. A Zero (0) may be used to code those NURDS that are found to represent no threat to water quality.
Complexity: Category C - Facilities having no waste treatment systems, such as cooling water dischargers or those who must comply through best management practices, facilities with passive waste treatment and disposal systems, such as septic systems with subsurface disposal, or dischargers having waste storage systems with land disposal such as dairy waste ponds.

CIWQS:

Agency: Electro Coating
Agency Address: 893 Carleton St, Berkeley, CA 94710
Place/Project Type: Industrial - Electroplating, Plating, Polishing, Anodizing, and Coloring
SIC/NAICS: 3471
Region: 2
Program: INDSTW
Regulatory Measure Status: Active
Regulatory Measure Type: Storm water industrial
Order Number: 2014-0057-DWQ
WDID: 2 011007260
NPDES Number: CAS000001
Adoption Date: Not reported
Effective Date: 06/23/1992
Termination Date: Not reported
Expiration/Review Date: Not reported
Design Flow: Not reported
Major/Minor: Not reported
Complexity: Not reported
TTWQ: Not reported
Enforcement Actions within 5 years: 1
Violations within 5 years: 1
Latitude: 37.85691
Longitude: -122.29329

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

L47
NNW
1/4-1/2
0.306 mi.
1616 ft.
Relative:
Lower
Actual:
22 ft.

DAVLIN COATINGS LLC
700 ALLSTON WAY
BERKELEY, CA 94710
Site 5 of 6 in cluster L

CA LUST **1000285226**
CA CPS-SLIC **N/A**
CA SWEEPS UST
CA HIST UST
CA FID UST
CA EMI
CA HIST CORTESE
CA NPDES
CA WDS
CA CIWQS

LUST:

Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600102292
Global Id: T0600102292
Latitude: 37.864306
Longitude: -122.299569
Status: Completed - Case Closed
Status Date: 11/16/1999
Case Worker: UUU
RB Case Number: 01-2488
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-2488
Potential Media Affect: Under Investigation
Potential Contaminants of Concern: Gasoline
Site History: Not reported

LUST:

Global Id: T0600102292
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600102292
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:

Global Id: T0600102292
Action Type: Other
Date: 10/23/1999
Action: Leak Stopped

Global Id: T0600102292
Action Type: ENFORCEMENT
Date: 11/16/1999
Action: Closure/No Further Action Letter

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

DAVLIN COATINGS LLC (Continued)

1000285226

Global Id: T0600102292
Action Type: Other
Date: 11/02/1999
Action: Leak Reported

Global Id: T0600102292
Action Type: Other
Date: 11/02/1999
Action: Leak Discovery

LUST:

Global Id: T0600102292
Status: Open - Case Begin Date
Status Date: 10/23/1999

Global Id: T0600102292
Status: Completed - Case Closed
Status Date: 11/16/1999

LUST REG 2:

Region: 2
Facility Id: 01-2488
Facility Status: Case Closed
Case Number: 01-2488
How Discovered: Tank Closure
Leak Cause: UNK
Leak Source: UNK
Date Leak Confirmed: Not reported
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

SLIC REG 2:

Region: 2
Facility ID: 01S0384
Facility Status: Leak being confirmed
Date Closed: Not reported
Local Case #: Not reported
How Discovered: Not reported
Leak Cause: Not reported
Leak Source: Not reported
Date Confirmed: Not reported
Date Prelim Site Assmnt Workplan Submitted: Not reported
Date Preliminary Site Assessment Began: Not reported
Date Pollution Characterization Began: Not reported
Date Remediation Plan Submitted: Not reported
Date Remedial Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

SWEEPS UST:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

DAVLIN COATINGS LLC (Continued)

1000285226

Status: Not reported
 Comp Number: 16648
 Number: Not reported
 Board Of Equalization: 44-000231
 Referral Date: Not reported
 Action Date: Not reported
 Created Date: Not reported
 Owner Tank Id: Not reported
 SWRCB Tank Id: 01-020-016648-000002
 Tank Status: Not reported
 Capacity: 3000
 Active Date: Not reported
 Tank Use: UNKNOWN
 STG: PRODUCT
 Content: Not reported
 Number Of Tanks: 6

Status: Not reported
 Comp Number: 16648
 Number: Not reported
 Board Of Equalization: 44-000231
 Referral Date: Not reported
 Action Date: Not reported
 Created Date: Not reported
 Owner Tank Id: Not reported
 SWRCB Tank Id: 01-020-016648-000003
 Tank Status: Not reported
 Capacity: 3000
 Active Date: Not reported
 Tank Use: UNKNOWN
 STG: PRODUCT
 Content: Not reported
 Number Of Tanks: Not reported

Status: Not reported
 Comp Number: 16648
 Number: Not reported
 Board Of Equalization: 44-000231
 Referral Date: Not reported
 Action Date: Not reported
 Created Date: Not reported
 Owner Tank Id: Not reported
 SWRCB Tank Id: 01-020-016648-000004
 Tank Status: Not reported
 Capacity: 2000
 Active Date: Not reported
 Tank Use: UNKNOWN
 STG: PRODUCT
 Content: Not reported
 Number Of Tanks: Not reported

Status: Not reported
 Comp Number: 16648
 Number: Not reported
 Board Of Equalization: 44-000231
 Referral Date: Not reported
 Action Date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

DAVLIN COATINGS LLC (Continued)

1000285226

Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-016648-000005
Tank Status: Not reported
Capacity: 2000
Active Date: Not reported
Tank Use: UNKNOWN
STG: PRODUCT
Content: Not reported
Number Of Tanks: Not reported

Status: Not reported
Comp Number: 16648
Number: Not reported
Board Of Equalization: 44-000231
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-016648-000006
Tank Status: Not reported
Capacity: 2000
Active Date: Not reported
Tank Use: UNKNOWN
STG: PRODUCT
Content: Not reported
Number Of Tanks: Not reported

Status: Not reported
Comp Number: 16648
Number: Not reported
Board Of Equalization: 44-000231
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-016648-000007
Tank Status: Not reported
Capacity: 6000
Active Date: Not reported
Tank Use: UNKNOWN
STG: PRODUCT
Content: Not reported
Number Of Tanks: Not reported

Status: Active
Comp Number: 16648
Number: 1
Board Of Equalization: 44-000231
Referral Date: 08-23-93
Action Date: 08-23-93
Created Date: 02-29-88
Owner Tank Id: 5-30
SWRCB Tank Id: 01-020-016648-000001
Tank Status: A
Capacity: 10000
Active Date: 08-23-93

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

DAVLIN COATINGS LLC (Continued)

1000285226

Tank Use: CHEMICAL
STG: P
Content: MINERAL SPIR
Number Of Tanks: 1

HIST UST:

File Number: 00035EE9
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/00035EE9.pdf>
Region: STATE
Facility ID: 00000016648
Facility Type: Other
Other Type: PAINT MFG
Contact Name: FLOYD ANGLE
Telephone: 4158482863
Owner Name: DAVID DERUITER
Owner Address: 700 ALLSTON WAY
Owner City,St,Zip: BERKELEY, CA 94710
Total Tanks: 0007

Tank Num: 001
Container Num: 3
Year Installed: 1961
Tank Capacity: 00002000
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 002
Container Num: 7
Year Installed: 1980
Tank Capacity: 00003000
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 003
Container Num: 6
Year Installed: 1980
Tank Capacity: 00003000
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 004
Container Num: 5
Year Installed: 1980
Tank Capacity: 00002000
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 005
Container Num: 4

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

DAVLIN COATINGS LLC (Continued)

1000285226

Year Installed: 1980
Tank Capacity: 00002000
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 006
Container Num: 2
Year Installed: 1961
Tank Capacity: 00002000
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 3/16
Leak Detection: Visual, Stock Inventor

Tank Num: 007
Container Num: 1
Year Installed: 1961
Tank Capacity: 00006000
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: 1/4
Leak Detection: Visual, Stock Inventor

[Click here for Geo Tracker PDF:](#)

CA FID UST:

Facility ID: 01001894
Regulated By: UTKA
Regulated ID: CAD981443
Cortese Code: Not reported
SIC Code: Not reported
Facility Phone: 4158482863
Mail To: Not reported
Mailing Address: P O BOX
Mailing Address 2: Not reported
Mailing City,St,Zip: BERKELEY 94710
Contact: Not reported
Contact Phone: Not reported
DUNs Number: Not reported
NPDES Number: Not reported
EPA ID: Not reported
Comments: Not reported
Status: Active

EMI:

Year: 1987
County Code: 1
Air Basin: SF
Facility ID: 2350
Air District Name: BA
SIC Code: 2851
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

DAVLIN COATINGS LLC (Continued)

1000285226

Total Organic Hydrocarbon Gases Tons/Yr: 44
Reactive Organic Gases Tons/Yr: 34
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1990
County Code: 1
Air Basin: SF
Facility ID: 2350
Air District Name: BA
SIC Code: 2851
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 9
Reactive Organic Gases Tons/Yr: 9
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 1
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1993
County Code: 1
Air Basin: SF
Facility ID: 2350
Air District Name: BA
SIC Code: 2851
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 16
Reactive Organic Gases Tons/Yr: 15
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1995
County Code: 1
Air Basin: SF
Facility ID: 2350
Air District Name: BA
SIC Code: 2851
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 2
Reactive Organic Gases Tons/Yr: 1
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

DAVLIN COATINGS LLC (Continued)

1000285226

Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1996
 County Code: 1
 Air Basin: SF
 Facility ID: 2350
 Air District Name: BA
 SIC Code: 2851
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 1
 Reactive Organic Gases Tons/Yr: 0
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1997
 County Code: 1
 Air Basin: SF
 Facility ID: 2350
 Air District Name: BA
 SIC Code: 2851
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 0
 Reactive Organic Gases Tons/Yr: 0
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1998
 County Code: 1
 Air Basin: SF
 Facility ID: 2350
 Air District Name: BA
 SIC Code: 2851
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 0
 Reactive Organic Gases Tons/Yr: 0
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1999
 County Code: 1
 Air Basin: SF
 Facility ID: 2350

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

DAVLIN COATINGS LLC (Continued)

1000285226

Air District Name: BA
SIC Code: 2851
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2000
County Code: 1
Air Basin: SF
Facility ID: 2350
Air District Name: BA
SIC Code: 2851
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2001
County Code: 1
Air Basin: SF
Facility ID: 2350
Air District Name: BA
SIC Code: 2851
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2003
County Code: 1
Air Basin: SF
Facility ID: 2350
Air District Name: BA
SIC Code: 2851
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

DAVLIN COATINGS LLC (Continued)

1000285226

Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2004
County Code: 1
Air Basin: SF
Facility ID: 2350
Air District Name: BA
SIC Code: 2851
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0.147
Reactive Organic Gases Tons/Yr: 0.1452334
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0.027
Part. Matter 10 Micrometers and Smllr Tons/Yr:0.0243

Year: 2005
County Code: 1
Air Basin: SF
Facility ID: 2350
Air District Name: BA
SIC Code: 2851
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: .146
Reactive Organic Gases Tons/Yr: .1442455
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: .026
Part. Matter 10 Micrometers and Smllr Tons/Yr:.0234

Year: 2006
County Code: 1
Air Basin: SF
Facility ID: 2350
Air District Name: BA
SIC Code: 2851
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: .195
Reactive Organic Gases Tons/Yr: .1926526
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: .04
Part. Matter 10 Micrometers and Smllr Tons/Yr:.036

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

DAVLIN COATINGS LLC (Continued)

1000285226

Year: 2007
 County Code: 1
 Air Basin: SF
 Facility ID: 2350
 Air District Name: BA
 SIC Code: 2851
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: .189
 Reactive Organic Gases Tons/Yr: .1867252
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: .007
 Part. Matter 10 Micrometers and Smllr Tons/Yr:.0063

Year: 2008
 County Code: 1
 Air Basin: SF
 Facility ID: 2350
 Air District Name: BA
 SIC Code: 2851
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: .218
 Reactive Organic Gases Tons/Yr: .2153622
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: .156
 Part. Matter 10 Micrometers and Smllr Tons/Yr:.1404

HIST CORTESE:

Region: CORTESE
 Facility County Code: 1
 Reg By: LTNKA
 Reg Id: 01-2488

NPDES:

Npdes Number: CAS000001
 Facility Status: Active
 Agency Id: 0
 Region: 2
 Regulatory Measure Id: 409969
 Order No: 97-03-DWQ
 Regulatory Measure Type: Enrollee
 Place Id: Not reported
 WDID: 2 011022933
 Program Type: Industrial
 Adoption Date Of Regulatory Measure: Not reported
 Effective Date Of Regulatory Measure: 12/06/2010
 Expiration Date Of Regulatory Measure: Not reported
 Termination Date Of Regulatory Measure: Not reported
 Discharge Name: Davlin Coatings LLC

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

DAVLIN COATINGS LLC (Continued)

1000285226

Discharge Address:	700 Allston Way
Discharge City:	Berkeley
Discharge State:	California
Discharge Zip:	94710
RECEIVED DATE:	Not reported
PROCESSED DATE:	Not reported
STATUS CODE NAME:	Not reported
STATUS DATE:	Not reported
PLACE SIZE:	Not reported
PLACE SIZE UNIT:	Not reported
FACILITY CONTACT NAME:	Not reported
FACILITY CONTACT TITLE:	Not reported
FACILITY CONTACT PHONE:	Not reported
FACILITY CONTACT PHONE EXT:	Not reported
FACILITY CONTACT EMAIL:	Not reported
OPERATOR NAME:	Not reported
OPERATOR ADDRESS:	Not reported
OPERATOR CITY:	Not reported
OPERATOR STATE:	Not reported
OPERATOR ZIP:	Not reported
OPERATOR CONTACT NAME:	Not reported
OPERATOR CONTACT TITLE:	Not reported
OPERATOR CONTACT PHONE:	Not reported
OPERATOR CONTACT PHONE EXT:	Not reported
OPERATOR CONTACT EMAIL:	Not reported
OPERATOR TYPE:	Not reported
DEVELOPER NAME:	Not reported
DEVELOPER ADDRESS:	Not reported
DEVELOPER CITY:	Not reported
DEVELOPER STATE:	Not reported
DEVELOPER ZIP:	Not reported
DEVELOPER CONTACT NAME:	Not reported
DEVELOPER CONTACT TITLE:	Not reported
CONSTYPE LINEAR UTILITY IND:	Not reported
EMERGENCY PHONE NO:	Not reported
EMERGENCY PHONE EXT:	Not reported
CONSTYPE ABOVE GROUND IND:	Not reported
CONSTYPE BELOW GROUND IND:	Not reported
CONSTYPE CABLE LINE IND:	Not reported
CONSTYPE COMM LINE IND:	Not reported
CONSTYPE COMMERTIAL IND:	Not reported
CONSTYPE ELECTRICAL LINE IND:	Not reported
CONSTYPE GAS LINE IND:	Not reported
CONSTYPE INDUSTRIAL IND:	Not reported
CONSTYPE OTHER DESRIPTION:	Not reported
CONSTYPE OTHER IND:	Not reported
CONSTYPE RECONS IND:	Not reported
CONSTYPE RESIDENTIAL IND:	Not reported
CONSTYPE TRANSPORT IND:	Not reported
CONSTYPE UTILITY DESCRIPTION:	Not reported
CONSTYPE UTILITY IND:	Not reported
CONSTYPE WATER SEWER IND:	Not reported
DIR DISCHARGE USWATER IND:	Not reported
RECEIVING WATER NAME:	Not reported
CERTIFIER NAME:	Not reported
CERTIFIER TITLE:	Not reported
CERTIFICATION DATE:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

DAVLIN COATINGS LLC (Continued)

1000285226

PRIMARY SIC: Not reported
 SECONDARY SIC: Not reported
 TERTIARY SIC: Not reported

 Npdes Number: Not reported
 Facility Status: Not reported
 Agency Id: Not reported
 Region: 2
 Regulatory Measure Id: 409969
 Order No: Not reported
 Regulatory Measure Type: Industrial
 Place Id: Not reported
 WDID: 2 011022933
 Program Type: Not reported
 Adoption Date Of Regulatory Measure: Not reported
 Effective Date Of Regulatory Measure: Not reported
 Expiration Date Of Regulatory Measure: Not reported
 Termination Date Of Regulatory Measure: Not reported
 Discharge Name: Not reported
 Discharge Address: Not reported
 Discharge City: Not reported
 Discharge State: Not reported
 Discharge Zip: Not reported
 RECEIVED DATE: 12/06/2010
 PROCESSED DATE: 12/06/2010
 STATUS CODE NAME: Active
 STATUS DATE: 12/06/2010
 PLACE SIZE: 26353
 PLACE SIZE UNIT: SqFt
 FACILITY CONTACT NAME: Jonathan Baker
 FACILITY CONTACT TITLE: Not reported
 FACILITY CONTACT PHONE: 510-848-2863
 FACILITY CONTACT PHONE EXT: 8105
 FACILITY CONTACT EMAIL: jbaker@davlincoatings.com
 OPERATOR NAME: Davlin Coatings LLC
 OPERATOR ADDRESS: 700 Allston Way
 OPERATOR CITY: Berkeley
 OPERATOR STATE: California
 OPERATOR ZIP: 94710
 OPERATOR CONTACT NAME: Jim Hofmeister
 OPERATOR CONTACT TITLE: Not reported
 OPERATOR CONTACT PHONE: 519-848-2863
 OPERATOR CONTACT PHONE EXT: 8105
 OPERATOR CONTACT EMAIL: jim@davlincoatings.com
 OPERATOR TYPE: Private Business
 DEVELOPER NAME: Not reported
 DEVELOPER ADDRESS: Not reported
 DEVELOPER CITY: Not reported
 DEVELOPER STATE: California
 DEVELOPER ZIP: Not reported
 DEVELOPER CONTACT NAME: Not reported
 DEVELOPER CONTACT TITLE: Not reported
 CONSTYPE LINEAR UTILITY IND: Not reported
 EMERGENCY PHONE NO: 510-848-2863
 EMERGENCY PHONE EXT: 8105
 CONSTYPE ABOVE GROUND IND: Not reported
 CONSTYPE BELOW GROUND IND: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

DAVLIN COATINGS LLC (Continued)

1000285226

CONSTYPE CABLE LINE IND:	Not reported
CONSTYPE COMM LINE IND:	Not reported
CONSTYPE COMMERTIAL IND:	Not reported
CONSTYPE ELECTRICAL LINE IND:	Not reported
CONSTYPE GAS LINE IND:	Not reported
CONSTYPE INDUSTRIAL IND:	Not reported
CONSTYPE OTHER DESRIPTION:	Not reported
CONSTYPE OTHER IND:	Not reported
CONSTYPE RECONS IND:	Not reported
CONSTYPE RESIDENTIAL IND:	Not reported
CONSTYPE TRANSPORT IND:	Not reported
CONSTYPE UTILITY DESCRIPTION:	Not reported
CONSTYPE UTILITY IND:	Not reported
CONSTYPE WATER SEWER IND:	Not reported
DIR DISCHARGE USWATER IND:	N
RECEIVING WATER NAME:	San Fran Bay
CERTIFIER NAME:	Jim Hofmeister
CERTIFIER TITLE:	CEO
CERTIFICATION DATE:	19-JUN-15
PRIMARY SIC:	2851-Paints, Varnishes, Lacquers, Enamels, and Allied Products
SECONDARY SIC:	Not reported
TERTIARY SIC:	Not reported

WDS:

Facility ID:	San Francisco Bay 011014318
Facility Type:	Industrial - Facility that treats and/or disposes of liquid or semisolid wastes from any servicing, producing, manufacturing or processing operation of whatever nature, including mining, gravel washing, geothermal operations, air conditioning, ship building and repairing, oil production, storage and disposal operations, water pumping.
Facility Status:	Active - Any facility with a continuous or seasonal discharge that is under Waste Discharge Requirements.
NPDES Number:	CAS000001 The 1st 2 characters designate the state. The remaining 7 are assigned by the Regional Board
Subregion:	2
Facility Telephone:	5108482863
Facility Contact:	BRAD DERUITER
Agency Name:	DAVLIN COATINGS INC
Agency Address:	PO Box 2308
Agency City,St,Zip:	Berkeley 947020308
Agency Contact:	BRAD DERUITER
Agency Telephone:	5108482863
Agency Type:	Private
SIC Code:	0
SIC Code 2:	Not reported
Primary Waste Type:	Not reported
Primary Waste:	Not reported
Waste Type2:	Not reported
Waste2:	Not reported
Primary Waste Type:	Not reported
Secondary Waste:	Not reported
Secondary Waste Type:	Not reported
Design Flow:	0
Baseline Flow:	0
Reclamation:	Not reported
POTW:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

DAVLIN COATINGS LLC (Continued)

1000285226

Treat To Water: Minor Threat to Water Quality. A violation of a regional board order should cause a relatively minor impairment of beneficial uses compared to a major or minor threat. Not: All nurds without a TTWQ will be considered a minor threat to water quality unless coded at a higher Level. A Zero (0) may be used to code those NURDS that are found to represent no threat to water quality.

Complexity: Category C - Facilities having no waste treatment systems, such as cooling water dischargers or those who must comply through best management practices, facilities with passive waste treatment and disposal systems, such as septic systems with subsurface disposal, or dischargers having waste storage systems with land disposal such as dairy waste ponds.

CIWQS:

Agency: Davlin Coatings Inc
 Agency Address: PO Box 2308, Berkeley, CA 94702
 Place/Project Type: Industrial - Paints, Varnishes, Lacquers, Enamels, and Allied Products
 SIC/NAICS: 2851
 Region: 2
 Program: INDSTW
 Regulatory Measure Status: Terminated
 Regulatory Measure Type: Storm water industrial
 Order Number: 2014-0057-DWQ
 WDID: 2 01I014318
 NPDES Number: CAS000001
 Adoption Date: Not reported
 Effective Date: 07/02/1998
 Termination Date: 12/16/2010
 Expiration/Review Date: Not reported
 Design Flow: Not reported
 Major/Minor: Not reported
 Complexity: Not reported
 TTWQ: Not reported
 Enforcement Actions within 5 years: 0
 Violations within 5 years: 0
 Latitude: 37.86465
 Longitude: -122.29991

Agency: Davlin Coatings Inc
 Agency Address: PO Box 2308, Berkeley, CA 94702
 Place/Project Type: Industrial - Paints, Varnishes, Lacquers, Enamels, and Allied Products
 SIC/NAICS: 2851
 Region: 2
 Program: INDSTW
 Regulatory Measure Status: Terminated
 Regulatory Measure Type: Storm water industrial
 Order Number: 2014-0057-DWQ
 WDID: 2 01I003895
 NPDES Number: CAS000001
 Adoption Date: Not reported
 Effective Date: 04/03/1992
 Termination Date: 07/20/1998
 Expiration/Review Date: Not reported
 Design Flow: Not reported
 Major/Minor: Not reported
 Complexity: Not reported
 TTWQ: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

DAVLIN COATINGS LLC (Continued)

1000285226

Enforcement Actions within 5 years: 0
 Violations within 5 years: 0
 Latitude: 37.86465
 Longitude: -122.29991

Agency: Davlin Coatings LLC
 Agency Address: 700 Allston Way, Berkeley, CA 94710
 Place/Project Type: Industrial - Paints, Varnishes, Lacquers, Enamels, and Allied Products
 SIC/NAICS: 2851
 Region: 2
 Program: INDSTW
 Regulatory Measure Status: Active
 Regulatory Measure Type: Storm water industrial
 Order Number: 2014-0057-DWQ
 WDID: 2 011022933
 NPDES Number: CAS000001
 Adoption Date: Not reported
 Effective Date: 12/06/2010
 Termination Date: Not reported
 Expiration/Review Date: Not reported
 Design Flow: Not reported
 Major/Minor: Not reported
 Complexity: Not reported
 TTWQ: Not reported

Enforcement Actions within 5 years: 0
 Violations within 5 years: 0
 Latitude: 37.86465
 Longitude: -122.29991

**L48
NNW
1/4-1/2
0.306 mi.
1616 ft.**

**DAVLIN PAINT COMPANY
700 ALLSTON WAY
BERKELEY, CA 94710
Site 6 of 6 in cluster L**

**CA ENVIROSTOR S118757379
N/A**

**Relative:
Lower
Actual:
22 ft.**

ENVIROSTOR:
 Facility ID: 70000107
 Status: No Action Required
 Status Date: 01/23/2007
 Site Code: Not reported
 Site Type: Evaluation
 Site Type Detailed: Evaluation
 Acres: 0.25
 NPL: NO
 Regulatory Agencies: SMBRP
 Lead Agency: SMBRP
 Program Manager: Claude Jemison
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Assembly: 15
 Senate: 09
 Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Not Applicable
 Latitude: 37.86430
 Longitude: -122.2995
 APN: 56-1957-1-2

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

DAVLIN PAINT COMPANY (Continued)

S118757379

Past Use: PAINT/DEPAINT FACILITY
Potential COC: TPH-diesel TPH-gas
Confirmed COC: TPH-diesel TPH-gas
Potential Description: SOIL
Alias Name: 56-1957-1-2
Alias Type: APN
Alias Name: 70000107
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Site Screening
Completed Date: 01/12/2006
Comments: Paint manufacturing has been on-going at the property since the 1970 s. However, no site investigation or assessment has been conducted at the property. Site screening recommends that a Preliminary Endangerment Assessment be conducted.

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

**49
SE
1/4-1/2
0.317 mi.
1673 ft.**

**CONSOLIDATED PRINTERS INC
2630 2630 8TH ST
BERKELEY, CA 94710**

**RCRA-CESQG 1000685850
CA EMI CAD983625138
CA HAZNET
CA HIST CORTESE**

**Relative:
Higher**

RCRA-CESQG:

Date form received by agency: 02/01/2017
Facility name: CONSOLIDATED PRINTERS INC
Facility address: 2630 2630 8TH ST
BERKELEY, CA 94710
EPA ID: CAD983625138
Mailing address: 2630 8TH ST
BERKELEY, CA 94710
Contact: ROBERTO M PEREZ
Contact address: 2630 8TH ST
BERKELEY, CA 94510
Contact country: US
Contact telephone: 510-495-3137
Contact email: ROBERTOP@CONSOPRINTERS.COM
EPA Region: 09
Classification: Conditionally Exempt Small Quantity Generator
Description: Handler: generates 100 kg or less of hazardous waste per calendar month, and accumulates 1000 kg or less of hazardous waste at any time; or generates 1 kg or less of acutely hazardous waste per calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste; or generates 100 kg or less

**Actual:
41 ft.**

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CONSOLIDATED PRINTERS INC (Continued)

1000685850

of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates at any time: 1 kg or less of acutely hazardous waste; or 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste

Owner/Operator Summary:

Owner/operator name: ROBERT J & BEVERLY PROWSE, STEPHEN R THOMPSON AND BRIAN W THOMPSON
 Owner/operator address: HIGHLAND BLVD
 BERKELEY, CA 94707
 Owner/operator country: US
 Owner/operator telephone: Not reported
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Owner
 Owner/Op start date: 05/23/1969
 Owner/Op end date: Not reported

Owner/operator name: CONSOLIDATED PRINTERS INC
 Owner/operator address: Not reported
 Not reported
 Owner/operator country: Not reported
 Owner/operator telephone: Not reported
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Operator
 Owner/Op start date: 01/01/1991
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

. Waste code: 331
 . Waste name: Off-specification, aged, or surplus organics
 . Waste code: 541

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CONSOLIDATED PRINTERS INC (Continued)

1000685850

- . Waste name: Photochemicals / photo processing waste
- . Waste code: D001
- . Waste name: IGNITABLE WASTE
- . Waste code: D011
- . Waste name: SILVER

Historical Generators:

Date form received by agency: 03/23/1992
Site name: CONSOLIDATED PRINTERS INC
Classification: Small Quantity Generator

Violation Status: No violations found

EMI:

Year: 1990
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 1
Reactive Organic Gases Tons/Yr: 1
Carbon Monoxide Emissions Tons/Yr: 1
NOX - Oxides of Nitrogen Tons/Yr: 3
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1993
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 2
Reactive Organic Gases Tons/Yr: 2
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1995
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CONSOLIDATED PRINTERS INC (Continued)

1000685850

Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 3
Reactive Organic Gases Tons/Yr: 3
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 1
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1996
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 3
Reactive Organic Gases Tons/Yr: 3
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 1
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1997
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 3
Reactive Organic Gases Tons/Yr: 3
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 1
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1998
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 1
Reactive Organic Gases Tons/Yr: 1
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CONSOLIDATED PRINTERS INC (Continued)

1000685850

SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1999
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 1
Reactive Organic Gases Tons/Yr: 1
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 1
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2000
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 1
Reactive Organic Gases Tons/Yr: 1
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 1
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2001
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 1
Reactive Organic Gases Tons/Yr: 1
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2002
County Code: 1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CONSOLIDATED PRINTERS INC (Continued)

1000685850

Air Basin: SF
 Facility ID: 2970
 Air District Name: BA
 SIC Code: 2752
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 1
 Reactive Organic Gases Tons/Yr: 1
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2003
 County Code: 1
 Air Basin: SF
 Facility ID: 2970
 Air District Name: BA
 SIC Code: 2752
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 2
 Reactive Organic Gases Tons/Yr: 2
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2004
 County Code: 1
 Air Basin: SF
 Facility ID: 2970
 Air District Name: BA
 SIC Code: 2752
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 1.804
 Reactive Organic Gases Tons/Yr: 1.804
 Carbon Monoxide Emissions Tons/Yr: 0.112
 NOX - Oxides of Nitrogen Tons/Yr: 0.445
 SOX - Oxides of Sulphur Tons/Yr: 0.002
 Particulate Matter Tons/Yr: 0.004
 Part. Matter 10 Micrometers and Smlr Tons/Yr:0.003976

Year: 2005
 County Code: 1
 Air Basin: SF
 Facility ID: 2970
 Air District Name: BA
 SIC Code: 2752
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CONSOLIDATED PRINTERS INC (Continued)

1000685850

Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: .84
Reactive Organic Gases Tons/Yr: .8398305
Carbon Monoxide Emissions Tons/Yr: .095
NOX - Oxides of Nitrogen Tons/Yr: .378
SOX - Oxides of Sulphur Tons/Yr: .002
Particulate Matter Tons/Yr: .003
Part. Matter 10 Micrometers and Smlr Tons/Yr:.001722

Year: 2006
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: .815
Reactive Organic Gases Tons/Yr: .815
Carbon Monoxide Emissions Tons/Yr: .09
NOX - Oxides of Nitrogen Tons/Yr: .361
SOX - Oxides of Sulphur Tons/Yr: .001
Particulate Matter Tons/Yr: .002
Part. Matter 10 Micrometers and Smlr Tons/Yr:.001148

Year: 2007
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: .735
Reactive Organic Gases Tons/Yr: .7049148
Carbon Monoxide Emissions Tons/Yr: .243
NOX - Oxides of Nitrogen Tons/Yr: .973
SOX - Oxides of Sulphur Tons/Yr: .004
Particulate Matter Tons/Yr: .016
Part. Matter 10 Micrometers and Smlr Tons/Yr:.015148

Year: 2008
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: .872
Reactive Organic Gases Tons/Yr: .8502718
Carbon Monoxide Emissions Tons/Yr: .18
NOX - Oxides of Nitrogen Tons/Yr: .722
SOX - Oxides of Sulphur Tons/Yr: .003

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

CONSOLIDATED PRINTERS INC (Continued)

1000685850

Particulate Matter Tons/Yr: .013
Part. Matter 10 Micrometers and Smlr Tons/Yr:.012148

Year: 2009
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0.30199999999999999
Reactive Organic Gases Tons/Yr: 0.2919716
Carbon Monoxide Emissions Tons/Yr: 8.5999999999999993E-2
NOX - Oxides of Nitrogen Tons/Yr: 0.34000000000000002
SOX - Oxides of Sulphur Tons/Yr: 0.001
Particulate Matter Tons/Yr: 6.0000000000000001E-3
Part. Matter 10 Micrometers and Smlr Tons/Yr:0.005574

Year: 2010
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0.33000000000000002
Reactive Organic Gases Tons/Yr: 0.31830019999999998
Carbon Monoxide Emissions Tons/Yr: 0.094
NOX - Oxides of Nitrogen Tons/Yr: 0.379
SOX - Oxides of Sulphur Tons/Yr: 0.001
Particulate Matter Tons/Yr: 6.7421602787456399E-3
Part. Matter 10 Micrometers and Smlr Tons/Yr:6.0000000000000001E-3

Year: 2011
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0.184
Reactive Organic Gases Tons/Yr: 0.1723002
Carbon Monoxide Emissions Tons/Yr: 0.093
NOX - Oxides of Nitrogen Tons/Yr: 0.372
SOX - Oxides of Sulphur Tons/Yr: 0.001
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 2012
County Code: 1
Air Basin: SF

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CONSOLIDATED PRINTERS INC (Continued)

1000685850

Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0.182
Reactive Organic Gases Tons/Yr: 0.1719716
Carbon Monoxide Emissions Tons/Yr: 0.082
NOX - Oxides of Nitrogen Tons/Yr: 0.331
SOX - Oxides of Sulphur Tons/Yr: 0.001
Particulate Matter Tons/Yr: 0.0067421602787
Part. Matter 10 Micrometers and Smllr Tons/Yr:0.006

Year: 2013
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0.173
Reactive Organic Gases Tons/Yr: 0.1577879
Carbon Monoxide Emissions Tons/Yr: 0.121
NOX - Oxides of Nitrogen Tons/Yr: 0.487
SOX - Oxides of Sulphur Tons/Yr: 0.002
Particulate Matter Tons/Yr: 0.009
Part. Matter 10 Micrometers and Smllr Tons/Yr:0.009

Year: 2014
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0.182536513
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0.18373832
NOX - Oxides of Nitrogen Tons/Yr: 0.736165988
SOX - Oxides of Sulphur Tons/Yr: 0.002983109
Particulate Matter Tons/Yr: 0.013315914
Part. Matter 10 Micrometers and Smllr Tons/Yr:0.013315914

Year: 2015
County Code: 1
Air Basin: SF
Facility ID: 2970
Air District Name: BA
SIC Code: 2752
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CONSOLIDATED PRINTERS INC (Continued)

1000685850

Total Organic Hydrocarbon Gases Tons/Yr: 0.162745043
Reactive Organic Gases Tons/Yr: 0.160805131
Carbon Monoxide Emissions Tons/Yr: 0.053546663
NOX - Oxides of Nitrogen Tons/Yr: 0.21454003
SOX - Oxides of Sulphur Tons/Yr: 0.000869364
Particulate Matter Tons/Yr: 0.003308166
Part. Matter 10 Micrometers and Smllr Tons/Yr:0.003308166

HAZNET:

envid: 1000685850
Year: 2015
GEPAID: CAD983625138
Contact: KEN THORSEN VP MFG
Telephone: 5108438565
Mailing Name: Not reported
Mailing Address: 2630 8TH ST
Mailing City,St,Zip: BERKELEY, CA 947102514
Gen County: Alameda
TSD EPA ID: CAD981429673
TSD County: Marin
Waste Category: Photochemicals/photoprocessing waste
Disposal Method: Metals Recovery Including Retoring,Smelting,Chemicals,Ect
Tons: 0.2502
Cat Decode: Not reported
Method Decode: Not reported
Facility County: Alameda

envid: 1000685850
Year: 2015
GEPAID: CAD983625138
Contact: KEN THORSEN VP MFG
Telephone: 5108438565
Mailing Name: Not reported
Mailing Address: 2630 8TH ST
Mailing City,St,Zip: BERKELEY, CA 947102514
Gen County: Alameda
TSD EPA ID: CAD982444481
TSD County: San Bernardino
Waste Category: Unspecified organic liquid mixture
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery
(H010-H129) Or (H131-H135)
Tons: 1.25
Cat Decode: Not reported
Method Decode: Not reported
Facility County: Alameda

envid: 1000685850
Year: 2013
GEPAID: CAD983625138
Contact: KEN THORSEN VP MFG
Telephone: 5108438565
Mailing Name: Not reported
Mailing Address: 2630 8TH ST
Mailing City,St,Zip: BERKELEY, CA 947102514
Gen County: Alameda
TSD EPA ID: CAD097030993
TSD County: Los Angeles

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CONSOLIDATED PRINTERS INC (Continued)

1000685850

Waste Category: Not reported
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)
Tons: 1.5625
Cat Decode: Not reported
Method Decode: Not reported
Facility County: Not reported

envid: 1000685850
Year: 2013
GEPAID: CAD983625138
Contact: KEN THORSEN VP MFG
Telephone: 5108438565
Mailing Name: Not reported
Mailing Address: 2630 8TH ST
Mailing City,St,Zip: BERKELEY, CA 947102514
Gen County: Alameda
TSD EPA ID: UTD981552177
TSD County: 99
Waste Category: Not reported
Disposal Method: Incineration--Thermal Destruction Other Than Use As A Fuel
Tons: 0.22935
Cat Decode: Not reported
Method Decode: Not reported
Facility County: Not reported

envid: 1000685850
Year: 2013
GEPAID: CAD983625138
Contact: KEN THORSEN VP MFG
Telephone: 5108438565
Mailing Name: Not reported
Mailing Address: 2630 8TH ST
Mailing City,St,Zip: BERKELEY, CA 947102514
Gen County: Alameda
TSD EPA ID: CAD981429673
TSD County: Marin
Waste Category: Not reported
Disposal Method: Metals Recovery Including Retoring,Smelting,Chemicals,Ect
Tons: 0.1251
Cat Decode: Not reported
Method Decode: Not reported
Facility County: Not reported

[Click this hyperlink](#) while viewing on your computer to access
44 additional CA_HAZNET: record(s) in the EDR Site Report.

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 2970

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CARLETON BUSINESS CENTER (Continued)

S102426347

Global Id:	T0600100261
Action Type:	Other
Date:	09/20/1991
Action:	Leak Reported
Global Id:	T0600100261
Action Type:	ENFORCEMENT
Date:	03/11/1992
Action:	Staff Letter
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	11/13/1991
Action:	Other Report / Document
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	02/20/1992
Action:	Correspondence
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	01/13/1992
Action:	Other Report / Document
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	01/14/1992
Action:	Correspondence
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	02/24/1992
Action:	Soil and Water Investigation Report
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	03/11/1992
Action:	Other Report / Document
Global Id:	T0600100261
Action Type:	Other
Date:	09/20/1991
Action:	Leak Discovery
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	11/05/1991
Action:	Correspondence
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	09/30/1991
Action:	Preliminary Site Assessment Report
Global Id:	T0600100261
Action Type:	RESPONSE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CARLETON BUSINESS CENTER (Continued)

S102426347

Date:	12/27/1991
Action:	Correspondence
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	09/20/1991
Action:	Preliminary Site Assessment Report
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	02/26/1992
Action:	Correspondence
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	12/07/1990
Action:	Other Report / Document
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	08/13/1991
Action:	Well Installation Report
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	08/24/1990
Action:	Site Assessment Report
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	12/13/1991
Action:	Correspondence
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	01/20/1992
Action:	Other Report / Document
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	10/28/1991
Action:	Correspondence
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	12/07/1990
Action:	Site Assessment Report
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	10/08/1991
Action:	Other Report / Document
Global Id:	T0600100261
Action Type:	RESPONSE
Date:	12/13/1991
Action:	Correspondence

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CARLETON BUSINESS CENTER (Continued)

S102426347

Global Id: T0600100261
Action Type: RESPONSE
Date: 10/08/1991
Action: Other Report / Document

Global Id: T0600100261
Action Type: RESPONSE
Date: 10/03/1991
Action: Preliminary Site Assessment Report

Global Id: T0600100261
Action Type: RESPONSE
Date: 09/20/1991
Action: Preliminary Site Assessment Report

Global Id: T0600100261
Action Type: ENFORCEMENT
Date: 01/01/1990
Action: File review - #1560

LUST:

Global Id: T0600100261
Status: Open - Case Begin Date
Status Date: 08/13/1991

Global Id: T0600100261
Status: Open - Site Assessment
Status Date: 08/13/1991

Global Id: T0600100261
Status: Open - Site Assessment
Status Date: 11/20/1991

Global Id: T0600100261
Status: Completed - Case Closed
Status Date: 03/06/1992

LUST REG 2:

Region: 2
Facility Id: 01-0281
Facility Status: Case Closed
Case Number: 01-0281
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 11/20/1991
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: 8/13/1991
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CARLETON BUSINESS CENTER (Continued)

S102426347

HIST CORTESE:
Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0281

**M51
SE
1/4-1/2
0.349 mi.
1844 ft.**

**PARCEL 54 174711
2703 7TH ST
BERKELEY, CA
Site 3 of 3 in cluster M**

**CA CPS-SLIC S101641266
N/A**

**Relative:
Higher
Actual:
38 ft.**

SLIC REG 2:
Region: 2
Facility ID: SLT2O022
Facility Status: Leak being confirmed
Date Closed: Not reported
Local Case #: Not reported
How Discovered: Not reported
Leak Cause: Not reported
Leak Source: Not reported
Date Confirmed: Not reported
Date Prelim Site Assmnt Workplan Submitted: Not reported
Date Preliminary Site Assessment Began: Not reported
Date Pollution Characterization Began: Not reported
Date Remediation Plan Submitted: Not reported
Date Remedial Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

**N52
SE
1/4-1/2
0.352 mi.
1857 ft.**

**1X UC LAWERENCE BERKELEY LAB
2700 7TH AVE
BERKELEY, CA 94702
Site 1 of 3 in cluster N**

**CA ENVIROSTOR S112851641
CA HAZNET N/A**

**Relative:
Higher
Actual:
36 ft.**

ENVIROSTOR:
Facility ID: 1280047
Status: Certified
Status Date: 03/28/1988
Site Code: Not reported
Site Type: Evaluation
Site Type Detailed: Evaluation
Acres: 10.4
NPL: NO
Regulatory Agencies: HWMP, SMBRP
Lead Agency: SMBRP
Program Manager: Claude Jemison
Supervisor: Karen Toth
Division Branch: Cleanup Berkeley
Assembly: 15
Senate: 09
Special Program: Not reported
Restricted Use: NO
Site Mgmt Req: NONE SPECIFIED
Funding: Responsible Party
Latitude: 37.85584

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

1X UC LAWERENCE BERKELEY LAB (Continued)

S112851641

Longitude: -122.2948
 APN: 54-1748-2-1
 Past Use: MANUFACTURING - OTHER
 Potential COC: * UNSPECIFIED OIL CONTAINING WASTE Trichloroethylene (TCE
 Trichloroethylene (TCE
 Confirmed COC: Trichloroethylene (TCE * UNSPECIFIED OIL CONTAINING WASTE 30027-NO
 Potential Description: OTH, SOIL, OTH, SOIL
 Alias Name: Not reported
 Alias Type: Not reported

Completed Info:

Completed Area Name: Not reported
 Completed Sub Area Name: Not reported
 Completed Document Type: Not reported
 Completed Date: Not reported
 Comments: Not reported

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

HAZNET:

envid: S112851641
 Year: 2002
 GEPAID: CAC000904296
 Contact: HOWARD HANSEN
 Telephone: 5104865867
 Mailing Name: Not reported
 Mailing Address: 1 CYCLETRON RD
 Mailing City,St,Zip: BERKELEY, CA 947200000
 Gen County: Not reported
 TSD EPA ID: NED981723513
 TSD County: Not reported
 Waste Category: Waste oil and mixed oil
 Disposal Method: Treatment, Incineration
 Tons: 0.09
 Cat Decode: Not reported
 Method Decode: Not reported
 Facility County: Alameda

envid: S112851641
 Year: 2002
 GEPAID: CAC000904296
 Contact: HOWARD HANSEN
 Telephone: 5104865867
 Mailing Name: Not reported
 Mailing Address: 1 CYCLETRON RD
 Mailing City,St,Zip: BERKELEY, CA 947200000
 Gen County: Not reported
 TSD EPA ID: NED981723513
 TSD County: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

1X UC LAWERENCE BERKELEY LAB (Continued)

S112851641

Waste Category: Liquids with mercury >= 20 Mg./L
Disposal Method: Treatment, Incineration
Tons: 0
Cat Decode: Not reported
Method Decode: Not reported
Facility County: Alameda

envid: S112851641
Year: 1998
GEPAID: CAC000904296
Contact: Not reported
Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 1 CYCLETRON RD
Mailing City,St,Zip: BERKELEY, CA 947200000
Gen County: Not reported
TSD EPA ID: CAT080014079
TSD County: Not reported
Waste Category: Laboratory waste chemicals
Disposal Method: Transfer Station
Tons: .0600
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: S112851641
Year: 1998
GEPAID: CAC000904296
Contact: Not reported
Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 1 CYCLETRON RD
Mailing City,St,Zip: BERKELEY, CA 947200000
Gen County: Not reported
TSD EPA ID: CAT080014079
TSD County: Not reported
Waste Category: Liquids with pH <= 2 with metals
Disposal Method: Transfer Station
Tons: .0050
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: S112851641
Year: 1998
GEPAID: CAC000904296
Contact: Not reported
Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 1 CYCLETRON RD
Mailing City,St,Zip: BERKELEY, CA 947200000
Gen County: Not reported
TSD EPA ID: CAT080014079
TSD County: Not reported
Waste Category: Other inorganic solid waste
Disposal Method: Transfer Station
Tons: .0150

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

1X UC LAWERENCE BERKELEY LAB (Continued)

S112851641

Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

[Click this hyperlink](#) while viewing on your computer to access
3 additional CA_HAZNET: record(s) in the EDR Site Report.

**N53
SE
1/4-1/2
0.352 mi.
1857 ft.**

**COLGATE PALMOLIVE CO
2700 7TH ST
BERKELEY, CA 94710

Site 2 of 3 in cluster N**

**RCRA-SQG 1000233074
CA LUST CAD009173733
CA HIST Cal-Sites
CA HIST UST
CA FID UST
FTTS
HIST FTTS**

**Relative:
Higher**

**Actual:
36 ft.**

RCRA-SQG:
Date form received by agency: 09/01/1996
Facility name: COLGATE PALMOLIVE CO
Facility address: 2700 7TH ST
BERKELEY, CA 94710
EPA ID: CAD009173733
Contact: Not reported
Contact address: Not reported
Not reported
Contact country: US
Contact telephone: Not reported
Contact email: Not reported
EPA Region: 09
Land type: Facility is not located on Indian land. Additional information is not known.
Classification: Small Small Quantity Generator
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: COLGATE-PALMOLIVE COMPANY
Owner/operator address: 300 PARK AVENUE
NEW YORK, NY 10022
Owner/operator country: Not reported
Owner/operator telephone: 212-751-1200
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: COLGATE-PALMOLIVE COMPANY
Owner/operator address: 300 PARK AVENUE
CITY NOT REPORTED, NY 99999
Owner/operator country: Not reported
Owner/operator telephone: 212-751-1200
Owner/operator email: Not reported
Owner/operator fax: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

COLGATE PALMOLIVE CO (Continued)

1000233074

Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Operator
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

Historical Generators:

Date form received by agency: 08/14/1980
 Site name: COLGATE PALMOLIVE CO
 Classification: Large Quantity Generator

Facility Has Received Notices of Violations:

Regulation violated: Not reported
 Area of violation: Generators - General
 Date violation determined: 12/27/1984
 Date achieved compliance: 03/25/1985
 Violation lead agency: State
 Enforcement action: Not reported
 Enforcement action date: Not reported
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: Not reported
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: Generators - General
 Date violation determined: 01/18/1984
 Date achieved compliance: 03/25/1985
 Violation lead agency: State
 Enforcement action: Not reported
 Enforcement action date: Not reported
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: Not reported
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

COLGATE PALMOLIVE CO (Continued)

1000233074

Evaluation Action Summary:

Evaluation date: 03/25/1985
Evaluation: COMPLIANCE SCHEDULE EVALUATION
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 12/27/1984
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - General
Date achieved compliance: 03/25/1985
Evaluation lead agency: State

Evaluation date: 01/18/1984
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - General
Date achieved compliance: 03/25/1985
Evaluation lead agency: State

LUST REG 2:

Region: 2
Facility Id: 01-0280
Facility Status: Case Closed
Case Number: 01-0280
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 6/6/1989
Oversight Program: LUST
Prelim. Site Assesment Wokplan Submitted: Not reported
Preliminary Site Assesment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

Calsite:

Region: BERKELEY
Facility ID: 01280047
Facility Type: RP
Type: RESPONSIBLE PARTY
Branch: NC
Branch Name: NORTH COAST
File Name: Not reported
State Senate District: 03281988
Status: CERTIFIED AS HAVING BEEN REMEDIED SATISFACTORILY UNDER DTSC OVERSIGHT
Status Name: CERTIFIED
Lead Agency: DEPT OF TOXIC SUBSTANCES CONTROL
NPL: Not reported
SIC Code: 28
SIC Name: MANU - CHEMICALS & ALLIED PRODUCTS
Access: Not reported
Cortese: Not reported
Hazardous Ranking Score: Not reported
Date Site Hazard Ranked: Not reported
Groundwater Contamination: Not reported
Staff Member Responsible for Site: CJEMISON

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COLGATE PALMOLIVE CO (Continued)

1000233074

Supervisor Responsible for Site: Not reported
 Region Water Control Board: Not reported
 Region Water Control Board Name: Not reported
 Lat/Long Direction: Not reported
 Lat/Long (dms): 0 0 0 / 0 0 0
 Lat/long Method: Not reported
 Lat/Long Description: Not reported
 State Assembly District Code: 14
 State Senate District Code: 09
 Facility ID: 01280047
 Activity: CERT
 Activity Name: CERTIFICATION
 AWP Code: Not reported
 Proposed Budget: 0
 AWP Completion Date: Not reported
 Revised Due Date: Not reported
 Comments Date: 01011985
 Est Person-Yrs to complete: 0
 Estimated Size: Not reported
 Request to Delete Activity: Not reported
 Activity Status: CERT
 Definition of Status: CERTIFIED
 Liquids Removed (Gals): 0
 Liquids Treated (Gals): 0
 Action Included Capping: Not reported
 Well Decommissioned: Not reported
 Action Included Fencing: Not reported
 Removal Action Certification: Not reported
 Activity Comments: Not reported
 For Commercial Reuse: 0
 For Industrial Reuse: 0
 For Residential Reuse: 0
 Unknown Type: 0
 Alternate Address: 2700 7TH STREET
 Alternate City,St,Zip: BERKELEY, CA 94710
 Background Info: The Colgate-Palmolive Company plant (10.4 acres) in Berkeley, produced soaps, and personal and household cleaning products from 1916 until 1981. It consisted of 27 buildings, a tank farm, several individual storage tanks, and other structures. Colgate-Palmolive Company was issued an Interim Status Document in April 6, 1981. In October 1981 the Colgate-Palmolive plant ceased operation at the site.
 Comments Date: 03281988
 Comments: Certified Site. Cleanup of the site began in early 1985 and was
 Comments Date: 03281988
 Comments: completed in December 1985. Soils were excavated and disposed
 Comments Date: 03281988
 Comments: offsite. Sampling in March 1985, after the cleanup, found
 Comments Date: 03281988
 Comments: metals concentrations below either background levels or
 Comments Date: 03281988
 Comments: residential screening levels. The samples taken in January 1986
 Comments Date: 03281988
 Comments: found concentration of oil and grease (220-11,000 ppm) and total
 Comments Date: 03281988
 Comments: fuel hydrocarbon (370 ppm). Groundwater was found to be
 Comments Date: 03281988

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COLGATE PALMOLIVE CO (Continued)

1000233074

Comments: contaminated with solvents (trichloroethane and
 Comments Date: 03281988
 Comments: trichloroethylene). However, the source of the solvents is
 Comments Date: 03281988
 Comments: considered off-site and the SF Regional Water Quality Control
 Comments Date: 03281988
 Comments: Board agreed not to hold Colgate Palmolive responsible.
 Comments Date: 03281988
 Comments: Appropriate remediation have been completed and no further
 Comments Date: 03281988
 Comments: removal/remedial action is necessary. Lawrence Livermore
 Comments Date: 03281988
 Comments: National Laboratory Receiving Center now occupies the site.
 ID Name: Not reported
 ID Value: Not reported
 Alternate Name: COLGATE-PALMOLIVE
 Alternate Name: Not reported
 Special Programs Code: Not reported
 Special Programs Name: Not reported

HIST UST:

File Number: Not reported
 URL: Not reported
 Region: STATE
 Facility ID: 00000048029
 Facility Type: Other
 Other Type: INDUSTRIAL PLANT
 Contact Name: RALPH TIERNEY
 Telephone: 4158451500
 Owner Name: COLGATE-PALMOLIVE COMPANY
 Owner Address: 300 PARK AVENUE
 Owner City,St,Zip: NEW YORK, NY 10022
 Total Tanks: 0004

Tank Num: 001
 Container Num: 1
 Year Installed: Not reported
 Tank Capacity: 00006500
 Tank Used for: PRODUCT
 Type of Fuel: Not reported
 Container Construction Thickness: 1/4
 Leak Detection: Stock Inventor

Tank Num: 002
 Container Num: 2
 Year Installed: Not reported
 Tank Capacity: 00006600
 Tank Used for: PRODUCT
 Type of Fuel: Not reported
 Container Construction Thickness: 1/4
 Leak Detection: Stock Inventor

Tank Num: 003
 Container Num: 3
 Year Installed: Not reported
 Tank Capacity: 00001000
 Tank Used for: PRODUCT

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COLGATE PALMOLIVE CO (Continued)

1000233074

Type of Fuel: UNLEADED
 Container Construction Thickness: Not reported
 Leak Detection: Stock Inventor

 Tank Num: 004
 Container Num: 4
 Year Installed: Not reported
 Tank Capacity: 00012300
 Tank Used for: PRODUCT
 Type of Fuel: DIESEL
 Container Construction Thickness: Not reported
 Leak Detection: Stock Inventor

CA FID UST:

Facility ID: 01000385
 Regulated By: UTNKA
 Regulated ID: 00048029
 Cortese Code: Not reported
 SIC Code: Not reported
 Facility Phone: 4158451500
 Mail To: Not reported
 Mailing Address: 2700 7TH ST
 Mailing Address 2: Not reported
 Mailing City,St,Zip: BERKELEY 94710
 Contact: Not reported
 Contact Phone: Not reported
 DUNs Number: Not reported
 NPDES Number: Not reported
 EPA ID: Not reported
 Comments: Not reported
 Status: Active

FTTS:

Case Number: Not reported
 Docket Number: 09-89-0005
 Complaint Issue Date: 04/10/89
 Abatement Amount: 3000.0000
 Proposed Penalty: 45000.0000
 Final Assessment: 7000.0000
 Final Order Date: 12/14/89
 Close Date: / /
 Violations(s): PCB, Failure to Maintain Records
 PCB, Label or Marking
 PCB, Use

FTTS INSP:

Inspection Number: 1988092000991 1
 Region: 09
 Inspection Date: 09/20/88
 Inspector: ELLISON
 Violation occurred: Yes
 Investigation Type: Section 6 PCB Federal Conducted
 Investigation Reason: Neutral Scheme, Region
 Legislation Code: TSCA
 Facility Function: User

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

COLGATE PALMOLIVE CO (Continued)

1000233074

HIST FTTS:

Case Number: Not reported
Docket Number: 09-89-0005
Complaint Issue Date: 04/10/1989
Abatement Amount: 3000.0000
Proposed Penalty: 45000.0000
Final Assessment: 7000.0000
Final Order Date: 12/14/1989
Close Date: / /
Violations(s): PCB, Failure to Maintain Records
PCB, Label or Marking
PCB, Use

HIST FTTS INSP:

Inspection Number: 1988092000991 1
Region: 09
Inspection Date: Not reported
Inspector: ELLISON
Violation occurred: Yes
Investigation Type: Section 6 PCB Federal Conducted
Investigation Reason: Neutral Scheme, Region
Legislation Code: TSCA
Facility Function: User

**N54
SE
1/4-1/2
0.352 mi.
1857 ft.**

**CARLETON BUSINESS CENTER
2700 7TH ST
BERKELEY, CA 94710**

**CA LUST S103648237
N/A**

Site 3 of 3 in cluster N

**Relative:
Higher
Actual:
36 ft.**

LUST:

Lead Agency: BERKELEY, CITY OF
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100260
Global Id: T0600100260
Latitude: 37.855649
Longitude: -122.294839
Status: Completed - Case Closed
Status Date: 03/06/1992
Case Worker: GAF
RB Case Number: 01-0280
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-0280
Potential Media Affect: Soil
Potential Contaminants of Concern: Gasoline
Site History: Not reported

LUST:

Global Id: T0600100260
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CARLETON BUSINESS CENTER (Continued)

S103648237

Phone Number: Not reported

Global Id: T0600100260
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:

Global Id: T0600100260
Action Type: Other
Date: 04/27/1989
Action: Leak Discovery

Global Id: T0600100260
Action Type: Other
Date: 04/27/1989
Action: Leak Stopped

Global Id: T0600100260
Action Type: Other
Date: 04/27/1989
Action: Leak Reported

Global Id: T0600100260
Action Type: RESPONSE
Date: 11/03/1994
Action: Other Report / Document

Global Id: T0600100260
Action Type: ENFORCEMENT
Date: 08/05/1997
Action: Closure/No Further Action Letter

Global Id: T0600100260
Action Type: ENFORCEMENT
Date: 11/18/1992
Action: Closure/No Further Action Letter

LUST:

Global Id: T0600100260
Status: Open - Case Begin Date
Status Date: 04/27/1989

Global Id: T0600100260
Status: Open - Site Assessment
Status Date: 06/06/1989

Global Id: T0600100260
Status: Completed - Case Closed
Status Date: 03/06/1992

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

AQUATIC PARK SCIENCE CENTER (Continued)

S104581543

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Voluntary Cleanup Consultation
Completed Date: 08/24/2006
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Site Screening
Completed Date: 03/29/2006
Comments: Site Screening completed which recommends completion of a Preliminary Endangerment Assessment. Soil and groundwater investigations conducted in 2000 detected groundwater concentrations of PCE, TCE and cis-1,2 DCE that exceeded the MCLs.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Preliminary Endangerment Assessment Report
Completed Date: 07/18/2008
Comments: Approved PEA report, issued a no further action letter for Areas 1,2 and 4, and referred Area 3 to the City of Berkeley, Toxics Management Division, because of TPH-impacted soil which appears to be from underground tanks that were formerly in Area 3.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Fieldwork
Completed Date: 01/31/2008
Comments: Fieldwork completed

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Preliminary Endangerment Assessment Workplan
Completed Date: 09/27/2007
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

VCP:

Facility ID: 70000105
Site Type: Voluntary Cleanup
Site Type Detail: Voluntary Cleanup
Site Mgmt. Req.: NONE SPECIFIED
Acres: 5.7
National Priorities List: NO
Cleanup Oversight Agencies: SMBRP, CITY OF BERKELEY
Lead Agency: SMBRP
Lead Agency Description: DTSC - Site Cleanup Program
Project Manager: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

AQUATIC PARK SCIENCE CENTER (Continued)

S104581543

Supervisor: Mark Piros
 Division Branch: Cleanup Berkeley
 Site Code: 201728
 Assembly: 15
 Senate: 09
 Special Programs Code: Voluntary Cleanup Program
 Status: No Further Action
 Status Date: 07/18/2008
 Restricted Use: NO
 Funding: Responsible Party
 Lat/Long: 37.86497 / -122.3009
 APN: 56-1952-2-1
 Past Use: PAINT MANUFACTURING
 Potential COC: 30001, 30013, 30468
 Confirmed COC: 30468,30001,30013
 Potential Description: OTH
 Alias Name: Aquatic Park Science Center
 Alias Type: Alternate Name
 Alias Name: Triangle Coatings
 Alias Type: Alternate Name
 Alias Name: Triangle Paint Company
 Alias Type: Alternate Name
 Alias Name: 56-1952-2-1
 Alias Type: APN
 Alias Name: 110033609673
 Alias Type: EPA (FRS #)
 Alias Name: 201728
 Alias Type: Project Code (Site Code)
 Alias Name: 70000105
 Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Cost Recovery Closeout Memo
 Completed Date: 12/02/2011
 Comments: Close cost recovery account.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Voluntary Cleanup Agreement
 Completed Date: 04/25/2007
 Comments: VCA signed

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Voluntary Cleanup Consultation
 Completed Date: 08/24/2006
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Screening
 Completed Date: 03/29/2006
 Comments: Site Screening completed which recommends completion of a Preliminary Endangerment Assessment. Soil and groundwater investigations conducted in 2000 detected groundwater concentrations of PCE, TCE and cis-1,2 DCE that exceeded the MCLs.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

AQUATIC PARK SCIENCE CENTER (Continued)

S104581543

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Preliminary Endangerment Assessment Report
 Completed Date: 07/18/2008
 Comments: Approved PEA report, issued a no further action letter for Areas 1,2 and 4, and referred Area 3 to the City of Berkeley, Toxics Management Division, because of TPH-impacted soil which appears to be from underground tanks that were formerly in Area 3.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Fieldwork
 Completed Date: 01/31/2008
 Comments: Fieldwork completed

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Preliminary Endangerment Assessment Workplan
 Completed Date: 09/27/2007
 Comments: Not reported

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

**O56
NNW
1/4-1/2
0.356 mi.
1879 ft.**

**TRIANGLE COATINGS
2222 THIRD STREET
BERKELEY, CA 94710**

**CA ENVIROSTOR S109149571
CA VCP N/A**

Site 2 of 2 in cluster O

**Relative:
Lower**

ENVIROSTOR:
 Facility ID: 60000938
 Status: Refer: Local Agency
 Status Date: 07/18/2008
 Site Code: 201728
 Site Type: Voluntary Cleanup
 Site Type Detailed: Voluntary Cleanup
 Acres: 2.5
 NPL: NO
 Regulatory Agencies: SMBRP, CITY OF BERKELEY
 Lead Agency: CITY OF BERKELEY
 Program Manager: Not reported
 Supervisor: Mark Piros
 Division Branch: Cleanup Berkeley
 Assembly: 15
 Senate: 09
 Special Program: Voluntary Cleanup Program
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Responsible Party
 Latitude: 37.86409

**Actual:
17 ft.**

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

TRIANGLE COATINGS (Continued)

S109149571

Longitude: -122.3006
 APN: NONE SPECIFIED
 Past Use: NONE SPECIFIED
 Potential COC: NONE SPECIFIED
 Confirmed COC: NONE SPECIFIED
 Potential Description: NONE SPECIFIED
 Alias Name: 201728
 Alias Type: Project Code (Site Code)
 Alias Name: 60000938
 Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Voluntary Cleanup Agreement
 Completed Date: 04/25/2007
 Comments: VCA executed.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Voluntary Cleanup Consultation
 Completed Date: 08/24/2006
 Comments: Issued VCA invite letter to site owner.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Preliminary Endangerment Assessment Workplan
 Completed Date: 09/28/2007
 Comments: Approved PEA Workplan

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Screening
 Completed Date: 03/29/2006
 Comments: Completed site screening. PEA recommended.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Fieldwork
 Completed Date: 01/31/2008
 Comments: Completed field sampling and survey.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Preliminary Endangerment Assessment Report
 Completed Date: 07/18/2008
 Comments: Not reported

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

TRIANGLE COATINGS (Continued)

S109149571

VCP:

Facility ID: 60000938
 Site Type: Voluntary Cleanup
 Site Type Detail: Voluntary Cleanup
 Site Mgmt. Req.: NONE SPECIFIED
 Acres: 2.5
 National Priorities List: NO
 Cleanup Oversight Agencies: SMBRP, CITY OF BERKELEY
 Lead Agency: CITY OF BERKELEY
 Lead Agency Description: BERKELEY, CITY OF
 Project Manager: Not reported
 Supervisor: Mark Piros
 Division Branch: Cleanup Berkeley
 Site Code: 201728
 Assembly: 15
 Senate: 09
 Special Programs Code: Voluntary Cleanup Program
 Status: Refer: Local Agency
 Status Date: 07/18/2008
 Restricted Use: NO
 Funding: Responsible Party
 Lat/Long: 37.86409 / -122.3006
 APN: NONE SPECIFIED
 Past Use: NONE SPECIFIED
 Potential COC: NONE SPECIFIED
 Confirmed COC: NONE SPECIFIED
 Potential Description: NONE SPECIFIED
 Alias Name: 201728
 Alias Type: Project Code (Site Code)
 Alias Name: 60000938
 Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Voluntary Cleanup Agreement
 Completed Date: 04/25/2007
 Comments: VCA executed.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Voluntary Cleanup Consultation
 Completed Date: 08/24/2006
 Comments: Issued VCA invite letter to site owner.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Preliminary Endangerment Assessment Workplan
 Completed Date: 09/28/2007
 Comments: Approved PEA Workplan

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Screening
 Completed Date: 03/29/2006
 Comments: Completed site screening. PEA recommended.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

TRIANGLE COATINGS (Continued)

S109149571

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Fieldwork
Completed Date: 01/31/2008
Comments: Completed field sampling and survey.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Preliminary Endangerment Assessment Report
Completed Date: 07/18/2008
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

P57 EUROPEAN MOTORS
ENE 2396 SAN PABLO AVE
1/4-1/2 BERKELEY, CA 94702
0.373 mi.
1969 ft.

CA LUST S100853052
CA HIST CORTESE N/A

Site 1 of 3 in cluster P

**Relative:
Higher**

**Actual:
58 ft.**

LUST:
Lead Agency: BERKELEY, CITY OF
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100527
Global Id: T0600100527
Latitude: 37.862997
Longitude: -122.290511
Status: Completed - Case Closed
Status Date: 03/06/1995
Case Worker: GAF
RB Case Number: 01-0574
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-0574
Potential Media Affect: Soil
Potential Contaminants of Concern: Waste Oil / Motor / Hydraulic / Lubricating
Site History: Not reported

LUST:
Global Id: T0600100527
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600100527
Contact Type: Regional Board Caseworker

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

EUROPEAN MOTORS (Continued)

S100853052

Contact Name: Regional Water Board
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY ST SUITE 1400
 City: OAKLAND
 Email: Not reported
 Phone Number: Not reported

LUST:

Global Id: T0600100527
 Action Type: Other
 Date: 03/16/1990
 Action: Leak Stopped

Global Id: T0600100527
 Action Type: ENFORCEMENT
 Date: 03/07/1995
 Action: Closure/No Further Action Letter

Global Id: T0600100527
 Action Type: Other
 Date: 03/16/1990
 Action: Leak Discovery

Global Id: T0600100527
 Action Type: Other
 Date: 03/16/1990
 Action: Leak Reported

LUST:

Global Id: T0600100527
 Status: Open - Case Begin Date
 Status Date: 03/16/1990

Global Id: T0600100527
 Status: Open - Site Assessment
 Status Date: 08/08/1990

Global Id: T0600100527
 Status: Completed - Case Closed
 Status Date: 03/06/1995

LUST REG 2:

Region: 2
 Facility Id: 01-0574
 Facility Status: Case Closed
 Case Number: 01-0574
 How Discovered: Tank Closure
 Leak Cause: Structure Failure
 Leak Source: Tank
 Date Leak Confirmed: 8/8/1990
 Oversight Program: LUST
 Prelim. Site Assessment Workplan Submitted: Not reported
 Preliminary Site Assessment Began: Not reported
 Pollution Characterization Began: Not reported
 Pollution Remediation Plan Submitted: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

EUROPEAN MOTORS (Continued)

S100853052

Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0574

**58
ESE
1/4-1/2
0.375 mi.
1980 ft.**

**BERKELEY HUMANE SOCIETY
2700 9TH ST
BERKELEY, CA 94702**

**CA LUST S101293441
CA HIST CORTESE N/A**

**Relative:
Higher**

**Actual:
45 ft.**

LUST:

Lead Agency: BERKELEY, CITY OF
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100181
Global Id: T0600100181
Latitude: 37.857201
Longitude: -122.291015
Status: Completed - Case Closed
Status Date: 07/25/1994
Case Worker: GAF
RB Case Number: 01-0194
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-0194
Potential Media Affect: Under Investigation
Potential Contaminants of Concern: Xylene
Site History: Not reported

LUST:

Global Id: T0600100181
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600100181
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:

Global Id: T0600100181
Action Type: Other
Date: 01/31/1991
Action: Leak Stopped

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BERKELEY HUMANE SOCIETY (Continued)

S101293441

Global Id: T0600100181
Action Type: ENFORCEMENT
Date: 07/25/1994
Action: Closure/No Further Action Letter

Global Id: T0600100181
Action Type: Other
Date: 01/31/1991
Action: Leak Reported

Global Id: T0600100181
Action Type: Other
Date: 01/31/1991
Action: Leak Discovery

LUST:

Global Id: T0600100181
Status: Open - Case Begin Date
Status Date: 01/31/1991

Global Id: T0600100181
Status: Open - Site Assessment
Status Date: 06/06/1991

Global Id: T0600100181
Status: Completed - Case Closed
Status Date: 07/25/1994

LUST REG 2:

Region: 2
Facility Id: 01-0194
Facility Status: Case Closed
Case Number: 01-0194
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 6/6/1991
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0194

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

P59
ENE
1/4-1/2
0.378 mi.
1998 ft.

BERKELEY AUTO REPAIR
2378/2366 SAN PABLO AVENUE
BERKELEY, CA 94702
Site 2 of 3 in cluster P

CA RESPONSE **S100833564**
CA ENVIROSTOR **N/A**
CA HIST Cal-Sites
CA LIENS
CA BOND EXP. PLAN
CA HIST CORTESE

Relative:
Higher

Actual:
58 ft.

AWP:
AWP Facility ID: 01750013
Region Code: 2
Region: BERKELEY
SMBR Branch Code: NC
SMBR Branch Unit: NORTH COAST
Site Name.: Not reported
Current Status Date: 08042004
Current Status: ANNUAL WORKPLAN - ACTIVE SITE
Lead Agency Code: DTSC
Lead Agency: DEPT OF TOXIC SUBSTANCES CONTROL
Facility Type: State orphan site
Awp Site Type: STATE FUNDED SITE
NPL: Not Listed
Tier Of AWP Site: 3
Source Of Funding: Not reported
Responsible Staff Member: KHILF
Supervisor Responsible: Not reported
SIC Code: 75
Facility SIC: AUTO REPAIR, SERVICES & PARKING
RWQCB Code: SF
RWQCB Associated With Site: SAN FRANCISCO BAY
Site Access Controlled: Controlled
Site Listed HWS List: Not reported
Hazard Ranking Score: Not reported
Date Site Hazard Ranked: Not reported
Groundwater Contamination: Confirmed
Of Contamination Sources: 0
Lat/Long: Not reported
Lat/Long (dms): 0 0 0 / 0 0 0
Lat/long Method: Not reported
Description Of Entity: Not reported
State Assembly Distt Code: 14
State Senate District: 09

RESPONSE:
Facility ID: 1750013
Site Type: State Response
Site Type Detail: State Response or NPL
Acres: 0.34
National Priorities List: NO
Cleanup Oversight Agencies: SMBRP
Lead Agency Description: DTSC - Site Cleanup Program
Project Manager: Karen Toth
Supervisor: Karen Toth
Division Branch: Cleanup Berkeley
Site Code: 200012
Site Mgmt. Req.: NONE SPECIFIED
Assembly: 15
Senate: 09
Special Program Status: Not reported
Status: Certified

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BERKELEY AUTO REPAIR (Continued)

S100833564

Status Date: 04/11/2008
 Restricted Use: NO
 Funding: Responsible Party
 Latitude: 37.86338
 Longitude: -122.2907
 APN: 56-1933-24-3
 Past Use: VEHICLE MAINTENANCE
 Potential COC : Lead TPH-diesel TPH-gas Methylene chloride
 Confirmed COC: Lead TPH-diesel TPH-gas Methylene chloride
 Potential Description: OTH, SOIL
 Alias Name: Not reported
 Alias Type: Not reported

Completed Info:

Completed Area Name: Not reported
 Completed Sub Area Name: Not reported
 Completed Document Type: Not reported
 Completed Date: Not reported
 Comments: Not reported

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

ENVIROSTOR:

Facility ID: 1750013
 Status: Certified
 Status Date: 04/11/2008
 Site Code: 200012
 Site Type: State Response
 Site Type Detailed: State Response or NPL
 Acres: 0.34
 NPL: NO
 Regulatory Agencies: SMBRP
 Lead Agency: SMBRP
 Program Manager: Karen Toth
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Assembly: 15
 Senate: 09
 Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Responsible Party
 Latitude: 37.86338
 Longitude: -122.2907
 APN: 56-1933-24-3
 Past Use: VEHICLE MAINTENANCE
 Potential COC: Lead TPH-diesel TPH-gas Methylene chloride
 Confirmed COC: Lead TPH-diesel TPH-gas Methylene chloride
 Potential Description: OTH, SOIL

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BERKELEY AUTO REPAIR (Continued)

S100833564

Alias Name: Not reported
Alias Type: Not reported

Completed Info:

Completed Area Name: Not reported
Completed Sub Area Name: Not reported
Completed Document Type: Not reported
Completed Date: Not reported
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

Calsite:

Region: BERKELEY
Facility ID: 01750013
Facility Type: STATE
Type: STATE FUNDED SITE
Branch: NC
Branch Name: NORTH COAST
File Name: Not reported
State Senate District: 08042004
Status: ANNUAL WORKPLAN (AWP) - ACTIVE SITE
Status Name: ANNUAL WORKPLAN - ACTIVE SITE
Lead Agency: DEPT OF TOXIC SUBSTANCES CONTROL
NPL: Not Listed
SIC Code: 75
SIC Name: AUTO REPAIR, SERVICES & PARKING
Access: Controlled
Cortese: Not reported
Hazardous Ranking Score: Not reported
Date Site Hazard Ranked: Not reported
Groundwater Contamination: Confirmed
Staff Member Responsible for Site: KHILF
Supervisor Responsible for Site: Not reported
Region Water Control Board: SF
Region Water Control Board Name: SAN FRANCISCO BAY
Lat/Long Direction: Not reported
Lat/Long (dms): 0 0 0 / 0 0 0
Lat/long Method: Not reported
Lat/Long Description: Not reported
State Assembly District Code: 14
State Senate District Code: 09
Facility ID: 01750013
Activity: SS
Activity Name: SITE SCREENING
AWP Code: Not reported
Proposed Budget: 0
AWP Completion Date: Not reported
Revised Due Date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BERKELEY AUTO REPAIR (Continued)

S100833564

Comments Date: 03241987
 Est Person-Yrs to complete: 0
 Estimated Size: Not reported
 Request to Delete Activity: Not reported
 Activity Status: REFOA
 Definition of Status: PROPERTY/SITE REFERRED TO ANOTHER AGENCY
 Liquids Removed (Gals): 0
 Liquids Treated (Gals): 0
 Action Included Capping: Not reported
 Well Decommissioned: Not reported
 Action Included Fencing: Not reported
 Removal Action Certification: Not reported
 Activity Comments: Not reported
 For Commercial Reuse: 0
 For Industrial Reuse: 0
 For Residential Reuse: 0
 Unknown Type: 0

Alternate Address: 2378/2366 SAN PABLO AVENUE
 Alternate City,St,Zip: BERKELEY, CA 94702

Background Info: The site is located between Channing Way to the north and Bancroft Way to the south on San Pablo Avenue. Julius Chase purchased the property in 1939 from Joe Long and operated an auto wrecking yard on site to approximately 1980. The property originally extended from San Pablo to 10th Street and consisted of a storage lot and a brick building used to support auto wrecking activities. The western half of the lot was sold and residential homes were built on 10th Street. In 1967 or 1968, most of the site was paved except, two small areas located west along the fence separating residential homes and this site. Soil contamination is located in an unpaved section of approximately ten (10) feet by forty (40) feet, along the property's western boundary adjacent to residential homes' backyards. An A&W Rootbeer restaurant was built on the eastern portion of the lot and operated until 1980. In 1980, the restaurant closed, and the eastern parcel was divided into two lots, Ali Baba restaurant and Greg's Auto Repair (in the brick building) which occupied the northern and southern portion respectively. The auto repair shop operated under Greg's Auto Repair (Mr. Greg Below, owner of the business) from 1980 to March 1983. In 1983, the shop was rented to Mr. Peter Mitchell. The shop operated from 1983 to 1988 under various names such as Mitchell's Auto Repair, Peter's Automotive Service, Peter Mitchell Imports and Berkeley Auto Repair. Droubi Nahla bought the property in April 1999. The site is fenced off. Currently, there are no business activities at the site.

Comments Date: 03241987
 Comments: SITE SCREENING DONE MITRE MODEL REQ. PA REQ.
 Comments Date: 06251987
 Comments: PRELIM ASSESS DONE METHYLENE CHLORIDE, LEAD & WASTE OIL
 Comments Date: 06251987
 Comments: CONTM. SITE NEEDS HIGH PRIORITY SI.
 Comments Date: 06251987
 Comments: ON BEP.
 ID Name: CALSTARS CODE
 ID Value: 200012
 Alternate Name: AUTO REPAIR - BERKELEY
 Alternate Name: BERKELEY AUTO REPAIR

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BERKELEY AUTO REPAIR (Continued)

S100833564

Alternate Name: GREG'S AUTO REPAIR (1980/81 TO 1983)
Alternate Name: Not reported
Special Programs Code: Not reported
Special Programs Name: Not reported

LIENS:

Envirostor Id: 1750013
Latitude: 37.863383
Longitude: -122.29070
Project Mgr: KAREN TOTH*
Project Code: 200012
If Satisfied: NO
Date Satisfied: Not reported
Site Status: CERTIFIED
Site Type: STATE RESPONSE OR NPL
Completed: 12/02/2010
Lien Amount: \$97,230.32
Amount Remaining: Not reported
APNS: 56-1933-24-3

Description: The site is located between Channing Way to the north and Bancroft Way to the south on San Pablo Avenue. Julius Chase purchased the property in 1939 from Joe Long and operated an auto wrecking yard on site to approximately 1980. The property originally extended from San Pablo to 10th Street and consisted of a storage lot and a brick building used to support auto wrecking activities. The western half of the lot was sold and residential homes were built on 10th Street. In 1967 or 1968, most of the site was paved except, two small areas located west along the fence separating residential homes and this site. Soil contamination is located in an unpaved section of approximately ten (10) feet by forty (40) feet, along the property's western boundary adjacent to residential homes' backyards. An A&W Root Beer restaurant was built on the eastern portion of the lot and operated until 1980. In 1980, the restaurant closed, and the eastern parcel was divided into two lots, Ali Baba restaurant and Greg's Auto Repair (in the brick building) which occupied the northern and southern portion respectively. The auto repair shop operated under Greg's Auto Repair from 1980 to March 1983. Under different ownership, the shop operated from 1983 to 1988 under various names such as Mitchell's Auto Repair, Peter's Automotive Service, Peter Mitchell Imports and Berkeley Auto Repair. The property was sold in April 1999. Currently, there are no business activities at the site. The site is fenced.

CA BOND EXP. PLAN:

Reponsible Party: TIER 3 (MINIMUM HAZARD THRESHOLD SITE) REPORT
Project Revenue Source Company: Not reported
Project Revenue Source Addr: Not reported
Project Revenue Source City,St,Zip: Not reported
Project Revenue Source Desc: Not reported

Site Description: This site includes an auto repair shop and a restaurant. The auto repair shop is a small building at the back of a narrow, fenced, asphalt-paved yard and the restaurant is located to the north. There have been auto repair shops on the site for the last 8-9 years. Prior to that, an auto wrecking yard operated at the site.

Hazardous Waste Desc: Moderate levels of methylene chloride in waste oils present in the soil at this site have been detected. Low to moderate levels of lead have also been

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BERKELEY AUTO REPAIR (Continued)

S100833564

detected. A citizen's complaint of oily waste runoff brought this site to the Department's attention in 1985.
Threat To Public Health & Env: Not reported
Site Activity Status: As a Tier 3 site, this site will be listed annually in this report. When this site has been abated to the satisfaction of the City of Berkeley, the responsible parties will be encouraged to submit a report of abatement action. If it appears that the action was satisfactory, this site will be assigned a "no further action" status and deleted from the active site database.

HIST CORTESE:
Region: CORTESE
Facility County Code: 1
Reg By: CALSI
Reg Id: 01750013

**Q60
NE
1/4-1/2
0.403 mi.
2126 ft.**

**FORMER EXXON 7-8465
2300 SAN PABLO AVE
BERKELEY, CA 94704
Site 1 of 2 in cluster Q**

**CA LUST 1000337851
CA SWEEPS UST N/A
CA HIST UST
CA HIST CORTESE**

**Relative:
Higher
Actual:
56 ft.**

LUST:
Lead Agency: BERKELEY, CITY OF
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101868
Global Id: T0600101868
Latitude: 37.864336
Longitude: -122.290937
Status: Completed - Case Closed
Status Date: 11/20/2001
Case Worker: GAF
RB Case Number: 01-2022
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-2022
Potential Media Affect: Other Groundwater (uses other than drinking water)
Potential Contaminants of Concern: Gasoline
Site History: Not reported

LUST:
Global Id: T0600101868
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600101868
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

FORMER EXXON 7-8465 (Continued)

1000337851

LUST:

Global Id:	T0600101868
Action Type:	Other
Date:	02/06/1995
Action:	Leak Stopped
Global Id:	T0600101868
Action Type:	Other
Date:	02/06/1995
Action:	Leak Reported
Global Id:	T0600101868
Action Type:	ENFORCEMENT
Date:	11/21/2001
Action:	Closure/No Further Action Letter
Global Id:	T0600101868
Action Type:	Other
Date:	02/06/1995
Action:	Leak Discovery

LUST:

Global Id:	T0600101868
Status:	Open - Case Begin Date
Status Date:	11/30/1994
Global Id:	T0600101868
Status:	Open - Site Assessment
Status Date:	11/30/1994
Global Id:	T0600101868
Status:	Open - Site Assessment
Status Date:	05/02/1995
Global Id:	T0600101868
Status:	Open - Site Assessment
Status Date:	01/22/1998
Global Id:	T0600101868
Status:	Open - Remediation
Status Date:	07/13/1998
Global Id:	T0600101868
Status:	Open - Verification Monitoring
Status Date:	01/01/2000
Global Id:	T0600101868
Status:	Completed - Case Closed
Status Date:	11/20/2001

LUST REG 2:

Region:	2
Facility Id:	01-2022
Facility Status:	Case Closed
Case Number:	01-2022

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

FORMER EXXON 7-8465 (Continued)

1000337851

How Discovered: Tank Closure
Leak Cause: UNK
Leak Source: UNK
Date Leak Confirmed: 11/30/1994
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: 5/2/1995
Pollution Characterization Began: 1/22/1998
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: 7/13/1998
Date Post Remedial Action Monitoring Began: 1/1/2000

SWEEPS UST:

Status: Active
Comp Number: 24111
Number: 1
Board Of Equalization: 44-000285
Referral Date: 05-16-94
Action Date: 06-01-94
Created Date: 02-29-88
Owner Tank Id: 1
SWRCB Tank Id: 01-020-024111-000001
Tank Status: A
Capacity: 12000
Active Date: 05-16-94
Tank Use: M.V. FUEL
STG: P
Content: REG UNLEADED
Number Of Tanks: 5

Status: Active
Comp Number: 24111
Number: 1
Board Of Equalization: 44-000285
Referral Date: 05-16-94
Action Date: 06-01-94
Created Date: 02-29-88
Owner Tank Id: 2
SWRCB Tank Id: 01-020-024111-000002
Tank Status: A
Capacity: 10000
Active Date: 05-16-94
Tank Use: M.V. FUEL
STG: P
Content: PLUS UNLEADE
Number Of Tanks: Not reported

Status: Active
Comp Number: 24111
Number: 1
Board Of Equalization: 44-000285
Referral Date: 05-16-94
Action Date: 06-01-94
Created Date: 02-29-88
Owner Tank Id: 3
SWRCB Tank Id: 01-020-024111-000003
Tank Status: A

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

FORMER EXXON 7-8465 (Continued)

1000337851

Capacity: 10000
Active Date: 05-16-94
Tank Use: M.V. FUEL
STG: P
Content: DIESEL
Number Of Tanks: Not reported

Status: Active
Comp Number: 24111
Number: 1
Board Of Equalization: 44-000285
Referral Date: 05-16-94
Action Date: 06-01-94
Created Date: 02-29-88
Owner Tank Id: 4
SWRCB Tank Id: 01-020-024111-000004
Tank Status: A
Capacity: 8000
Active Date: 05-16-94
Tank Use: M.V. FUEL
STG: P
Content: PRM UNLEADED
Number Of Tanks: Not reported

Status: Active
Comp Number: 24111
Number: 1
Board Of Equalization: 44-000285
Referral Date: 05-16-94
Action Date: 06-01-94
Created Date: 02-29-88
Owner Tank Id: 5
SWRCB Tank Id: 01-020-024111-000005
Tank Status: A
Capacity: 1000
Active Date: 08-25-93
Tank Use: M.V. FUEL
STG: W
Content: DIESEL
Number Of Tanks: Not reported

HIST UST:

File Number: 00035F88
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/00035F88.pdf>
Region: STATE
Facility ID: 00000024111
Facility Type: Gas Station
Other Type: Not reported
Contact Name: TONY CINCIANCIARVLO
Telephone: 4158433471
Owner Name: EXXON COMPANY U.S.A.
Owner Address: 16945 NORTHCHASE BLVD.
Owner City,St,Zip: HOUSTON, TX 77210
Total Tanks: 0005

Tank Num: 001
Container Num: 5

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

FORMER EXXON 7-8465 (Continued)

1000337851

Year Installed: 1983
Tank Capacity: 00001000
Tank Used for: PRODUCT
Type of Fuel: WASTE OIL
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

Tank Num: 002
Container Num: 1
Year Installed: 1983
Tank Capacity: 00008000
Tank Used for: PRODUCT
Type of Fuel: PREMIUM
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

Tank Num: 003
Container Num: 2
Year Installed: 1983
Tank Capacity: 00010000
Tank Used for: PRODUCT
Type of Fuel: REGULAR
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

Tank Num: 004
Container Num: 3
Year Installed: 1983
Tank Capacity: 00012000
Tank Used for: PRODUCT
Type of Fuel: UNLEADED
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

Tank Num: 005
Container Num: 4
Year Installed: 1983
Tank Capacity: 00010000
Tank Used for: PRODUCT
Type of Fuel: DIESEL
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

[Click here for Geo Tracker PDF:](#)

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-2022

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

61
South
1/4-1/2
0.409 mi.
2159 ft.

Relative:
Lower

Actual:
24 ft.

PQ CORP THE
801 GRAYSON ST
BERKELEY, CA 94710

RCRA-SQG **1000180425**
CA LUST **CAD009146663**
CA SWEEPS UST
CA HIST UST
CA FID UST
CA HIST CORTESE
CA NPDES
CA CIWQS

RCRA-SQG:

Date form received by agency: 09/01/1996
Facility name: PQ CORP THE
Facility address: 801 GRAYSON ST
BERKELEY, CA 94710

EPA ID: CAD009146663
Contact: Not reported
Contact address: Not reported
Not reported
Contact country: US
Contact telephone: Not reported
Contact email: Not reported
EPA Region: 09
Classification: Small Small Quantity Generator
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED
Owner/operator address: NOT REQUIRED
NOT REQUIRED, ME 99999

Owner/operator country: Not reported
Owner/operator telephone: 415-555-1212
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: THE PQ CORPORATION
Owner/operator address: NOT REQUIRED
NOT REQUIRED, ME 99999

Owner/operator country: Not reported
Owner/operator telephone: 415-555-1212
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PQ CORP THE (Continued)

1000180425

Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

Historical Generators:

Date form received by agency: 08/07/1980
 Site name: PQ CORP THE
 Classification: Large Quantity Generator

Violation Status: No violations found

LUST:

Lead Agency: BERKELEY, CITY OF
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101106
 Global Id: T0600101106
 Latitude: 37.8544902
 Longitude: -122.2965712
 Status: Completed - Case Closed
 Status Date: 04/30/2003
 Case Worker: GAF
 RB Case Number: 01-1203
 Local Agency: BERKELEY, CITY OF
 File Location: Not reported
 Local Case Number: 01-1203
 Potential Media Affect: Other Groundwater (uses other than drinking water), Soil
 Potential Contaminants of Concern: Heating Oil / Fuel Oil, Diesel
 Site History: Not reported

LUST:

Global Id: T0600101106
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us
 Phone Number: Not reported

Global Id: T0600101106
 Contact Type: Regional Board Caseworker
 Contact Name: Regional Water Board
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY ST SUITE 1400
 City: OAKLAND
 Email: Not reported
 Phone Number: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PQ CORP THE (Continued)

1000180425

LUST:

Global Id: T0600101106
Action Type: Other
Date: 11/06/1986
Action: Leak Stopped

Global Id: T0600101106
Action Type: Other
Date: 11/06/1986
Action: Leak Reported

Global Id: T0600101106
Action Type: Other
Date: 11/06/1986
Action: Leak Discovery

Global Id: T0600101106
Action Type: ENFORCEMENT
Date: 04/30/2003
Action: * No Action

Global Id: T0600101106
Action Type: REMEDIATION
Date: 04/05/2000
Action: Excavation

LUST:

Global Id: T0600101106
Status: Open - Case Begin Date
Status Date: 11/06/1986

Global Id: T0600101106
Status: Completed - Case Closed
Status Date: 04/30/2003

LUST REG 2:

Region: 2
Facility Id: 01-1203
Facility Status: Case Closed
Case Number: 01-1203
How Discovered: PST
Leak Cause: UNK
Leak Source: Tank
Date Leak Confirmed: Not reported
Oversight Program: LUST
Prelim. Site Assesment Wokplan Submitted: Not reported
Preliminary Site Assesment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

SWEEPS UST:

Status: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PQ CORP THE (Continued)

1000180425

Comp Number: 67591
Number: Not reported
Board Of Equalization: 44-001558
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-067591-000001
Tank Status: Not reported
Capacity: 26600
Active Date: Not reported
Tank Use: UNKNOWN
STG: PRODUCT
Content: Not reported
Number Of Tanks: 3

Status: Not reported
Comp Number: 67591
Number: Not reported
Board Of Equalization: 44-001558
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-067591-000002
Tank Status: Not reported
Capacity: 10000
Active Date: Not reported
Tank Use: UNKNOWN
STG: PRODUCT
Content: Not reported
Number Of Tanks: Not reported

Status: Not reported
Comp Number: 67591
Number: Not reported
Board Of Equalization: 44-001558
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-067591-000003
Tank Status: Not reported
Capacity: 500
Active Date: Not reported
Tank Use: M.V. FUEL
STG: PRODUCT
Content: LEADED
Number Of Tanks: Not reported

HIST UST:

File Number: 000363D0
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/000363D0.pdf>
Region: STATE
Facility ID: 00000067591
Facility Type: Other
Other Type: CHEMICAL PLANT

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PQ CORP THE (Continued)

1000180425

Contact Name: ED KOSHETAR
Telephone: 4158451048
Owner Name: THE P.Q. CORPORATION
Owner Address: P.O. BOX 840
Owner City,St,Zip: VALLEY FORGE, PA 19482
Total Tanks: 0003

Tank Num: 001
Container Num: 19A
Year Installed: Not reported
Tank Capacity: 00026600
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: X
Leak Detection: Stock Inventor

Tank Num: 002
Container Num: 19B
Year Installed: Not reported
Tank Capacity: 00010000
Tank Used for: PRODUCT
Type of Fuel: Not reported
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

Tank Num: 003
Container Num: GASOLINE
Year Installed: Not reported
Tank Capacity: 00000500
Tank Used for: PRODUCT
Type of Fuel: REGULAR
Container Construction Thickness: Not reported
Leak Detection: Stock Inventor

Click here for Geo Tracker PDF:

CA FID UST:

Facility ID: 01001320
Regulated By: UTNKA
Regulated ID: 00067591
Cortese Code: Not reported
SIC Code: Not reported
Facility Phone: 4158451048
Mail To: Not reported
Mailing Address: 801 GRAYSON ST
Mailing Address 2: Not reported
Mailing City,St,Zip: BERKELEY 94710
Contact: Not reported
Contact Phone: Not reported
DUNs Number: Not reported
NPDES Number: Not reported
EPA ID: Not reported
Comments: Not reported
Status: Active

HIST CORTESE:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PQ CORP THE (Continued)

1000180425

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-1203

NPDES:

Npdes Number: Not reported
Facility Status: Not reported
Agency Id: Not reported
Region: 2
Regulatory Measure Id: 453143
Order No: Not reported
Regulatory Measure Type: Construction
Place Id: Not reported
WDID: 2 01C372409
Program Type: Not reported
Adoption Date Of Regulatory Measure: Not reported
Effective Date Of Regulatory Measure: Not reported
Expiration Date Of Regulatory Measure: Not reported
Termination Date Of Regulatory Measure: Not reported
Discharge Name: Not reported
Discharge Address: Not reported
Discharge City: Not reported
Discharge State: Not reported
Discharge Zip: Not reported
RECEIVED DATE: 03/09/2015
PROCESSED DATE: 03/16/2015
STATUS CODE NAME: Active
STATUS DATE: 03/16/2015
PLACE SIZE: 1.43
PLACE SIZE UNIT: Acres
FACILITY CONTACT NAME: Carlos Gallegos
FACILITY CONTACT TITLE: Not reported
FACILITY CONTACT PHONE: 510-710-5000
FACILITY CONTACT PHONE EXT: 7764
FACILITY CONTACT EMAIL: carlos.gallegos@bayer.com
OPERATOR NAME: Bayer Healthcare LLC
OPERATOR ADDRESS: 800 Dwight Way
OPERATOR CITY: Berkeley
OPERATOR STATE: California
OPERATOR ZIP: 94710
OPERATOR CONTACT NAME: Carlos Gallegos
OPERATOR CONTACT TITLE: Not reported
OPERATOR CONTACT PHONE: 510-710-5000
OPERATOR CONTACT PHONE EXT: 7764
OPERATOR CONTACT EMAIL: carlos.gallegos@bayer.com
OPERATOR TYPE: Private Business
DEVELOPER NAME: Bayer Healthcare LLC
DEVELOPER ADDRESS: 800 Dwight Way
DEVELOPER CITY: Berkeley
DEVELOPER STATE: California
DEVELOPER ZIP: 94710
DEVELOPER CONTACT NAME: Carlos Gallegos
DEVELOPER CONTACT TITLE: Not reported
CONSTYPE LINEAR UTILITY IND: N
EMERGENCY PHONE NO: Not reported
EMERGENCY PHONE EXT: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PQ CORP THE (Continued)

1000180425

CONSTYPE ABOVE GROUND IND:	N
CONSTYPE BELOW GROUND IND:	N
CONSTYPE CABLE LINE IND:	N
CONSTYPE COMM LINE IND:	N
CONSTYPE COMMERTIAL IND:	N
CONSTYPE ELECTRICAL LINE IND:	N
CONSTYPE GAS LINE IND:	N
CONSTYPE INDUSTRIAL IND:	Y
CONSTYPE OTHER DESRIPTION:	Not reported
CONSTYPE OTHER IND:	N
CONSTYPE RECONS IND:	N
CONSTYPE RESIDENTIAL IND:	N
CONSTYPE TRANSPORT IND:	N
CONSTYPE UTILITY DESCRIPTION:	Not reported
CONSTYPE UTILITY IND:	N
CONSTYPE WATER SEWER IND:	N
DIR DISCHARGE USWATER IND:	N
RECEIVING WATER NAME:	San Francisco Bay
CERTIFIER NAME:	Carlos Gallegos
CERTIFIER TITLE:	Project Manager
CERTIFICATION DATE:	09-MAR-15
PRIMARY SIC:	Not reported
SECONDARY SIC:	Not reported
TERTIARY SIC:	Not reported
Npdes Number:	CAS000002
Facility Status:	Terminated
Agency Id:	0
Region:	2
Regulatory Measure Id:	453143
Order No:	2009-0009-DWQ
Regulatory Measure Type:	Enrollee
Place Id:	Not reported
WDID:	2 01C372409
Program Type:	Construction
Adoption Date Of Regulatory Measure:	Not reported
Effective Date Of Regulatory Measure:	03/16/2015
Expiration Date Of Regulatory Measure:	Not reported
Termination Date Of Regulatory Measure:	09/18/2017
Discharge Name:	Bayer Healthcare LLC
Discharge Address:	800 Dwight Way
Discharge City:	Berkeley
Discharge State:	California
Discharge Zip:	94710
RECEIVED DATE:	Not reported
PROCESSED DATE:	Not reported
STATUS CODE NAME:	Not reported
STATUS DATE:	Not reported
PLACE SIZE:	Not reported
PLACE SIZE UNIT:	Not reported
FACILITY CONTACT NAME:	Not reported
FACILITY CONTACT TITLE:	Not reported
FACILITY CONTACT PHONE:	Not reported
FACILITY CONTACT PHONE EXT:	Not reported
FACILITY CONTACT EMAIL:	Not reported
OPERATOR NAME:	Not reported
OPERATOR ADDRESS:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

PQ CORP THE (Continued)

1000180425

OPERATOR CITY: Not reported
 OPERATOR STATE: Not reported
 OPERATOR ZIP: Not reported
 OPERATOR CONTACT NAME: Not reported
 OPERATOR CONTACT TITLE: Not reported
 OPERATOR CONTACT PHONE: Not reported
 OPERATOR CONTACT PHONE EXT: Not reported
 OPERATOR CONTACT EMAIL: Not reported
 OPERATOR TYPE: Not reported
 DEVELOPER NAME: Not reported
 DEVELOPER ADDRESS: Not reported
 DEVELOPER CITY: Not reported
 DEVELOPER STATE: Not reported
 DEVELOPER ZIP: Not reported
 DEVELOPER CONTACT NAME: Not reported
 DEVELOPER CONTACT TITLE: Not reported
 CONSTYPE LINEAR UTILITY IND: Not reported
 EMERGENCY PHONE NO: Not reported
 EMERGENCY PHONE EXT: Not reported
 CONSTYPE ABOVE GROUND IND: Not reported
 CONSTYPE BELOW GROUND IND: Not reported
 CONSTYPE CABLE LINE IND: Not reported
 CONSTYPE COMM LINE IND: Not reported
 CONSTYPE COMMERTIAL IND: Not reported
 CONSTYPE ELECTRICAL LINE IND: Not reported
 CONSTYPE GAS LINE IND: Not reported
 CONSTYPE INDUSTRIAL IND: Not reported
 CONSTYPE OTHER DESRIPTION: Not reported
 CONSTYPE OTHER IND: Not reported
 CONSTYPE RECONS IND: Not reported
 CONSTYPE RESIDENTIAL IND: Not reported
 CONSTYPE TRANSPORT IND: Not reported
 CONSTYPE UTILITY DESCRIPTION: Not reported
 CONSTYPE UTILITY IND: Not reported
 CONSTYPE WATER SEWER IND: Not reported
 DIR DISCHARGE USWATER IND: Not reported
 RECEIVING WATER NAME: Not reported
 CERTIFIER NAME: Not reported
 CERTIFIER TITLE: Not reported
 CERTIFICATION DATE: Not reported
 PRIMARY SIC: Not reported
 SECONDARY SIC: Not reported
 TERTIARY SIC: Not reported

CIWQS:

Agency: Bayer Healthcare LLC
 Agency Address: 800 Dwight Way, Berkeley , CA 94710
 Place/Project Type: Construction - Industrial
 SIC/NAICS: Not reported
 Region: 2
 Program: CONSTW
 Regulatory Measure Status: Terminated
 Regulatory Measure Type: Storm water construction
 Order Number: 2009-0009-DWQ
 WDID: 2 01C372409
 NPDES Number: CAS000002
 Adoption Date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PQ CORP THE (Continued)

1000180425

Effective Date: 03/16/2015
 Termination Date: 09/18/2017
 Expiration/Review Date: Not reported
 Design Flow: Not reported
 Major/Minor: Not reported
 Complexity: Not reported
 TTWQ: Not reported
 Enforcement Actions within 5 years: 0
 Violations within 5 years: 0
 Latitude: 37.8558
 Longitude: -122.2947

Agency: PQ Corp
 Agency Address: PO Box 840, Valley Forge, PA 19482
 Place/Project Type: Industrial - Industrial Inorganic Chemicals, NEC
 SIC/NAICS: 2819
 Region: 2
 Program: INDSTW
 Regulatory Measure Status: Terminated
 Regulatory Measure Type: Storm water industrial
 Order Number: 2014-0057-DWQ
 WDID: 2 01I000398
 NPDES Number: CAS000001
 Adoption Date: Not reported
 Effective Date: 03/11/1992
 Termination Date: 04/06/2001
 Expiration/Review Date: Not reported
 Design Flow: Not reported
 Major/Minor: Not reported
 Complexity: Not reported
 TTWQ: Not reported
 Enforcement Actions within 5 years: 0
 Violations within 5 years: 0
 Latitude: 37.85483
 Longitude: -122.29484

**P62
ENE
1/4-1/2
0.410 mi.
2166 ft.**

**2371 SAN PABLO AVENUE
2371 SAN PABLO AVENUE
BERKELEY, CA 94702**

**CA ENVIROSTOR S118353735
CA VCP N/A**

Site 3 of 3 in cluster P

**Relative:
Higher
Actual:
60 ft.**

ENVIROSTOR:
 Facility ID: 60002253
 Status: Active
 Status Date: 10/01/2015
 Site Code: 202058
 Site Type: Voluntary Cleanup
 Site Type Detailed: Voluntary Cleanup
 Acres: 1.13
 NPL: NO
 Regulatory Agencies: SMBRP
 Lead Agency: SMBRP
 Program Manager: Not reported
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Assembly: , 15
 Senate: , 09

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

2371 SAN PABLO AVENUE (Continued)

S118353735

Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Responsible Party
 Latitude: 37.86339
 Longitude: -122.2900
 APN: NONE SPECIFIED
 Past Use: DRY CLEANING
 Potential COC: Tetrachloroethylene (PCE)
 Confirmed COC: Tetrachloroethylene (PCE)
 Potential Description: SOIL, SV
 Alias Name: 202058
 Alias Type: Project Code (Site Code)
 Alias Name: 60002253
 Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Correspondence
 Completed Date: 10/13/2015
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Voluntary Cleanup Agreement
 Completed Date: 11/20/2015
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Application
 Completed Date: 10/13/2015
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Characterization Workplan
 Completed Date: 05/26/2016
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Characterization Report
 Completed Date: 08/25/2016
 Comments: DTSC provided comments during the meeting held with the RP and his consultant. RP is to conduct additional groundwater sampling to determine the horizontal extend of contamination and to address vapor intrusion issue underneath the building in crawling space area.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Characterization Workplan
 Completed Date: 04/12/2017
 Comments: Workplan to collect additional groundwater samples and to install interim measures which vent sub-slab vapors from under the building while site is characterized.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

2371 SAN PABLO AVENUE (Continued)

S118353735

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Fieldwork
 Completed Date: 06/30/2017
 Comments: Interim measures including a vapor barrier and two venting systems were installed. Indoor air samples were collected in both the residential & commercial spaces in early June. An additional indoor air sample was collected in the commercial space on June 29.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Characterization Report
 Completed Date: 09/21/2015
 Comments: Elevated concentrations of tetrachloroethene found in soil gas at the site. This report was not prepared under DTSC oversight.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Annual Oversight Cost Estimate
 Completed Date: 09/27/2016
 Comments: Not reported

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: PROJECT WIDE
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Remedial Action Completion Report
 Schedule Due Date: 12/29/2017
 Schedule Revised Date: Not reported

VCP:

Facility ID: 60002253
 Site Type: Voluntary Cleanup
 Site Type Detail: Voluntary Cleanup
 Site Mgmt. Req.: NONE SPECIFIED
 Acres: 1.13
 National Priorities List: NO
 Cleanup Oversight Agencies: SMBRP
 Lead Agency: SMBRP
 Lead Agency Description: DTSC - Site Cleanup Program
 Project Manager: Not reported
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Site Code: 202058
 Assembly: , 15
 Senate: , 09
 Special Programs Code: Not reported
 Status: Active
 Status Date: 10/01/2015
 Restricted Use: NO
 Funding: Responsible Party
 Lat/Long: 37.86339 / -122.2900
 APN: NONE SPECIFIED
 Past Use: DRY CLEANING
 Potential COC: 30022

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

2371 SAN PABLO AVENUE (Continued)

S118353735

Confirmed COC: 30022
Potential Description: SOIL, SV
Alias Name: 202058
Alias Type: Project Code (Site Code)
Alias Name: 60002253
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Correspondence
Completed Date: 10/13/2015
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Voluntary Cleanup Agreement
Completed Date: 11/20/2015
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Application
Completed Date: 10/13/2015
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Site Characterization Workplan
Completed Date: 05/26/2016
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Site Characterization Report
Completed Date: 08/25/2016
Comments: DTSC provided comments during the meeting held with the RP and his consultant. RP is to conduct additional groundwater sampling to determine the horizontal extend of contamination and to address vapor intrusion issue underneath the building in crawling space area.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Site Characterization Workplan
Completed Date: 04/12/2017
Comments: Workplan to collect additional groundwater samples and to install interim measures which vent sub-slab vapors from under the building while site is characterized.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Fieldwork
Completed Date: 06/30/2017
Comments: Interim measures including a vapor barrier and two venting systems were installed. Indoor air samples were collected in both the residential & commercial spaces in early June. An additional indoor air sample was collected in the commercial space on June 29.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

2371 SAN PABLO AVENUE (Continued)

S118353735

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Characterization Report
 Completed Date: 09/21/2015
 Comments: Elevated concentrations of tetrachloroethene found in soil gas at the site. This report was not prepared under DTSC oversight.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Annual Oversight Cost Estimate
 Completed Date: 09/27/2016
 Comments: Not reported

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: PROJECT WIDE
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Remedial Action Completion Report
 Schedule Due Date: 12/29/2017
 Schedule Revised Date: Not reported

**R63
NNW
1/4-1/2
0.413 mi.
2181 ft.**

**TAKARA SAKE USA INCORPORATED
708 ADDISON ST
BERKELEY, CA 94710
Site 1 of 2 in cluster R**

**CA LUST S101293389
CA HIST CORTESE N/A
CA NPDES
CA WDS
CA CIWQS**

**Relative:
Lower
Actual:
18 ft.**

LUST:
 Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100981
 Global Id: T0600100981
 Latitude: 37.8661225
 Longitude: -122.3000878
 Status: Completed - Case Closed
 Status Date: 05/04/1989
 Case Worker: UUU
 RB Case Number: 01-1064
 Local Agency: BERKELEY, CITY OF
 File Location: Not reported
 Local Case Number: 01-1064
 Potential Media Affect: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Heating Oil / Fuel Oil
 Site History: Not reported

LUST:
 Global Id: T0600100981
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us
 Phone Number: Not reported

Global Id: T0600100981

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

TAKARA SAKE USA INCORPORATED (Continued)

S101293389

Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:

Global Id: T0600100981
Action Type: Other
Date: 01/24/1989
Action: Leak Discovery

Global Id: T0600100981
Action Type: Other
Date: 01/24/1989
Action: Leak Stopped

Global Id: T0600100981
Action Type: RESPONSE
Date: 04/18/1989
Action: Other Report / Document

Global Id: T0600100981
Action Type: RESPONSE
Date: 02/09/1989
Action: Other Report / Document

Global Id: T0600100981
Action Type: Other
Date: 01/24/1989
Action: Leak Reported

Global Id: T0600100981
Action Type: RESPONSE
Date: 06/27/1989
Action: Other Report / Document

Global Id: T0600100981
Action Type: RESPONSE
Date: 01/25/1989
Action: Correspondence

LUST:

Global Id: T0600100981
Status: Open - Case Begin Date
Status Date: 01/24/1989

Global Id: T0600100981
Status: Open - Site Assessment
Status Date: 04/19/1989

Global Id: T0600100981
Status: Completed - Case Closed
Status Date: 05/04/1989

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

TAKARA SAKE USA INCORPORATED (Continued)

S101293389

LUST REG 2:

Region: 2
 Facility Id: 01-1064
 Facility Status: Case Closed
 Case Number: 01-1064
 How Discovered: Tank Closure
 Leak Cause: Structure Failure
 Leak Source: Tank
 Date Leak Confirmed: 4/19/1989
 Oversight Program: LUST
 Prelim. Site Assessment Workplan Submitted: Not reported
 Preliminary Site Assessment Began: 5/4/1989
 Pollution Characterization Began: Not reported
 Pollution Remediation Plan Submitted: Not reported
 Date Remediation Action Underway: Not reported
 Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
 Facility County Code: 1
 Reg By: LTNKA
 Reg Id: 01-1064

NPDES:

Npdes Number: CAS000001
 Facility Status: Active
 Agency Id: 0
 Region: 2
 Regulatory Measure Id: 180880
 Order No: 97-03-DWQ
 Regulatory Measure Type: Enrollee
 Place Id: Not reported
 WDID: 2 01I010381
 Program Type: Industrial
 Adoption Date Of Regulatory Measure: Not reported
 Effective Date Of Regulatory Measure: 08/02/1993
 Expiration Date Of Regulatory Measure: Not reported
 Termination Date Of Regulatory Measure: Not reported
 Discharge Name: Takara Sake
 Discharge Address: 708 Addison St
 Discharge City: Berkeley
 Discharge State: California
 Discharge Zip: 94710
 RECEIVED DATE: Not reported
 PROCESSED DATE: Not reported
 STATUS CODE NAME: Not reported
 STATUS DATE: Not reported
 PLACE SIZE: Not reported
 PLACE SIZE UNIT: Not reported
 FACILITY CONTACT NAME: Not reported
 FACILITY CONTACT TITLE: Not reported
 FACILITY CONTACT PHONE: Not reported
 FACILITY CONTACT PHONE EXT: Not reported
 FACILITY CONTACT EMAIL: Not reported
 OPERATOR NAME: Not reported
 OPERATOR ADDRESS: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

TAKARA SAKE USA INCORPORATED (Continued)

S101293389

OPERATOR CITY:	Not reported
OPERATOR STATE:	Not reported
OPERATOR ZIP:	Not reported
OPERATOR CONTACT NAME:	Not reported
OPERATOR CONTACT TITLE:	Not reported
OPERATOR CONTACT PHONE:	Not reported
OPERATOR CONTACT PHONE EXT:	Not reported
OPERATOR CONTACT EMAIL:	Not reported
OPERATOR TYPE:	Not reported
DEVELOPER NAME:	Not reported
DEVELOPER ADDRESS:	Not reported
DEVELOPER CITY:	Not reported
DEVELOPER STATE:	Not reported
DEVELOPER ZIP:	Not reported
DEVELOPER CONTACT NAME:	Not reported
DEVELOPER CONTACT TITLE:	Not reported
CONSTYPE LINEAR UTILITY IND:	Not reported
EMERGENCY PHONE NO:	Not reported
EMERGENCY PHONE EXT:	Not reported
CONSTYPE ABOVE GROUND IND:	Not reported
CONSTYPE BELOW GROUND IND:	Not reported
CONSTYPE CABLE LINE IND:	Not reported
CONSTYPE COMM LINE IND:	Not reported
CONSTYPE COMMERTIAL IND:	Not reported
CONSTYPE ELECTRICAL LINE IND:	Not reported
CONSTYPE GAS LINE IND:	Not reported
CONSTYPE INDUSTRIAL IND:	Not reported
CONSTYPE OTHER DESRIPTION:	Not reported
CONSTYPE OTHER IND:	Not reported
CONSTYPE RECONS IND:	Not reported
CONSTYPE RESIDENTIAL IND:	Not reported
CONSTYPE TRANSPORT IND:	Not reported
CONSTYPE UTILITY DESCRIPTION:	Not reported
CONSTYPE UTILITY IND:	Not reported
CONSTYPE WATER SEWER IND:	Not reported
DIR DISCHARGE USWATER IND:	Not reported
RECEIVING WATER NAME:	Not reported
CERTIFIER NAME:	Not reported
CERTIFIER TITLE:	Not reported
CERTIFICATION DATE:	Not reported
PRIMARY SIC:	Not reported
SECONDARY SIC:	Not reported
TERTIARY SIC:	Not reported
Npdes Number:	Not reported
Facility Status:	Not reported
Agency Id:	Not reported
Region:	2
Regulatory Measure Id:	180880
Order No:	Not reported
Regulatory Measure Type:	Industrial
Place Id:	Not reported
WDID:	2 011010381
Program Type:	Not reported
Adoption Date Of Regulatory Measure:	Not reported
Effective Date Of Regulatory Measure:	Not reported
Expiration Date Of Regulatory Measure:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

TAKARA SAKE USA INCORPORATED (Continued)

S101293389

Termination Date Of Regulatory Measure: Not reported
 Discharge Name: Not reported
 Discharge Address: Not reported
 Discharge City: Not reported
 Discharge State: Not reported
 Discharge Zip: Not reported
 RECEIVED DATE: 05/09/2008
 PROCESSED DATE: 08/02/1993
 STATUS CODE NAME: Active
 STATUS DATE: 08/02/1993
 PLACE SIZE: 3
 PLACE SIZE UNIT: Acres
 FACILITY CONTACT NAME: William Giddens
 FACILITY CONTACT TITLE: Not reported
 FACILITY CONTACT PHONE: 510-540-8250
 FACILITY CONTACT PHONE EXT: 125
 FACILITY CONTACT EMAIL: william@takarasake.com
 OPERATOR NAME: Takara Sake
 OPERATOR ADDRESS: 708 Addison St
 OPERATOR CITY: Berkeley
 OPERATOR STATE: California
 OPERATOR ZIP: 94710
 OPERATOR CONTACT NAME: Masamune Yamauchi
 OPERATOR CONTACT TITLE: General Manager
 OPERATOR CONTACT PHONE: 510-540-8250
 OPERATOR CONTACT PHONE EXT: 113
 OPERATOR CONTACT EMAIL: Yamauchi@takarasake.com
 OPERATOR TYPE: Private Business
 DEVELOPER NAME: Not reported
 DEVELOPER ADDRESS: Not reported
 DEVELOPER CITY: Not reported
 DEVELOPER STATE: California
 DEVELOPER ZIP: Not reported
 DEVELOPER CONTACT NAME: Not reported
 DEVELOPER CONTACT TITLE: Not reported
 CONSTYPE LINEAR UTILITY IND: Not reported
 EMERGENCY PHONE NO: 510-540-8250
 EMERGENCY PHONE EXT: 125
 CONSTYPE ABOVE GROUND IND: Not reported
 CONSTYPE BELOW GROUND IND: Not reported
 CONSTYPE CABLE LINE IND: Not reported
 CONSTYPE COMM LINE IND: Not reported
 CONSTYPE COMMERTIAL IND: Not reported
 CONSTYPE ELECTRICAL LINE IND: Not reported
 CONSTYPE GAS LINE IND: Not reported
 CONSTYPE INDUSTRIAL IND: Not reported
 CONSTYPE OTHER DESRIPTION: Not reported
 CONSTYPE OTHER IND: Not reported
 CONSTYPE RECONS IND: Not reported
 CONSTYPE RESIDENTIAL IND: Not reported
 CONSTYPE TRANSPORT IND: Not reported
 CONSTYPE UTILITY DESCRIPTION: Not reported
 CONSTYPE UTILITY IND: Not reported
 CONSTYPE WATER SEWER IND: Not reported
 DIR DISCHARGE USWATER IND: Y
 RECEIVING WATER NAME: San Francisco Bay
 CERTIFIER NAME: Masamune Yamauchi

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

TAKARA SAKE USA INCORPORATED (Continued)

S101293389

CERTIFIER TITLE: Vice President Production
 CERTIFICATION DATE: 21-MAR-17
 PRIMARY SIC: 2084-Wines, Brandy, and Brandy Spirits
 SECONDARY SIC: Not reported
 TERTIARY SIC: Not reported

WDS:

Facility ID: San Francisco Bay 011010381
 Facility Type: Industrial - Facility that treats and/or disposes of liquid or semisolid wastes from any servicing, producing, manufacturing or processing operation of whatever nature, including mining, gravel washing, geothermal operations, air conditioning, ship building and repairing, oil production, storage and disposal operations, water pumping.
 Facility Status: Active - Any facility with a continuous or seasonal discharge that is under Waste Discharge Requirements.
 NPDES Number: CAS000001 The 1st 2 characters designate the state. The remaining 7 are assigned by the Regional Board
 Subregion: 2
 Facility Telephone: 5105408250
 Facility Contact: SEIZABURO KAWANO
 Agency Name: TAKARA SAKE USA
 Agency Address: 708 Addison St
 Agency City,St,Zip: Berkeley 947101971
 Agency Contact: TAKESHI BABA
 Agency Telephone: 5105408250
 Agency Type: Private
 SIC Code: 0
 SIC Code 2: Not reported
 Primary Waste Type: Not reported
 Primary Waste: Not reported
 Waste Type2: Not reported
 Waste2: Not reported
 Primary Waste Type: Not reported
 Secondary Waste: Not reported
 Secondary Waste Type: Not reported
 Design Flow: 0
 Baseline Flow: 0
 Reclamation: Not reported
 POTW: Not reported
 Treat To Water: Minor Threat to Water Quality. A violation of a regional board order should cause a relatively minor impairment of beneficial uses compared to a major or minor threat. Not: All nurds without a TTWQ will be considered a minor threat to water quality unless coded at a higher Level. A Zero (0) may be used to code those NURDS that are found to represent no threat to water quality.
 Complexity: Category C - Facilities having no waste treatment systems, such as cooling water dischargers or those who must comply through best management practices, facilities with passive waste treatment and disposal systems, such as septic systems with subsurface disposal, or dischargers having waste storage systems with land disposal such as dairy waste ponds.

CIWQS:

Agency: Takara Sake
 Agency Address: 708 Addison St, Berkeley, CA 94710

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

TAKARA SAKE USA INCORPORATED (Continued)

S101293389

Place/Project Type: Industrial - Wines, Brandy, and Brandy Spirits
SIC/NAICS: 2084
Region: 2
Program: INDSTW
Regulatory Measure Status: Active
Regulatory Measure Type: Storm water industrial
Order Number: 2014-0057-DWQ
WDID: 2 01I010381
NPDES Number: CAS000001
Adoption Date: Not reported
Effective Date: 08/02/1993
Termination Date: Not reported
Expiration/Review Date: Not reported
Design Flow: Not reported
Major/Minor: Not reported
Complexity: Not reported
TTWQ: Not reported
Enforcement Actions within 5 years: 0
Violations within 5 years: 0
Latitude: 37.86614
Longitude: -122.30003

**S64
ESE
1/4-1/2
0.424 mi.
2238 ft.**

**STUDIO COMPLEX
1025 CARLETON ST
BERKELEY, CA 94710

Site 1 of 2 in cluster S**

**CA LUST S102438167
CA HIST CORTESE N/A**

**Relative:
Higher

Actual:
50 ft.**

LUST:
Lead Agency: BERKELEY, CITY OF
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101322
Global Id: T0600101322
Latitude: 37.85802
Longitude: -122.289542
Status: Completed - Case Closed
Status Date: 05/03/1994
Case Worker: GAF
RB Case Number: 01-1432
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-1432
Potential Media Affect: Soil
Potential Contaminants of Concern: Stoddard solvent / Mineral Spruits / Distillates
Site History: Not reported

LUST:
Global Id: T0600101322
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600101322
Contact Type: Regional Board Caseworker

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

STUDIO COMPLEX (Continued)

S102438167

Contact Name: Regional Water Board
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY ST SUITE 1400
 City: OAKLAND
 Email: Not reported
 Phone Number: Not reported

LUST:

Global Id: T0600101322
 Action Type: Other
 Date: 11/10/1988
 Action: Leak Discovery

Global Id: T0600101322
 Action Type: Other
 Date: 11/10/1988
 Action: Leak Stopped

Global Id: T0600101322
 Action Type: Other
 Date: 02/08/1989
 Action: Leak Reported

Global Id: T0600101322
 Action Type: ENFORCEMENT
 Date: 05/03/1994
 Action: Closure/No Further Action Letter

LUST:

Global Id: T0600101322
 Status: Open - Case Begin Date
 Status Date: 11/10/1988

Global Id: T0600101322
 Status: Open - Site Assessment
 Status Date: 02/08/1989

Global Id: T0600101322
 Status: Completed - Case Closed
 Status Date: 05/03/1994

LUST REG 2:

Region: 2
 Facility Id: 01-1432
 Facility Status: Case Closed
 Case Number: 01-1432
 How Discovered: Tank Closure
 Leak Cause: Structure Failure
 Leak Source: Tank
 Date Leak Confirmed: 2/8/1989
 Oversight Program: LUST
 Prelim. Site Assesment Wokplan Submitted: Not reported
 Preliminary Site Assesment Began: Not reported
 Pollution Characterization Began: Not reported
 Pollution Remediation Plan Submitted: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

STUDIO COMPLEX (Continued)

S102438167

Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-1432

**65
SSE
1/4-1/2
0.425 mi.
2246 ft.**

**HEINZ/GRAYSON PLUME
7TH STREET AND GRAYSON STREET
BERKELEY, CA 94710**

**CA RESPONSE S108054448
CA ENVIROSTOR N/A**

**Relative:
Higher**

**Actual:
36 ft.**

RESPONSE:

Facility ID: 60000399
Site Type: State Response
Site Type Detail: State Response or NPL
Acres: 15.1
National Priorities List: NO
Cleanup Oversight Agencies: SMBRP, RWQCB 2 - San Francisco Bay, CITY OF BERKELEY
Lead Agency Description: DTSC - Site Cleanup Program
Project Manager: Not reported
Supervisor: Karen Toth
Division Branch: Cleanup Berkeley
Site Code: Not reported
Site Mgmt. Req.: NONE SPECIFIED
Assembly: 15
Senate: 09
Special Program Status: Not reported
Status: Refer: RWQCB
Status Date: 06/27/2007
Restricted Use: NO
Funding: Responsible Party
Latitude: 37.85388
Longitude: -122.2932
APN: 53-1655-2-2, 53-1655-3-15, 53-1655-8, 53-1655-9
Past Use: UNKNOWN, UNKNOWN, UNKNOWN
Potential COC : Lead Polychlorinated biphenyls (PCBs Tetrachloroethylene (PCE Trichloroethylene (TCE Vinyl chloride 1,2-Dichloroethylene (cis Nickel Not reported
Confirmed COC: Polychlorinated biphenyls (PCBs Tetrachloroethylene (PCE Trichloroethylene (TCE Vinyl chloride 1,2-Dichloroethylene (cis Nickel Lead 30028-NO
Potential Description: OTH, SOIL, OTH, SOIL, OTH
Alias Name: Airco Temescal
Alias Type: Alternate Name
Alias Name: Airco, Inc.
Alias Type: Alternate Name
Alias Name: Berkeley Arts Complex
Alias Type: Alternate Name
Alias Name: Berkeley Industrial Court
Alias Type: Alternate Name
Alias Name: Hall Scott Marine Engine Foundry
Alias Type: Alternate Name
Alias Name: Magic Gardens Nursery

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

HEINZ/GRAYSON PLUME (Continued)

S108054448

Alias Type:	Alternate Name
Alias Name:	National Starch and Chemical Company
Alias Type:	Alternate Name
Alias Name:	Primal Screen
Alias Type:	Alternate Name
Alias Name:	Temescal Business Center
Alias Type:	Alternate Name
Alias Name:	53-1655-2-2
Alias Type:	APN
Alias Name:	53-1655-3-15
Alias Type:	APN
Alias Name:	53-1655-8
Alias Type:	APN
Alias Name:	53-1655-9
Alias Type:	APN
Alias Name:	110033613846
Alias Type:	EPA (FRS #)
Alias Name:	201672
Alias Type:	Site Code - Historical
Alias Name:	201673
Alias Type:	Site Code - Historical
Alias Name:	201674
Alias Type:	Site Code - Historical
Alias Name:	CAD980637235
Alias Type:	HWTS Identification Code
Alias Name:	01280069
Alias Type:	Envirostor ID Number
Alias Name:	60000399
Alias Type:	Envirostor ID Number
Alias Name:	60000400
Alias Type:	Envirostor ID Number
Alias Name:	60000668
Alias Type:	Envirostor ID Number

Completed Info:

Completed Area Name:	Berkeley Industrial Court
Completed Sub Area Name:	Not reported
Completed Document Type:	* Discovery
Completed Date:	09/26/1981
Comments:	Facility identified from EPA Superfund list.

Completed Area Name:	Berkeley Industrial Court
Completed Sub Area Name:	Not reported
Completed Document Type:	Site Screening
Completed Date:	02/15/2005
Comments:	Site screening determined that PCBs, lead, nickel, and petroleum hydrocarbons had previously been detected in soil samples collected from the Berkeley Industrial Court site. The City of Berkeley has overseen sampling at the site in an effort to characterize chlorinated solvent occurrence in area groundwater.

Completed Area Name:	National Starch and Chemical Company
Completed Sub Area Name:	Not reported
Completed Document Type:	Site Screening
Completed Date:	11/12/2004
Comments:	Site screening concluded that chlorinated solvents were present in groundwater beneath the National Starch site. The City of Berkeley has overseen sampling at the site in an effort to characterize the

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

HEINZ/GRAYSON PLUME (Continued)

S108054448

occurrence of chlorinated solvents in area groundwater.

Completed Area Name: Berkeley Industrial Court
 Completed Sub Area Name: Not reported
 Completed Document Type: Preliminary Assessment Report
 Completed Date: 04/01/1986
 Comments: Confirmed DHS Preliminary Assessment information. Nine samples taken.

Completed Area Name: Temescal Business Center
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Screening
 Completed Date: 02/15/2005
 Comments: Site screening determined that historic site uses had included automobile manufacturing, rebuilding of marine engines, and storage of chemical metal etching waste. The City of Berkeley has overseen sampling at the site in an effort to characterize the occurrence of chlorinated solvents in area groundwater.

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

ENVIROSTOR:

Facility ID: 60000399
 Status: Refer: RWQCB
 Status Date: 06/27/2007
 Site Code: Not reported
 Site Type: State Response
 Site Type Detailed: State Response or NPL
 Acres: 15.1
 NPL: NO
 Regulatory Agencies: SMBRP, RWQCB 2 - San Francisco Bay, CITY OF BERKELEY
 Lead Agency: SMBRP
 Program Manager: Not reported
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Assembly: 15
 Senate: 09
 Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Responsible Party
 Latitude: 37.85388
 Longitude: -122.2932
 APN: 53-1655-2-2, 53-1655-3-15, 53-1655-8, 53-1655-9
 Past Use: UNKNOWN, UNKNOWN, UNKNOWN
 Potential COC: Lead Polychlorinated biphenyls (PCBs) Tetrachloroethylene (PCE) Trichloroethylene (TCE) Vinyl chloride 1,2-Dichloroethylene (cis Nickel Tetrachloroethylene (PCE) Trichloroethylene (TCE) Vinyl chloride 1,2-Dichloroethylene (cis Tetrachloroethylene (PCE) Trichloroethylene (TCE) 1,2-Dichloroethylene (cis

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

HEINZ/GRAYSON PLUME (Continued)

S108054448

Confirmed COC: Polychlorinated biphenyls (PCBs Tetrachloroethylene (PCE Trichloroethylene (TCE Vinyl chloride 1,2-Dichloroethylene (cis Nickel Lead Tetrachloroethylene (PCE Trichloroethylene (TCE 1,2-Dichloroethylene (cis Tetrachloroethylene (PCE Trichloroethylene (TCE 30028-NO 1,2-Dichloroethylene (cis

Potential Description: OTH, SOIL, OTH, SOIL, OTH

- Alias Name: Airco Temescal
- Alias Type: Alternate Name
- Alias Name: Airco, Inc.
- Alias Type: Alternate Name
- Alias Name: Berkeley Arts Complex
- Alias Type: Alternate Name
- Alias Name: Berkeley Industrial Court
- Alias Type: Alternate Name
- Alias Name: Hall Scott Marine Engine Foundry
- Alias Type: Alternate Name
- Alias Name: Magic Gardens Nursery
- Alias Type: Alternate Name
- Alias Name: National Starch and Chemical Company
- Alias Type: Alternate Name
- Alias Name: Primal Screen
- Alias Type: Alternate Name
- Alias Name: Temescal Business Center
- Alias Type: Alternate Name
- Alias Name: 53-1655-2-2
- Alias Type: APN
- Alias Name: 53-1655-3-15
- Alias Type: APN
- Alias Name: 53-1655-8
- Alias Type: APN
- Alias Name: 53-1655-9
- Alias Type: APN
- Alias Name: 110033613846
- Alias Type: EPA (FRS #)
- Alias Name: 201672
- Alias Type: Site Code - Historical
- Alias Name: 201673
- Alias Type: Site Code - Historical
- Alias Name: 201674
- Alias Type: Site Code - Historical
- Alias Name: CAD980637235
- Alias Type: HWTS Identification Code
- Alias Name: 01280069
- Alias Type: Envirostor ID Number
- Alias Name: 60000399
- Alias Type: Envirostor ID Number
- Alias Name: 60000400
- Alias Type: Envirostor ID Number
- Alias Name: 60000668
- Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: Berkeley Industrial Court
 Completed Sub Area Name: Not reported
 Completed Document Type: * Discovery
 Completed Date: 09/26/1981
 Comments: Facility identified from EPA Superfund list.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

HEINZ/GRAYSON PLUME (Continued)

S108054448

Completed Area Name: Berkeley Industrial Court
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Screening
 Completed Date: 02/15/2005
 Comments: Site screening determined that PCBs, lead, nickel, and petroleum hydrocarbons had previously been detected in soil samples collected from the Berkeley Industrial Court site. The City of Berkeley has overseen sampling at the site in an effort to characterize chlorinated solvent occurrence in area groundwater.

Completed Area Name: National Starch and Chemical Company
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Screening
 Completed Date: 11/12/2004
 Comments: Site screening concluded that chlorinated solvents were present in groundwater beneath the National Starch site. The City of Berkeley has overseen sampling at the site in an effort to characterize the occurrence of chlorinated solvents in area groundwater.

Completed Area Name: Berkeley Industrial Court
 Completed Sub Area Name: Not reported
 Completed Document Type: Preliminary Assessment Report
 Completed Date: 04/01/1986
 Comments: Confirmed DHS Preliminary Assessment information. Nine samples taken.

Completed Area Name: Temescal Business Center
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Screening
 Completed Date: 02/15/2005
 Comments: Site screening determined that historic site uses had included automobile manufacturing, rebuilding of marine engines, and storage of chemical metal etching waste. The City of Berkeley has overseen sampling at the site in an effort to characterize the occurrence of chlorinated solvents in area groundwater.

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

**R66
NNW
1/4-1/2
0.427 mi.
2252 ft.**

**SIERRA DESIGNS LILY WONG
2039 4TH ST
BERKELEY, CA 94710
Site 2 of 2 in cluster R**

**CA LUST S100272587
CA HIST CORTESE N/A**

**Relative:
Lower
Actual:
20 ft.**

LUST:
 Lead Agency: BERKELEY, CITY OF
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101282
 Global Id: T0600101282
 Latitude: 37.8670325
 Longitude: -122.2996624

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SIERRA DESIGNS LILY WONG (Continued)

S100272587

Status: Completed - Case Closed
 Status Date: 09/03/1996
 Case Worker: GAF
 RB Case Number: 01-1388
 Local Agency: BERKELEY, CITY OF
 File Location: Not reported
 Local Case Number: 01-1388
 Potential Media Affect: Soil
 Potential Contaminants of Concern: Diesel
 Site History: Not reported

LUST:

Global Id: T0600101282
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us
 Phone Number: Not reported

Global Id: T0600101282
 Contact Type: Regional Board Caseworker
 Contact Name: Regional Water Board
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY ST SUITE 1400
 City: OAKLAND
 Email: Not reported
 Phone Number: Not reported

LUST:

Global Id: T0600101282
 Action Type: Other
 Date: 05/10/1991
 Action: Leak Stopped

Global Id: T0600101282
 Action Type: Other
 Date: 05/10/1991
 Action: Leak Reported

Global Id: T0600101282
 Action Type: Other
 Date: 05/10/1991
 Action: Leak Discovery

LUST:

Global Id: T0600101282
 Status: Open - Case Begin Date
 Status Date: 05/10/1991

Global Id: T0600101282
 Status: Open - Site Assessment
 Status Date: 06/06/1991

Global Id: T0600101282
 Status: Open - Site Assessment

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

SIERRA DESIGNS LILY WONG (Continued)

S100272587

Status Date: 10/17/1991

Global Id: T0600101282
Status: Completed - Case Closed
Status Date: 09/03/1996

LUST REG 2:

Region: 2
Facility Id: 01-1388
Facility Status: Case Closed
Case Number: 01-1388
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 6/6/1991
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: 10/17/1991
Preliminary Site Assessment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-1388

**67
ENE
1/4-1/2
0.430 mi.
2268 ft.**

**CHASE PROPERTY
2366 78 SAN PABLO
BERKELEY, CA 94704**

**CA LUST S101306330
CA CPS-SLIC N/A
CA HIST CORTESE**

**Relative:
Higher**

LUST REG 2:

**Actual:
62 ft.**

Region: 2
Facility Id: 01-0305
Facility Status: Preliminary site assessment workplan submitted
Case Number: 01-0305
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 2/1/1990
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: 7/21/1991
Preliminary Site Assessment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

CPS-SLIC:

Region: STATE
Facility Status: Completed - Case Closed

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CHASE PROPERTY (Continued)

S101306330

Status Date: 04/11/2008
Global Id: T0600100283
Lead Agency: BERKELEY, CITY OF
Lead Agency Case Number: 01-0305
Latitude: 37.863457
Longitude: -122.289615
Case Type: Cleanup Program Site
Case Worker: GAF
Local Agency: BERKELEY, CITY OF
RB Case Number: 01-0305
File Location: DTSC
Potential Media Affected: Other Groundwater (uses other than drinking water)
Potential Contaminants of Concern: Diesel
Site History: The project was completed under oversight of the Department of Toxic Substances Control. DTSC Certified this property for unrestricted use in April 2008. Details of the investigation and cleanup are available from the DTSC. Electronic information on this case is also available from the DTSC database, EnviroStor, at <http://www.envirostor.dtsc.ca.gov/public/>

Click here to access the California GeoTracker records for this facility:

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0305

**68
NE
1/4-1/2
0.431 mi.
2274 ft.**

**KAPLAN PROPERTY
2234 SAN PABLO AVE
BERKELEY, CA 94704**

**CA LUST S101306329
CA HIST CORTESE N/A
CA NON-CASE INFO**

**Relative:
Higher
Actual:
55 ft.**

LUST REG 2:
Region: 2
Facility Id: 01-0851
Facility Status: Preliminary site assessment workplan submitted
Case Number: 01-0851
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: Not reported
Oversight Program: LUST
Prelim. Site Assesment Wokplan Submitted: 1/2/1965
Preliminary Site Assesment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0851

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

KAPLAN PROPERTY (Continued)

S101306329

NON-CASE INFO:

Global ID: T0600100785
Case Type: Non-Case Information
Status: Informational Item
Status Date: 10/02/2017
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Case Worker: REL
Local Agency: BERKELEY, CITY OF
RB Case Number: 01-0851
Loc Case Number: TT01-0851
File Location: Not reported
Potential Contaminants of Concern: Waste Oil / Motor / Hydraulic / Lubricating
Potential Media Affected: Under Investigation
Site History: The subject property (Site) is located on the west side of San Pablo Avenue in Berkeley, California. Property owner claims former tenant "placed" underground storage tanks (USTs) on Site without his (owner's) permission or consent. Unknown concentration, type, and extent of contaminant(s) on Site. On 10/2/20107, REL and LMM decided to make this case non-case based on the absence of a directive letter acknowledging an unauthorized release at the Site.
Begin Date: 1987-05-15 00:00:00
How Discovered: Tank Closure
How Discovered Description: Not reported
Stop Method: Not reported
Stop Description: Not reported
Latitude: 37.865206
Longitude: -122.291173
Geotracker: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100785

S69 OLIVER COMPANY
ESE 1035 CARLETON ST
1/4-1/2 BERKELEY, CA 94710
0.433 mi.
2284 ft.

CA LUST S101293396
CA HIST CORTESE N/A

Site 2 of 2 in cluster S

Relative:
Higher
Actual:
52 ft.

LUST:
Lead Agency: BERKELEY, CITY OF
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101006
Global Id: T0600101006
Latitude: 37.8581069
Longitude: -122.289271
Status: Completed - Case Closed
Status Date: 08/24/1994
Case Worker: GAF
RB Case Number: 01-1092
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-1092
Potential Media Affect: Soil
Potential Contaminants of Concern: Gasoline
Site History: Not reported

LUST:
Global Id: T0600101006
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

OLIVER COMPANY (Continued)

S101293396

Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600101006
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:
Global Id: T0600101006
Action Type: Other
Date: 04/22/1987
Action: Leak Stopped

Global Id: T0600101006
Action Type: Other
Date: 04/22/1987
Action: Leak Reported

Global Id: T0600101006
Action Type: ENFORCEMENT
Date: 08/24/1994
Action: Closure/No Further Action Letter

Global Id: T0600101006
Action Type: Other
Date: 04/22/1987
Action: Leak Discovery

LUST:
Global Id: T0600101006
Status: Open - Case Begin Date
Status Date: 04/22/1987

Global Id: T0600101006
Status: Open - Site Assessment
Status Date: 05/16/1987

Global Id: T0600101006
Status: Completed - Case Closed
Status Date: 08/24/1994

LUST REG 2:
Region: 2
Facility Id: 01-1092
Facility Status: Case Closed
Case Number: 01-1092
How Discovered: Tank Closure
Leak Cause: Structure Failure

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

OLIVER COMPANY (Continued)

S101293396

Leak Source: Tank
Date Leak Confirmed: Not reported
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: 5/16/1987
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-1092

T70
South
1/4-1/2
0.435 mi.
2298 ft.

HENKEL CORP
742 GRAYSON ST
BERKELEY, CA 94710

CA CPS-SLIC S108198152
CA NPDES N/A
CA CIWQS

Site 1 of 2 in cluster T

Relative:
Lower
Actual:
26 ft.

CPS-SLIC: STATE
Region: STATE
Facility Status: Open - Assessment & Interim Remedial Action
Status Date: 09/07/2017
Global Id: SLT2O03440
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Lead Agency Case Number: Not reported
Latitude: 37.854472
Longitude: -122.295379
Case Type: Cleanup Program Site
Case Worker: CSF
Local Agency: Not reported
RB Case Number: 01S0386
File Location: Regional Board
Potential Media Affected: Other Groundwater (uses other than drinking water), Soil
Potential Contaminants of Concern: Dichloroethene (DCE), Tetrachloroethylene (PCE), Trichloroethylene (TCE), Vinyl chloride, Total Petroleum Hydrocarbons (TPH)
Site History: The site was and is currently utilized for the manufacturing of adhesives. Limited investigations have been performed; however, the discharger has on it's own initiative implementing site investigations, (as of May 2016) and intends to submit a report documenting investigation results in June/July 2016.

Click here to access the California GeoTracker records for this facility:

NPDES:

Npdes Number: Not reported
Facility Status: Not reported
Agency Id: Not reported
Region: 2
Regulatory Measure Id: 362425
Order No: Not reported
Regulatory Measure Type: Industrial
Place Id: Not reported
WDID: 2 011022348

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HENKEL CORP (Continued)

S108198152

Program Type:	Not reported
Adoption Date Of Regulatory Measure:	Not reported
Effective Date Of Regulatory Measure:	Not reported
Expiration Date Of Regulatory Measure:	Not reported
Termination Date Of Regulatory Measure:	Not reported
Discharge Name:	Not reported
Discharge Address:	Not reported
Discharge City:	Not reported
Discharge State:	Not reported
Discharge Zip:	Not reported
RECEIVED DATE:	10/05/2009
PROCESSED DATE:	10/06/2009
STATUS CODE NAME:	Active
STATUS DATE:	10/06/2009
PLACE SIZE:	270000
PLACE SIZE UNIT:	SqFt
FACILITY CONTACT NAME:	Oliver Samardzic
FACILITY CONTACT TITLE:	Not reported
FACILITY CONTACT PHONE:	510-548-0424
FACILITY CONTACT PHONE EXT:	Not reported
FACILITY CONTACT EMAIL:	oliver.samardzic@henkel.com
OPERATOR NAME:	Henkel Corp
OPERATOR ADDRESS:	742 Grayson St
OPERATOR CITY:	Berkeley
OPERATOR STATE:	California
OPERATOR ZIP:	94710
OPERATOR CONTACT NAME:	Oliver Samardzic
OPERATOR CONTACT TITLE:	Not reported
OPERATOR CONTACT PHONE:	510-548-0424
OPERATOR CONTACT PHONE EXT:	Not reported
OPERATOR CONTACT EMAIL:	oliver.samardzic@henkel.com
OPERATOR TYPE:	Private Business
DEVELOPER NAME:	Not reported
DEVELOPER ADDRESS:	Not reported
DEVELOPER CITY:	Not reported
DEVELOPER STATE:	Arizona
DEVELOPER ZIP:	Not reported
DEVELOPER CONTACT NAME:	Not reported
DEVELOPER CONTACT TITLE:	Not reported
CONSTYPE LINEAR UTILITY IND:	Not reported
EMERGENCY PHONE NO:	Not reported
EMERGENCY PHONE EXT:	Not reported
CONSTYPE ABOVE GROUND IND:	Not reported
CONSTYPE BELOW GROUND IND:	Not reported
CONSTYPE CABLE LINE IND:	Not reported
CONSTYPE COMM LINE IND:	Not reported
CONSTYPE COMMERTIAL IND:	Not reported
CONSTYPE ELECTRICAL LINE IND:	Not reported
CONSTYPE GAS LINE IND:	Not reported
CONSTYPE INDUSTRIAL IND:	Not reported
CONSTYPE OTHER DESRIPTION:	Not reported
CONSTYPE OTHER IND:	Not reported
CONSTYPE RECONS IND:	Not reported
CONSTYPE RESIDENTIAL IND:	Not reported
CONSTYPE TRANSPORT IND:	Not reported
CONSTYPE UTILITY DESCRIPTION:	Not reported
CONSTYPE UTILITY IND:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HENKEL CORP (Continued)

S108198152

CONSTYPE WATER SEWER IND:	Not reported
DIR DISCHARGE USWATER IND:	N
RECEIVING WATER NAME:	Municipal Storm Sewer to San Francisco Bay
CERTIFIER NAME:	Oliver Samardzic
CERTIFIER TITLE:	Plant Manager
CERTIFICATION DATE:	16-JUN-15
PRIMARY SIC:	2891-Adhesives and Sealants
SECONDARY SIC:	Not reported
TERTIARY SIC:	Not reported
Npdes Number:	CAS000001
Facility Status:	Active
Agency Id:	0
Region:	2
Regulatory Measure Id:	362425
Order No:	97-03-DWQ
Regulatory Measure Type:	Enrollee
Place Id:	Not reported
WDID:	2 011022348
Program Type:	Industrial
Adoption Date Of Regulatory Measure:	Not reported
Effective Date Of Regulatory Measure:	10/06/2009
Expiration Date Of Regulatory Measure:	Not reported
Termination Date Of Regulatory Measure:	Not reported
Discharge Name:	Henkel Corp
Discharge Address:	742 Grayson St
Discharge City:	Berkeley
Discharge State:	California
Discharge Zip:	94710
RECEIVED DATE:	Not reported
PROCESSED DATE:	Not reported
STATUS CODE NAME:	Not reported
STATUS DATE:	Not reported
PLACE SIZE:	Not reported
PLACE SIZE UNIT:	Not reported
FACILITY CONTACT NAME:	Not reported
FACILITY CONTACT TITLE:	Not reported
FACILITY CONTACT PHONE:	Not reported
FACILITY CONTACT PHONE EXT:	Not reported
FACILITY CONTACT EMAIL:	Not reported
OPERATOR NAME:	Not reported
OPERATOR ADDRESS:	Not reported
OPERATOR CITY:	Not reported
OPERATOR STATE:	Not reported
OPERATOR ZIP:	Not reported
OPERATOR CONTACT NAME:	Not reported
OPERATOR CONTACT TITLE:	Not reported
OPERATOR CONTACT PHONE:	Not reported
OPERATOR CONTACT PHONE EXT:	Not reported
OPERATOR CONTACT EMAIL:	Not reported
OPERATOR TYPE:	Not reported
DEVELOPER NAME:	Not reported
DEVELOPER ADDRESS:	Not reported
DEVELOPER CITY:	Not reported
DEVELOPER STATE:	Not reported
DEVELOPER ZIP:	Not reported
DEVELOPER CONTACT NAME:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HENKEL CORP (Continued)

S108198152

DEVELOPER CONTACT TITLE:	Not reported
CONSTYPE LINEAR UTILITY IND:	Not reported
EMERGENCY PHONE NO:	Not reported
EMERGENCY PHONE EXT:	Not reported
CONSTYPE ABOVE GROUND IND:	Not reported
CONSTYPE BELOW GROUND IND:	Not reported
CONSTYPE CABLE LINE IND:	Not reported
CONSTYPE COMM LINE IND:	Not reported
CONSTYPE COMMERTIAL IND:	Not reported
CONSTYPE ELECTRICAL LINE IND:	Not reported
CONSTYPE GAS LINE IND:	Not reported
CONSTYPE INDUSTRIAL IND:	Not reported
CONSTYPE OTHER DESRIPTION:	Not reported
CONSTYPE OTHER IND:	Not reported
CONSTYPE RECONS IND:	Not reported
CONSTYPE RESIDENTIAL IND:	Not reported
CONSTYPE TRANSPORT IND:	Not reported
CONSTYPE UTILITY DESCRIPTION:	Not reported
CONSTYPE UTILITY IND:	Not reported
CONSTYPE WATER SEWER IND:	Not reported
DIR DISCHARGE USWATER IND:	Not reported
RECEIVING WATER NAME:	Not reported
CERTIFIER NAME:	Not reported
CERTIFIER TITLE:	Not reported
CERTIFICATION DATE:	Not reported
PRIMARY SIC:	Not reported
SECONDARY SIC:	Not reported
TERTIARY SIC:	Not reported

CIWQS:

Agency:	Henkel Corp
Agency Address:	742 Grayson St, Berkeley, CA 94710
Place/Project Type:	Industrial - Adhesives and Sealants
SIC/NAICS:	2891
Region:	2
Program:	INDSTW
Regulatory Measure Status:	Active
Regulatory Measure Type:	Storm water industrial
Order Number:	2014-0057-DWQ
WDID:	2 01I022348
NPDES Number:	CAS000001
Adoption Date:	Not reported
Effective Date:	10/06/2009
Termination Date:	Not reported
Expiration/Review Date:	Not reported
Design Flow:	Not reported
Major/Minor:	Not reported
Complexity:	Not reported
TTWQ:	Not reported
Enforcement Actions within 5 years:	0
Violations within 5 years:	0
Latitude:	37.85457
Longitude:	-122.29614

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

T71
South
1/4-1/2
0.435 mi.
2298 ft.

NATIONAL STARCH & CHEMICAL CO
742 GRAYSON ST.
BERKELEY, CA 94710
Site 2 of 2 in cluster T

RCRA-SQG **1000260552**
CA CPS-SLIC **CAD058777251**
FINDS
ECHO
CA WDS
CA CIWQS

Relative:
Lower

Actual:
26 ft.

RCRA-SQG:

Date form received by agency: 09/01/1996
Facility name: NATIONAL STARCH & CHEM CORP
Facility address: 742 GRAYSON STREET
BERKELEY, CA 94710
EPA ID: CAD058777251
Contact: Not reported
Contact address: Not reported
Contact country: US
Contact telephone: Not reported
Contact email: Not reported
EPA Region: 09
Classification: Small Small Quantity Generator
Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: NATIONAL STARCH AND CHEMICAL CORPORATION
Owner/operator address: 742 GRAYSON STREET
BERKELEY, CA 94710
Owner/operator country: Not reported
Owner/operator telephone: 415-841-4530
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: NATIONAL STARCH AND CHEMICAL CORPORATION
Owner/operator address: 742 GRAYSON STREET
CITY NOT REPORTED, CA 99999
Owner/operator country: Not reported
Owner/operator telephone: 415-841-4530
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

NATIONAL STARCH & CHEMICAL CO (Continued)

1000260552

Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

Historical Generators:

Date form received by agency: 02/20/1992
 Site name: NATIONAL STARCH & CHEMICAL CO
 Classification: Large Quantity Generator

Date form received by agency: 08/15/1991
 Site name: NATIONAL STARCH & CHEMICAL
 Classification: Large Quantity Generator

Date form received by agency: 08/18/1980
 Site name: NATIONAL STARCH & CHEM CORP
 Classification: Large Quantity Generator

Violation Status: No violations found

SLIC REG 2:

Region: 2
 Facility ID: SLT2003440
 Facility Status: Leak being confirmed
 Date Closed: Not reported
 Local Case #: Not reported
 How Discovered: Not reported
 Leak Cause: Not reported
 Leak Source: Not reported
 Date Confirmed: Not reported
 Date Prelim Site Assmnt Workplan Submitted: Not reported
 Date Preliminary Site Assessment Began: Not reported
 Date Pollution Characterization Began: Not reported
 Date Remediation Plan Submitted: Not reported
 Date Remedial Action Underway: Not reported
 Date Post Remedial Action Monitoring Began: Not reported

FINDS:

Registry ID: 110000483824

Environmental Interest/Information System

US EPA TRIS (Toxics Release Inventory System) contains information from facilities on the amounts of over 300 listed toxic chemicals that these facilities release directly to air, water, land, or that are transported off-site.

HAZARDOUS AIR POLLUTANT MAJOR

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

NATIONAL STARCH & CHEMICAL CO (Continued)

1000260552

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

STATE MASTER

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000260552
Registry ID: 110000483824
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110000483824>

WDS:

Facility ID: San Francisco Bay 011003046
Facility Type: Industrial - Facility that treats and/or disposes of liquid or semisolid wastes from any servicing, producing, manufacturing or processing operation of whatever nature, including mining, gravel washing, geothermal operations, air conditioning, ship building and repairing, oil production, storage and disposal operations, water pumping.
Facility Status: Active - Any facility with a continuous or seasonal discharge that is under Waste Discharge Requirements.
NPDES Number: CAS000001 The 1st 2 characters designate the state. The remaining 7 are assigned by the Regional Board
Subregion: 2
Facility Telephone: Not reported
Facility Contact: Not reported
Agency Name: NATIONAL STARCH & CHEMICAL CO
Agency Address: 742 Grayson St
Agency City,St,Zip: Berkeley 947102616
Agency Contact: Not reported
Agency Telephone: Not reported
Agency Type: Private
SIC Code: 0
SIC Code 2: Not reported
Primary Waste Type: Not reported
Primary Waste: Not reported
Waste Type2: Not reported
Waste2: Not reported
Primary Waste Type: Not reported
Secondary Waste: Not reported
Secondary Waste Type: Not reported
Design Flow: 0
Baseline Flow: 0
Reclamation: Not reported
POTW: Not reported
Treat To Water: Minor Threat to Water Quality. A violation of a regional board order should cause a relatively minor impairment of beneficial uses compared to a major or minor threat. Not: All nurds without a TTWQ will be considered a minor threat to water quality unless coded at a higher

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

NATIONAL STARCH & CHEMICAL CO (Continued)

1000260552

Complexity: Level. A Zero (0) may be used to code those NURDS that are found to represent no threat to water quality.
Category C - Facilities having no waste treatment systems, such as cooling water dischargers or those who must comply through best management practices, facilities with passive waste treatment and disposal systems, such as septic systems with subsurface disposal, or dischargers having waste storage systems with land disposal such as dairy waste ponds.

CIWQS:

Agency: National Starch & Chemical Co
Agency Address: 742 Grayson St, Berkeley, CA 94710
Place/Project Type: Industrial - Adhesives and Sealants
SIC/NAICS: 2891
Region: 2
Program: INDSTW
Regulatory Measure Status: Terminated
Regulatory Measure Type: Storm water industrial
Order Number: 2014-0057-DWQ
WDID: 2 011003046
NPDES Number: CAS000001
Adoption Date: Not reported
Effective Date: 04/02/1992
Termination Date: 02/17/2009
Expiration/Review Date: Not reported
Design Flow: Not reported
Major/Minor: Not reported
Complexity: Not reported
TTWQ: Not reported
Enforcement Actions within 5 years: 0
Violations within 5 years: 0
Latitude: 37.85457
Longitude: -122.29614

**72
ESE
1/4-1/2
0.443 mi.
2338 ft.**

**2601 SAN PABLO AVENUE LLC
2601 SAN PABLO AVENUE
BERKELEY, CA 94702**

**CA LUST S116282763
N/A**

**Relative:
Higher
Actual:
57 ft.**

LUST:

Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T10000005788
Global Id: T10000005788
Latitude: 37.8592683
Longitude: -122.2886015
Status: Completed - Case Closed
Status Date: 06/30/2015
Case Worker: Not reported
RB Case Number: 01-3623
Local Agency: Not reported
File Location: Not reported
Local Case Number: Not reported
Potential Media Affect: Not reported
Potential Contaminants of Concern: Not reported
Site History: Case Closure issued on 6/30/2015

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

2601 SAN PABLO AVENUE LLC (Continued)

S116282763

LUST:

Global Id:	T10000005788
Action Type:	Other
Date:	03/19/2014
Action:	Leak Reported
Global Id:	T10000005788
Action Type:	RESPONSE
Date:	08/11/2014
Action:	Soil and Water Investigation Workplan - Regulator Responded
Global Id:	T10000005788
Action Type:	RESPONSE
Date:	01/05/2015
Action:	Request for Closure - Regulator Responded
Global Id:	T10000005788
Action Type:	RESPONSE
Date:	07/20/2015
Action:	Other Report / Document - Regulator Responded
Global Id:	T10000005788
Action Type:	ENFORCEMENT
Date:	01/28/2015
Action:	Email Correspondence
Global Id:	T10000005788
Action Type:	ENFORCEMENT
Date:	05/19/2015
Action:	13267 Requirement
Global Id:	T10000005788
Action Type:	ENFORCEMENT
Date:	02/13/2003
Action:	Notice of Reimbursement
Global Id:	T10000005788
Action Type:	ENFORCEMENT
Date:	03/19/2014
Action:	Unauthorized Release Form
Global Id:	T10000005788
Action Type:	RESPONSE
Date:	03/20/2014
Action:	Soil and Water Investigation Report
Global Id:	T10000005788
Action Type:	ENFORCEMENT
Date:	05/13/2003
Action:	13267 Requirement
Global Id:	T10000005788
Action Type:	ENFORCEMENT
Date:	06/30/2015
Action:	Closure/No Further Action Letter
Global Id:	T10000005788

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

2601 SAN PABLO AVENUE LLC (Continued)

S116282763

Action Type: ENFORCEMENT
Date: 03/10/2015
Action: Letter - Notice

Global Id: T1000005788
Action Type: RESPONSE
Date: 11/13/2012
Action: Soil and Water Investigation Report

Global Id: T1000005788
Action Type: Other
Date: 09/17/2012
Action: Leak Discovery

LUST:
Global Id: T1000005788
Status: Open - Case Begin Date
Status Date: 09/17/2012

Global Id: T1000005788
Status: Open - Site Assessment
Status Date: 03/20/2014

Global Id: T1000005788
Status: Completed - Case Closed
Status Date: 06/30/2015

**Q73
NE
1/4-1/2
0.446 mi.
2355 ft.**

**PINNACLE AUTOBODY & PAINT SHOP
2285 SAN PABLO AVE
BERKELEY, CA 94702**

Site 2 of 2 in cluster Q

**CA EMI S104578390
CA HIST CORTESE N/A**

Relative: EMI:
Higher Year: 1987
County Code: 1
Actual: Air Basin: SF
58 ft. Facility ID: 2931
Air District Name: BA
SIC Code: 7532
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 3
Reactive Organic Gases Tons/Yr: 3
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1990
County Code: 1
Air Basin: SF
Facility ID: 2931
Air District Name: BA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

PINNACLE AUTOBODY & PAINT SHOP (Continued)

S104578390

SIC Code: 7532
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 5
 Reactive Organic Gases Tons/Yr: 5
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1993
 County Code: 1
 Air Basin: SF
 Facility ID: 2931
 Air District Name: BA
 SIC Code: 7532
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 3
 Reactive Organic Gases Tons/Yr: 3
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1996
 County Code: 1
 Air Basin: SF
 Facility ID: 10180
 Air District Name: BA
 SIC Code: 7532
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 0
 Reactive Organic Gases Tons/Yr: 0
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smlr Tons/Yr:0

Year: 1997
 County Code: 1
 Air Basin: SF
 Facility ID: 10180
 Air District Name: BA
 SIC Code: 7532
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 0
 Reactive Organic Gases Tons/Yr: 0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PINNACLE AUTOBODY & PAINT SHOP (Continued)

S104578390

Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 2931

U74 COBURN CONSTRUCTION
SE 1006 PARDEE ST
1/4-1/2 BERKELEY, CA 94704
0.448 mi.
2364 ft.

CA LUST S102428180
CA HIST CORTESE N/A

Site 1 of 3 in cluster U

Relative:
Higher
Actual:
45 ft.

LUST:
Lead Agency: BERKELEY, CITY OF
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100396
Global Id: T0600100396
Latitude: 37.856541
Longitude: -122.290089
Status: Completed - Case Closed
Status Date: 10/01/1992
Case Worker: GAF
RB Case Number: 01-0436
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-0436
Potential Media Affect: Other Groundwater (uses other than drinking water)
Potential Contaminants of Concern: Gasoline
Site History: Not reported

LUST:

Global Id: T0600100396
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600100396
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:

Global Id: T0600100396

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

COBURN CONSTRUCTION (Continued)

S102428180

Action Type: Other
Date: 12/18/1986
Action: Leak Stopped

Global Id: T0600100396
Action Type: ENFORCEMENT
Date: 10/01/1992
Action: Closure/No Further Action Letter

Global Id: T0600100396
Action Type: Other
Date: 12/18/1986
Action: Leak Reported

Global Id: T0600100396
Action Type: Other
Date: 12/18/1986
Action: Leak Discovery

LUST:

Global Id: T0600100396
Status: Open - Case Begin Date
Status Date: 12/18/1986

Global Id: T0600100396
Status: Open - Site Assessment
Status Date: 02/04/1987

Global Id: T0600100396
Status: Open - Site Assessment
Status Date: 05/14/1987

Global Id: T0600100396
Status: Completed - Case Closed
Status Date: 10/01/1992

LUST REG 2:

Region: 2
Facility Id: 01-0436
Facility Status: Case Closed
Case Number: 01-0436
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: Not reported
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: 2/4/1987
Preliminary Site Assessment Began: 5/14/1987
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

COBURN CONSTRUCTION (Continued)

S102428180

Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0436

**75
NNW
1/4-1/2
0.452 mi.
2387 ft.**

**BLOCK PROPERTY
651 ADDISON ST
BERKELEY, CA 94704**

**CA LUST S101306290
CA HIST CORTESE N/A**

**Relative:
Lower
Actual:
14 ft.**

LUST:
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100195
Global Id: T0600100195
Latitude: 37.8659152
Longitude: -122.3012901
Status: Completed - Case Closed
Status Date: 06/25/1999
Case Worker: UUU
RB Case Number: 01-0209
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-0209
Potential Media Affect: Soil
Potential Contaminants of Concern: Gasoline
Site History: Not reported

LUST:
Global Id: T0600100195
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600100195
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:
Global Id: T0600100195
Action Type: Other
Date: 05/07/1987
Action: Leak Stopped

Global Id: T0600100195
Action Type: ENFORCEMENT
Date: 06/25/1999
Action: Closure/No Further Action Letter

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BLOCK PROPERTY (Continued)

S101306290

Global Id: T0600100195
Action Type: Other
Date: 05/07/1987
Action: Leak Reported

Global Id: T0600100195
Action Type: Other
Date: 05/07/1987
Action: Leak Discovery

LUST:

Global Id: T0600100195
Status: Open - Case Begin Date
Status Date: 05/07/1987

Global Id: T0600100195
Status: Completed - Case Closed
Status Date: 06/25/1999

LUST REG 2:

Region: 2
Facility Id: 01-0209
Facility Status: Case Closed
Case Number: 01-0209
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: Not reported
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0209

**V76
NNW
1/4-1/2
0.463 mi.
2447 ft.**

**RI BERKELEY, LLC
2001 4TH ST
BERKELEY, CA 94710
Site 1 of 2 in cluster V**

**CA CPS-SLIC S119007861
CA BROWNFIELDS N/A
CA HAZNET**

**Relative:
Lower**

CPS-SLIC:
Region: STATE
Facility Status: Completed - Case Closed

**Actual:
19 ft.**

Status Date: 03/28/2017
Global Id: T10000008693
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Lead Agency Case Number: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

RI BERKELEY, LLC (Continued)

S119007861

Latitude: 37.86743
 Longitude: -122.29884
 Case Type: Cleanup Program Site
 Case Worker: TS
 Local Agency: Not reported
 RB Case Number: 01S0770
 File Location: Regional Board
 Potential Media Affected: Other Groundwater (uses other than drinking water), Soil, Soil Vapor
 Potential Contaminants of Concern: Arsenic, Lead, Mercury (elemental), Nickel, Diesel, Gasoline, Naphthalene, Total Petroleum Hydrocarbons (TPH)
 Site History: Remediation plan dated 6/6/16 has been submitted.

[Click here to access the California GeoTracker records for this facility:](#)

BROWNFIELDS:

Global ID: T10000008693
 Latitude: 37.86743
 Longitude: -122.29884
 Project Type: Cleanup Program Site
 Status: Completed - Case Closed
 Status Date: 03/28/2017
 Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
 Last Correspondence Date: 03/28/2017
 Release Type: Non-Point Source, Other Type of Release, Federally Regulated Underground Storage Tank System - UST, Unknown
 Contaminant(s) of Concern: Arsenic, Lead, Mercury (elemental), Nickel, Diesel, Gasoline, Naphthalene, Total Petroleum H
 Media of Concern: Other Groundwater (uses other than drinking water), Soil, Soil Vapor
 Past Use(s) that Caused Contamination: FUEL - VEHICLE STORAGE/ REFUELING, PAINT MANUFACTURING, UNKNOWN
 Human Health Exposure Controlled: INSUFFICIENT DATA
 Human Health Exposure Controlled Date: 06/06/2016
 Groundwater Migration Controlled: UNDETERMINED
 Groundwater Migration Controlled Date: 06/06/2016
 Primary Caseworker Name: ALYX KARPOWICZ
 Primary Caseworker Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Primary Caseworker Phone Number: 510-622-2427
 Primary Caseworker Address: 1515 CLAY ST., SUITE 1400
 Primary Caseworker Address: OAKLAND
 Primary Caseworker Address: C
 Primary Caseworker Email: akarpowicz@waterboards.ca.gov

HAZNET:

envid: S119007861
 Year: 2016
 GEPAID: CAL000403584
 Contact: DAN LARSON
 Telephone: 5107042887
 Mailing Name: Not reported
 Mailing Address: 5650 HOLLIS ST
 Mailing City,St,Zip: 94608, CA 94608
 Gen County: Alameda
 TSD EPA ID: NVD980895338
 TSD County: 99
 Waste Category: Liquids with pH <= 2
 Disposal Method: Neutralization Only
 Tons: 0.002
 Cat Decode: Liquids with pH <= 2

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

RI BERKELEY, LLC (Continued)

S119007861

Method Decode: Neutralization Only
Facility County: Alameda

envid: S119007861
Year: 2016
GEPAID: CAL000403584
Contact: DAN LARSON
Telephone: 5107042887
Mailing Name: Not reported
Mailing Address: 5650 HOLLIS ST
Mailing City,St,Zip: 94608, CA 94608
Gen County: Alameda
TSD EPA ID: NVD980895338
TSD County: 99
Waste Category: Off-specification, aged or surplus inorganics
Disposal Method: Neutralization Only
Tons: 0.0075
Cat Decode: Off-specification, aged or surplus inorganics
Method Decode: Neutralization Only
Facility County: Alameda

envid: S119007861
Year: 2016
GEPAID: CAC002880088
Contact: MORGAN READ
Telephone: 5107045704
Mailing Name: Not reported
Mailing Address: 2025 4TH ST.
Mailing City,St,Zip: BERKELEY, CA 94710
Gen County: Alameda
TSD EPA ID: UTC093012201
TSD County: 99
Waste Category: Contaminated soil from site clean-up
Disposal Method: Landfill Or Surface Impoundment That Will Be Closed As Landfill(To Include On-Site Treatment And/Or Stabilization)
Tons: 2512.62
Cat Decode: Contaminated soil from site clean-up
Method Decode: Landfill Or Surface Impoundment That Will Be Closed As Landfill(To Include On-Site Treatment And/Or Stabilization)
Facility County: Alameda

envid: S119007861
Year: 2016
GEPAID: CAP000267187
Contact: MORGAN J. READ
Telephone: 5107045700
Mailing Name: Not reported
Mailing Address: 2001 4TH STREET
Mailing City,St,Zip: BERKELEY, CA 94710
Gen County: Alameda
TSD EPA ID: CAD028409019
TSD County: Los Angeles
Waste Category: Other organic solids
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)
Tons: 1.05
Cat Decode: Other organic solids

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

RI BERKELEY, LLC (Continued)

S119007861

Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery
(H010-H129) Or (H131-H135)
Facility County: Alameda

envid: S119007861
Year: 2016
GEPAID: CAL000403584
Contact: DAN LARSON
Telephone: 5107042887
Mailing Name: Not reported
Mailing Address: 5650 HOLLIS ST
Mailing City,St,Zip: 94608, CA 94608
Gen County: Alameda
TSD EPA ID: NVD980895338
TSD County: 99
Waste Category: Off-specification, aged or surplus organics
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery
(H010-H129) Or (H131-H135)
Tons: 0.0585
Cat Decode: Off-specification, aged or surplus organics
Method Decode: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery
(H010-H129) Or (H131-H135)
Facility County: Alameda

[Click this hyperlink](#) while viewing on your computer to access additional CA_HAZNET: detail in the EDR Site Report.

**U77
SE
1/4-1/2
0.465 mi.
2453 ft.**

**PROEN PRODUCTS
2777 9TH ST
BERKELEY, CA 94710
Site 2 of 3 in cluster U**

**CA LUST S101007032
CA CPS-SLIC N/A
CA HIST CORTESE**

**Relative:
Higher
Actual:
44 ft.**

LUST REG 2:
Region: 2
Facility Id: 01-2329
Facility Status: Leak being confirmed
Case Number: 01-2329
How Discovered: Tank Closure
Leak Cause: UNK
Leak Source: UNK
Date Leak Confirmed: 7/8/1998
Oversight Program: LUST
Prelim. Site Assesment Wokplan Submitted: Not reported
Preliminary Site Assesment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

CPS-SLIC:
Region: STATE
Facility Status: Open - Verification Monitoring
Status Date: 06/02/2016
Global Id: SLT2O02430
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Lead Agency Case Number: Ninth2777

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

PROEN PRODUCTS (Continued)

S101007032

Latitude: 37.856025867
 Longitude: -122.290116
 Case Type: Cleanup Program Site
 Case Worker: MZ
 Local Agency: BERKELEY, CITY OF
 RB Case Number: 01S0237
 File Location: Local Agency
 Potential Media Affected: Other Groundwater (uses other than drinking water), Soil, Soil Vapor
 Potential Contaminants of Concern: * Chlorinated Solvents - TCE
 Site History:

The Proen Products Company facility operated from approximately 1952 to June 1990. Proen manufactured fertilizer tablets, lawn sprinklers, and lawn edgers at the Site. the fertilizer tablet manufacturing operation was separate from the metal parts manufacturing operation. The fertilizer process consisted of combining fertilizer ingredients (e.g., urea) in a mixer and baking the combined ingredients in an oven. Metal sprinkler parts were manufactured from zinc alloy in the die casting operation and the metal parts cut in the punch press were cut from brass, aluminum, or steel sheets of metal. Solvents used for degreasing metal parts included 1,1,1-trichloroethane (1,1,1-TCA, reportedly used from 1982 to 1990) and trichloroethene (TCE, reportedly used before 1982). Carbon tetrachloride was reportedly used for degreasing during the earlier years of the facility's operation. Additional chemicals used at the facility reportedly included isopropanol, petroleum naphtha, dipping enamels, copper sulfate, Hampene 200 (EDTA), manganese sulfate, zinc sulfate, and Houghto-Safe 620 (ethylene glycol). Wastes removed and disposed off site by licensed contractors included paint thinner, waste paints, and waste 1,1,1-TCA. Soil and groundwater investigations conducted in 1990 and 1991 revealed that elevated concentrations of VOCs were present in collected soil samples. The highest concentrations of VOCs and TPH-g and BTEX were detected in the hand augered boring SB -1 near the sump: TCE up to 2.2 mg/kg in soil and up to 230 mg/l in GW sample. Five MWs installed along the site perimeter (corner of 9th and Grayson St) in August 1990 to monitor the VOCs plume; additional eight wells installed in 1992. The highest concentrations of TCE was detected in MW-2 located downgradient from the Site. 1.4 mg/l of TCE (April 1991). Add site investigation and removal of the sump, soil excavation and removal of approx.. 1,130 tons in May 1992; TCE was detected in soil up to 17 mg/kg and in water up to 230 mg/l. After the cleanup TCE concentrations were reduced to 0.68 mg/kg and 0.068 mg/l. Annual monitoring until 2009.

Click here to access the California GeoTracker records for this facility:

Region: STATE
Facility Status: **Open - Verification Monitoring**
 Status Date: 12/20/2005
 Global Id: T0600102142
 Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
 Lead Agency Case Number: 01-2329
 Latitude: 37.856036
 Longitude: -122.290361
 Case Type: Cleanup Program Site
 Case Worker: MZ
 Local Agency: BERKELEY, CITY OF
 RB Case Number: 01-2329
 File Location: Local Agency

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

PROEN PRODUCTS (Continued)

S101007032

Potential Media Affected: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Gasoline, Trichloroethylene (TCE)
 Site History: The Proen Products Company facility operated from approximately 1952 to June 1990, manufacturing fertilizer tablets, lawn sprinklers, and lawn edgers at the Site. The fertilizer process used ingredients including urea. Solvents used for degreasing metal parts included 1,1,1-trichloroethane (1,1,1-TCA, reportedly used from 1982 to 1990) and trichloroethene (TCE, reportedly used before 1982). Carbon tetrachloride was reportedly used for degreasing during the earlier years of the facility's operation. Additional chemicals used at the facility reportedly included isopropanol, petroleum naphtha, dipping enamels, copper sulfate, Hampene 200 (EDTA), manganese sulfate, zinc sulfate, and Houghto-Safe 620 (ethylene glycol). Soil and groundwater investigations conducted in 1990 and 1991 revealed that elevated concentrations of VOCs were present in collected soil samples. The highest concentrations of VOCs and TPH-g and BTEX were detected in the hand augered boring SB -1 near the sump:TCE up to 2.2 mg/kg in soil and up to 230 mg/l in GW sample. Five MWs installed along the site perimeter (corner of 9th and Grayson St) in August 1990 to monitor the VOCs plume; additional eight wells installed in 1992. The highest concentrations of TCE was detected in MW-2 located downgradient from the Site. 1.4 mg/l of TCE (April 1991). Add site investigation and removal of the sump, soil excavation and removal of approx. 1,130 tons in May 1992; TCE was detected in soil up to 17 mg/kg and in water up to 230 mg/l. After the cleanup TCE concentrations were reduced to 0.68 mg/kg and 0.068 mg/l.

Click here to access the California GeoTracker records for this facility:

SLIC REG 2:

Region: 2
 Facility ID: SLT2O02430
 Facility Status: Leak being confirmed
 Date Closed: Not reported
 Local Case #: Not reported
 How Discovered: Not reported
 Leak Cause: Not reported
 Leak Source: Not reported
 Date Confirmed: Not reported
 Date Prelim Site Assmnt Workplan Submitted: Not reported
 Date Preliminary Site Assessment Began: Not reported
 Date Pollution Characterization Began: Not reported
 Date Remediation Plan Submitted: Not reported
 Date Remedial Action Underway: Not reported
 Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
 Facility County Code: 1
 Reg By: LTNKA
 Reg Id: 01-2329

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

79
SSE
1/4-1/2
0.481 mi.
2542 ft.

CHRONICLE DEPOT
2817 7TH ST
BERKELEY, CA 94704

CA LUST **S101306371**
CA HIST CORTESE **N/A**

Relative:
Higher
Actual:
36 ft.

LUST:
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100362
Global Id: T0600100362
Latitude: 37.85462
Longitude: -122.291902
Status: Completed - Case Closed
Status Date: 01/01/1999
Case Worker: UUU
RB Case Number: 01-0396
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-0396
Potential Media Affect: Under Investigation
Potential Contaminants of Concern: Gasoline
Site History: Not reported

LUST:
Global Id: T0600100362
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600100362
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:
Global Id: T0600100362
Action Type: Other
Date: 04/23/1985
Action: Leak Stopped

Global Id: T0600100362
Action Type: Other
Date: 04/23/1985
Action: Leak Reported

Global Id: T0600100362
Action Type: Other
Date: 04/23/1985
Action: Leak Discovery

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

CHRONICLE DEPOT (Continued)

S101306371

LUST:
Global Id: T0600100362
Status: Open - Case Begin Date
Status Date: 04/23/1985

Global Id: T0600100362
Status: Open - Site Assessment
Status Date: 02/27/1996

Global Id: T0600100362
Status: Completed - Case Closed
Status Date: 01/01/1999

LUST REG 2:
Region: 2
Facility Id: 01-0396
Facility Status: Case Closed
Case Number: 01-0396
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 2/27/1996
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:
Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0396

**W80
ESE
1/4-1/2
0.487 mi.
2569 ft.**

**CROWN MINI-MART
2700 SAN PABLO AVE
BERKELEY, CA 94704

Site 1 of 2 in cluster W**

**CA LUST S101617058
CA SWEEPS UST N/A
CA FID UST
CA HIST CORTESE**

**Relative:
Higher

Actual:
53 ft.**

LUST:
Lead Agency: BERKELEY, CITY OF
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101041
Global Id: T0600101041
Latitude: 37.85766
Longitude: -122.288803
Status: Completed - Case Closed
Status Date: 06/29/1998
Case Worker: GAF
RB Case Number: 01-1131
Local Agency: BERKELEY, CITY OF
File Location: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CROWN MINI-MART (Continued)

S101617058

Local Case Number: 01-1131
 Potential Media Affect: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Gasoline
 Site History: Not reported

LUST:

Global Id: T0600101041
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us
 Phone Number: Not reported

Global Id: T0600101041
 Contact Type: Regional Board Caseworker
 Contact Name: Regional Water Board
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY ST SUITE 1400
 City: OAKLAND
 Email: Not reported
 Phone Number: Not reported

LUST:

Global Id: T0600101041
 Action Type: Other
 Date: 06/30/1986
 Action: Leak Stopped

Global Id: T0600101041
 Action Type: Other
 Date: 06/30/1986
 Action: Leak Reported

Global Id: T0600101041
 Action Type: ENFORCEMENT
 Date: 07/22/1992
 Action: Technical Correspondence / Assistance / Other

Global Id: T0600101041
 Action Type: Other
 Date: 06/30/1986
 Action: Leak Discovery

LUST:

Global Id: T0600101041
 Status: Open - Case Begin Date
 Status Date: 06/30/1986

Global Id: T0600101041
 Status: Open - Site Assessment
 Status Date: 03/01/1989

Global Id: T0600101041
 Status: Open - Site Assessment
 Status Date: 12/24/1992

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CROWN MINI-MART (Continued)

S101617058

Global Id: T0600101041
Status: Open - Remediation
Status Date: 06/16/1995

Global Id: T0600101041
Status: Completed - Case Closed
Status Date: 06/29/1998

LUST REG 2:

Region: 2
Facility Id: 01-1131
Facility Status: Case Closed
Case Number: 01-1131
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 12/24/1992
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: 3/1/1989
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: 6/16/1995
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

SWEEPS UST:

Status: Not reported
Comp Number: 57642
Number: Not reported
Board Of Equalization: 44-001531
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-057642-000001
Tank Status: Not reported
Capacity: 8000
Active Date: Not reported
Tank Use: M.V. FUEL
STG: PRODUCT
Content: LEADED
Number Of Tanks: 4

Status: Not reported
Comp Number: 57642
Number: Not reported
Board Of Equalization: 44-001531
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-057642-000002
Tank Status: Not reported
Capacity: 5000
Active Date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CROWN MINI-MART (Continued)

S101617058

Tank Use: M.V. FUEL
STG: PRODUCT
Content: REG UNLEADED
Number Of Tanks: Not reported

Status: Not reported
Comp Number: 57642
Number: Not reported
Board Of Equalization: 44-001531
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-057642-000003
Tank Status: Not reported
Capacity: 5000
Active Date: Not reported
Tank Use: M.V. FUEL
STG: PRODUCT
Content: REG UNLEADED
Number Of Tanks: Not reported

Status: Not reported
Comp Number: 57642
Number: Not reported
Board Of Equalization: 44-001531
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-057642-000004
Tank Status: Not reported
Capacity: 550
Active Date: Not reported
Tank Use: OIL
STG: WASTE
Content: WASTE OIL
Number Of Tanks: Not reported

CA FID UST:

Facility ID: 01001249
Regulated By: UTKNI
Regulated ID: 00057642
Cortese Code: Not reported
SIC Code: Not reported
Facility Phone: 4154860958
Mail To: Not reported
Mailing Address: 313 MOUNTAIRE PKY
Mailing Address 2: Not reported
Mailing City,St,Zip: BERKELEY 94704
Contact: Not reported
Contact Phone: Not reported
DUNs Number: Not reported
NPDES Number: Not reported
EPA ID: Not reported
Comments: Not reported
Status: Inactive

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

CROWN MINI-MART (Continued)

S101617058

HIST CORTESE:
Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-1131

**W81
ESE
1/4-1/2
0.488 mi.
2576 ft.**

**NOMURA BROS., INC.
2720 SAN PABLO AVE
BERKELEY, CA 94702

Site 2 of 2 in cluster W**

**CA LUST S101624569
CA SWEEPS UST N/A
CA FID UST
CA HIST CORTESE**

**Relative:
Higher

Actual:
52 ft.**

LUST:
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100969
Global Id: T0600100969
Latitude: 37.857496
Longitude: -122.287652
Status: Completed - Case Closed
Status Date: 04/10/1987
Case Worker: UUU
RB Case Number: 01-1051
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 01-1051
Potential Media Affect: Other Groundwater (uses other than drinking water)
Potential Contaminants of Concern: Gasoline
Site History: Not reported

LUST:
Global Id: T0600100969
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600100969
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:
Global Id: T0600100969
Action Type: Other
Date: 09/19/1986
Action: Leak Stopped

Global Id: T0600100969
Action Type: Other

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

NOMURA BROS., INC. (Continued)

S101624569

Date: 10/02/1998
Action: Leak Reported

Global Id: T0600100969
Action Type: Other
Date: 09/19/1986
Action: Leak Discovery

LUST:

Global Id: T0600100969
Status: Open - Case Begin Date
Status Date: 04/10/1986

Global Id: T0600100969
Status: Open - Site Assessment
Status Date: 04/10/1986

Global Id: T0600100969
Status: Completed - Case Closed
Status Date: 04/10/1987

LUST REG 2:

Region: 2
Facility Id: 01-1051
Facility Status: Case Closed
Case Number: 01-1051
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: Not reported
Oversight Program: LUST
Prelim. Site Assesment Wokplan Submitted: Not reported
Preliminary Site Assesment Began: 4/10/1987
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

SWEEPS UST:

Status: Not reported
Comp Number: 60287
Number: Not reported
Board Of Equalization: Not reported
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-060287-000001
Tank Status: Not reported
Capacity: 4000
Active Date: Not reported
Tank Use: M.V. FUEL
STG: PRODUCT
Content: REG UNLEADED
Number Of Tanks: 2

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

NOMURA BROS., INC. (Continued)

S101624569

Status: Not reported
Comp Number: 60287
Number: Not reported
Board Of Equalization: Not reported
Referral Date: Not reported
Action Date: Not reported
Created Date: Not reported
Owner Tank Id: Not reported
SWRCB Tank Id: 01-020-060287-000002
Tank Status: Not reported
Capacity: 4000
Active Date: Not reported
Tank Use: M.V. FUEL
STG: PRODUCT
Content: REG UNLEADED
Number Of Tanks: Not reported

CA FID UST:

Facility ID: 01001164
Regulated By: UTNKA
Regulated ID: 00060287
Cortese Code: Not reported
SIC Code: Not reported
Facility Phone: 4158458404
Mail To: Not reported
Mailing Address: 2720 SAN PABLO AVE
Mailing Address 2: Not reported
Mailing City,St,Zip: BERKELEY 94702
Contact: Not reported
Contact Phone: Not reported
DUNs Number: Not reported
NPDES Number: Not reported
EPA ID: Not reported
Comments: Not reported
Status: Active

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-1051

**V82
NNW
1/4-1/2
0.493 mi.
2601 ft.**

**JIM DOTEN HONDA
2000 5TH ST
BERKELEY, CA 94710
Site 2 of 2 in cluster V**

**CA LUST S100274964
CA HIST UST N/A
CA CHMIRS
CA HIST CORTESE**

**Relative:
Lower
Actual:
20 ft.**

LUST:
Lead Agency: BERKELEY, CITY OF
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100757
Global Id: T0600100757
Latitude: 37.8676292
Longitude: -122.2987907
Status: Completed - Case Closed
Status Date: 10/26/1992

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

JIM DOTEN HONDA (Continued)

S100274964

Case Worker: GAF
 RB Case Number: 01-0821
 Local Agency: BERKELEY, CITY OF
 File Location: Not reported
 Local Case Number: 01-0821
 Potential Media Affect: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Waste Oil / Motor / Hydraulic / Lubricating
 Site History: Not reported

LUST:

Global Id: T0600100757
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us
 Phone Number: Not reported

Global Id: T0600100757
 Contact Type: Regional Board Caseworker
 Contact Name: Regional Water Board
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY ST SUITE 1400
 City: OAKLAND
 Email: Not reported
 Phone Number: Not reported

LUST:

Global Id: T0600100757
 Action Type: Other
 Date: 09/01/1990
 Action: Leak Stopped

Global Id: T0600100757
 Action Type: Other
 Date: 09/01/1990
 Action: Leak Discovery

Global Id: T0600100757
 Action Type: Other
 Date: 09/01/1990
 Action: Leak Reported

Global Id: T0600100757
 Action Type: ENFORCEMENT
 Date: 10/26/1992
 Action: File Review - Closure

LUST:

Global Id: T0600100757
 Status: Open - Case Begin Date
 Status Date: 05/25/1990

Global Id: T0600100757
 Status: Open - Site Assessment
 Status Date: 05/25/1990

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

JIM DOTEN HONDA (Continued)

S100274964

Global Id: T0600100757
Status: Completed - Case Closed
Status Date: 10/26/1992

LUST REG 2:

Region: 2
Facility Id: 01-0821
Facility Status: Case Closed
Case Number: 01-0821
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 5/25/1990
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST UST:

File Number: 00035FF7
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/00035FF7.pdf>
Region: Not reported
Facility ID: Not reported
Facility Type: Not reported
Other Type: Not reported
Contact Name: Not reported
Telephone: Not reported
Owner Name: Not reported
Owner Address: Not reported
Owner City,St,Zip: Not reported
Total Tanks: Not reported

Tank Num: Not reported
Container Num: Not reported
Year Installed: Not reported
Tank Capacity: Not reported
Tank Used for: Not reported
Type of Fuel: Not reported
Container Construction Thickness: Not reported
Leak Detection: Not reported

Click here for Geo Tracker PDF:

CHMIRS:

OES Incident Number: 906421
OES notification: Not reported
OES Date: Not reported
OES Time: Not reported
Date Completed: 23-MAY-89
Property Use: 962
Agency Id Number: 1015
Agency Incident Number: 93855

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

JIM DOTEN HONDA (Continued)

S100274964

Time Notified:	1003
Time Completed:	1103
Surrounding Area:	600
Estimated Temperature:	68
Property Management:	P
More Than Two Substances Involved?:	N
Resp Agncy Personel # Of Decontaminated:	0
Responding Agency Personel # Of Injuries:	0
Responding Agency Personel # Of Fatalities:	0
Others Number Of Decontaminated:	0
Others Number Of Injuries:	0
Others Number Of Fatalities:	0
Vehicle Make/year:	Not reported
Vehicle License Number:	Not reported
Vehicle State:	Not reported
Vehicle Id Number:	Not reported
CA DOT PUC/ICC Number:	Not reported
Company Name:	Not reported
Reporting Officer Name/ID:	LT. DAVID L. ORTH, ASSISTANT FIRE MARSHAL #154
Report Date:	02-JUN-89
Facility Telephone:	415 644-6789
Waterway Involved:	Not reported
Waterway:	Not reported
Spill Site:	Not reported
Cleanup By:	Not reported
Containment:	Not reported
What Happened:	Not reported
Type:	Not reported
Measure:	Not reported
Other:	Not reported
Date/Time:	Not reported
Year:	88-92
Agency:	Not reported
Incident Date:	23-MAY-89
Admin Agency:	Not reported
Amount:	Not reported
Contained:	Not reported
Site Type:	Not reported
E Date:	11-MAY-90
Substance:	Not reported
Unknown:	Not reported
Substance #2:	Not reported
Substance #3:	Not reported
Evacuations:	Not reported
Number of Injuries:	Not reported
Number of Fatalities:	Not reported
#1 Pipeline:	Not reported
#2 Pipeline:	Not reported
#3 Pipeline:	Not reported
#1 Vessel >= 300 Tons:	Not reported
#2 Vessel >= 300 Tons:	Not reported
#3 Vessel >= 300 Tons:	Not reported
Evacs:	Not reported
Injuries:	Not reported
Fatals:	Not reported
Comments:	Not reported
Description:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

JIM DOTEN HONDA (Continued)

S100274964

HIST CORTESE:
Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0821

**83
SSE
1/4-1/2
0.493 mi.
2605 ft.**

**TEMESCAL BUSINESS CENTER
2850 7TH ST
BERKELEY, CA 94710**

**CA RESPONSE
CA ENVIROSTOR
CA CPS-SLIC**

**S101007045
N/A**

**Relative:
Higher
Actual:
32 ft.**

RESPONSE:
Facility ID: 60000400
Site Type: State Response
Site Type Detail: State Response or NPL
Acres: 6.87
National Priorities List: NO
Cleanup Oversight Agencies: SMBRP, RWQCB 2 - San Francisco Bay, CITY OF BERKELEY
Lead Agency Description: RWQCB 2 - San Francisco Bay
Project Manager: Not reported
Supervisor: Karen Toth
Division Branch: Cleanup Berkeley
Site Code: Not reported
Site Mgmt. Req.: NONE SPECIFIED
Assembly: 15
Senate: 09
Special Program Status: Not reported
Status: Refer: RWQCB
Status Date: 06/27/2007
Restricted Use: NO
Funding: Responsible Party
Latitude: 37.85388
Longitude: -122.2932
APN: 53-1655-9
Past Use: UNKNOWN
Potential COC : Tetrachloroethylene (PCE Trichloroethylene (TCE 1,2-Dichloroethylene (cis
Confirmed COC: Tetrachloroethylene (PCE Trichloroethylene (TCE 1,2-Dichloroethylene (cis
Potential Description: OTH
Alias Name: 53-1655-9
Alias Type: APN
Alias Name: 110033618976
Alias Type: EPA (FRS #)
Alias Name: SLT2O02329
Alias Type: GeoTracker Global ID
Alias Name: 201674
Alias Type: Site Code - Historical
Alias Name: 01280069
Alias Type: Envirostor ID Number
Alias Name: 60000399
Alias Type: Envirostor ID Number
Alias Name: 60000400
Alias Type: Envirostor ID Number
Alias Name: 60000668
Alias Type: Envirostor ID Number

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

TEMESCAL BUSINESS CENTER (Continued)

S101007045

Completed Info:

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: * Discovery
 Completed Date: 02/15/2005
 Comments: Site screening determined that historic site uses had included automobile manufacturing, rebuilding of marine engines, and storage of chemical metal etching waste. The City of Berkeley has overseen sampling at the site in an effort to characterize the occurrence of chlorinated solvents in area groundwater.

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

ENVIROSTOR:

Facility ID: 60000400
 Status: Refer: RWQCB
 Status Date: 06/27/2007
 Site Code: Not reported
 Site Type: State Response
 Site Type Detailed: State Response or NPL
 Acres: 6.87
 NPL: NO
 Regulatory Agencies: SMBRP, RWQCB 2 - San Francisco Bay, CITY OF BERKELEY
 Lead Agency: RWQCB 2 - San Francisco Bay
 Program Manager: Not reported
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Assembly: 15
 Senate: 09
 Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Responsible Party
 Latitude: 37.85388
 Longitude: -122.2932
 APN: 53-1655-9
 Past Use: UNKNOWN
 Potential COC: Tetrachloroethylene (PCE Trichloroethylene (TCE 1,2-Dichloroethylene (cis
 Confirmed COC: Tetrachloroethylene (PCE Trichloroethylene (TCE 1,2-Dichloroethylene (cis
 Potential Description: OTH
 Alias Name: 53-1655-9
 Alias Type: APN
 Alias Name: 110033618976
 Alias Type: EPA (FRS #)
 Alias Name: SLT2O02329
 Alias Type: GeoTracker Global ID

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

TEMESCAL BUSINESS CENTER (Continued)

S101007045

Alias Name: 201674
Alias Type: Site Code - Historical
Alias Name: 01280069
Alias Type: Envirostor ID Number
Alias Name: 60000399
Alias Type: Envirostor ID Number
Alias Name: 60000400
Alias Type: Envirostor ID Number
Alias Name: 60000668
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: * Discovery
Completed Date: 02/15/2005
Comments: Site screening determined that historic site uses had included automobile manufacturing, rebuilding of marine engines, and storage of chemical metal etching waste. The City of Berkeley has overseen sampling at the site in an effort to characterize the occurrence of chlorinated solvents in area groundwater.

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

CPS-SLIC:

Region: STATE
Facility Status: Open - Inactive
Status Date: 03/08/2001
Global Id: SLT2O02329
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Lead Agency Case Number: Not reported
Latitude: 37.853847662849
Longitude: -122.292637825012
Case Type: Cleanup Program Site
Case Worker: CSF
Local Agency: Not reported
RB Case Number: 01S0743
File Location: Regional Board
Potential Media Affected: Other Groundwater (uses other than drinking water)
Potential Contaminants of Concern: Dichloroethene (DCE), Tetrachloroethylene (PCE), Trichloroethylene (TCE)
Site History: Not reported

[Click here to access the California GeoTracker records for this facility:](#)

SLIC REG 2:

Region: 2
Facility ID: SLT2O02329
Facility Status: Leak being confirmed

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

TEMESCAL BUSINESS CENTER (Continued)

S101007045

Date Closed: Not reported
Local Case #: Not reported
How Discovered: Not reported
Leak Cause: Not reported
Leak Source: Not reported
Date Confirmed: Not reported
Date Prelim Site Assmnt Workplan Submitted: Not reported
Date Preliminary Site Assessment Began: Not reported
Date Pollution Characterization Began: Not reported
Date Remediation Plan Submitted: Not reported
Date Remedial Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

**X84
SSE
1/2-1
0.535 mi.
2826 ft.**

**BERKELEY INDUSTRIAL COURT
729 HEINZ AVENUE
BERKELEY, CA 94710
Site 1 of 3 in cluster X**

**CA RESPONSE S102008166
CA ENVIROSTOR N/A
CA LUST
CA CPS-SLIC
CA HIST CORTESE**

**Relative:
Lower
Actual:
28 ft.**

RESPONSE:
Facility ID: 1280069
Site Type: State Response
Site Type Detail: State Response or NPL
Acres: 2.85
National Priorities List: NO
Cleanup Oversight Agencies: SMBRP, RWQCB 2 - San Francisco Bay, CITY OF BERKELEY
Lead Agency Description: RWQCB 2 - San Francisco Bay
Project Manager: Not reported
Supervisor: Karen Toth
Division Branch: Cleanup Berkeley
Site Code: Not reported
Site Mgmt. Req.: NONE SPECIFIED
Assembly: 15
Senate: 09
Special Program Status: Not reported
Status: Refer: RWQCB
Status Date: 06/21/2007
Restricted Use: NO
Funding: Responsible Party
Latitude: 37.85358
Longitude: -122.2949
APN: 53-1655-8
Past Use: UNKNOWN
Potential COC : * ACID SOLUTION 2>PH WITH METALS * UNSPECIFIED SOLVENT MIXTURES Lead
Polychlorinated biphenyls (PCBs Tetrachloroethylene (PCE
Trichloroethylene (TCE Vinyl chloride 1,2-Dichloroethylene (cis Nickel
Not reported
Confirmed COC: Polychlorinated biphenyls (PCBs Tetrachloroethylene (PCE
Trichloroethylene (TCE Vinyl chloride 1,2-Dichloroethylene (cis
Nickel 10198-NO Lead 10119-NO
Potential Description: OTH, SOIL
Alias Name: Not reported
Alias Type: Not reported
Completed Info:
Completed Area Name: Not reported
Completed Sub Area Name: Not reported
Completed Document Type: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BERKELEY INDUSTRIAL COURT (Continued)

S102008166

Completed Date: Not reported
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

ENVIROSTOR:

Facility ID: 1280069
Status: Refer: RWQCB
Status Date: 06/21/2007
Site Code: Not reported
Site Type: State Response
Site Type Detailed: State Response or NPL
Acres: 2.85
NPL: NO
Regulatory Agencies: SMBRP, RWQCB 2 - San Francisco Bay, CITY OF BERKELEY
Lead Agency: RWQCB 2 - San Francisco Bay
Program Manager: Not reported
Supervisor: Karen Toth
Division Branch: Cleanup Berkeley
Assembly: 15
Senate: 09
Special Program: Not reported
Restricted Use: NO
Site Mgmt Req: NONE SPECIFIED
Funding: Responsible Party
Latitude: 37.85358
Longitude: -122.2949
APN: 53-1655-8
Past Use: UNKNOWN
Potential COC: * ACID SOLUTION 2>PH WITH METALS * UNSPECIFIED SOLVENT MIXTURES Lead
Polychlorinated biphenyls (PCBs Tetrachloroethylene (PCE
Trichloroethylene (TCE Vinyl chloride 1,2-Dichloroethylene (cis Nickel
Not reported
Confirmed COC: Polychlorinated biphenyls (PCBs Tetrachloroethylene (PCE
Trichloroethylene (TCE Vinyl chloride 1,2-Dichloroethylene (cis
Nickel 10198-NO Lead 10119-NO
Potential Description: OTH, SOIL
Alias Name: Not reported
Alias Type: Not reported

Completed Info:

Completed Area Name: Not reported
Completed Sub Area Name: Not reported
Completed Document Type: Not reported
Completed Date: Not reported
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

BERKELEY INDUSTRIAL COURT (Continued)

S102008166

Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

LUST:

Lead Agency: BERKELEY, CITY OF
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101792
 Global Id: T0600101792
 Latitude: 37.853527
 Longitude: -122.29482
 Status: Completed - Case Closed
 Status Date: 01/09/1997
 Case Worker: GAF
 RB Case Number: 01-1935
 Local Agency: BERKELEY, CITY OF
 File Location: Not reported
 Local Case Number: 01-1935
 Potential Media Affect: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Gasoline
 Site History: Not reported

LUST:

Global Id: T0600101792
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us
 Phone Number: Not reported

Global Id: T0600101792
 Contact Type: Regional Board Caseworker
 Contact Name: Regional Water Board
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY ST SUITE 1400
 City: OAKLAND
 Email: Not reported
 Phone Number: Not reported

LUST:

Global Id: T0600101792
 Action Type: Other
 Date: 06/21/1993
 Action: Leak Stopped

Global Id: T0600101792
 Action Type: Other
 Date: 08/27/1993
 Action: Leak Reported

Global Id: T0600101792

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

BERKELEY INDUSTRIAL COURT (Continued)

S102008166

Action Type: Other
Date: 06/21/1993
Action: Leak Discovery

LUST:

Global Id: T0600101792
Status: Open - Case Begin Date
Status Date: 06/21/1993

Global Id: T0600101792
Status: Open - Site Assessment
Status Date: 10/08/1993

Global Id: T0600101792
Status: Open - Site Assessment
Status Date: 04/11/1994

Global Id: T0600101792
Status: Completed - Case Closed
Status Date: 01/09/1997

CPS-SLIC:

Region: STATE
Facility Status: **Open - Inactive**
Status Date: 09/17/2010
Global Id: T0600191535
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Lead Agency Case Number: Not reported
Latitude: 37.852883
Longitude: -122.295667
Case Type: Cleanup Program Site
Case Worker: CSF
Local Agency: BERKELEY, CITY OF
RB Case Number: 01S0387
File Location: Local Agency
Potential Media Affected: Other Groundwater (uses other than drinking water), Soil
Potential Contaminants of Concern: Trichloroethylene (TCE), Polychlorinated biphenyls (PCBs), Copper, Lead, Nickel, Zinc, Diesel
Site History: Prior to 1978, this site was operated by Airco, now referred to as Temescal Business Center. The BIC portion of the site was historically utilized as a storage area for old equipment, spent dolomite, and neutralized chemical etching waste prior to disposal. Prior to Airco's ownership of the site, Hall Scott Marine Engine Foundry occupied the site before and during World War II. They produced engines for naval ships during World War II; however, the exact scope of their activities is unknown. The site currently supports three buildings and a nursery on an approximate 1.5 acre parcel. Berkeley Industrial Complex is presently a multi-tenant industrial complex. The main tenants include Magic Garden Nursery, Goldberg Cabinets, and Artworks Foundry. Seventy-five percent of the property is utilized to grow, store and sell plants, shrubs and trees. The site is bounded by Temescal Business Center to the east, and National Starch and Chemical to the north. A Southern Pacific railspur forms the northwest boundary. Since 1978 there has been no chemical storage or heavy industrial practices which would lend to

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BERKELEY INDUSTRIAL COURT (Continued)

S102008166

the potential for soil and/or groundwater impaction.

Click here to access the California GeoTracker records for this facility:

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-1935

X85 SSE 1/2-1 0.547 mi. 2890 ft.	NATIONAL STARCH AND CHEMICAL COMPANY 742 AND 800 HEINZ AVENUE BERKELEY, CA 94710	CA RESPONSE CA ENVIROSTOR	S108649747 N/A
	Site 2 of 3 in cluster X		

**Relative:
Lower
Actual:
29 ft.**

RESPONSE:
Facility ID: 60000668
Site Type: State Response
Site Type Detail: State Response or NPL
Acres: 5
National Priorities List: NO
Cleanup Oversight Agencies: SMBRP, RWQCB 2 - San Francisco Bay, CITY OF BERKELEY
Lead Agency Description: DTSC - Site Cleanup Program
Project Manager: Not reported
Supervisor: Karen Toth
Division Branch: Cleanup Berkeley
Site Code: Not reported
Site Mgmt. Req.: NONE SPECIFIED
Assembly: 14
Senate: Not reported
Special Program Status: Not reported
Status: Refer: RWQCB
Status Date: 06/27/2007
Restricted Use: NO
Funding: Responsible Party
Latitude: 37.85282
Longitude: -122.2936
APN: 53-1655-2-2, 53-1655-3-15
Past Use: NONE SPECIFIED
Potential COC : NONE SPECIFIED
Confirmed COC: NONE SPECIFIED
Potential Description: NONE SPECIFIED
Alias Name: 53-1655-2-2
Alias Type: APN
Alias Name: 53-1655-3-15
Alias Type: APN
Alias Name: 110033611250
Alias Type: EPA (FRS #)
Alias Name: 01280069
Alias Type: Envirostor ID Number
Alias Name: 60000399
Alias Type: Envirostor ID Number
Alias Name: 60000400
Alias Type: Envirostor ID Number
Alias Name: 60000668
Alias Type: Envirostor ID Number

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

NATIONAL STARCH AND CHEMICAL COMPANY (Continued)

S108649747

Completed Info:

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Site Screening
 Completed Date: 10/04/2004
 Comments: National Starch and Chemical Co (NS) produced adhesive from 1980 to 1990. The adhesive operation at NS was closed in 1990 and moved to New Jersey. NS has conducted enviromental assessment and ground water investigation from 1994 to 1998. In 2004, DTSC conducted an evaluation of a site to determine what action is required and recommended that a concent order be issued to the owner.

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

ENVIROSTOR:

Facility ID: 60000668
 Status: Refer: RWQCB
 Status Date: 06/27/2007
 Site Code: Not reported
 Site Type: State Response
 Site Type Detailed: State Response or NPL
 Acres: 5
 NPL: NO
 Regulatory Agencies: SMBRP, RWQCB 2 - San Francisco Bay, CITY OF BERKELEY
 Lead Agency: SMBRP
 Program Manager: Not reported
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Assembly: 14
 Senate: Not reported
 Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Responsible Party
 Latitude: 37.85282
 Longitude: -122.2936
 APN: 53-1655-2-2, 53-1655-3-15
 Past Use: NONE SPECIFIED
 Potential COC: NONE SPECIFIED
 Confirmed COC: NONE SPECIFIED
 Potential Description: NONE SPECIFIED
 Alias Name: 53-1655-2-2
 Alias Type: APN
 Alias Name: 53-1655-3-15
 Alias Type: APN
 Alias Name: 110033611250
 Alias Type: EPA (FRS #)
 Alias Name: 01280069

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

NATIONAL STARCH AND CHEMICAL COMPANY (Continued)

S108649747

Alias Type: Envirostor ID Number
Alias Name: 60000399
Alias Type: Envirostor ID Number
Alias Name: 60000400
Alias Type: Envirostor ID Number
Alias Name: 60000668
Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Site Screening
Completed Date: 10/04/2004
Comments: National Starch and Chemical Co (NS) produced adhesive from 1980 to 1990. The adhesive operation at NS was closed in 1990 and moved to New Jersey. NS has conducted enviromental assessment and ground water investigation from 1994 to 1998. In 2004, DTSC conducted an evaluation of a site to determine what action is required and recommended that a concent order be issued to the owner.

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

**86
SE
1/2-1
0.565 mi.
2982 ft.**

**EMERALD PACKAGING INC.
2821 TENTH ST.
BERKELEY, CA 92661**

**CA Notify 65 S100179674
N/A**

**Relative:
Higher
Actual:
46 ft.**

NOTIFY 65:
Date Reported: Not reported
Staff Initials: Not reported
Board File Number: Not reported
Facility Type: Not reported
Discharge Date: Not reported
Issue Date: Not reported
Incident Description: Not reported

**X87
SSE
1/2-1
0.572 mi.
3021 ft.**

**SEVENTH STREET PROPERTIES II
700 HEINZ AVENUE
BERKELEY, CA 94704
Site 3 of 3 in cluster X**

**CA RESPONSE S102008151
CA ENVIROSTOR N/A
CA LUST
CA HIST Cal-Sites
CA EMI
CA HIST CORTESE**

**Relative:
Lower
Actual:
26 ft.**

RESPONSE:
Facility ID: 1200019
Site Type: State Response
Site Type Detail: State Response or NPL
Acres: 6

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SEVENTH STREET PROPERTIES II (Continued)

S102008151

National Priorities List: NO
 Cleanup Oversight Agencies: SMBRP
 Lead Agency Description: DTSC - Site Cleanup Program
 Project Manager: Not reported
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Site Code: 200001
 Site Mgmt. Req.: NONE SPECIFIED
 Assembly: 15
 Senate: 09
 Special Program Status: Not reported
 Status: Certified
 Status Date: 11/19/2003
 Restricted Use: NO
 Funding: Responsible Party
 Latitude: 37.85241
 Longitude: -122.2944
 APN: 053-1644-014, 53-1644-14
 Past Use: MANUFACTURING - OTHER
 Potential COC : TPH-diesel TPH-MOTOR OIL
 Confirmed COC: TPH-diesel TPH-MOTOR OIL
 Potential Description: SOIL
 Alias Name: Not reported
 Alias Type: Not reported

Completed Info:

Completed Area Name: Not reported
 Completed Sub Area Name: Not reported
 Completed Document Type: Not reported
 Completed Date: Not reported
 Comments: Not reported

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

ENVIROSTOR:

Facility ID: 1200019
 Status: Certified
 Status Date: 11/19/2003
 Site Code: 200001
 Site Type: State Response
 Site Type Detailed: State Response or NPL
 Acres: 6
 NPL: NO
 Regulatory Agencies: SMBRP
 Lead Agency: SMBRP
 Program Manager: Not reported
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Assembly: 15

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

SEVENTH STREET PROPERTIES II (Continued)

S102008151

Senate: 09
 Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Responsible Party
 Latitude: 37.85241
 Longitude: -122.2944
 APN: 053-1644-014, 53-1644-14
 Past Use: MANUFACTURING - OTHER
 Potential COC: TPH-diesel TPH-MOTOR OIL
 Confirmed COC: TPH-diesel TPH-MOTOR OIL
 Potential Description: SOIL
 Alias Name: Not reported
 Alias Type: Not reported

Completed Info:
 Completed Area Name: Not reported
 Completed Sub Area Name: Not reported
 Completed Document Type: Not reported
 Completed Date: Not reported
 Comments: Not reported

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

LUST:
 Lead Agency: BERKELEY, CITY OF
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100476
 Global Id: T0600100476
 Latitude: 37.8531
 Longitude: -122.2932
 Status: Completed - Case Closed
 Status Date: 09/29/1994
 Case Worker: GAF
 RB Case Number: 01-0522
 Local Agency: BERKELEY, CITY OF
 File Location: Not reported
 Local Case Number: 01-0522
 Potential Media Affect: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Waste Oil / Motor / Hydraulic / Lubricating
 Site History: Not reported

LUST:
 Global Id: T0600100476
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

SEVENTH STREET PROPERTIES II (Continued)

S102008151

Phone Number: Not reported

Global Id: T0600100476
 Contact Type: Regional Board Caseworker
 Contact Name: Regional Water Board
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY ST SUITE 1400
 City: OAKLAND
 Email: Not reported
 Phone Number: Not reported

LUST:

Global Id: T0600100476
 Action Type: Other
 Date: 08/01/1985
 Action: Leak Stopped

Global Id: T0600100476
 Action Type: RESPONSE
 Date: 12/19/1986
 Action: CAP/RAP - Feasibility Study Report

Global Id: T0600100476
 Action Type: Other
 Date: 08/01/1985
 Action: Leak Reported

Global Id: T0600100476
 Action Type: RESPONSE
 Date: 10/14/1986
 Action: CAP/RAP - Feasibility Study Report

Global Id: T0600100476
 Action Type: RESPONSE
 Date: 01/22/1986
 Action: CAP/RAP - Feasibility Study Report

Global Id: T0600100476
 Action Type: Other
 Date: 08/01/1985
 Action: Leak Discovery

LUST:

Global Id: T0600100476
 Status: Open - Case Begin Date
 Status Date: 08/01/1985

Global Id: T0600100476
 Status: Completed - Case Closed
 Status Date: 09/29/1994

LUST REG 2:

Region: 2
 Facility Id: 01-0522
 Facility Status: Case Closed

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

SEVENTH STREET PROPERTIES II (Continued)

S102008151

Case Number: 01-0522
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: Not reported
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

Calsite:

Region: BERKELEY
Facility ID: 01200019
Facility Type: RP
Type: RESPONSIBLE PARTY
Branch: NC
Branch Name: NORTH COAST
File Name: Not reported
State Senate District: 02281988
Status: CERTIFIED OPERATION AND MAINTENANCE, ALL PLANNED ACTIVITIES
IMPLEMENTED, REMEDIATION CONTINUES
Status Name: CERTIFIED / OPERATION & MAINTENANCE
Lead Agency: DEPT OF TOXIC SUBSTANCES CONTROL
NPL: Not Listed
SIC Code: 20
SIC Name: MANU - FOOD & KINDRED PRODUCTS
Access: Controlled
Cortese: Not reported
Hazardous Ranking Score: Not reported
Date Site Hazard Ranked: Not reported
Groundwater Contamination: Not reported
Staff Member Responsible for Site: JSOTO
Supervisor Responsible for Site: Not reported
Region Water Control Board: SF
Region Water Control Board Name: SAN FRANCISCO BAY
Lat/Long Direction: Not reported
Lat/Long (dms): 0 0 0 / 0 0 0
Lat/long Method: Not reported
Lat/Long Description: Not reported
State Assembly District Code: 14
State Senate District Code: 09
Facility ID: 01200019
Activity: RIFS
Activity Name: REMEDIAL INVESTIGATION / FEASIBILITY STUDY
AWP Code: 1
Proposed Budget: 0
AWP Completion Date: Not reported
Revised Due Date: Not reported
Comments Date: 08301986
Est Person-Yrs to complete: 0
Estimated Size: Not reported
Request to Delete Activity: Not reported
Activity Status: COM
Definition of Status: CERTIFIED / OPERATION & MAINTENANCE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SEVENTH STREET PROPERTIES II (Continued)

S102008151

Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01200019
Activity:	DES
Activity Name:	DESIGN
AWP Code:	1
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	10301987
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	COM
Definition of Status:	CERTIFIED / OPERATION & MAINTENANCE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01200019
Activity:	FRA
Activity Name:	FINAL REMEDIAL ACTION
AWP Code:	1
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	10301987
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	COM
Definition of Status:	CERTIFIED / OPERATION & MAINTENANCE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

SEVENTH STREET PROPERTIES II (Continued)

S102008151

For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01200019
Activity:	RAP
Activity Name:	REMEDIAL ACTION PLAN / RECORD OF DECISION
AWP Code:	1
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	10301987
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	COM
Definition of Status:	CERTIFIED / OPERATION & MAINTENANCE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01200019
Activity:	CERT
Activity Name:	CERTIFICATION
AWP Code:	Not reported
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	02281988
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	COM
Definition of Status:	CERTIFIED / OPERATION & MAINTENANCE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	6
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01200019
Activity:	5YEAR
Activity Name:	FIVE-YEAR REVIEW REQUIRED BY CERCLA
AWP Code:	Not reported
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SEVENTH STREET PROPERTIES II (Continued)

S102008151

Comments Date:	12161997
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	COM
Definition of Status:	CERTIFIED / OPERATION & MAINTENANCE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01200019
Activity:	5YEAR
Activity Name:	FIVE-YEAR REVIEW REQUIRED BY CERCLA
AWP Code:	Not reported
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	02272003
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	COM
Definition of Status:	CERTIFIED / OPERATION & MAINTENANCE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01200019
Activity:	5YEAR
Activity Name:	FIVE-YEAR REVIEW REQUIRED BY CERCLA
AWP Code:	Not reported
Proposed Budget:	0
AWP Completion Date:	12312006
Revised Due Date:	02272008
Comments Date:	Not reported
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	COM
Definition of Status:	CERTIFIED / OPERATION & MAINTENANCE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

SEVENTH STREET PROPERTIES II (Continued)

S102008151

Well Decommissioned: Not reported
 Action Included Fencing: Not reported
 Removal Action Certification: Not reported
 Activity Comments: Not reported
 For Commercial Reuse: 0
 For Industrial Reuse: 0
 For Residential Reuse: 0
 Unknown Type: 0
 Alternate Address: 2900 5TH ST.
 Alternate City,St,Zip: BERKELEY, CA 94710
 Alternate Address: 700 HEINZ AVENUE
 Alternate City,St,Zip: BERKELEY, CA 94710
 Background Info: The property was occupied by a vegetable oil company from 1916 to 1984. In 1985, Wareham Development purchased the site and found tanks and sumps containing nickel, acids, oil and grease, and retrograde lab chemicals.
 Comments Date: 02272003
 Comments: 5YEAR - In February 2003, a Five Year Review Report was approved
 Comments Date: 02272003
 Comments: which recommends no additional groundwater monitoring and to
 Comments Date: 02272003
 Comments: close the monitoring wells. Monitoring wells were closed in July
 Comments Date: 02272003
 Comments: 2003.
 Comments Date: 02281988
 Comments: CERT - The site was certified with operation and maintenance
 Comments Date: 02281988
 Comments: activities which include inspection of the asphalt cap and
 Comments Date: 02281988
 Comments: groundwater monitoring.
 Comments Date: 10301987
 Comments: RAP - A Remedial Action Plan was approved which required
 Comments Date: 10301987
 Comments: excavation and offsite disposal of contaminated soil and
 Comments Date: 10301987
 Comments: installation of an asphalt cap.
 Comments Date: 12161997
 Comments: 5YEAR - Five year review conducted. Recommends no further
 Comments Date: 12161997
 Comments: groundwater monitoring.
 ID Name: CALSTARS CODE
 ID Value: 200001
 ID Name: BEP DATABASE PCODE
 ID Value: P22075
 Alternate Name: WAREHAM DEVELOPMENT
 Alternate Name: WAREHAM PROPERTY
 Alternate Name: WAREHAM PROPERTIES
 Alternate Name: SEVENTH STREET PROPERTIES
 Alternate Name: Not reported
 Special Programs Code: Not reported
 Special Programs Name: Not reported

EMI:
 Year: 2003
 County Code: 1
 Air Basin: SF
 Facility ID: 15697

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

SEVENTH STREET PROPERTIES II (Continued)

S102008151

Air District Name: BA
SIC Code: 6513
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2004
County Code: 1
Air Basin: SF
Facility ID: 15697
Air District Name: BA
SIC Code: 6513
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2005
County Code: 1
Air Basin: SF
Facility ID: 15697
Air District Name: BA
SIC Code: 6513
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2006
County Code: 1
Air Basin: SF
Facility ID: 15697
Air District Name: BA
SIC Code: 6513
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SEVENTH STREET PROPERTIES II (Continued)

S102008151

Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2008
County Code: 1
Air Basin: SF
Facility ID: 15697
Air District Name: BA
SIC Code: 6513
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: .001
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2009
County Code: 1
Air Basin: SF
Facility ID: 15697
Air District Name: BA
SIC Code: 6513
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0.001
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2010
County Code: 1
Air Basin: SF
Facility ID: 15697
Air District Name: BA
SIC Code: 6513
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0.001
Reactive Organic Gases Tons/Yr: 8.3670000000000001E-4
Carbon Monoxide Emissions Tons/Yr: 0.001
NOX - Oxides of Nitrogen Tons/Yr: 5.0000000000000001E-3
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SEVENTH STREET PROPERTIES II (Continued)

S102008151

Year: 2011
 County Code: 1
 Air Basin: SF
 Facility ID: 15697
 Air District Name: BA
 SIC Code: 6513
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 0.001
 Reactive Organic Gases Tons/Yr: 0.0008367
 Carbon Monoxide Emissions Tons/Yr: 0.001
 NOX - Oxides of Nitrogen Tons/Yr: 0.005
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and SmIrr Tons/Yr:0

Year: 2012
 County Code: 1
 Air Basin: SF
 Facility ID: 15697
 Air District Name: BA
 SIC Code: 6513
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 0.001
 Reactive Organic Gases Tons/Yr: 0.0008367
 Carbon Monoxide Emissions Tons/Yr: 0.001
 NOX - Oxides of Nitrogen Tons/Yr: 0.007
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and SmIrr Tons/Yr:0

Year: 2013
 County Code: 1
 Air Basin: SF
 Facility ID: 15697
 Air District Name: BA
 SIC Code: 6513
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 0.001
 Reactive Organic Gases Tons/Yr: 0.0008367
 Carbon Monoxide Emissions Tons/Yr: 0.001
 NOX - Oxides of Nitrogen Tons/Yr: 0.007
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and SmIrr Tons/Yr:0

Year: 2014
 County Code: 1
 Air Basin: SF
 Facility ID: 15697
 Air District Name: BA
 SIC Code: 6513

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

SEVENTH STREET PROPERTIES II (Continued)

S102008151

Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0.000967716
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0.00101908
NOX - Oxides of Nitrogen Tons/Yr: 0.005700731
SOX - Oxides of Sulphur Tons/Yr: 6.231e-006
Particulate Matter Tons/Yr: 0.000156157
Part. Matter 10 Micrometers and Smllr Tons/Yr:0.000149911

Year: 2015
County Code: 1
Air Basin: SF
Facility ID: 15697
Air District Name: BA
SIC Code: 6513
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0.000967716
Reactive Organic Gases Tons/Yr: 0.000942158
Carbon Monoxide Emissions Tons/Yr: 0.00101908
NOX - Oxides of Nitrogen Tons/Yr: 0.005700731
SOX - Oxides of Sulphur Tons/Yr: 6.231e-006
Particulate Matter Tons/Yr: 0.000156157
Part. Matter 10 Micrometers and Smllr Tons/Yr:0.000149911

HIST CORTESE:
Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0522

88
NNE
1/2-1
0.637 mi.
3365 ft.
Relative:
Higher
Actual:
56 ft.

TOWER CLEANERS
1110 UNIVERSITY AVE
BERKELEY, CA 94702

RCRA-SQG 1000268541
CA CPS-SLIC CAD981581044
FINDS
ECHO
CA DRYCLEANERS
CA EMI
CA HAZNET
CA Notify 65

RCRA-SQG:
Date form received by agency: 11/25/1986
Facility name: BERKELEY CLEANING CENTER
Facility address: 1110 UNIVERSITY AVE
BERKELEY, CA 94702
EPA ID: CAD981581044
Contact: ENVIRONMENTAL MANAGER
Contact address: 1110 UNIVERSITY AVE
BERKELEY, CA 94702
Contact country: US
Contact telephone: Not reported
Contact email: Not reported
EPA Region: 09
Classification: Small Small Quantity Generator

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

TOWER CLEANERS (Continued)

1000268541

Description: Handler: generates more than 100 and less than 1000 kg of hazardous waste during any calendar month and accumulates less than 6000 kg of hazardous waste at any time; or generates 100 kg or less of hazardous waste during any calendar month, and accumulates more than 1000 kg of hazardous waste at any time

Owner/Operator Summary:

Owner/operator name: NOT REQUIRED
 Owner/operator address: NOT REQUIRED
 NOT REQUIRED, ME 99999
 Owner/operator country: Not reported
 Owner/operator telephone: 415-555-1212
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Operator
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported

Owner/operator name: HARRY TAKAHASHI
 Owner/operator address: NOT REQUIRED
 NOT REQUIRED, ME 99999

Owner/operator country: Not reported
 Owner/operator telephone: 415-555-1212
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Owner
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: No
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

Violation Status: No violations found

CPS-SLIC:

Region: STATE
Facility Status: Open - Assessment & Interim Remedial Action
 Status Date: 10/04/2017
 Global Id: T10000002262

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

TOWER CLEANERS (Continued)

1000268541

Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
 Lead Agency Case Number: Uni1110
 Latitude: 37.8688741459668
 Longitude: -122.291307449341
 Case Type: Cleanup Program Site
 Case Worker: PF
 Local Agency: Not reported
 RB Case Number: 01S0744
 File Location: Local Agency
 Potential Media Affected: Other Groundwater (uses other than drinking water), Soil, Soil Vapor
 Potential Contaminants of Concern: Tetrachloroethylene (PCE)
 Site History: The site was used as a dry cleaning facility for more than 40 years until 2009, with the current structures (a laundry and residential unit on the ground floor, and several apartments on the second floor) built in the 1940s. The current laundry business does not perform any dry cleaning on-site. Planned redevelopment is slated to occur in 2018. Based on assessments to date, the dry cleaning solvent perchloroethylene (PCE) is present in soil, soil gas, and groundwater at concentrations which could pose a risk of vapor intrusion into the site's current residential units, and future planned redevelopment of the site.

Click here to access the California GeoTracker records for this facility:

FINDS:

Registry ID: 110001153108

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

HAZARDOUS AIR POLLUTANT MAJOR

STATE MASTER

Click this hyperlink while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000268541
 Registry ID: 110001153108
 DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110001153108>

DRYCLEANERS:

EPA Id: CAL000297715
 NAICS Code: 81232
 NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)
 SIC Code: 7211
 SIC Description: Power Laundries, Family and Commercial
 Create Date: 08/19/2005

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

TOWER CLEANERS (Continued)

1000268541

Facility Active: No
 Inactive Date: 06/30/2008
 Facility Addr2: Not reported
 Owner Name: JONG S LEE
 Owner Address: 1110 UNIVERSITY AVE
 Owner Address 2: Not reported
 Owner Telephone: 5108431675
 Contact Name: JONG LEE
 Contact Address: 1110 UNIVERSITY AVE
 Contact Address 2: Not reported
 Contact Telephone: 5108431675
 Mailing Name: Not reported
 Mailing Address 1: 1110 UNIVERSITY AVE
 Mailing Address 2: Not reported
 Mailing City: BERKELEY
 Mailing State: CA
 Mailing Zip: 947021606
 Owner Fax: Not reported
 Region Code: 2

 EPA Id: CAL000337735
 NAICS Code: 81232
 NAICS Description: Drycleaning and Laundry Services (except Coin-Operated)
 SIC Code: 7211
 SIC Description: Power Laundries, Family and Commercial
 Create Date: 11/05/2008
 Facility Active: No
 Inactive Date: 06/30/2013
 Facility Addr2: Not reported
 Owner Name: LUNG TSEN SUNG
 Owner Address: 858 MULBERRY CT
 Owner Address 2: Not reported
 Owner Telephone: 5102620639
 Contact Name: LUNG TSEN SUNG
 Contact Address: 1110 UNIVERSITY AVE
 Contact Address 2: Not reported
 Contact Telephone: 5108431675
 Mailing Name: Not reported
 Mailing Address 1: 1110 UNIVERSITY AVE
 Mailing Address 2: Not reported
 Mailing City: BERKELEY
 Mailing State: CA
 Mailing Zip: 947021606
 Owner Fax: 0000000000
 Region Code: 2

EMI:

Year: 1987
 County Code: 1
 Air Basin: SF
 Facility ID: 1310
 Air District Name: BA
 SIC Code: 7216
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 3

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

TOWER CLEANERS (Continued)

1000268541

Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1990
County Code: 1
Air Basin: SF
Facility ID: 1310
Air District Name: BA
SIC Code: 7216
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 3
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1993
County Code: 1
Air Basin: SF
Facility ID: 1310
Air District Name: BA
SIC Code: 7216
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 4
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 1995
County Code: 1
Air Basin: SF
Facility ID: 1310
Air District Name: BA
SIC Code: 7216
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 4
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

TOWER CLEANERS (Continued)

1000268541

Year: 1996
 County Code: 1
 Air Basin: SF
 Facility ID: 1310
 Air District Name: BA
 SIC Code: 7216
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 3
 Reactive Organic Gases Tons/Yr: 0
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2003
 County Code: 1
 Air Basin: SF
 Facility ID: 1310
 Air District Name: BA
 SIC Code: 7216
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 0
 Reactive Organic Gases Tons/Yr: 0
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2004
 County Code: 1
 Air Basin: SF
 Facility ID: 1310
 Air District Name: BA
 SIC Code: 7216
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 0.202
 Reactive Organic Gases Tons/Yr: 0
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2005
 County Code: 1
 Air Basin: SF
 Facility ID: 1310
 Air District Name: BA
 SIC Code: 7216

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

TOWER CLEANERS (Continued)

1000268541

Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 0
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2006
County Code: 1
Air Basin: SF
Facility ID: 1310
Air District Name: BA
SIC Code: 7216
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: .304
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2007
County Code: 1
Air Basin: SF
Facility ID: 1310
Air District Name: BA
SIC Code: 7216
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: .338
Reactive Organic Gases Tons/Yr: .2361268
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2008
County Code: 1
Air Basin: SF
Facility ID: 1310
Air District Name: BA
SIC Code: 7216
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: .338
Reactive Organic Gases Tons/Yr: 0
Carbon Monoxide Emissions Tons/Yr: 0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

TOWER CLEANERS (Continued)

1000268541

NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2009
 County Code: 1
 Air Basin: SF
 Facility ID: 1310
 Air District Name: BA
 SIC Code: 7216
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 0.33800000000000002
 Reactive Organic Gases Tons/Yr: 0
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0

Year: 2010
 County Code: 1
 Air Basin: SF
 Facility ID: 1310
 Air District Name: BA
 SIC Code: 7216
 Air District Name: BAY AREA AQMD
 Community Health Air Pollution Info System: Not reported
 Consolidated Emission Reporting Rule: Not reported
 Total Organic Hydrocarbon Gases Tons/Yr: 0.33800000000000002
 Reactive Organic Gases Tons/Yr: 0.2361268
 Carbon Monoxide Emissions Tons/Yr: 0
 NOX - Oxides of Nitrogen Tons/Yr: 0
 SOX - Oxides of Sulphur Tons/Yr: 0
 Particulate Matter Tons/Yr: 0
 Part. Matter 10 Micrometers and Smllr Tons/Yr:0

HAZNET:

envid: 1000268541
 Year: 2001
 GEPAID: CAD981581044
 Contact: JAMES TAKAHASHI
 Telephone: --
 Mailing Name: Not reported
 Mailing Address: 1110 UNIVERSITY AVE
 Mailing City,St,Zip: BERKELEY, CA 947020000
 Gen County: Not reported
 TSD EPA ID: CAT080014079
 TSD County: Not reported
 Waste Category: Liquids with halogenated organic compounds >= 1,000 Mg./L
 Disposal Method: Transfer Station
 Tons: 0.19
 Cat Decode: Not reported
 Method Decode: Not reported
 Facility County: Alameda

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

TOWER CLEANERS (Continued)

1000268541

envid: 1000268541
Year: 2001
GEPaid: CAD981581044
Contact: JAMES TAKAHASHI
Telephone: --
Mailing Name: Not reported
Mailing Address: 1110 UNIVERSITY AVE
Mailing City,St,Zip: BERKELEY, CA 947020000
Gen County: Not reported
TSD EPA ID: CAT080014079
TSD County: Not reported
Waste Category: Liquids with halogenated organic compounds >= 1,000 Mg./L
Disposal Method: Not reported
Tons: 0
Cat Decode: Not reported
Method Decode: Not reported
Facility County: Alameda

envid: 1000268541
Year: 2000
GEPaid: CAD981581044
Contact: JAMES TAKAHASHI
Telephone: --
Mailing Name: Not reported
Mailing Address: 1110 UNIVERSITY AVE
Mailing City,St,Zip: BERKELEY, CA 947020000
Gen County: Not reported
TSD EPA ID: CA0000084517
TSD County: Not reported
Waste Category: Liquids with halogenated organic compounds >= 1,000 Mg./L
Disposal Method: Transfer Station
Tons: 0.27
Cat Decode: Not reported
Method Decode: Not reported
Facility County: Alameda

envid: 1000268541
Year: 1999
GEPaid: CAD981581044
Contact: BERKELEY CLEANING CENTER
Telephone: 0000000000
Mailing Name: Not reported
Mailing Address: 1110 UNIVERSITY AVE
Mailing City,St,Zip: BERKELEY, CA 947020000
Gen County: Not reported
TSD EPA ID: CA0000084517
TSD County: Not reported
Waste Category: Liquids with halogenated organic compounds >= 1,000 Mg./L
Disposal Method: Transfer Station
Tons: .3900
Cat Decode: Not reported
Method Decode: Not reported
Facility County: 1

envid: 1000268541
Year: 1998
GEPaid: CAD981581044

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

TOWER CLEANERS (Continued)

1000268541

Contact: BERKELEY CLEANING CENTER
 Telephone: 0000000000
 Mailing Name: Not reported
 Mailing Address: 1110 UNIVERSITY AVE
 Mailing City,St,Zip: BERKELEY, CA 947020000
 Gen County: Not reported
 TSD EPA ID: CA0000084517
 TSD County: Not reported
 Waste Category: Liquids with halogenated organic compounds >= 1,000 Mg./L
 Disposal Method: Transfer Station
 Tons: .2925
 Cat Decode: Not reported
 Method Decode: Not reported
 Facility County: 1

Click this hyperlink while viewing on your computer to access
8 additional CA_HAZNET: record(s) in the EDR Site Report.

NOTIFY 65:

Date Reported: Not reported
 Staff Initials: Not reported
 Board File Number: Not reported
 Facility Type: Not reported
 Discharge Date: Not reported
 Issue Date: 02/05/2018
 Incident Description: Not reported

**Y89
SSE
1/2-1
0.668 mi.
3526 ft.**

**CAMP ASHBY
BERKELEY, CA
Site 1 of 2 in cluster Y**

**FUDS 1007211901
N/A**

**Relative:
Higher
Actual:
32 ft.**

FUDS:
 EPA Region: 09
 Congressional District: 13
 FUDS Number: J09CA0765
 State: CA
 Facility Name: CAMP ASHBY
 Fiscal Year: 2013
 City: BERKELEY
 Federal Facility ID: CA9799F5706
 Telephone: 916-557-7461
 INST ID: 57283
 County: ALAMEDA
 RAB: Not reported
 CORPS_DIST: Sacramento District (SPK)
 NPL Status: Not Listed
 CTC: 15
 Current Owner: Private Sector
 Future Prog: Not reported
 Description: The 13.53-acres site is located in the vicinity of Ashby Ave. & 7th St. in the City of Berkeley, Alameda County, CA. The site is now built-over and occupied by numerous private businesses, both commercial & industrial. Examination of the streets and buildings did not identify any remains of Camp Ashby.
 Current Program: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

CAMP ASHBY (Continued)

1007211901

History: On 1 January 1942, 12.65 leased acres and 0.88 permit acres were acquired from private owners, the State of California and the City of Berkeley for the San Francisco Port of Embarkation in the 6th Army Area. The total acreage acquired was 13.53. The leases terminated between 1 January 1942 and 11 October 1946. The permit terminated on 11 Oct 1946. The site was used as a military police installation. There are no potential hazards currently identified at this site.

Latitude Degree: 37
Latitude Minute: 51
Latitude Second: 6
Latitude Direction: N
Longitude Degree: -122
Longitude Minute: 18
Longitude Second: 30
Longitude Direction: E

**Y90
SSE
1/2-1
0.670 mi.
3536 ft.**

**CAMP ASHBY
BERKELEY, CA
Site 2 of 2 in cluster Y**

**CA ENVIROSTOR S107736007
N/A**

**Relative:
Higher
Actual:
33 ft.**

ENVIROSTOR:
Facility ID: 80000378
Status: No Further Action
Status Date: 09/13/2012
Site Code: Not reported
Site Type: Military Evaluation
Site Type Detailed: FUDS
Acres: 13.5
NPL: NO
Regulatory Agencies: SMBRP
Lead Agency: SMBRP
Program Manager: Not reported
Supervisor: Carrie Tatoian-Cain
Division Branch: Cleanup Sacramento
Assembly: 15
Senate: 09
Special Program: Not reported
Restricted Use: NO
Site Mgmt Req: NONE SPECIFIED
Funding: DERA
Latitude: 37.85166
Longitude: -122.2916
APN: NONE SPECIFIED
Past Use: NONE SPECIFIED
Potential COC: NONE SPECIFIED
Confirmed COC: NONE SPECIFIED
Potential Description: NONE SPECIFIED
Alias Name: CA99799F570600
Alias Type: Federal Facility ID
Alias Name: J09CA0765
Alias Type: INPR
Alias Name: 80000378
Alias Type: Envirostor ID Number

Completed Info:
Completed Area Name: PROJECT WIDE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

CAMP ASHBY (Continued)

S107736007

Completed Sub Area Name: Not reported
 Completed Document Type: No Department of Defense Action Indicated (NDAI)
 Completed Date: 09/13/2012
 Comments: This determination is based on information in DTSC s and the Water Boards possession at this time concerning Department of Defense (DoD) activities on the sites listed above. DTSC and the Water Boards reserve the right to address any appropriate environmental or human health related issue, should additional information concerning the environmental condition of these sites become available in the future.
 Not reported
 Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

Z91
South
1/2-1
0.712 mi.
3761 ft.

NAVAL INDUSTRIAL RESERVE PLANT BERKELEY

FUDS 1008196518
N/A

BERKELEY, CA

Site 1 of 2 in cluster Z

Relative:
Lower
Actual:
23 ft.

FUDS:
 EPA Region: 09
 Congressional District: 13
 FUDS Number: J09CA0063
 State: CA
 Facility Name: NAVAL INDUSTRIAL RESERVE PLANT BERKELEY
 Fiscal Year: 2013
 City: BERKELEY
 Federal Facility ID: CA9799F5271
 Telephone: 916-557-7461
 INST ID: 57694
 County: ALAMEDA
 RAB: Not reported
 CORPS_DIST: Sacramento District (SPK)
 NPL Status: Not Listed
 CTC: 123.5
 Current Owner: Private Sector
 Future Prog: Not reported
 Description: The 2.94-acre site is located at 735 Ashby Avenue in the City of Berkeley, Alameda County, CA. In 1965, Mr. Phelps Dodge of Airco, Inc. installed a high temperature furnace and several transformers on the property. In the 1960s, three underground storage tanks (USTs) were removed and three aboveground storage tanks (ASTs) were removed between 1977 and 1988. In removing the ASTs, the property owner discovered contaminated soil, which he believes was contaminated from adjacent inactive pipelines as the ASTs were not leaking. The property owner stockpiled the contaminated soil for Department of Defense (DoD) removal. There have been allegations of illegal dumping of Polychlorinatedbiphenyls (PCBs) from transformers at the site by Barker Machinery. Two 2,000-gallon USTs were installed in 1985, one for motor oil and one for waste oil. The current owners are Timothy

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

NIRP BERKELEY (Continued)

S107736904

Potential Description: NONE SPECIFIED
 Alias Name: American Forge and Foundry
 Alias Type: Alternate Name
 Alias Name: CA99799F527100
 Alias Type: Federal Facility ID
 Alias Name: J09CA0063
 Alias Type: INPR
 Alias Name: 80000154
 Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: No Department of Defense Action Indicated (NDAI)
 Completed Date: 11/27/2013
 Comments: Please note that this determination is based on information in DTSC s and the Water Boards possession at this time concerning Department of Defense (DoD) activities on the sites listed above. DTSC and the Water Boards reserve the right to address any appropriate environmental or human health related issue, should additional information concerning the environmental condition of these sites become available in the future.

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

**93
WNW
1/2-1
0.735 mi.
3880 ft.**

**UNIVERSITY OF CALIFORNIA, BERKELEY - MAIN CAMPUS
317 UNIVERSITY HALL, MC 1150
BERKELEY, CA 94720**

**CA ENVIROSTOR S111418028
N/A**

**Relative:
Lower
Actual:
10 ft.**

ENVIROSTOR:
 Facility ID: 60001619
 Status: Inactive - Needs Evaluation
 Status Date: 03/18/2011
 Site Code: Not reported
 Site Type: Tiered Permit
 Site Type Detailed: Tiered Permit
 Acres: 1
 NPL: NO
 Regulatory Agencies: SMBRP
 Lead Agency: SMBRP
 Program Manager: Not reported
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Assembly: Not reported
 Senate: 09
 Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

UNIVERSITY OF CALIFORNIA, BERKELEY - MAIN CAMPUS (Continued)

S111418028

Funding: Responsible Party
Latitude: 37.87205
Longitude: -122.2592
APN: NONE SPECIFIED
Past Use: NONE SPECIFIED
Potential COC: NONE SPECIFIED
Confirmed COC: NONE SPECIFIED
Potential Description: NONE SPECIFIED
Alias Name: 60001619
Alias Type: Envirostor ID Number

Completed Info:
Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Phase 1
Completed Date: 01/13/2012
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

**94
NNW
1/2-1
0.756 mi.
3993 ft.**

**SAFETY KLEEN CORP
1717 FOURTH ST
BERKELEY, CA 94710**

**RCRA NonGen / NLR 1000434871
CA HWP CAD070148432**

**Relative:
Lower
Actual:
16 ft.**

RCRA NonGen / NLR:
Date form received by agency: 07/14/2000
Facility name: SAFETY KLEEN CORP
Facility address: 1717 FOURTH ST
BERKELEY, CA 94710-1783
EPA ID: CAD070148432
Mailing address: 8795 FOLSOM BLVD STE 108
SACRAMENTO, CA 95826
Contact: STEVE LU QUIRE
Contact address: 8795 FOLSOM BLVD STE 108
SACRAMENTO, CA 95826
Contact country: US
Contact telephone: 916-379-2241
Contact email: Not reported
EPA Region: 09
Land type: Private
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:
Owner/operator name: NOT REQUIRED
Owner/operator address: NOT REQUIRED
NOT REQUIRED, ME 99999
Owner/operator country: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

SAFETY KLEEN CORP (Continued)

1000434871

Owner/operator telephone: 415-555-1212
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Operator
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported

Owner/operator name: SAFETY KLEEN CORP
 Owner/operator address: 1000 N RANDALL RD
 ELGIN, IL 60123

Owner/operator country: Not reported
 Owner/operator telephone: 708-697-8460
 Owner/operator email: Not reported
 Owner/operator fax: Not reported
 Owner/operator extension: Not reported
 Legal status: Private
 Owner/Operator Type: Owner
 Owner/Op start date: Not reported
 Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
 Mixed waste (haz. and radioactive): No
 Recycler of hazardous waste: No
 Transporter of hazardous waste: Yes
 Treater, storer or disposer of HW: No
 Underground injection activity: No
 On-site burner exemption: No
 Furnace exemption: No
 Used oil fuel burner: No
 Used oil processor: No
 User oil refiner: No
 Used oil fuel marketer to burner: No
 Used oil Specification marketer: No
 Used oil transfer facility: No
 Used oil transporter: No

Historical Generators:

Date form received by agency: 09/01/1996
 Site name: SAFETY KLEEN CORP
 Classification: Large Quantity Generator

Date form received by agency: 03/15/1996
 Site name: SAFETY-KLEEN CORP.
 Classification: Large Quantity Generator

Date form received by agency: 04/18/1994
 Site name: DREW RESOURCE CORPORATION
 Classification: Large Quantity Generator

Date form received by agency: 04/22/1992
 Site name: DREW RESOURCE CORPORATION
 Classification: Not a generator, verified

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

SAFETY KLEEN CORP (Continued)

1000434871

Date form received by agency: 06/01/1990
Site name: DREW RESOURCE CORPORATION
Classification: Not a generator, verified

Facility Has Received Notices of Violations:

Regulation violated: FR - 264.30-37.C
Area of violation: TSD - General
Date violation determined: 12/19/1995
Date achieved compliance: 01/01/1996
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 01/03/1996
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: FR - 264.110-120.G
Area of violation: TSD - Closure/Post-Closure
Date violation determined: 10/13/1995
Date achieved compliance: 11/17/1995
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/13/1995
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: F - 262.50-60
Area of violation: Generators - General
Date violation determined: 06/13/1995
Date achieved compliance: 06/13/1995
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 01/03/1996
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: FR - 264.370-383.P
Area of violation: TSD IS-Thermal Treatment
Date violation determined: 10/18/1993
Date achieved compliance: 02/03/1995
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/22/1993
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SAFETY KLEEN CORP (Continued)

1000434871

Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: FR - 270
Area of violation: TSD - General
Date violation determined: 10/18/1993
Date achieved compliance: 02/03/1995
Violation lead agency: State
Enforcement action: FINAL 3008(A) COMPLIANCE ORDER
Enforcement action date: 02/03/1995
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: 92000
Paid penalty amount: 112000

Regulation violated: FR - 264.70-77.E
Area of violation: TSD - General
Date violation determined: 10/18/1993
Date achieved compliance: 02/03/1995
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/22/1993
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: FR - 264.30-37.C
Area of violation: TSD - General
Date violation determined: 10/18/1993
Date achieved compliance: 02/03/1995
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/22/1993
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: FR - 264.10-18.B
Area of violation: TSD - General
Date violation determined: 10/18/1993
Date achieved compliance: 02/03/1995
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/22/1993
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

SAFETY KLEEN CORP (Continued)

1000434871

Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: FR - 264.30-37.C
Area of violation: TSD - General
Date violation determined: 10/18/1993
Date achieved compliance: 02/03/1995
Violation lead agency: State
Enforcement action: FINAL 3008(A) COMPLIANCE ORDER
Enforcement action date: 02/03/1995
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: 92000
Paid penalty amount: 112000

Regulation violated: FR - 264.110-120.G
Area of violation: TSD - Closure/Post-Closure
Date violation determined: 10/18/1993
Date achieved compliance: 02/03/1995
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/22/1993
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: FR - 264.10-18.B
Area of violation: TSD - General
Date violation determined: 10/18/1993
Date achieved compliance: 02/03/1995
Violation lead agency: State
Enforcement action: FINAL 3008(A) COMPLIANCE ORDER
Enforcement action date: 02/03/1995
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: 92000
Paid penalty amount: 112000

Regulation violated: FR - 264.170-177.I
Area of violation: TSD - General
Date violation determined: 10/18/1993
Date achieved compliance: 02/03/1995
Violation lead agency: State
Enforcement action: FINAL 3008(A) COMPLIANCE ORDER
Enforcement action date: 02/03/1995
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: 92000

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

SAFETY KLEEN CORP (Continued)

1000434871

Paid penalty amount: 112000

Regulation violated: FR - 264.370-383.P
 Area of violation: TSD IS-Thermal Treatment
 Date violation determined: 10/18/1993
 Date achieved compliance: 02/03/1995
 Violation lead agency: State
 Enforcement action: FINAL 3008(A) COMPLIANCE ORDER
 Enforcement action date: 02/03/1995
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: 92000
 Paid penalty amount: 112000

Regulation violated: FR - 264.170-177.I
 Area of violation: TSD - General
 Date violation determined: 10/18/1993
 Date achieved compliance: 02/03/1995
 Violation lead agency: State
 Enforcement action: WRITTEN INFORMAL
 Enforcement action date: 10/22/1993
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: FR - 264.110-120.G
 Area of violation: TSD - Closure/Post-Closure
 Date violation determined: 10/18/1993
 Date achieved compliance: 02/03/1995
 Violation lead agency: State
 Enforcement action: FINAL 3008(A) COMPLIANCE ORDER
 Enforcement action date: 02/03/1995
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: 92000
 Paid penalty amount: 112000

Regulation violated: FR - 264.70-77.E
 Area of violation: TSD - General
 Date violation determined: 10/18/1993
 Date achieved compliance: 02/03/1995
 Violation lead agency: State
 Enforcement action: FINAL 3008(A) COMPLIANCE ORDER
 Enforcement action date: 02/03/1995
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: 92000
 Paid penalty amount: 112000

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

SAFETY KLEEN CORP (Continued)

1000434871

Regulation violated: FR - 270
Area of violation: TSD - General
Date violation determined: 10/18/1993
Date achieved compliance: 02/03/1995
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/22/1993
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: FR - FEA
Area of violation: Formal Enforcement Agreement or Order
Date violation determined: 02/06/1986
Date achieved compliance: 11/23/1992
Violation lead agency: State
Enforcement action: INITIAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
Enforcement action date: 02/06/1986
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: FR - 262.10-12.A
Area of violation: Generators - General
Date violation determined: 02/06/1986
Date achieved compliance: 11/23/1992
Violation lead agency: State
Enforcement action: INITIAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
Enforcement action date: 02/06/1986
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: FR - 262.10-12.A
Area of violation: Generators - General
Date violation determined: 04/17/1985
Date achieved compliance: 04/18/1985
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 04/17/1985
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

SAFETY KLEEN CORP (Continued)

1000434871

Evaluation Action Summary:

Evaluation date: 07/24/1997
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Not reported
 Date achieved compliance: Not reported
 Evaluation lead agency: State

Evaluation date: 06/13/1995
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: TSD - General
 Date achieved compliance: 01/01/1996
 Evaluation lead agency: State

Evaluation date: 06/13/1995
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: Generators - General
 Date achieved compliance: 06/13/1995
 Evaluation lead agency: State

Evaluation date: 06/13/1995
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: TSD - Closure/Post-Closure
 Date achieved compliance: 11/17/1995
 Evaluation lead agency: State

Evaluation date: 11/23/1992
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: TSD IS-Thermal Treatment
 Date achieved compliance: 02/03/1995
 Evaluation lead agency: State

Evaluation date: 11/23/1992
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: TSD - General
 Date achieved compliance: 02/03/1995
 Evaluation lead agency: State

Evaluation date: 11/23/1992
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
 Area of violation: TSD - Closure/Post-Closure
 Date achieved compliance: 02/03/1995
 Evaluation lead agency: State

Evaluation date: 11/12/1992
 Evaluation: FINANCIAL RECORD REVIEW
 Area of violation: Not reported
 Date achieved compliance: Not reported
 Evaluation lead agency: State

Evaluation date: 06/19/1986
 Evaluation: FINANCIAL RECORD REVIEW
 Area of violation: Not reported
 Date achieved compliance: Not reported
 Evaluation lead agency: State

Evaluation date: 02/06/1986
 Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

SAFETY KLEEN CORP (Continued)

1000434871

Area of violation: Generators - General
Date achieved compliance: 11/23/1992
Evaluation lead agency: State

Evaluation date: 02/06/1986
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Formal Enforcement Agreement or Order
Date achieved compliance: 11/23/1992
Evaluation lead agency: State

Evaluation date: 04/17/1985
Evaluation: NON-FINANCIAL RECORD REVIEW
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 04/17/1985
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - General
Date achieved compliance: 04/18/1985
Evaluation lead agency: State

Evaluation date: 12/13/1984
Evaluation: FINANCIAL RECORD REVIEW
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

HWP:
EPA Id: CAD070148432
Cleanup Status: CLOSED
Latitude: 37.87141
Longitude: -122.3014
Facility Type: Historical - Non-Operating
Facility Size: Not reported
Team: Not reported
Supervisor: Not reported
Site Code: Not reported
Assembly District: 15
Senate District: 09
Public Information Officer: Not reported
Public Information Officer: Not reported

Closure:
EPA Id: CAD070148432
Facility Type: Historical - Non-Operating
Unit Names: BIF1, Unit 1
Event Description: Closure Final - ISSUE CLOSURE VERIFICATION
Actual Date: 10/30/1996

Alias:
EPA Id: CAD070148432
Facility Type: Historical - Non-Operating
Alias Type: FRS
Alias: 110000909811

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

95
NNW
1/2-1
0.763 mi.
4029 ft.

KAISER FOUNDATION HOSPITALS
1795 SECOND STREET
BERKELEY, CA 94710

RCRA-LQG **1000596070**
US FIN ASSUR **CAD983600339**
CA Financial Assurance
CA HWP

Relative:
Lower
Actual:
12 ft.

RCRA-LQG:
Date form received by agency: 08/02/2010
Facility name: KAISER FOUNDATION HOSPITALS
Facility address: 1795 SECOND STREET
BERKELEY, CA 94710
EPA ID: CAD983600339
Contact: RONALD J PLASSE
Contact address: 1795 SECOND STREET
BERKELEY, CA 94710
Contact country: US
Contact telephone: 510-559-5355
Contact email: RON.PLASSE@KP.ORG
EPA Region: 09
Land type: Private
Classification: Large Quantity Generator
Description: Handler: generates 1,000 kg or more of hazardous waste during any calendar month; or generates more than 1 kg of acutely hazardous waste during any calendar month; or generates more than 100 kg of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month; or generates 1 kg or less of acutely hazardous waste during any calendar month, and accumulates more than 1 kg of acutely hazardous waste at any time; or generates 100 kg or less of any residue or contaminated soil, waste or other debris resulting from the cleanup of a spill, into or on any land or water, of acutely hazardous waste during any calendar month, and accumulates more than 100 kg of that material at any time

Owner/Operator Summary:
Owner/operator name: KAISER FOUNDATION HOSPITAL
Owner/operator address: Not reported
Not reported
Owner/operator country: Not reported
Owner/operator telephone: Not reported
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 01/01/1994
Owner/Op end date: Not reported

Owner/operator name: KAISER FOUNDATION HOSPITALS
Owner/operator address: 1 KAISER PLAZA
OAKLAND, CA 94612
Owner/operator country: US
Owner/operator telephone: 510-271-5910
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 01/01/1994

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

KAISER FOUNDATION HOSPITALS (Continued)

1000596070

Owner/Op end date: Not reported

Owner/operator name: KAISER FOUNDATION HOSP
Owner/operator address: 1950 FRANKLIN ST
OAKLAND, CA 94612

Owner/operator country: Not reported
Owner/operator telephone: 510-987-3546
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: Yes
Treater, storer or disposer of HW: Yes
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

. Waste code: 541
. Waste name: Photochemicals / photo processing waste

. Waste code: D011
. Waste name: SILVER

Historical Generators:

Date form received by agency: 06/18/2008
Site name: KAISER FOUNDATION HOSPITALS
Classification: Large Quantity Generator

. Waste code: D011
. Waste name: SILVER

Date form received by agency: 02/27/2002
Site name: KAISER PERMANENTE GROUP
Classification: Small Quantity Generator

Date form received by agency: 02/27/2002
Site name: KAISER PERMANENTE GROUP
Classification: Large Quantity Generator

. Waste code: 541
. Waste name: Photochemicals / photo processing waste

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

KAISER FOUNDATION HOSPITALS (Continued)

1000596070

. Waste code: D011
. Waste name: SILVER

Date form received by agency: 10/12/2000
Site name: KAISER FOUNDATION HOSPITALS
Classification: Large Quantity Generator

Date form received by agency: 04/15/1999
Site name: KAISER FOUNDATION HOSPITALS
Classification: Large Quantity Generator

Date form received by agency: 02/23/1996
Site name: KAISER BIOMEDICAL ENGINEERING
Classification: Large Quantity Generator

Date form received by agency: 01/27/1995
Site name: KAISER FOUNDATION HOSPITALS
Classification: Large Quantity Generator

Date form received by agency: 02/26/1992
Site name: KAISER FOUNDATION HOSPITALS
Classification: Large Quantity Generator

Date form received by agency: 09/16/1991
Site name: KAISER BIOMEDICAL ENGIN DEPT
Classification: Not a generator, verified

Violation Status: No violations found

Evaluation Action Summary:

Evaluation date: 05/25/2005
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State Contractor/Grantee

Evaluation date: 10/21/1997
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

US FIN ASSUR:

EPA ID: CAD983600339
Provider: KAISER
EPA region: 9
County: Not reported
Mechanism type: FINANCIAL TEST
Mechanism ID: FT002
Cost estimate: 2000000
Face value: 2000000
Effective date: 1998-03-26 00:00:00

EPA ID: CAD983600339
Provider: KAISER
EPA region: 9
County: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

KAISER FOUNDATION HOSPITALS (Continued)

1000596070

Mechanism type: FINANCIAL TEST
Mechanism ID: FT001
Cost estimate: 89300
Face value: 89300
Effective date: 1998-03-26 00:00:00

CA Financial Assurance 1:

EPA ID Number: 07400001
Sudden Amount1: Not reported
Non Sudden Amount1: Not reported
Closure Mechanism: Not reported
Closure Amount: Not reported
Post Closure Mechanism: Not reported
Post Closure Amount: Not reported
Corrective Action Mechanism: Not reported
Corrective Action Amount: Not reported
Sudden Mechanism Type: Not reported
Sudden Mechanism Amount: Not reported
Non Sudden Mechanism Type: Not reported
Non Sudden Mechanism Amount: Not reported
O and M Mechanism Type: LOC
O and M Amount: \$147,641.00
Closure Mechanism Date of Mechanism: Not reported
Closure Mechanism Renewal Date: Not reported
Closure Mechanism Provider: Not reported
Postclosure Mechanism Date of Mechanism: Not reported
Postclosure Mechanism Renewal Date: Not reported
Postclosure Mechanism Provider: Not reported
O and M Mechanism Date of Mechanism: Not reported
O and M Mechanism Renewal Date: Not reported
O and M Mechanism Provider: JP Morgan Chase Bank
Corrective Action Mechanism Date of Mechanism: Not reported
Corrective Action Mechanism Renewal Date: Not reported
Corrective Action Mechanism Provider: Not reported
Sudden Mechanism Date of Mechanism: Not reported
Sudden Mechanism Renewal Date: Not reported
Sudden Mechanism Provider: Not reported
Non-Sudden Mechanism Date of Mechanism: Not reported
Non-Sudden Mechanism Renewal Date: Not reported
Non-Sudden Mechanism Provider: Not reported
Date Entered into EnviroStor: 2013-11-05 00:00:00
Authorization Type: O&M
Comments: STA Wells Fargo received 4/16/12

HWP:

EPA Id: CAD983600339
Cleanup Status: CLOSED
Latitude: 37.87106
Longitude: -122.3047
Facility Type: Historical - Non-Operating
Facility Size: Not reported
Team: Not reported
Supervisor: Not reported
Site Code: Not reported
Assembly District: 15
Senate District: 09

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

KAISER FOUNDATION HOSPITALS (Continued)

1000596070

Public Information Officer: Not reported
 Public Information Officer: Not reported
 Closure:
 EPA Id: CAD983600339
 Facility Type: Historical - Non-Operating
 Unit Names: Silver Recovery
 Event Description: Closure Administrative - ISSUE CLOSURE VERIFICATION
 Actual Date: 01/04/1999

**96
NNE
1/2-1
0.827 mi.
4368 ft.**

**K & S MANAGEMENT
1138 DELAWARE ST
BERKELEY, CA 94702**

**CA RESPONSE
CA ENVIROSTOR
CA HIST Cal-Sites**

**S102008283
N/A**

**Relative:
Higher
Actual:
61 ft.**

RESPONSE:
 Facility ID: 1990018
 Site Type: State Response
 Site Type Detail: State Response or NPL
 Acres: 1
 National Priorities List: NO
 Cleanup Oversight Agencies: NONE SPECIFIED
 Lead Agency Description: Not reported
 Project Manager: Claude Jemison
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Site Code: Not reported
 Site Mgmt. Req.: NONE SPECIFIED
 Assembly: 15
 Senate: 09
 Special Program Status: Not reported
 Status: Certified
 Status Date: 01/01/1984
 Restricted Use: NO
 Funding: Responsible Party
 Latitude: 37.87138
 Longitude: -122.2919
 APN: NONE SPECIFIED
 Past Use: SAND BLASTING
 Potential COC : Lead
 Confirmed COC: Lead
 Potential Description: SOIL
 Alias Name: Not reported
 Alias Type: Not reported
 Completed Info:
 Completed Area Name: Not reported
 Completed Sub Area Name: Not reported
 Completed Document Type: Not reported
 Completed Date: Not reported
 Comments: Not reported
 Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

K & S MANAGEMENT (Continued)

S102008283

Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

ENVIROSTOR:

Facility ID: 1990018
Status: Certified
Status Date: 01/01/1984
Site Code: Not reported
Site Type: State Response
Site Type Detailed: State Response or NPL
Acres: 1
NPL: NO
Regulatory Agencies: NONE SPECIFIED
Lead Agency: NONE SPECIFIED
Program Manager: Claude Jemison
Supervisor: Karen Toth
Division Branch: Cleanup Berkeley
Assembly: 15
Senate: 09
Special Program: Not reported
Restricted Use: NO
Site Mgmt Req: NONE SPECIFIED
Funding: Responsible Party
Latitude: 37.87138
Longitude: -122.2919
APN: NONE SPECIFIED
Past Use: SAND BLASTING
Potential COC: Lead
Confirmed COC: Lead
Potential Description: SOIL
Alias Name: Not reported
Alias Type: Not reported

Completed Info:

Completed Area Name: Not reported
Completed Sub Area Name: Not reported
Completed Document Type: Not reported
Completed Date: Not reported
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

Calsite:

Region: BERKELEY
Facility ID: 01990018
Facility Type: RP
Type: RESPONSIBLE PARTY

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

K & S MANAGEMENT (Continued)

S102008283

Branch: NC
 Branch Name: NORTH COAST
 File Name: Not reported
 State Senate District: 01011984
 Status: CERTIFIED AS HAVING BEEN REMEDIED SATISFACTORILY UNDER DTSC OVERSIGHT
 Status Name: CERTIFIED
 Lead Agency: N/A
 NPL: Not reported
 SIC Code: 99
 SIC Name: NONCLASSIFIABLE ESTABLISHMENTS
 Access: Not reported
 Cortese: Not reported
 Hazardous Ranking Score: Not reported
 Date Site Hazard Ranked: Not reported
 Groundwater Contamination: Not reported
 Staff Member Responsible for Site: CJEMISON
 Supervisor Responsible for Site: Not reported
 Region Water Control Board: SF
 Region Water Control Board Name: SAN FRANCISCO BAY
 Lat/Long Direction: Not reported
 Lat/Long (dms): 0 0 0 / 0 0 0
 Lat/long Method: Not reported
 Lat/Long Description: Not reported
 State Assembly District Code: 14
 State Senate District Code: 09
 Facility ID: 01990018
 Activity: CERT
 Activity Name: CERTIFICATION
 AWP Code: Not reported
 Proposed Budget: 0
 AWP Completion Date: Not reported
 Revised Due Date: Not reported
 Comments Date: 11301983
 Est Person-Yrs to complete: 0
 Estimated Size: Not reported
 Request to Delete Activity: Not reported
 Activity Status: CERT
 Definition of Status: CERTIFIED
 Liquids Removed (Gals): 0
 Liquids Treated (Gals): 0
 Action Included Capping: Not reported
 Well Decommissioned: Not reported
 Action Included Fencing: Not reported
 Removal Action Certification: Not reported
 Activity Comments: Not reported
 For Commercial Reuse: 0
 For Industrial Reuse: 0
 For Residential Reuse: 0
 Unknown Type: 0
 Alternate Address: 1138 DELWARE STREET
 Alternate City,St,Zip: BERKELEY, CA 94702
 Alternate Address: 1138 DELAWARE ST
 Alternate City,St,Zip: BERKELEY, CA 94702
 Background Info: K and S Management Company managed 32 units in a four-plex building located between Hearst and Delaware Street. On June 1983, an inspection of the 32 units was conducted in response to a citizen complaint. Paint chips (lead-based) from water

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

K & S MANAGEMENT (Continued)

S102008283

blasting operation prior to repainting had accumulated around the bases of the building. The blasting company removed from all areas where paint chips were present and a few inches of soil to an appropriate landfill. All visible evidence of the blasting was removed.

Comments Date: 11301983
 Comments: Certified Site. In November 1983, post excavation samples were
 Comments Date: 11301983
 Comments: taken and were comparable to background levels in the area. The
 Comments Date: 11301983
 Comments: 32 units have been converted to condominiums and townhouses.
 ID Name: Not reported
 ID Value: Not reported
 Alternate Name: K & S MANAGEMENT
 Alternate Name: Not reported
 Special Programs Code: Not reported
 Special Programs Name: Not reported

97
South
1/2-1
0.841 mi.
4438 ft.

MIKE ROBERTS COLOR PRODUCTION
6707 BAY ST
EMERYVILLE, CA 94608

CA ENVIROSTOR
CA CPS-SLIC
CA Alameda County CS
CA HIST CORTESE

S100868891
N/A

Relative:
Lower
Actual:
17 ft.

ENVIROSTOR:
 Facility ID: 1270025
 Status: Refer: Other Agency
 Status Date: 10/10/2003
 Site Code: Not reported
 Site Type: Historical
 Site Type Detailed: * Historical
 Acres: Not reported
 NPL: NO
 Regulatory Agencies: NONE SPECIFIED
 Lead Agency: NONE SPECIFIED
 Program Manager: Not reported
 Supervisor: Referred - Not Assigned
 Division Branch: Cleanup Berkeley
 Assembly: 15
 Senate: 09
 Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Not reported
 Latitude: 37.84812
 Longitude: -122.2958
 APN: 49-1490-2
 Past Use: NONE SPECIFIED
 Potential COC: NONE SPECIFIED
 Confirmed COC: NONE SPECIFIED
 Potential Description: NONE SPECIFIED
 Alias Name: Not reported
 Alias Type: Not reported

Completed Info:
 Completed Area Name: Not reported
 Completed Sub Area Name: Not reported
 Completed Document Type: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

MIKE ROBERTS COLOR PRODUCTION (Continued)

S100868891

Completed Date: Not reported
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

CPS-SLIC:

Region: STATE
Facility Status: Open - Remediation
Status Date: 07/01/1990
Global Id: T0600100894
Lead Agency: ALAMEDA COUNTY LOP
Lead Agency Case Number: RO0000548
Latitude: 37.8482452644467
Longitude: -122.29537900629
Case Type: Cleanup Program Site
Case Worker: MD
Local Agency: ALAMEDA COUNTY LOP
RB Case Number: 01-0971
File Location: All Files are on GeoTracker or in the Local Agency Database
Potential Media Affected: Other Groundwater (uses other than drinking water)
Potential Contaminants of Concern: Other Solvent or Non-Petroleum Hydrocarbon
Site History: From 1963 to 1979 the site was occupied by Dymo Industries, a lable tape and lable tape punch manufacturer. Dymo used and stored MIBK and MEK in six USTs at the site. From 1979 to 1989 Mike Roberts Color Production occupied the site and manufactured and printed color postcards and expanded to color printing, lithography, and off-set printing using inks, solvents cleaning compounds and color pigments. Beginning in 1990 Nady Systems occupied the site, largely using it as a warehouse. Six areas of environmental concern were identified and investigated at the site Up to 10 wells and 15 soil bores have been installed at the site. Not all historic documents for the fuel leak case may be available on GeoTracker. A more complete historic case file for this site is located on the Alameda County Environmental Health website at: <http://ehgis.acgov.org/dehpublic/dehpublic.jsp>.

Click here to access the California GeoTracker records for this facility:

Alameda County CS:

Status: Preliminary Site Assessment Underway
Record Id: RO0000548
PE: 5502
Facility Status: Preliminary Site Assessment Underway
Latitude: 37.848267402
Longitude: -122.29515371

Status: Preliminary Site Assessment Underway
Record Id: RO0000548
PE: 5502

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

MIKE ROBERTS COLOR PRODUCTION (Continued)

S100868891

Facility Status: Preliminary Site Assessment Underway
Latitude: 37.848267402
Longitude: -122.29515371

Status: Preliminary Site Assessment Underway
Record Id: RO0000548
PE: 5502
Facility Status: Preliminary Site Assessment Underway
Latitude: 37.848267402
Longitude: -122.29515371

Status: Preliminary Site Assessment Underway
Record Id: RO0000548
PE: 5502
Facility Status: Preliminary Site Assessment Underway
Latitude: 37.848267402
Longitude: -122.29515371

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0971

**98
NNW
1/2-1
0.852 mi.
4500 ft.**

**BERKELEY REDEVELOPMENT AGENCY SITE
1631 FIFTH STREET
BERKELEY, CA 94710**

**CA ENVIROSTOR S116165261
CA VCP N/A**

**Relative:
Lower
Actual:
17 ft.**

ENVIROSTOR:
Facility ID: 1990025
Status: Certified
Status Date: 06/10/2004
Site Code: 201494
Site Type: Voluntary Cleanup
Site Type Detailed: Voluntary Cleanup
Acres: 0.13
NPL: NO
Regulatory Agencies: SMBRP, CITY OF BERKELEY
Lead Agency: SMBRP
Program Manager: Janet Naito
Supervisor: Barbara Cook
Division Branch: Cleanup Berkeley
Assembly: 15
Senate: 09
Special Program: Voluntary Cleanup Program
Restricted Use: NO
Site Mgmt Req: NONE SPECIFIED
Funding: Responsible Party
Latitude: 37.87272
Longitude: -122.3000
APN: 57-2117-11
Past Use: RESIDENTIAL AREA
Potential COC: Lead
Confirmed COC: NONE SPECIFIED
Potential Description: SOIL

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

BERKELEY REDEVELOPMENT AGENCY SITE (Continued)

S116165261

Alias Name: Not reported
Alias Type: Not reported

Completed Info:

Completed Area Name: Not reported
Completed Sub Area Name: Not reported
Completed Document Type: Not reported
Completed Date: Not reported
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported
Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

VCP:

Facility ID: 1990025
Site Type: Voluntary Cleanup
Site Type Detail: Voluntary Cleanup
Site Mgmt. Req.: NONE SPECIFIED
Acres: 0.13
National Priorities List: NO
Cleanup Oversight Agencies: SMBRP, CITY OF BERKELEY
Lead Agency: SMBRP
Lead Agency Description: DTSC - Site Cleanup Program
Project Manager: Janet Naito
Supervisor: Barbara Cook
Division Branch: Cleanup Berkeley
Site Code: 201494
Assembly: 15
Senate: 09
Special Programs Code: Voluntary Cleanup Program
Status: Certified
Status Date: 06/10/2004
Restricted Use: NO
Funding: Responsible Party
Lat/Long: 37.87272 / -122.3000
APN: 57-2117-11
Past Use: RESIDENTIAL AREA
Potential COC: 30013
Confirmed COC: NONE SPECIFIED
Potential Description: SOIL
Alias Name: Not reported
Alias Type: Not reported

Completed Info:

Completed Area Name: Not reported
Completed Sub Area Name: Not reported
Completed Document Type: Not reported
Completed Date: Not reported
Comments: Not reported

Future Area Name: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

BERKELEY REDEVELOPMENT AGENCY SITE (Continued)

S116165261

Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

**99
SSE
1/2-1
0.853 mi.
4504 ft.**

**METALCO
1475 - 67TH STREET
EMERYVILLE, CA 94608**

**CA ENVIROSTOR S110494058
N/A**

**Relative:
Lower
Actual:
24 ft.**

ENVIROSTOR:
 Facility ID: 71003301
 Status: Inactive - Needs Evaluation
 Status Date: Not reported
 Site Code: Not reported
 Site Type: Tiered Permit
 Site Type Detailed: Tiered Permit
 Acres: Not reported
 NPL: NO
 Regulatory Agencies: NONE SPECIFIED
 Lead Agency: NONE SPECIFIED
 Program Manager: Not reported
 Supervisor: Not reported
 Division Branch: Cleanup Berkeley
 Assembly: 15
 Senate: 09
 Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Not reported
 Latitude: 37.84835
 Longitude: -122.2929
 APN: NONE SPECIFIED
 Past Use: NONE SPECIFIED
 Potential COC: NONE SPECIFIED
 Confirmed COC: NONE SPECIFIED
 Potential Description: NONE SPECIFIED
 Alias Name: CAL000100455
 Alias Type: EPA Identification Number
 Alias Name: 110002430218
 Alias Type: EPA (FRS #)
 Alias Name: 71003301
 Alias Type: Envirostor ID Number

Completed Info:
 Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Phase 1
 Completed Date: 03/26/1997
 Comments: Phase 1 checklist indicates no releases.

Future Area Name: Not reported
 Future Sub Area Name: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

METALCO (Continued)

S110494058

Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

**100
East
1/2-1
0.863 mi.
4555 ft.**

**JOE'S UNOCAL 76
2501 SACRAMENTO
BERKELEY, CA 92661**

**CA LUST
CA HIST CORTESE
CA Notify 65**

**S100179188
N/A**

**Relative:
Higher
Actual:
95 ft.**

LUST:
 Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
 Case Type: LUST Cleanup Site
 Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600101459
 Global Id: T0600101459
 Latitude: 37.8622005
 Longitude: -122.2810075
 Status: Completed - Case Closed
 Status Date: 04/07/1997
 Case Worker: UUU
 RB Case Number: 01-1584
 Local Agency: BERKELEY, CITY OF
 File Location: Not reported
 Local Case Number: 01-1584
 Potential Media Affect: Other Groundwater (uses other than drinking water)
 Potential Contaminants of Concern: Diesel
 Site History: Not reported

LUST:
 Global Id: T0600101459
 Contact Type: Local Agency Caseworker
 Contact Name: GEOFFERY FIEDLER
 Organization Name: BERKELEY, CITY OF
 Address: 2118 MILVIA STREET 3RD FLOOR
 City: BERKELEY
 Email: gfiedler@ci.berkeley.ca.us
 Phone Number: Not reported

Global Id: T0600101459
 Contact Type: Regional Board Caseworker
 Contact Name: Regional Water Board
 Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
 Address: 1515 CLAY ST SUITE 1400
 City: OAKLAND
 Email: Not reported
 Phone Number: Not reported

LUST:
 Global Id: T0600101459
 Action Type: Other
 Date: 07/18/1989
 Action: Leak Stopped
 Global Id: T0600101459

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

JOE'S UNOCAL 76 (Continued)

S100179188

Action Type: Other
Date: 07/18/1989
Action: Leak Discovery

Global Id: T0600101459
Action Type: Other
Date: 07/18/1989
Action: Leak Reported

LUST:

Global Id: T0600101459
Status: Open - Case Begin Date
Status Date: 07/18/1989

Global Id: T0600101459
Status: Open - Site Assessment
Status Date: 02/06/1990

Global Id: T0600101459
Status: Open - Site Assessment
Status Date: 06/19/1990

Global Id: T0600101459
Status: Open - Site Assessment
Status Date: 05/14/1991

Global Id: T0600101459
Status: Completed - Case Closed
Status Date: 04/07/1997

LUST REG 2:

Region: 2
Facility Id: 01-1584
Facility Status: Case Closed
Case Number: 01-1584
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 5/14/1991
Oversight Program: LUST
Prelim. Site Assessment Workplan Submitted: Not reported
Preliminary Site Assessment Began: 2/6/1990
Pollution Characterization Began: 6/19/1990
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-1584

NOTIFY 65:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

JOE'S UNOCAL 76 (Continued)

S100179188

Date Reported: Not reported
Staff Initials: Not reported
Board File Number: Not reported
Facility Type: Not reported
Discharge Date: Not reported
Issue Date: Not reported
Incident Description: Not reported

**101
SE
1/2-1
0.919 mi.
4854 ft.**

**LBA REALTY
6701 SAN PABLO AVE.
BERKELEY, CA 94505**

**CA ENVIROSTOR
CA VCP
CA ENF
CA HAZNET
CA CIWQS**

**S108054471
N/A**

**Relative:
Higher
Actual:
46 ft.**

ENVIROSTOR:
Facility ID: 60000410
Status: Active
Status Date: 09/01/2006
Site Code: 201676
Site Type: Voluntary Cleanup
Site Type Detailed: Voluntary Cleanup
Acres: 7.3
NPL: NO
Regulatory Agencies: SMBRP
Lead Agency: SMBRP
Program Manager: Elena Joy Pelen
Supervisor: Karen Toth
Division Branch: Cleanup Berkeley
Assembly: 15
Senate: 09
Special Program: Not reported
Restricted Use: NO
Site Mgmt Req: NONE SPECIFIED
Funding: Responsible Party
Latitude: 37.85042
Longitude: -122.2875
APN: 016 151400800, 016 151400900, 016-1514-008, 016-1514-009,
049-1513-001, 049-1513-002, 049-1513-004-01, 049-1513-006,
052-1512-001-03, 052-1512-009, 052-1513-004, 052-1513-005,
052-1513-006-01, 053-1634-007, 053-1634-008, 053-1634-012,
053-1634-021, 053-1634-022, 52-1512-1-3
Past Use: MANUFACTURING - OTHER
Potential COC: 1,2-Dichloroethylene (cis 1,2-Dichloroethylene (trans
Trichloroethylene (TCE Vinyl chloride
Confirmed COC: 1,2-Dichloroethylene (cis 1,2-Dichloroethylene (trans Vinyl chloride
Trichloroethylene (TCE
Potential Description: OTH
Alias Name: 1035-1039 Folger St.
Alias Type: Alternate Name
Alias Name: 840-900 Folger St. and 1284-1302 6th Street
Alias Type: Alternate Name
Alias Name: 926 Murray Street
Alias Type: Alternate Name
Alias Name: 940 Folger Street
Alias Type: Alternate Name
Alias Name: University of California Warehouse
Alias Type: Alternate Name
Alias Name: 016 151400800

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LBA REALTY (Continued)

S108054471

Alias Type:	APN
Alias Name:	016 151400900
Alias Type:	APN
Alias Name:	016-1514-008
Alias Type:	APN
Alias Name:	016-1514-009
Alias Type:	APN
Alias Name:	049-1513-001
Alias Type:	APN
Alias Name:	049-1513-002
Alias Type:	APN
Alias Name:	049-1513-004-01
Alias Type:	APN
Alias Name:	049-1513-006
Alias Type:	APN
Alias Name:	052-1512-001-03
Alias Type:	APN
Alias Name:	052-1512-009
Alias Type:	APN
Alias Name:	052-1513-004
Alias Type:	APN
Alias Name:	052-1513-005
Alias Type:	APN
Alias Name:	052-1513-006-01
Alias Type:	APN
Alias Name:	053-1634-007
Alias Type:	APN
Alias Name:	053-1634-008
Alias Type:	APN
Alias Name:	053-1634-012
Alias Type:	APN
Alias Name:	053-1634-021
Alias Type:	APN
Alias Name:	053-1634-022
Alias Type:	APN
Alias Name:	52-1512-1-3
Alias Type:	APN
Alias Name:	110033606293
Alias Type:	EPA (FRS #)
Alias Name:	201676
Alias Type:	Project Code (Site Code)
Alias Name:	60000410
Alias Type:	Envirostor ID Number

Completed Info:

Completed Area Name:	PROJECT WIDE
Completed Sub Area Name:	Not reported
Completed Document Type:	Cost Recovery Closeout Memo
Completed Date:	08/03/2011
Comments:	Redico requested termination & closeout f the VCA as they no longer own the property.
Completed Area Name:	PROJECT WIDE
Completed Sub Area Name:	Not reported
Completed Document Type:	Annual Oversight Cost Estimate
Completed Date:	09/27/2016
Comments:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

LBA REALTY (Continued)

S108054471

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Voluntary Cleanup Agreement
 Completed Date: 10/11/2007
 Comments: VCA fully executed on 10-11-07. Scope of Work includes investigation and cleanup activities.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Other Report
 Completed Date: 11/26/2007
 Comments: Review of existing data completed 11/26/07. Additional data for other properties to be submitted by RP.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Community Profile
 Completed Date: 07/11/2008
 Comments: Community profile completed and approved 7/11/08.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Other Report
 Completed Date: 03/03/2008
 Comments: Review of available supporting documentation (chain of custody, lab reports, QA/QC) completed 3/3/08. Acknowledgment sent to RP via email 3/3/08.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Remedial Investigation Workplan
 Completed Date: 06/11/2008
 Comments: Workplan approved 6/11/08.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Fieldwork
 Completed Date: 11/19/2008
 Comments: RP consultant submitted sampling results and analytical reports via email on 11/19/08. Results available under "Interim Remedial Investigation Data Package" activity.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Removal Action Workplan
 Completed Date: 01/25/2010
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Fact Sheets
 Completed Date: 12/03/2009
 Comments: Fact sheet is being mailed out the site mailing list.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Public Notice

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

LBA REALTY (Continued)

S108054471

Completed Date: 12/03/2009
Comments: Public notice is going to be published on December 4, 2009 on the local newspaper.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Remedial Investigation Workplan
Completed Date: 06/17/2009
Comments: DTSC approves workplan on 6/17/09. RP consultant to incorporate revisions proposed in Response to DTSC Comments and submit final workplan.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Fieldwork
Completed Date: 10/03/2009
Comments: Field work was completed from October 2-3, 2009.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Other Report
Completed Date: 04/03/2009
Comments: DTSC accepts interim remedial investigation data package, based on discussion of RP responses to DTSC comments at meeting with RP on 4/1/09. RP will submit supplemental workplan, including schedule for implementation and preparation of remedial investigation report.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: *Correspondence - Received
Completed Date: 10/12/2010
Comments: REDICO requested a one-year delay to the timeframes outlined in the RAW for implementation of the remedial action. Request grant over the phone.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Correspondence
Completed Date: 01/25/2017
Comments: Notification of change in DTSC Project Manager as of January 25, 2017.
Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Annual Oversight Cost Estimate
Completed Date: 10/09/2017
Comments: Annual Oversight Cost Estimate letter with enclosures (Activity Schedule and Cost Estimate) of DTSC oversight for 2017/2018 Fiscal Year.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Annual Oversight Cost Estimate
Completed Date: 09/07/2010
Comments: Not reported

Completed Area Name: PROJECT WIDE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

LBA REALTY (Continued)

S108054471

Completed Sub Area Name: Not reported
 Completed Document Type: Correspondence
 Completed Date: 07/07/2017
 Comments: Public Records Act Request #2-062817-02. Emailed correspondences and DRAFT documents, regarding DPE (Dual-Phase Extraction), that have not yet been posted on EnviroStor.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Correspondence
 Completed Date: 02/21/2017
 Comments: CEQA Notice of Preparation (NOP) for Marchant Corporation. DTSC determined that the proposed project would not conflict with the remedial design and previous indoor air investigations. The remedy is in the basement boiler room and would not be affected by the proposed project, which consists of converting previous office spaces to Medical Practitioner use on portions of the first and second floors, plus all of the third and fourth floors (delineated in the Project Plans on the City of Berkeley website:
http://www.ci.berkeley.ca.us/uploadedFiles/Planning_and_Development/Level_3_-_ZAB/2017-02-09_ZAB_ATT2_3100%20San%20Pablo_Project%20Plans.pdf). The NOP anticipates that the project will not have significant impacts related to Hazards and Hazardous Materials and, therefore, analysis of Hazards and Hazardous Materials will be included in the IS checklist as an appendix, but not studied and analyzed at length in the DEIR. However, the NOP anticipates that Air Quality will be analyzed in the DEIR. According to the State Clearinghouse memo, DTSC must respond to the Lead Agency if review of the Notice of Preparation (NOP) indicates that DTSC has discretionary approval power over the project as a Responsible Agency . Based on review, DTSC does not need to act as a Responsible Agency and provide discretionary review/approval of the DEIR, so DTSC response to the NOP (due by 2/24/2017) is not required.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Fieldwork
 Completed Date: 09/30/2017
 Comments: Groundwater Monitoring Events (Q1-Q3 2017)

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Voluntary Cleanup Agreement
 Completed Date: 04/08/2013
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Application
 Completed Date: 02/12/2013
 Comments: Application for DTSC oversight by new property owner.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Pilot Study/Treatability Workplan
 Completed Date: 07/22/2013
 Comments: Workplan is approved for implementation. Pilot test activities to

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

LBA REALTY (Continued)

S108054471

start in July-August timeframe.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Fieldwork
 Completed Date: 09/12/2013
 Comments: Field activities are complete. The Pilot Testing Report is due October 30, 2013.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Pilot/Treatability Study Report
 Completed Date: 07/08/2014
 Comments: Pilot test results were incorporated into the RAW Amendment submitted for review and approval on July 8, 2014.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Removal Action Workplan w/ESD
 Completed Date: 02/12/2015
 Comments: The Addendum to the Removal Action Workplan provides basic background information for the site, describes the findings of additional investigations conducted in 2012 and 2013, evaluates remedial alternatives based on the results of those investigations, and selects DPE and ISCO with ozone and hydrogen peroxide as the modified remedy for consideration. The DPE remediation activities will be conducted over the course of several years until CVOC mass removal rates become asymptotic.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Fact Sheets
 Completed Date: 12/10/2014
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Public Notice
 Completed Date: 12/10/2014
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Removal Action Design
 Completed Date: 08/26/2015
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Work Notice
 Completed Date: 01/13/2016
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: CEQA - Notice of Exemption
 Completed Date: 02/12/2015

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

LBA REALTY (Continued)

S108054471

Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: CEQA - Notice of Exemption
Completed Date: 01/27/2010
Comments: No comments were received on the CEQA/NOE during the RAW public comment period. Therefore the NOE has been finalized.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Annual Oversight Cost Estimate
Completed Date: 09/26/2013
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Annual Oversight Cost Estimate
Completed Date: 09/11/2014
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Letter - Demand
Completed Date: 08/24/2009
Comments: This letter requests that UC pay for DTSC oversight costs incurred prior to the sale of the property of Redico.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Amendment - Order/Agreement
Completed Date: 05/21/2008
Comments: First Amendment to VCA fully executed on 5/21/08. Site name under the VCA is changed to Marchant Corporation Site.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Annual Oversight Cost Estimate
Completed Date: 09/22/2015
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Annual Oversight Cost Estimate
Completed Date: 09/22/2009
Comments: DTSC oversight cost estimate and schedule for next fiscal year was sent to the RP.

Future Area Name: PROJECT WIDE
Future Sub Area Name: Not reported
Future Document Type: Certification
Future Due Date: 2018
Schedule Area Name: PROJECT WIDE
Schedule Sub Area Name: Not reported
Schedule Document Type: Removal Action Completion Report
Schedule Due Date: 12/15/2017
Schedule Revised Date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LBA REALTY (Continued)

S108054471

Schedule Area Name: PROJECT WIDE
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Operations and Maintenance Plan
 Schedule Due Date: 02/15/2018
 Schedule Revised Date: Not reported
 Schedule Area Name: PROJECT WIDE
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Land Use Restriction
 Schedule Due Date: 05/31/2018
 Schedule Revised Date: Not reported

VCP:

Facility ID: 60000410
 Site Type: Voluntary Cleanup
 Site Type Detail: Voluntary Cleanup
 Site Mgmt. Req.: NONE SPECIFIED
 Acres: 7.3
 National Priorities List: NO
 Cleanup Oversight Agencies: SMBRP
 Lead Agency: SMBRP
 Lead Agency Description: DTSC - Site Cleanup Program
 Project Manager: Elena Joy Pelen
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Site Code: 201676
 Assembly: 15
 Senate: 09
 Special Programs Code: Not reported
 Status: Active
 Status Date: 09/01/2006
 Restricted Use: NO
 Funding: Responsible Party
 Lat/Long: 37.85042 / -122.2875
 APN: 016 151400800, 016 151400900, 016-1514-008, 016-1514-009,
 049-1513-001, 049-1513-002, 049-1513-004-01, 049-1513-006,
 052-1512-001-03, 052-1512-009, 052-1513-004, 052-1513-005,
 052-1513-006-01, 053-1634-007, 053-1634-008, 053-1634-012,
 053-1634-021, 053-1634-022, 52-1512-1-3
 Past Use: MANUFACTURING - OTHER
 Potential COC: 30195, 30196, 30027, 30028
 Confirmed COC: 30195,30196,30028,30027
 Potential Description: OTH
 Alias Name: 1035-1039 Folger St.
 Alias Type: Alternate Name
 Alias Name: 840-900 Folger St. and 1284-1302 6th Street
 Alias Type: Alternate Name
 Alias Name: 926 Murray Street
 Alias Type: Alternate Name
 Alias Name: 940 Folger Street
 Alias Type: Alternate Name
 Alias Name: University of California Warehouse
 Alias Type: Alternate Name
 Alias Name: 016 151400800
 Alias Type: APN
 Alias Name: 016 151400900
 Alias Type: APN
 Alias Name: 016-1514-008

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

LBA REALTY (Continued)

S108054471

Alias Type: APN
 Alias Name: 016-1514-009
 Alias Type: APN
 Alias Name: 049-1513-001
 Alias Type: APN
 Alias Name: 049-1513-002
 Alias Type: APN
 Alias Name: 049-1513-004-01
 Alias Type: APN
 Alias Name: 049-1513-006
 Alias Type: APN
 Alias Name: 052-1512-001-03
 Alias Type: APN
 Alias Name: 052-1512-009
 Alias Type: APN
 Alias Name: 052-1513-004
 Alias Type: APN
 Alias Name: 052-1513-005
 Alias Type: APN
 Alias Name: 052-1513-006-01
 Alias Type: APN
 Alias Name: 053-1634-007
 Alias Type: APN
 Alias Name: 053-1634-008
 Alias Type: APN
 Alias Name: 053-1634-012
 Alias Type: APN
 Alias Name: 053-1634-021
 Alias Type: APN
 Alias Name: 053-1634-022
 Alias Type: APN
 Alias Name: 52-1512-1-3
 Alias Type: APN
 Alias Name: 110033606293
 Alias Type: EPA (FRS #)
 Alias Name: 201676
 Alias Type: Project Code (Site Code)
 Alias Name: 60000410
 Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Cost Recovery Closeout Memo
 Completed Date: 08/03/2011
 Comments: Redico requested termination & closeout f the VCA as they no longer own the property.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Annual Oversight Cost Estimate
 Completed Date: 09/27/2016
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Voluntary Cleanup Agreement
 Completed Date: 10/11/2007

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

LBA REALTY (Continued)

S108054471

Comments: VCA fully executed on 10-11-07. Scope of Work includes investigation and cleanup activities.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Other Report
Completed Date: 11/26/2007
Comments: Review of existing data completed 11/26/07. Additional data for other properties to be submitted by RP.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Community Profile
Completed Date: 07/11/2008
Comments: Community profile completed and approved 7/11/08.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Other Report
Completed Date: 03/03/2008
Comments: Review of available supporting documentation (chain of custody, lab reports, QA/QC) completed 3/3/08. Acknowledgment sent to RP via email 3/3/08.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Remedial Investigation Workplan
Completed Date: 06/11/2008
Comments: Workplan approved 6/11/08.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Fieldwork
Completed Date: 11/19/2008
Comments: RP consultant submitted sampling results and analytical reports via email on 11/19/08. Results available under "Interim Remedial Investigation Data Package" activity.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Removal Action Workplan
Completed Date: 01/25/2010
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Fact Sheets
Completed Date: 12/03/2009
Comments: Fact sheet is being mailed out the site mailing list.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Public Notice
Completed Date: 12/03/2009
Comments: Public notice is going to be published on December 4, 2009 on the local newspaper.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

LBA REALTY (Continued)

S108054471

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Remedial Investigation Workplan
 Completed Date: 06/17/2009
 Comments: DTSC approves workplan on 6/17/09. RP consultant to incorporate revisions proposed in Response to DTSC Comments and submit final workplan.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Fieldwork
 Completed Date: 10/03/2009
 Comments: Field work was completed from October 2-3, 2009.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Other Report
 Completed Date: 04/03/2009
 Comments: DTSC accepts interim remedial investigation data package, based on discussion of RP responses to DTSC comments at meeting with RP on 4/1/09. RP will submit supplemental workplan, including schedule for implementation and preparation of remedial investigation report.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: *Correspondence - Received
 Completed Date: 10/12/2010
 Comments: REDICO requested a one-year delay to the timeframes outlined in the RAW for implementation of the remedial action. Request grant over the phone.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Correspondence
 Completed Date: 01/25/2017
 Comments: Notification of change in DTSC Project Manager as of January 25, 2017.
 Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Annual Oversight Cost Estimate
 Completed Date: 10/09/2017
 Comments: Annual Oversight Cost Estimate letter with enclosures (Activity Schedule and Cost Estimate) of DTSC oversight for 2017/2018 Fiscal Year.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Annual Oversight Cost Estimate
 Completed Date: 09/07/2010
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Correspondence
 Completed Date: 07/07/2017
 Comments: Public Records Act Request #2-062817-02. Emailed correspondences and

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

LBA REALTY (Continued)

S108054471

DRAFT documents, regarding DPE (Dual-Phase Extraction), that have not yet been posted on EnviroStor.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Correspondence
 Completed Date: 02/21/2017
 Comments: CEQA Notice of Preparation (NOP) for Marchant Corporation. DTSC determined that the proposed project would not conflict with the remedial design and previous indoor air investigations. The remedy is in the basement boiler room and would not be affected by the proposed project, which consists of converting previous office spaces to Medical Practitioner use on portions of the first and second floors, plus all of the third and fourth floors (delineated in the Project Plans on the City of Berkeley website: http://www.ci.berkeley.ca.us/uploadedFiles/Planning_and_Development/Level_3_-_ZAB/2017-02-09_ZAB_ATT2_3100%20San%20Pablo_Project%20Plans.pdf). The NOP anticipates that the project will not have significant impacts related to Hazards and Hazardous Materials and, therefore, analysis of Hazards and Hazardous Materials will be included in the IS checklist as an appendix, but not studied and analyzed at length in the DEIR. However, the NOP anticipates that Air Quality will be analyzed in the DEIR. According to the State Clearinghouse memo, DTSC must respond to the Lead Agency if review of the Notice of Preparation (NOP) indicates that DTSC has discretionary approval power over the project as a Responsible Agency . Based on review, DTSC does not need to act as a Responsible Agency and provide discretionary review/approval of the DEIR, so DTSC response to the NOP (due by 2/24/2017) is not required.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Fieldwork
 Completed Date: 09/30/2017
 Comments: Groundwater Monitoring Events (Q1-Q3 2017)

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Voluntary Cleanup Agreement
 Completed Date: 04/08/2013
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Application
 Completed Date: 02/12/2013
 Comments: Application for DTSC oversight by new property owner.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Pilot Study/Treatability Workplan
 Completed Date: 07/22/2013
 Comments: Workplan is approved for implementation. Pilot test activities to start in July-August timeframe.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

LBA REALTY (Continued)

S108054471

Completed Document Type: Fieldwork
 Completed Date: 09/12/2013
 Comments: Field activities are complete. The Pilot Testing Report is due October 30, 2013.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Pilot/Treatability Study Report
 Completed Date: 07/08/2014
 Comments: Pilot test results were incorporated into the RAW Amendment submitted for review and approval on July 8, 2014.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Removal Action Workplan w/ESD
 Completed Date: 02/12/2015
 Comments: The Addendum to the Removal Action Workplan provides basic background information for the site, describes the findings of additional investigations conducted in 2012 and 2013, evaluates remedial alternatives based on the results of those investigations, and selects DPE and ISCO with ozone and hydrogen peroxide as the modified remedy for consideration. The DPE remediation activities will be conducted over the course of several years until CVOC mass removal rates become asymptotic.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Fact Sheets
 Completed Date: 12/10/2014
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Public Notice
 Completed Date: 12/10/2014
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Removal Action Design
 Completed Date: 08/26/2015
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Work Notice
 Completed Date: 01/13/2016
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: CEQA - Notice of Exemption
 Completed Date: 02/12/2015
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

LBA REALTY (Continued)

S108054471

Completed Document Type: CEQA - Notice of Exemption
Completed Date: 01/27/2010
Comments: No comments were received on the CEQA/NOE during the RAW public comment period. Therefore the NOE has been finalized.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Annual Oversight Cost Estimate
Completed Date: 09/26/2013
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Annual Oversight Cost Estimate
Completed Date: 09/11/2014
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Letter - Demand
Completed Date: 08/24/2009
Comments: This letter requests that UC pay for DTSC oversight costs incurred prior to the sale of the property of Redico.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Amendment - Order/Agreement
Completed Date: 05/21/2008
Comments: First Amendment to VCA fully executed on 5/21/08. Site name under the VCA is changed to Marchant Corporation Site.

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Annual Oversight Cost Estimate
Completed Date: 09/22/2015
Comments: Not reported

Completed Area Name: PROJECT WIDE
Completed Sub Area Name: Not reported
Completed Document Type: Annual Oversight Cost Estimate
Completed Date: 09/22/2009
Comments: DTSC oversight cost estimate and schedule for next fiscal year was sent to the RP.

Future Area Name: PROJECT WIDE
Future Sub Area Name: Not reported
Future Document Type: Certification
Future Due Date: 2018
Schedule Area Name: PROJECT WIDE
Schedule Sub Area Name: Not reported
Schedule Document Type: Removal Action Completion Report
Schedule Due Date: 12/15/2017
Schedule Revised Date: Not reported
Schedule Area Name: PROJECT WIDE
Schedule Sub Area Name: Not reported
Schedule Document Type: Operations and Maintenance Plan
Schedule Due Date: 02/15/2018

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

LBA REALTY (Continued)

S108054471

Schedule Revised Date: Not reported
 Schedule Area Name: PROJECT WIDE
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Land Use Restriction
 Schedule Due Date: 05/31/2018
 Schedule Revised Date: Not reported

ENF:

Region: 2
 Facility Id: 791861
 Agency Name: LBA-RIV-Company XII, LLC, Elizabeth Trowbridge
 Place Type: Facility
 Place Subtype: Groundwater Cleanup Site
 Facility Type: All other facilities
 Agency Type: Privately-Owned Business
 # Of Agencies: 1
 Place Latitude: Not reported
 Place Longitude: Not reported
 SIC Code 1: Not reported
 SIC Desc 1: Not reported
 SIC Code 2: Not reported
 SIC Desc 2: Not reported
 SIC Code 3: Not reported
 SIC Desc 3: Not reported
 NAICS Code 1: Not reported
 NAICS Desc 1: Not reported
 NAICS Code 2: Not reported
 NAICS Desc 2: Not reported
 NAICS Code 3: Not reported
 NAICS Desc 3: Not reported
 # Of Places: 1
 Source Of Facility: Reg Meas
 Design Flow: Not reported
 Threat To Water Quality: 2
 Complexity: B
 Pretreatment: Not reported
 Facility Waste Type: Not reported
 Facility Waste Type 2: Not reported
 Facility Waste Type 3: Not reported
 Facility Waste Type 4: Not reported
 Program: NPDNONMUNIPRCS
 Program Category1: NPDESWW
 Program Category2: NPDESWW
 # Of Programs: 1
 WDID: 2019483001
 Reg Measure Id: 389232
 Reg Measure Type: Enrollee - NPDES
 Region: 2
 Order #: R2-2012-0012
 Npdes# CA#: CAG912002
 Major-Minor: Not reported
 Npdes Type: Not reported
 Reclamation: N - No
 Dredge Fill Fee: Not reported
 301H: Not reported
 Application Fee Amt Received: 11195
 Status: Active

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

LBA REALTY (Continued)

S108054471

Status Date: 03/17/2015
 Effective Date: 02/27/2013
 Expiration/Review Date: 09/01/2022
 Termination Date: Not reported
 WDR Review - Amend: Not reported
 WDR Review - Revise/Renew: Not reported
 WDR Review - Rescind: Not reported
 WDR Review - No Action Required: Not reported
 WDR Review - Pending: Not reported
 WDR Review - Planned: Not reported
 Status Enrollee: N
 Individual/General: I
 Fee Code: 62 - Treatment system to meet priority pollutant limit Category 1
 Direction/Voice: Passive
 Enforcement Id(EID): 394817
 Region: 2
 Order / Resolution Number: R2-2014-1013
 Enforcement Action Type: Admin Civil Liability
 Effective Date: 05/12/2014
 Adoption/Issuance Date: 05/12/2014
 Achieve Date: Not reported
 Termination Date: 06/05/2014
 ACL Issuance Date: Not reported
 EPL Issuance Date: 04/02/2014
 Status: Historical
 Title: ACL 05/12/2014 for LBA-RIV-Company XII, LLC Attn.: Ms. Elizabeth Trowbridge
 Description: R2-2014-1013
 Program: NPDNONMUNIPRCS
 Latest Milestone Completion Date: 2014-06-04
 # Of Programs1: 1
 Total Assessment Amount: \$3,000.00
 Initial Assessed Amount: \$3,000.00
 Liability \$ Amount: \$3,000.00
 Project \$ Amount: \$0.00
 Liability \$ Paid: \$3,000.00
 Project \$ Completed: \$0.00
 Total \$ Paid/Completed Amount: \$3,000.00

HAZNET:

envid: S108054471
 Year: 2014
 GEPAID: CAC002745385
 Contact: ANDREA TERWILLINGER
 Telephone: 5105943113
 Mailing Name: Not reported
 Mailing Address: 2000 POWELL ST. STE. 100
 Mailing City,St,Zip: EMERYVILLE, CA 94608
 Gen County: Alameda
 TSD EPA ID: CAD981382732
 TSD County: Alameda
 Waste Category: Asbestos containing waste
 Disposal Method: Landfill Or Surface Impoundment That Will Be Closed As Landfill(To Include On-Site Treatment And/Or Stabilization)
 Tons: 2.4
 Cat Decode: Not reported
 Method Decode: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

LBA REALTY (Continued)

S108054471

Facility County: Alameda

envid: S108054471
Year: 2013
GEPAID: CAC002745385
Contact: ANDREA TERWILLINGER
Telephone: 5105943113
Mailing Name: Not reported
Mailing Address: 2000 POWELL ST. STE. 100
Mailing City,St,Zip: EMERYVILLE, CA 94608
Gen County: Alameda
TSD EPA ID: CAD981382732
TSD County: Alameda
Waste Category: Not reported
Disposal Method: Landfill Or Surface Impoundment That Will Be Closed As Landfill(To Include On-Site Treatment And/Or Stabilization)
Tons: 2.8
Cat Decode: Not reported
Method Decode: Not reported
Facility County: Not reported

envid: S108054471
Year: 2013
GEPAID: CAC002718874
Contact: LISA DUBOSE
Telephone: 5105943131
Mailing Name: Not reported
Mailing Address: 2000 POWELL ST STE 100
Mailing City,St,Zip: EMERYVILLE, CA 946081774
Gen County: Alameda
TSD EPA ID: CAD981382732
TSD County: Alameda
Waste Category: Not reported
Disposal Method: Landfill Or Surface Impoundment That Will Be Closed As Landfill(To Include On-Site Treatment And/Or Stabilization)
Tons: 7.2
Cat Decode: Not reported
Method Decode: Not reported
Facility County: Not reported

CIWQS:

Agency:	LBA-RIV-Company XII, LLC, Elizabeth Trowbridge
Agency Address:	2000 Powell Street 100, Emeryville, CA 94608
Place/Project Type:	Groundwater Cleanup Site
SIC/NAICS:	Not reported
Region:	2
Program:	NPDNONMUNIPRCS
Regulatory Measure Status:	Active
Regulatory Measure Type:	Enrollee - NPDES
Order Number:	R2-2012-0012
WDID:	2019483001
NPDES Number:	CAG912002
Adoption Date:	Not reported
Effective Date:	02/27/2013
Termination Date:	Not reported
Expiration/Review Date:	09/01/2022
Design Flow:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

LBA REALTY (Continued)

S108054471

Major/Minor: Not reported
Complexity: B
TTWQ: 2
Enforcement Actions within 5 years: 1
Violations within 5 years: 2
Latitude: Not reported
Longitude: Not reported

**AA102 COURTAULDS AEROSPACE
NNW 1608 4TH ST
1/2-1 BERKELEY, CA 94710
0.928 mi.
4898 ft. Site 1 of 2 in cluster AA**

**Relative:
Lower
Actual:
14 ft.**

**SEMS-ARCHIVE 1000343067
CORRACTS CAD009110867
RCRA-TSDF
RCRA-SQG
CA ENVIROSTOR
CA LUST
CA CPS-SLIC
CA HIST UST
CA FID UST
2020 COR ACTION
FINDS
ECHO
CA HAZNET
CA HIST CORTESE**

SEMS Archive:
Site ID: 900348
EPA ID: CAD009110867
Cong District: 8
FIPS Code: 6001
FF: N
NPL: Not on the NPL
Non NPL Status: Deferred to RCRA (Subtitle C)

SEMS Archive Detail:
Region: 9
Site ID: 900348
EPA ID: CAD009110867
Site Name: DESOTO INC
NPL: N
FF: N
OU: 0
Action Code: VS
Action Name: ARCH SITE
SEQ: 1
Start Date: Not reported
Finish Date: 1996-01-23 00:00:00
Qual: Not reported
Current Action Lead: EPA Perf In-Hse

Region: 9
Site ID: 900348
EPA ID: CAD009110867
Site Name: DESOTO INC
NPL: N
FF: N
OU: 0
Action Code: PA
Action Name: PA
SEQ: 1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

COURTAULDS AEROSPACE (Continued)

1000343067

Start Date: Not reported
 Finish Date: 1990-09-06 00:00:00
 Qual: D
 Current Action Lead: EPA Perf

Region: 9
 Site ID: 900348
 EPA ID: CAD009110867
 Site Name: DESOTO INC
 NPL: N
 FF: N
 OU: 0
 Action Code: DS
 Action Name: DISCVRY
 SEQ: 1
 Start Date: 1990-06-11 00:00:00
 Finish Date: 1990-06-11 00:00:00
 Qual: Not reported
 Current Action Lead: EPA Perf

CORRACTS:

EPA ID: CAD009110867
 EPA Region: 09
 Area Name: ENTIRE FACILITY
 Actual Date: 19860101
 Action: CA600GW - Stabilization Measures Implemented, Groundwater extraction and treatment
 NAICS Code(s): 325211 325211 32551 32551
 Plastics Material and Resin Manufacturing
 Plastics Material and Resin Manufacturing
 Paint and Coating Manufacturing
 Paint and Coating Manufacturing
 Original schedule date: Not reported
 Schedule end date: Not reported

EPA ID: CAD009110867
 EPA Region: 09
 Area Name: ENTIRE FACILITY
 Actual Date: 19960301
 Action: CA650 - Stabilization Construction Completed
 NAICS Code(s): 325211 325211 32551 32551
 Plastics Material and Resin Manufacturing
 Plastics Material and Resin Manufacturing
 Paint and Coating Manufacturing
 Paint and Coating Manufacturing
 Original schedule date: Not reported
 Schedule end date: Not reported

EPA ID: CAD009110867
 EPA Region: 09
 Area Name: ENTIRE FACILITY
 Actual Date: 19940804
 Action: CA225NR - Stabilization Measures Evaluation, This facility is, not amenable to stabilization activity at the, present time for reasons

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

other than (1) it appears to be technically, infeasible or inappropriate (NF) or (2) there is a lack of technical, information (IN). Reasons for this conclusion may be the status of, closure at the facility, the degree of risk, timing considerations, the status of corrective action work at the facility, or other, administrative considerations

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing

Original schedule date: 19940804
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19940804
Action: CA075ME - CA Prioritization, Facility or area was assigned a medium corrective action priority

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing

Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19940804
Action: CA225NR - Stabilization Measures Evaluation, This facility is, not amenable to stabilization activity at the, present time for reasons other than (1) it appears to be technically, infeasible or inappropriate (NF) or (2) there is a lack of technical, information (IN). Reasons for this conclusion may be the status of, closure at the facility, the degree of risk, timing considerations, the status of corrective action work at the facility, or other, administrative considerations

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing

Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19900906
Action: CA029ST

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Paint and Coating Manufacturing
Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19900906
Action: CA075LO - CA Prioritization, Facility or area was assigned a low corrective action priority
NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19900906
Action: CA049PA
NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19920414
Action: CA050 - RFA Completed
NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: 19920414
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19920414
Action: CA070YE - RFA Determination Of Need For An RFI, RFI is Necessary
NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: 19920414
Schedule end date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

EPA ID: CAD009110867
 EPA Region: 09
 Area Name: ENTIRE FACILITY
 Actual Date: 19920414
 Action: CA050RF - RFA Completed, Assessment was an RFA
 NAICS Code(s): 325211 325211 32551 32551
 Plastics Material and Resin Manufacturing
 Plastics Material and Resin Manufacturing
 Paint and Coating Manufacturing
 Paint and Coating Manufacturing
 Original schedule date: Not reported
 Schedule end date: Not reported

EPA ID: CAD009110867
 EPA Region: 09
 Area Name: ENTIRE FACILITY
 Actual Date: 20100219
 Action: CA550RC
 NAICS Code(s): 325211 325211 32551 32551
 Plastics Material and Resin Manufacturing
 Plastics Material and Resin Manufacturing
 Paint and Coating Manufacturing
 Paint and Coating Manufacturing
 Original schedule date: 20100219
 Schedule end date: Not reported

EPA ID: CAD009110867
 EPA Region: 09
 Area Name: ENTIRE FACILITY
 Actual Date: 20100219
 Action: CA550RC
 NAICS Code(s): 325211 325211 32551 32551
 Plastics Material and Resin Manufacturing
 Plastics Material and Resin Manufacturing
 Paint and Coating Manufacturing
 Paint and Coating Manufacturing
 Original schedule date: 20100219
 Schedule end date: Not reported

EPA ID: CAD009110867
 EPA Region: 09
 Area Name: ENTIRE FACILITY
 Actual Date: 20100219
 Action: CA750YE - Migration of Contaminated Groundwater under Control, Yes,
 Migration of Contaminated Groundwater Under Control has been verified
 NAICS Code(s): 325211 325211 32551 32551
 Plastics Material and Resin Manufacturing
 Plastics Material and Resin Manufacturing
 Paint and Coating Manufacturing
 Paint and Coating Manufacturing
 Original schedule date: 20100219
 Schedule end date: Not reported

EPA ID: CAD009110867
 EPA Region: 09
 Area Name: ENTIRE FACILITY
 Actual Date: 20100219

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Action: CA750YE - Migration of Contaminated Groundwater under Control, Yes, Migration of Contaminated Groundwater Under Control has been verified

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing

Original schedule date: 20100219
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 20100219

Action: CA725YE - Current Human Exposures Under Control, Yes, Current Human Exposures Under Control has been verified

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing

Original schedule date: 20100219
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 20100219

Action: CA725YE - Current Human Exposures Under Control, Yes, Current Human Exposures Under Control has been verified

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing

Original schedule date: 20100219
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19880420

Action: CA100 - RFI Imposition

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing

Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19970925

Action: CA210 - CA Responsibility Referred To A Non-RCRA Federal Authority

NAICS Code(s): 325211 325211 32551 32551

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19920228
Action: CA150 - RFI Workplan Approved
NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19940329
Action: CA200 - RFI Approved
NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19940329
Action: CA725YE - Current Human Exposures Under Control, Yes, Current Human Exposures Under Control has been verified
NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19970929
Action: CA750NO - Migration of Contaminated Groundwater under Control, Unacceptable migration of contaminated groundwater is observed or expected
NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: 19970929
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19970929
Action: CA750NO - Migration of Contaminated Groundwater under Control, Unacceptable migration of contaminated groundwater is observed or expected

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19930430
Action: CA750YE - Migration of Contaminated Groundwater under Control, Yes, Migration of Contaminated Groundwater Under Control has been verified

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: 19940630
Action: CA650 - Stabilization Construction Completed

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing
Original schedule date: Not reported
Schedule end date: Not reported

EPA ID: CAD009110867
EPA Region: 09
Area Name: ENTIRE FACILITY
Actual Date: Not reported
Action: CA048ST

NAICS Code(s): 325211 325211 32551 32551
Plastics Material and Resin Manufacturing
Plastics Material and Resin Manufacturing
Paint and Coating Manufacturing
Paint and Coating Manufacturing

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Original schedule date: 19900927
Schedule end date: Not reported

RCRA-TSDF:

Date form received by agency: 09/01/1996
Facility name: COURTAULDS AEROSPACE
Facility address: 1608 4TH ST
BERKELEY, CA 94710-1776
EPA ID: CAD009110867
Contact: Not reported
Contact address: Not reported
Not reported
Contact country: US
Contact telephone: Not reported
Contact email: Not reported
EPA Region: 09
Land type: Private
Classification: TSDF
Description: Handler is engaged in the treatment, storage or disposal of hazardous waste

Owner/Operator Summary:

Owner/operator name: COURTAULDS
Owner/operator address: 50 GEORGE ST
LONDON, W1A2B
Owner/operator country: GB
Owner/operator telephone: (071) 612-1000
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: DESOTO, INC.
Owner/operator address: 1700 S. MT. PROSPECT ROAD
CITY NOT REPORTED, IL 99999
Owner/operator country: Not reported
Owner/operator telephone: 312-391-9000
Owner/operator email: Not reported
Owner/operator fax: Not reported
Owner/operator extension: Not reported
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Historical Generators:

Date form received by agency: 09/01/1996
Site name: COURTAULDS AEROSPACE
Classification: Small Quantity Generator

Date form received by agency: 01/19/1996
Site name: COURTAULDS AEROSPACE
Classification: Large Quantity Generator

Date form received by agency: 03/31/1994
Site name: COURTAULDS AEROSPACE
Classification: Large Quantity Generator

Date form received by agency: 11/04/1993
Site name: COURTAULDS AEROSPACE
Classification: Large Quantity Generator

Date form received by agency: 03/16/1992
Site name: DESOTO AEROSPACE COATINGS, INC.
Classification: Large Quantity Generator

Date form received by agency: 04/16/1990
Site name: DESOTO INC.
Classification: Large Quantity Generator

Corrective Action Summary:

Event date: 01/01/1986
Event: STABILIZATION/INTERIM MEASURES DECISION-GROUNDWATER EXTRACTION & TREATMENT

Event date: 04/20/1988
Event: INVESTIGATION IMPOSITION

Event date: 09/06/1990
Event: LEAD AGENCY DETERMINATION

Event date: 09/06/1990
Event: CA PRIORITIZATION-LOW CA PRIORITY

Event date: 09/06/1990
Event: PA OR CERCLA INSPECTION

Event date: 02/28/1992
Event: INVESTIGATION WORKPLAN APPROVED

Event date: 04/14/1992
Event: RFA COMPLETED-ASSESSMENT WAS A RFA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Event date:	04/14/1992
Event:	RFA COMPLETED
Event date:	04/14/1992
Event:	DETERMINATION OF NEED FOR AN INVESTIGATION-INVESTIGATION IS NECESSARY
Event date:	04/30/1993
Event:	RELEASE TO GW CONTROLLED DETERMINATION-YES, APPLICABLE AS OF THIS DATE
Event date:	03/29/1994
Event:	HUMAN EXPOSURES CONTROLLED DETERMINATION-YES, APPLICABLE AS OF THIS DATE
Event date:	03/29/1994
Event:	INVESTIGATION COMPLETE
Event date:	06/30/1994
Event:	STABILIZATION CONSTRUCTION COMPLETED
Event date:	08/04/1994
Event:	STABILIZATION MEASURES EVALUATION-FACILITY NOT AMENABLE TO STABILIZATION
Event date:	08/04/1994
Event:	CA PRIORITIZATION-MEDIUM CA PRIORITY
Event date:	08/04/1994
Event:	STABILIZATION MEASURES EVALUATION-FACILITY NOT AMENABLE TO STABILIZATION
Event date:	03/01/1996
Event:	STABILIZATION CONSTRUCTION COMPLETED
Event date:	09/25/1997
Event:	REFERRED TO A NON-RCRA AUTHORITY
Event date:	09/29/1997
Event:	RELEASE TO GW CONTROLLED DETERMINATION-FACILITY DOES NOT MEET DEFINITION
Event date:	09/29/1997
Event:	RELEASE TO GW CONTROLLED DETERMINATION-FACILITY DOES NOT MEET DEFINITION
Event date:	02/19/2010
Event:	HUMAN EXPOSURES CONTROLLED DETERMINATION-YES, APPLICABLE AS OF THIS DATE
Event date:	02/19/2010
Event:	HUMAN EXPOSURES CONTROLLED DETERMINATION-YES, APPLICABLE AS OF THIS DATE
Event date:	02/19/2010
Event:	REMEDY CONSTRUCTION-REMEDY CONSTRUCTED
Event date:	02/19/2010
Event:	REMEDY CONSTRUCTION-REMEDY CONSTRUCTED

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Event date: 02/19/2010
Event: RELEASE TO GW CONTROLLED DETERMINATION-YES, APPLICABLE AS OF THIS DATE

Event date: 02/19/2010
Event: RELEASE TO GW CONTROLLED DETERMINATION-YES, APPLICABLE AS OF THIS DATE

Event date: Not reported
Event: RFA NEED BY ANOTHER AGCY

Facility Has Received Notices of Violations:

Regulation violated: Not reported
Area of violation: TSD - Preparedness and Prevention
Date violation determined: 10/19/1995
Date achieved compliance: 10/19/1995
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/19/1995
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - Pre-transport
Date violation determined: 10/19/1995
Date achieved compliance: 10/19/1995
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 10/19/1995
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: TSD - Financial Requirements
Date violation determined: 06/24/1992
Date achieved compliance: 11/18/1992
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 05/04/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: TSD - Financial Requirements
Date violation determined: 06/24/1992
Date achieved compliance: 11/18/1992
Violation lead agency: State

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Enforcement action: FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
 Enforcement action date: 05/27/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: TSD - Financial Requirements
 Date violation determined: 06/24/1992
 Date achieved compliance: 11/18/1992
 Violation lead agency: State
 Enforcement action: INITIAL 3008(A) COMPLIANCE
 Enforcement action date: 07/31/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: 212500
 Final penalty amount: 111000
 Paid penalty amount: 111000

Regulation violated: Not reported
 Area of violation: TSD - Financial Requirements
 Date violation determined: 03/23/1992
 Date achieved compliance: 11/18/1992
 Violation lead agency: EPA
 Enforcement action: Not reported
 Enforcement action date: Not reported
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: Not reported
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: TSD - Closure/Post-Closure
 Date violation determined: 07/29/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: INITIAL 3008(A) COMPLIANCE
 Enforcement action date: 07/31/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: 212500
 Final penalty amount: 111000
 Paid penalty amount: 111000

Regulation violated: Not reported
 Area of violation: TSD - Financial Requirements
 Date violation determined: 07/29/1991
 Date achieved compliance: 01/05/1994
 Violation lead agency: State
 Enforcement action: FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Enforcement action date: 05/27/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: LDR - General
 Date violation determined: 07/29/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: INITIAL 3008(A) COMPLIANCE
 Enforcement action date: 07/31/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: 212500
 Final penalty amount: 111000
 Paid penalty amount: 111000

Regulation violated: Not reported
 Area of violation: TSD - Contingency Plan and Emergency Procedures
 Date violation determined: 07/29/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: INITIAL 3008(A) COMPLIANCE
 Enforcement action date: 07/31/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: 212500
 Final penalty amount: 111000
 Paid penalty amount: 111000

Regulation violated: Not reported
 Area of violation: LDR - General
 Date violation determined: 07/29/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
 Enforcement action date: 05/27/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: Generators - General
 Date violation determined: 07/29/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
 Enforcement action date: 05/27/1992

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: TSD - Contingency Plan and Emergency Procedures
 Date violation determined: 07/29/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: WRITTEN INFORMAL
 Enforcement action date: 05/04/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: TSD - Container Use and Management
 Date violation determined: 07/29/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: INITIAL 3008(A) COMPLIANCE
 Enforcement action date: 07/31/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: 212500
 Final penalty amount: 111000
 Paid penalty amount: 111000

Regulation violated: Not reported
 Area of violation: TSD - Container Use and Management
 Date violation determined: 07/29/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: WRITTEN INFORMAL
 Enforcement action date: 05/04/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: TSD - Closure/Post-Closure
 Date violation determined: 07/29/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
 Enforcement action date: 05/27/1992
 Enf. disposition status: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Permits - Application
Date violation determined: 07/29/1991
Date achieved compliance: 03/18/1994
Violation lead agency: State
Enforcement action: INITIAL 3008(A) COMPLIANCE
Enforcement action date: 07/31/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: 212500
Final penalty amount: 111000
Paid penalty amount: 111000

Regulation violated: Not reported
Area of violation: TSD - Closure/Post-Closure
Date violation determined: 07/29/1991
Date achieved compliance: 03/18/1994
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 05/04/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: TSD - Financial Requirements
Date violation determined: 07/29/1991
Date achieved compliance: 01/05/1994
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 05/04/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: LDR - General
Date violation determined: 07/29/1991
Date achieved compliance: 03/18/1994
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 05/04/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 07/29/1991
Date achieved compliance: 03/18/1994
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 05/04/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: TSD - Container Use and Management
Date violation determined: 07/29/1991
Date achieved compliance: 03/18/1994
Violation lead agency: State
Enforcement action: FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
Enforcement action date: 05/27/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: TSD - Financial Requirements
Date violation determined: 07/29/1991
Date achieved compliance: 01/05/1994
Violation lead agency: State
Enforcement action: INITIAL 3008(A) COMPLIANCE
Enforcement action date: 07/31/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: 212500
Final penalty amount: 111000
Paid penalty amount: 111000

Regulation violated: Not reported
Area of violation: Permits - Application
Date violation determined: 07/29/1991
Date achieved compliance: 03/18/1994
Violation lead agency: State
Enforcement action: FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
Enforcement action date: 05/27/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Permits - Application
Date violation determined: 07/29/1991
Date achieved compliance: 03/18/1994
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 05/04/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: TSD - Contingency Plan and Emergency Procedures
Date violation determined: 07/29/1991
Date achieved compliance: 03/18/1994
Violation lead agency: State
Enforcement action: FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
Enforcement action date: 05/27/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: Generators - General
Date violation determined: 07/29/1991
Date achieved compliance: 03/18/1994
Violation lead agency: State
Enforcement action: INITIAL 3008(A) COMPLIANCE
Enforcement action date: 07/31/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: 212500
Final penalty amount: 111000
Paid penalty amount: 111000

Regulation violated: Not reported
Area of violation: TSD - Contingency Plan and Emergency Procedures
Date violation determined: 07/23/1991
Date achieved compliance: 03/18/1994
Violation lead agency: State
Enforcement action: FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
Enforcement action date: 05/27/1992
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Final penalty amount:	Not reported
Paid penalty amount:	Not reported
Regulation violated:	Not reported
Area of violation:	TSD - Container Use and Management
Date violation determined:	07/23/1991
Date achieved compliance:	03/18/1994
Violation lead agency:	State
Enforcement action:	FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
Enforcement action date:	05/27/1992
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	Not reported
Final penalty amount:	Not reported
Paid penalty amount:	Not reported
Regulation violated:	Not reported
Area of violation:	Generators - General
Date violation determined:	07/23/1991
Date achieved compliance:	03/18/1994
Violation lead agency:	State
Enforcement action:	FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
Enforcement action date:	05/27/1992
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	Not reported
Final penalty amount:	Not reported
Paid penalty amount:	Not reported
Regulation violated:	Not reported
Area of violation:	Generators - General
Date violation determined:	07/23/1991
Date achieved compliance:	03/18/1994
Violation lead agency:	State
Enforcement action:	WRITTEN INFORMAL
Enforcement action date:	05/04/1992
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	Not reported
Final penalty amount:	Not reported
Paid penalty amount:	Not reported
Regulation violated:	Not reported
Area of violation:	TSD - Contingency Plan and Emergency Procedures
Date violation determined:	07/23/1991
Date achieved compliance:	03/18/1994
Violation lead agency:	State
Enforcement action:	INITIAL 3008(A) COMPLIANCE
Enforcement action date:	07/31/1992
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	212500
Final penalty amount:	111000

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Paid penalty amount:	111000
Regulation violated:	Not reported
Area of violation:	TSD - General
Date violation determined:	07/23/1991
Date achieved compliance:	03/18/1994
Violation lead agency:	State
Enforcement action:	WRITTEN INFORMAL
Enforcement action date:	05/04/1992
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	Not reported
Final penalty amount:	Not reported
Paid penalty amount:	Not reported
Regulation violated:	Not reported
Area of violation:	TSD - Container Use and Management
Date violation determined:	07/23/1991
Date achieved compliance:	03/18/1994
Violation lead agency:	State
Enforcement action:	INITIAL 3008(A) COMPLIANCE
Enforcement action date:	07/31/1992
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	212500
Final penalty amount:	111000
Paid penalty amount:	111000
Regulation violated:	Not reported
Area of violation:	Generators - General
Date violation determined:	07/23/1991
Date achieved compliance:	03/18/1994
Violation lead agency:	State
Enforcement action:	INITIAL 3008(A) COMPLIANCE
Enforcement action date:	07/31/1992
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	212500
Final penalty amount:	111000
Paid penalty amount:	111000
Regulation violated:	Not reported
Area of violation:	TSD - Preparedness and Prevention
Date violation determined:	07/23/1991
Date achieved compliance:	03/18/1994
Violation lead agency:	State
Enforcement action:	FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
Enforcement action date:	05/27/1992
Enf. disposition status:	Not reported
Enf. disp. status date:	Not reported
Enforcement lead agency:	State
Proposed penalty amount:	Not reported
Final penalty amount:	Not reported
Paid penalty amount:	Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Regulation violated: Not reported
 Area of violation: TSD - General
 Date violation determined: 07/23/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: INITIAL 3008(A) COMPLIANCE
 Enforcement action date: 07/31/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: 212500
 Final penalty amount: 111000
 Paid penalty amount: 111000

Regulation violated: Not reported
 Area of violation: TSD - General
 Date violation determined: 07/23/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: FINAL CIVIL JUDICIAL ACTION FOR COMPLIANCE AND/OR MONETARY PENALTY
 Enforcement action date: 05/27/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: TSD - Preparedness and Prevention
 Date violation determined: 07/23/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: WRITTEN INFORMAL
 Enforcement action date: 05/04/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: TSD - Preparedness and Prevention
 Date violation determined: 07/23/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: INITIAL 3008(A) COMPLIANCE
 Enforcement action date: 07/31/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: 212500
 Final penalty amount: 111000
 Paid penalty amount: 111000

Regulation violated: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Regulation violated: TSD - Container Use and Management
 Area of violation: TSD - Container Use and Management
 Date violation determined: 07/23/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: WRITTEN INFORMAL
 Enforcement action date: 05/04/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: TSD - Contingency Plan and Emergency Procedures
 Date violation determined: 07/23/1991
 Date achieved compliance: 03/18/1994
 Violation lead agency: State
 Enforcement action: WRITTEN INFORMAL
 Enforcement action date: 05/04/1992
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: LDR - General
 Date violation determined: 03/31/1988
 Date achieved compliance: 11/02/1988
 Violation lead agency: State
 Enforcement action: WRITTEN INFORMAL
 Enforcement action date: 08/23/1988
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: EPA
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: TSD - General
 Date violation determined: 03/31/1988
 Date achieved compliance: 09/23/1988
 Violation lead agency: State
 Enforcement action: WRITTEN INFORMAL
 Enforcement action date: 04/27/1988
 Enf. disposition status: Not reported
 Enf. disp. status date: Not reported
 Enforcement lead agency: State
 Proposed penalty amount: Not reported
 Final penalty amount: Not reported
 Paid penalty amount: Not reported

Regulation violated: Not reported
 Area of violation: TSD - Closure/Post-Closure

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

COURTAULDS AEROSPACE (Continued)

1000343067

Date violation determined: 03/31/1988
Date achieved compliance: 09/23/1988
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 04/27/1988
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Regulation violated: Not reported
Area of violation: TSD - Financial Requirements
Date violation determined: 03/30/1988
Date achieved compliance: 11/02/1988
Violation lead agency: State
Enforcement action: WRITTEN INFORMAL
Enforcement action date: 05/03/1988
Enf. disposition status: Not reported
Enf. disp. status date: Not reported
Enforcement lead agency: State
Proposed penalty amount: Not reported
Final penalty amount: Not reported
Paid penalty amount: Not reported

Evaluation Action Summary:
Evaluation date: 10/19/1995
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Generators - Pre-transport
Date achieved compliance: 10/19/1995
Evaluation lead agency: State

Evaluation date: 10/19/1995
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: TSD - Preparedness and Prevention
Date achieved compliance: 10/19/1995
Evaluation lead agency: State

Evaluation date: 03/18/1994
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 01/05/1994
Evaluation: NOT A SIGNIFICANT NON-COMPLIER
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 11/18/1992
Evaluation: FINANCIAL RECORD REVIEW
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Evaluation date:	06/24/1992
Evaluation:	FINANCIAL RECORD REVIEW
Area of violation:	Not reported
Date achieved compliance:	Not reported
Evaluation lead agency:	State
Evaluation date:	03/23/1992
Evaluation:	FINANCIAL RECORD REVIEW
Area of violation:	TSD - Financial Requirements
Date achieved compliance:	11/18/1992
Evaluation lead agency:	EPA Contractor/Grantee
Evaluation date:	03/20/1992
Evaluation:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation:	Not reported
Date achieved compliance:	Not reported
Evaluation lead agency:	State
Evaluation date:	07/29/1991
Evaluation:	FOCUSED COMPLIANCE INSPECTION
Area of violation:	TSD - Contingency Plan and Emergency Procedures
Date achieved compliance:	03/18/1994
Evaluation lead agency:	State
Evaluation date:	07/29/1991
Evaluation:	FOCUSED COMPLIANCE INSPECTION
Area of violation:	TSD - Financial Requirements
Date achieved compliance:	01/05/1994
Evaluation lead agency:	State
Evaluation date:	07/29/1991
Evaluation:	FOCUSED COMPLIANCE INSPECTION
Area of violation:	TSD - Closure/Post-Closure
Date achieved compliance:	03/18/1994
Evaluation lead agency:	State
Evaluation date:	07/29/1991
Evaluation:	FOCUSED COMPLIANCE INSPECTION
Area of violation:	LDR - General
Date achieved compliance:	03/18/1994
Evaluation lead agency:	State
Evaluation date:	07/29/1991
Evaluation:	SIGNIFICANT NON-COMPLIER
Area of violation:	Not reported
Date achieved compliance:	Not reported
Evaluation lead agency:	State
Evaluation date:	07/29/1991
Evaluation:	FOCUSED COMPLIANCE INSPECTION
Area of violation:	Permits - Application
Date achieved compliance:	03/18/1994
Evaluation lead agency:	State
Evaluation date:	07/29/1991
Evaluation:	FOCUSED COMPLIANCE INSPECTION
Area of violation:	TSD - Financial Requirements

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

COURTAULDS AEROSPACE (Continued)

1000343067

Date achieved compliance: 11/18/1992
Evaluation lead agency: State

Evaluation date: 07/29/1991
Evaluation: FOCUSED COMPLIANCE INSPECTION
Area of violation: TSD - Container Use and Management
Date achieved compliance: 03/18/1994
Evaluation lead agency: State

Evaluation date: 07/29/1991
Evaluation: FOCUSED COMPLIANCE INSPECTION
Area of violation: Generators - General
Date achieved compliance: 03/18/1994
Evaluation lead agency: State

Evaluation date: 03/25/1991
Evaluation: FOCUSED COMPLIANCE INSPECTION
Area of violation: Generators - General
Date achieved compliance: 03/18/1994
Evaluation lead agency: State

Evaluation date: 03/25/1991
Evaluation: FOCUSED COMPLIANCE INSPECTION
Area of violation: TSD - Preparedness and Prevention
Date achieved compliance: 03/18/1994
Evaluation lead agency: State

Evaluation date: 03/25/1991
Evaluation: FOCUSED COMPLIANCE INSPECTION
Area of violation: TSD - General
Date achieved compliance: 03/18/1994
Evaluation lead agency: State

Evaluation date: 03/25/1991
Evaluation: FOCUSED COMPLIANCE INSPECTION
Area of violation: TSD - Container Use and Management
Date achieved compliance: 03/18/1994
Evaluation lead agency: State

Evaluation date: 03/25/1991
Evaluation: FOCUSED COMPLIANCE INSPECTION
Area of violation: TSD - Contingency Plan and Emergency Procedures
Date achieved compliance: 03/18/1994
Evaluation lead agency: State

Evaluation date: 09/26/1990
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

Evaluation date: 03/31/1988
Evaluation: FOCUSED COMPLIANCE INSPECTION
Area of violation: LDR - General
Date achieved compliance: 11/02/1988
Evaluation lead agency: State

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Evaluation date: 03/31/1988
Evaluation: FOCUSED COMPLIANCE INSPECTION
Area of violation: TSD - General
Date achieved compliance: 09/23/1988
Evaluation lead agency: State

Evaluation date: 03/31/1988
Evaluation: FOCUSED COMPLIANCE INSPECTION
Area of violation: TSD - Closure/Post-Closure
Date achieved compliance: 09/23/1988
Evaluation lead agency: State

Evaluation date: 03/30/1988
Evaluation: FINANCIAL RECORD REVIEW
Area of violation: TSD - Financial Requirements
Date achieved compliance: 11/02/1988
Evaluation lead agency: State

ENVIROSTOR:

Facility ID: 1280084
Status: Refer: RWQCB
Status Date: 03/24/2009
Site Code: Not reported
Site Type: Historical
Site Type Detailed: * Historical
Acres: 0
NPL: NO
Regulatory Agencies: RWQCB 2 - San Francisco Bay
Lead Agency: RWQCB 2 - San Francisco Bay
Program Manager: Not reported
Supervisor: Referred - Not Assigned
Division Branch: Cleanup Berkeley
Assembly: 15
Senate: 09
Special Program: Not reported
Restricted Use: NO
Site Mgmt Req: NONE SPECIFIED
Funding: Not reported
Latitude: 37.87305
Longitude: -122.3022
APN: NONE SPECIFIED
Past Use: NONE SPECIFIED
Potential COC: NONE SPECIFIED
Confirmed COC: NONE SPECIFIED
Potential Description: NONE SPECIFIED
Alias Name: Not reported
Alias Type: Not reported

Completed Info:

Completed Area Name: Not reported
Completed Sub Area Name: Not reported
Completed Document Type: Not reported
Completed Date: Not reported
Comments: Not reported

Future Area Name: Not reported
Future Sub Area Name: Not reported
Future Document Type: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

LUST:

Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Case Type: LUST Cleanup Site
Geo Track: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600102170
Global Id: T0600102170
Latitude: 37.873495
Longitude: -122.3017911
Status: Completed - Case Closed
Status Date: 01/01/1999
Case Worker: UUU
RB Case Number: 01-2360
Local Agency: BERKELEY, CITY OF
File Location: Not reported
Local Case Number: 012360
Potential Media Affect: Other Groundwater (uses other than drinking water)
Potential Contaminants of Concern: Gasoline
Site History: Not reported

LUST:

Global Id: T0600102170
Contact Type: Local Agency Caseworker
Contact Name: GEOFFERY FIEDLER
Organization Name: BERKELEY, CITY OF
Address: 2118 MILVIA STREET 3RD FLOOR
City: BERKELEY
Email: gfiedler@ci.berkeley.ca.us
Phone Number: Not reported

Global Id: T0600102170
Contact Type: Regional Board Caseworker
Contact Name: Regional Water Board
Organization Name: SAN FRANCISCO BAY RWQCB (REGION 2)
Address: 1515 CLAY ST SUITE 1400
City: OAKLAND
Email: Not reported
Phone Number: Not reported

LUST:

Global Id: T0600102170
Action Type: Other
Date: 10/05/1989
Action: Leak Stopped

Global Id: T0600102170
Action Type: Other
Date: 10/05/1989
Action: Leak Discovery

Global Id: T0600102170
Action Type: Other

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Date: 10/05/1989
Action: Leak Reported

LUST:

Global Id: T0600102170
Status: Open - Case Begin Date
Status Date: 10/05/1989

Global Id: T0600102170
Status: Open - Remediation
Status Date: 10/01/1992

Global Id: T0600102170
Status: Completed - Case Closed
Status Date: 01/01/1999

LUST REG 2:

Region: 2
Facility Id: 01-2360
Facility Status: Case Closed
Case Number: 012360
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: Not reported
Oversight Program: LUST
Prelim. Site Assesment Wokplan Submitted: Not reported
Preliminary Site Assesment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: 10/1/1992
Date Remediation Action Underway: Not reported
Date Post Remedial Action Monitoring Began: Not reported

CPS-SLIC:

Region: STATE
Facility Status: Completed - Case Closed
Status Date: 06/20/2016
Global Id: SL18280701
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Lead Agency Case Number: Not reported
Latitude: 37.873666
Longitude: -122.300693
Case Type: Cleanup Program Site
Case Worker: UUU
Local Agency: Not reported
RB Case Number: 01S0006
File Location: All Files are on GeoTracker or in the Local Agency Database
Potential Media Affected: Not reported
Potential Contaminants of Concern: Not reported
Site History: Not reported

Click here to access the California GeoTracker records for this facility:

HIST UST:

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

COURTAULDS AEROSPACE (Continued)

1000343067

File Number: 00035F07
 URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/00035F07.pdf>
 Region: STATE
 Facility ID: 00000019592
 Facility Type: Other
 Other Type: COATINGS MANUFACTURE
 Contact Name: K. P. FLAKS
 Telephone: 4155261525
 Owner Name: DESOTO, INC.
 Owner Address: 1608 4TH STREET
 Owner City,St,Zip: BERKELEY, CA 94710
 Total Tanks: 0012

Tank Num: 001
 Container Num: T-50, T-51
 Year Installed: 1984
 Tank Capacity: 00010000
 Tank Used for: PRODUCT
 Type of Fuel: Not reported
 Container Construction Thickness: 5/16
 Leak Detection: Sensor Instrument, Groundwater Monitoring Well

Tank Num: 002
 Container Num: T-60, T-61
 Year Installed: 1984
 Tank Capacity: 00012000
 Tank Used for: PRODUCT
 Type of Fuel: Not reported
 Container Construction Thickness: 5/16
 Leak Detection: Sensor Instrument, Groundwater Monitoring Well

Tank Num: 003
 Container Num: T-588T-59
 Year Installed: 1984
 Tank Capacity: 00010000
 Tank Used for: PRODUCT
 Type of Fuel: Not reported
 Container Construction Thickness: 5/16
 Leak Detection: Sensor Instrument, Groundwater Monitoring Well

Tank Num: 004
 Container Num: T-56, T-57
 Year Installed: 1984
 Tank Capacity: 00010000
 Tank Used for: PRODUCT
 Type of Fuel: Not reported
 Container Construction Thickness: 5/16
 Leak Detection: Sensor Instrument, Groundwater Monitoring Well

Tank Num: 005
 Container Num: T-54, T-55
 Year Installed: 1984
 Tank Capacity: 00010000
 Tank Used for: PRODUCT
 Type of Fuel: Not reported
 Container Construction Thickness: 5/16
 Leak Detection: Sensor Instrument, Groundwater Monitoring Well

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Tank Num:	006
Container Num:	T-52, T-53
Year Installed:	1984
Tank Capacity:	00010000
Tank Used for:	PRODUCT
Type of Fuel:	Not reported
Container Construction Thickness:	5/16
Leak Detection:	Sensor Instrument, Groundwater Monitoring Well
Tank Num:	007
Container Num:	T-63, T-64
Year Installed:	1984
Tank Capacity:	00012000
Tank Used for:	PRODUCT
Type of Fuel:	Not reported
Container Construction Thickness:	5/16
Leak Detection:	Sensor Instrument, Groundwater Monitoring Well
Tank Num:	008
Container Num:	T-39
Year Installed:	1954
Tank Capacity:	00010000
Tank Used for:	Not reported
Type of Fuel:	Not reported
Container Construction Thickness:	1/4
Leak Detection:	Visual, Stock Inventor, Groundwater Monitoring Well
Tank Num:	009
Container Num:	T-40
Year Installed:	1954
Tank Capacity:	00010000
Tank Used for:	Not reported
Type of Fuel:	Not reported
Container Construction Thickness:	1/4
Leak Detection:	Visual, Stock Inventor, Groundwater Monitoring Well
Tank Num:	010
Container Num:	T-41
Year Installed:	1954
Tank Capacity:	00010000
Tank Used for:	Not reported
Type of Fuel:	Not reported
Container Construction Thickness:	1/4
Leak Detection:	Visual, Stock Inventor, Groundwater Monitoring Well
Tank Num:	011
Container Num:	T-42
Year Installed:	1954
Tank Capacity:	00010000
Tank Used for:	Not reported
Type of Fuel:	Not reported
Container Construction Thickness:	1/4
Leak Detection:	Visual, Stock Inventor, Groundwater Monitoring Well
Tank Num:	012
Container Num:	S-1
Year Installed:	1945

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

Tank Capacity: 00000000
 Tank Used for: WASTE
 Type of Fuel: Not reported
 Container Construction Thickness: Not reported
 Leak Detection: Visual

Click here for Geo Tracker PDF:

CA FID UST:

Facility ID: 01001834
 Regulated By: UTNKA
 Regulated ID: A00911086
 Cortese Code: Not reported
 SIC Code: Not reported
 Facility Phone: 4155261525
 Mail To: Not reported
 Mailing Address: 1608 4TH ST
 Mailing Address 2: Not reported
 Mailing City,St,Zip: BERKELEY 94710
 Contact: Not reported
 Contact Phone: Not reported
 DUNs Number: Not reported
 NPDES Number: Not reported
 EPA ID: Not reported
 Comments: Not reported
 Status: Active

2020 COR ACTION:

EPA ID: CAD009110867
 Region: 9
 Action: Not reported

FINDS:

Registry ID: 110058358325

Environmental Interest/Information System
 AIR EMISSIONS CLASSIFICATION UNKNOWN

Registry ID: 110000609262

Environmental Interest/Information System
 NCDB (National Compliance Data Base) supports implementation of the Federal Insecticide, Fungicide, and Rodenticide Act (FIFRA) and the Toxic Substances Control Act (TSCA). The system tracks inspections in regions and states with cooperative agreements, enforcement actions, and settlements.

US EPA TRIS (Toxics Release Inventory System) contains information from facilities on the amounts of over 300 listed toxic chemicals that these facilities release directly to air, water, land, or that are transported off-site.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport,

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE (Continued)

1000343067

and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

STATE MASTER

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000343067
Registry ID: 110000609262
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110000609262>

HAZNET:

envid: 1000343067
Year: 2013
GEPaid: CAC002718688
Contact: RAJIV PARIKH
Telephone: Not reported
Mailing Name: Not reported
Mailing Address: 100 SPEAR ST
Mailing City,St,Zip: SAN FRANCISCO, CA 94105
Gen County: Alameda
TSD EPA ID: CAD028409019
TSD County: Los Angeles
Waste Category: Not reported
Disposal Method: Storage, Bulking, And/Or Transfer Off Site--No Treatment/Reovery (H010-H129) Or (H131-H135)
Tons: 0.045
Cat Decode: Not reported
Method Decode: Not reported
Facility County: Not reported

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-2360

**AA103
NNW
1/2-1
0.928 mi.
4898 ft.**

**COURTAULDS AEROSPACE INC
1608 FOURTH ST
BERKELEY, CA 94710
Site 2 of 2 in cluster AA**

**CA ENVIROSTOR S103633922
CA HWP N/A**

**Relative:
Lower
Actual:
14 ft.**

ENVIROSTOR:
Facility ID: 80001589
Status: Refer: RWQCB
Status Date: 01/01/2008
Site Code: Not reported
Site Type: Corrective Action
Site Type Detailed: Corrective Action
Acres: 0
NPL: NO

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE INC (Continued)

S103633922

Regulatory Agencies: RWQCB 2 - San Francisco Bay
 Lead Agency: RWQCB 2 - San Francisco Bay
 Program Manager: Not reported
 Supervisor: Referred - Not Assigned
 Division Branch: Cleanup Berkeley
 Assembly: 15
 Senate: 09
 Special Program: Not reported
 Restricted Use: NO
 Site Mgmt Req: NONE SPECIFIED
 Funding: Not reported
 Latitude: 37.87332
 Longitude: -122.3020
 APN: NONE SPECIFIED
 Past Use: NONE SPECIFIED
 Potential COC: NONE SPECIFIED
 Confirmed COC: NONE SPECIFIED
 Potential Description: NONE SPECIFIED
 Alias Name: DESOTO INCORPORATED
 Alias Type: Alternate Name
 Alias Name: CAD009110867
 Alias Type: EPA Identification Number
 Alias Name: T0600102170
 Alias Type: GeoTracker Global ID
 Alias Name: 01280084
 Alias Type: Envirostor ID Number
 Alias Name: 80001589
 Alias Type: Envirostor ID Number

Completed Info:

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Remedy Constructed
 Completed Date: 02/19/2010
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Groundwater Migration Controlled
 Completed Date: 09/29/1997
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Groundwater Migration Controlled
 Completed Date: 02/19/2010
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Human Exposure Controlled
 Completed Date: 02/19/2010
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Consent Agreement
 Completed Date: 04/20/1988

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE INC (Continued)

S103633922

Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Interim Measures Questionnaire
 Completed Date: 08/04/1994
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: RCRA Facility Assessment Report
 Completed Date: 04/14/1992
 Comments: RCRA Facility Assessment Completed, site formerly known as DeSoto Aerospace Coatings, Inc.

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Interim Measures Implementation Report
 Completed Date: 06/30/1994
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Interim Measures Workplan
 Completed Date: 01/01/1986
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: RFI Report
 Completed Date: 03/29/1994
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Preliminary Assessment Report
 Completed Date: 09/06/1990
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: Interim Measures Implementation Report
 Completed Date: 03/01/1996
 Comments: Not reported

Completed Area Name: PROJECT WIDE
 Completed Sub Area Name: Not reported
 Completed Document Type: RFI Workplan
 Completed Date: 02/28/1992
 Comments: Not reported

Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE INC (Continued)

S103633922

Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

HWP:

EPA Id: CAD009110867
Cleanup Status: CLOSED
Latitude: 37.87332
Longitude: -122.3020
Facility Type: Historical - Non-Operating
Facility Size: Not reported
Team: Not reported
Supervisor: Not reported
Site Code: Not reported
Assembly District: 15
Senate District: 09
Public Information Officer: Not reported
Public Information Officer: Not reported

Activities:

EPA Id: CAD009110867
Facility Type: Historical - Non-Operating
Unit Names: CONTAIN1, TANKSTR1
Event Description: New Operating Permit - CALL-IN LETTER ISSUED
Actual Date: 12/08/1982

EPA Id: CAD009110867
Facility Type: Historical - Non-Operating
Unit Names: Not reported
Event Description: Renewal - Historical - APPLICATION PART B RECEIVED
Actual Date: 05/06/1988

EPA Id: CAD009110867
Facility Type: Historical - Non-Operating
Unit Names: CONTAIN1, TANKSTR1
Event Description: New Operating Permit - FINAL PERMIT (EXPIRES)
Actual Date: 11/07/1988

EPA Id: CAD009110867
Facility Type: Historical - Non-Operating
Unit Names: CONTAIN1, TANKSTR1
Event Description: New Operating Permit - FINAL PERMIT (EFFECTIVE)
Actual Date: 11/07/1983

EPA Id: CAD009110867
Facility Type: Historical - Non-Operating
Unit Names: CONTAIN1, TANKSTR1
Event Description: New Operating Permit - APPLICATION PART B RECEIVED
Actual Date: 04/03/1983

EPA Id: CAD009110867
Facility Type: Historical - Non-Operating
Unit Names: CONTAIN1, TANKSTR1
Event Description: New Operating Permit - PUBLIC COMMENT (BEGIN)
Actual Date: 08/03/1983

EPA Id: CAD009110867

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

COURTAULDS AEROSPACE INC (Continued)

S103633922

Facility Type: Historical - Non-Operating
Unit Names: CONTAIN1, TANKSTR1
Event Description: New Operating Permit - FINAL PERMIT
Actual Date: 11/07/1983

EPA Id: CAD009110867
Facility Type: Historical - Non-Operating
Unit Names: CONTAIN1, TANKSTR1
Event Description: New Operating Permit - APPLICATION PART A RECEIVED
Actual Date: 11/17/1980

Closure:
EPA Id: CAD009110867
Facility Type: Historical - Non-Operating
Unit Names: CONTAIN1, TANKSTR1
Event Description: Closure Final - RECEIVE CLOSURE CERTIFICATION
Actual Date: 08/02/1996

EPA Id: CAD009110867
Facility Type: Historical - Non-Operating
Unit Names: CONTAIN1, TANKSTR1
Event Description: Closure Final - ISSUE CLOSURE VERIFICATION
Actual Date: 10/19/1996

Alias:
EPA Id: CAD009110867
Facility Type: Historical - Non-Operating
Alias Type: Envirostor ID Number
Alias: 01280084

EPA Id: CAD009110867
Facility Type: Historical - Non-Operating
Alias Type: Alternate Name
Alias: DESOTO INCORPORATED

**104
North
1/2-1
0.946 mi.
4997 ft.**

**COSHELL LAUNDRY
1634 SAN PABLO AVE
BERKELEY, CA 94704**

**CA LUST S100226249
CA HIST CORTESE N/A
CA Notify 65
CA NON-CASE INFO**

**Relative:
Higher
Actual:
41 ft.**

LUST REG 2:
Region: 2
Facility Id: 01-0459
Facility Status: Post remedial action monitoring
Case Number: 01-0459
How Discovered: Tank Closure
Leak Cause: Structure Failure
Leak Source: Tank
Date Leak Confirmed: 10/31/1989
Oversight Program: LUST
Prelim. Site Assesment Wokplan Submitted: 9/30/1991
Preliminary Site Assesment Began: Not reported
Pollution Characterization Began: Not reported
Pollution Remediation Plan Submitted: Not reported
Date Remediation Action Underway: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

COSHELL LAUNDRY (Continued)

S100226249

Date Post Remedial Action Monitoring Began: 1/2/1965

HIST CORTESE:

Region: CORTESE
Facility County Code: 1
Reg By: LTNKA
Reg Id: 01-0459

NOTIFY 65:

Date Reported: Not reported
Staff Initials: Not reported
Board File Number: Not reported
Facility Type: Not reported
Discharge Date: Not reported
Issue Date: Not reported
Incident Description: Not reported

NON-CASE INFO:

Global ID: T0600100417
Case Type: Non-Case Information
Status: Informational Item
Status Date: 08/01/2013
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Case Worker: UUU
Local Agency: Not reported
RB Case Number: 01-0459
Loc Case Number: TT01-0459
File Location: Local Agency
Potential Contaminants of Concern: Diesel
Potential Media Affected: Soil
Site History: The commercial property is located on the western side of San Pablo Ave in Berkeley, California. Surrounding the Site are other, similar commercial and some residential properties.. The parcel is nearly completely covered by the single, rectangular-shaped single-floored structure. In July of 1989, an illegal discharge (release) was reported when a 1,000-gal underground diesel tank (UST) was removed and contaminated soil discovered. Analyses of soil samples collected on Site indicated total petroleum hydrocarbon as diesel (TPH-d) as high as 630 mg/kg. Groundwater monitoring wells were planned to be advanced in 1991 under the direction of Aqua Terra Technologies, Consulting Engineers & Scientists.

Begin Date: 1989-08-27 00:00:00
How Discovered: Tank Closure
How Discovered Description: Not reported
Stop Method: Close and Remove Tank
Stop Description: Not reported
Latitude: 37.874282
Longitude: -122.294012
Geotracker: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0600100417

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

AB105 MYERS DRUM - OAKLAND
SE 6549 SAN PABLO AVE
1/2-1 OAKLAND, CA 94608
0.993 mi.
5243 ft. Site 1 of 2 in cluster AB
Relative:
Higher
Actual:
41 ft.

CA RESPONSE 1000369037
CA ENVIROSTOR N/A
CA HIST UST
CA FID UST
CA DEED
FINDS
ECHO
CA Cortese
CA EMI
CA HIST CORTESE
CA NON-CASE INFO

RESPONSE:

Facility ID: 1340111
 Site Type: State Response
 Site Type Detail: State Response or NPL
 Acres: 2.8
 National Priorities List: NO
 Cleanup Oversight Agencies: SMBRP
 Lead Agency Description: DTSC - Site Cleanup Program
 Project Manager: Tom Price
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Site Code: 200143
 Site Mgmt. Req.: REM, LUC, MON, GW, NOWN
 Assembly: 15
 Senate: 09
 Special Program Status: Not reported
 Status: Certified O&M - Land Use Restrictions Only
 Status Date: 02/17/2017
 Restricted Use: YES
 Funding: Responsible Party
 Latitude: 37.84857
 Longitude: -122.2864
 APN: 016-1506-001-02, 016-1506-001-02, 016-1506-010-01, 016-1506-011, 049-1506-004, 16-1528-119
 Past Use: RECYCLING - DRUM
 Potential COC : Arsenic Benzene Lead Polychlorinated biphenyls (PCBs) Tetrachloroethylene (PCE 1,1,1-Trichloroethane (TCA Trichloroethylene (TCE Vinyl chloride Carbon tetrachloride 1,1-Dichloroethane 1,2-Dichloroethane (EDC 1,2-Dichloroethylene (cis 1,2-Dichloroethylene (trans Dieldrin Toluene Zinc
 Confirmed COC: Toluene Polychlorinated biphenyls (PCBs Tetrachloroethylene (PCE 1,1,1-Trichloroethane (TCA Trichloroethylene (TCE Vinyl chloride Carbon tetrachloride 1,1-Dichloroethane 1,2-Dichloroethane (EDC 1,2-Dichloroethylene (cis 1,2-Dichloroethylene (trans Dieldrin Arsenic Benzene Lead Zinc
 Potential Description: OTH
 Alias Name: Not reported
 Alias Type: Not reported
 Completed Info:
 Completed Area Name: Not reported
 Completed Sub Area Name: Not reported
 Completed Document Type: Not reported
 Completed Date: Not reported
 Comments: Not reported
 Future Area Name: Not reported
 Future Sub Area Name: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MYERS DRUM - OAKLAND (Continued)

1000369037

Future Document Type: Not reported
 Future Due Date: Not reported
 Schedule Area Name: Not reported
 Schedule Sub Area Name: Not reported
 Schedule Document Type: Not reported
 Schedule Due Date: Not reported
 Schedule Revised Date: Not reported

ENVIROSTOR:

Facility ID: 1340111
 Status: Certified O&M - Land Use Restrictions Only
 Status Date: 02/17/2017
 Site Code: 200143
 Site Type: State Response
 Site Type Detailed: State Response or NPL
 Acres: 2.8
 NPL: NO
 Regulatory Agencies: SMBRP
 Lead Agency: SMBRP
 Program Manager: Tom Price
 Supervisor: Karen Toth
 Division Branch: Cleanup Berkeley
 Assembly: 15
 Senate: 09
 Special Program: Not reported
 Restricted Use: YES
 Site Mgmt Req: REM, LUC, MON, GW, NOWN
 Funding: Responsible Party
 Latitude: 37.84857
 Longitude: -122.2864
 APN: 016-1506-001-02, 016-1506-001-02, 016-1506-010-01, 016-1506-011, 049-1506-004, 16-1528-119
 Past Use: RECYCLING - DRUM
 Potential COC: Arsenic Benzene Lead Polychlorinated biphenyls (PCBs) Tetrachloroethylene (PCE 1,1,1-Trichloroethane (TCA Trichloroethylene (TCE Vinyl chloride Carbon tetrachloride 1,1-Dichloroethane 1,2-Dichloroethane (EDC 1,2-Dichloroethylene (cis 1,2-Dichloroethylene (trans Dieldrin Toluene Zinc
 Confirmed COC: Toluene Polychlorinated biphenyls (PCBs Tetrachloroethylene (PCE 1,1,1-Trichloroethane (TCA Trichloroethylene (TCE Vinyl chloride Carbon tetrachloride 1,1-Dichloroethane 1,2-Dichloroethane (EDC 1,2-Dichloroethylene (cis 1,2-Dichloroethylene (trans Dieldrin Arsenic Benzene Lead Zinc
 Potential Description: OTH
 Alias Name: Not reported
 Alias Type: Not reported
 Completed Info:
 Completed Area Name: Not reported
 Completed Sub Area Name: Not reported
 Completed Document Type: Not reported
 Completed Date: Not reported
 Comments: Not reported
 Future Area Name: Not reported
 Future Sub Area Name: Not reported
 Future Document Type: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

MYERS DRUM - OAKLAND (Continued)

1000369037

Future Due Date: Not reported
Schedule Area Name: Not reported
Schedule Sub Area Name: Not reported
Schedule Document Type: Not reported
Schedule Due Date: Not reported
Schedule Revised Date: Not reported

HIST UST:

File Number: 00036192
URL: <http://geotracker.waterboards.ca.gov/ustpdfs/pdf/00036192.pdf>
Region: STATE
Facility ID: 00000014527
Facility Type: Other
Other Type: DRUM RECONDITIONING
Contact Name: THURMAN CRABTREE
Telephone: 4152716200
Owner Name: MYERS DRUM COMPANY
Owner Address: 6549 SAN PABLO AVENUE
Owner City,St,Zip: OAKLAND, CA 94608
Total Tanks: 0004

Tank Num: 001
Container Num: 1
Year Installed: Not reported
Tank Capacity: 00008000
Tank Used for: PRODUCT
Type of Fuel: REGULAR
Container Construction Thickness: 1/4
Leak Detection: Stock Inventor

Tank Num: 002
Container Num: 2
Year Installed: Not reported
Tank Capacity: 00025000
Tank Used for: WASTE
Type of Fuel: Not reported
Container Construction Thickness: 6
Leak Detection: None

Tank Num: 003
Container Num: 3
Year Installed: Not reported
Tank Capacity: 00016000
Tank Used for: WASTE
Type of Fuel: Not reported
Container Construction Thickness: 6
Leak Detection: None

Tank Num: 004
Container Num: 4
Year Installed: Not reported
Tank Capacity: 00001000
Tank Used for: WASTE
Type of Fuel: WASTE OIL
Container Construction Thickness: 1/4
Leak Detection: None

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

MYERS DRUM - OAKLAND (Continued)

1000369037

[Click here for Geo Tracker PDF:](#)

CA FID UST:

Facility ID: 01002689
 Regulated By: UTNKA
 Regulated ID: 00041770
 Cortese Code: Not reported
 SIC Code: Not reported
 Facility Phone: 4156526847
 Mail To: Not reported
 Mailing Address: 6549 SAN PABLO AVE
 Mailing Address 2: Not reported
 Mailing City,St,Zip: OAKLAND 94608
 Contact: Not reported
 Contact Phone: Not reported
 DUNs Number: Not reported
 NPDES Number: Not reported
 EPA ID: Not reported
 Comments: Not reported
 Status: Active

DEED:

Envirostor ID: 1340111
 Area: PROJECT WIDE
 Sub Area: Not reported
 Site Type: STATE RESPONSE
 Status: CERTIFIED O&M - LAND USE RESTRICTIONS ONLY
 Agency: Not reported
 Covenant Uploaded: Not reported
 Deed Date(s): 09/21/2004
 File Name: Envirostor Land Use Restrictions

FINDS:

Registry ID: 110002635131

Environmental Interest/Information System

California Department of Toxic Substances Control EnviroStor System (DTSC-EnviroStor) is an online search and Geographic Information System (GIS) tool for identifying sites that have known contamination or sites for which there may be reasons to investigate further. The EnviroStor database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites.

NCDB (National Compliance Data Base) supports implementation of the Federal Insecticide, Fungicide, and Rodenticide Act (FIFRA) and the Toxic Substances Control Act (TSCA). The system tracks inspections in regions and states with cooperative agreements, enforcement actions, and settlements.

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

MYERS DRUM - OAKLAND (Continued)

1000369037

program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

[Click this hyperlink](#) while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1000369037
Registry ID: 110002635131
DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110002635131>

CORTESE:

Region: CORTESE
Envirostor Id: 1340111
Site/Facility Type: STATE RESPONSE
Cleanup Status: CERTIFIED O&M - LAND USE RESTRICTIONS ONLY - LAND USE RESTRICTIONS
Status Date: 02/17/2017
Site Code: 200143
Latitude: 37.848572
Longitude: -122.28644
Owner: Not reported
Enf Type: Not reported
Swat R: Not reported
Flag: envirostor
Order No: Not reported
Waste Discharge System No: Not reported
Effective Date: Not reported
Region 2: Not reported
WID Id: Not reported
Solid Waste Id No: Not reported
Waste Management Uit Name: Not reported
File Name: Haz Waste & Substances Sites

EMI:

Year: 1987
County Code: 1
Air Basin: SF
Facility ID: 1762
Air District Name: BA
SIC Code: 3411
Air District Name: BAY AREA AQMD
Community Health Air Pollution Info System: Not reported
Consolidated Emission Reporting Rule: Not reported
Total Organic Hydrocarbon Gases Tons/Yr: 3
Reactive Organic Gases Tons/Yr: 3
Carbon Monoxide Emissions Tons/Yr: 0
NOX - Oxides of Nitrogen Tons/Yr: 0
SOX - Oxides of Sulphur Tons/Yr: 0
Particulate Matter Tons/Yr: 0
Part. Matter 10 Micrometers and Smlr Tons/Yr:0

HIST CORTESE:

Region: CORTESE
Facility County Code: 1

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number _____

MYERS DRUM - OAKLAND (Continued)

1000369037

Reg By: CALSI
Reg Id: 01340111

NON-CASE INFO:

Global ID: SLT2O190293
Case Type: Non-Case Information
Status: Informational Item
Status Date: 06/02/2009
Lead Agency: SAN FRANCISCO BAY RWQCB (REGION 2)
Case Worker: UUU
Local Agency: Not reported
RB Case Number: 01S0201
Loc Case Number: Not reported
File Location: Not reported
Potential Contaminants of Concern: Not reported
Potential Media Affected: Not reported
Site History: Not reported
Begin Date: 2001-03-08 00:00:00
How Discovered: Not reported
How Discovered Description: Not reported
Stop Method: Not reported
Stop Description: Not reported
Latitude: 37.8487825032211
Longitude: -122.285815596573
Geotracker: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=SLT2O190293

**AB106
SE
1/2-1
0.993 mi.
5243 ft.**

**MYERS DRUM - OAKLAND
6549 SAN PABLO AVENUE
OAKLAND, CA 94608
Site 2 of 2 in cluster AB**

**CA HIST Cal-Sites S101272666
N/A**

**Relative:
Higher
Actual:
41 ft.**

Calsite:
Region: BERKELEY
Facility ID: 01340111
Facility Type: RP
Type: RESPONSIBLE PARTY
Branch: NC
Branch Name: NORTH COAST
File Name: Not reported
State Senate District: 12212004
Status: CERTIFIED OPERATION AND MAINTENANCE, ALL PLANNED ACTIVITIES IMPLEMENTED, REMEDIATION CONTINUES
Status Name: CERTIFIED / OPERATION & MAINTENANCE
Lead Agency: DEPT OF TOXIC SUBSTANCES CONTROL
NPL: Not Listed
SIC Code: 34
SIC Name: MANU - FABRICATED METAL PRODUCTS
Access: Uncontrolled
Cortese: Not reported
Hazardous Ranking Score: Not reported
Date Site Hazard Ranked: Not reported
Groundwater Contamination: Suspected
Staff Member Responsible for Site: TPARK
Supervisor Responsible for Site: Not reported
Region Water Control Board: SF
Region Water Control Board Name: SAN FRANCISCO BAY

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

MYERS DRUM - OAKLAND (Continued)

S101272666

Lat/Long Direction:	Not reported
Lat/Long (dms):	0 0 0 / 0 0 0
Lat/long Method:	Not reported
Lat/Long Description:	Not reported
State Assembly District Code:	16
State Senate District Code:	09
Facility ID:	01340111
Activity:	ORDER
Activity Name:	I/SE, IORSE, FFA, FFSRA, VCA, EA
AWP Code:	ISE
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	06281991
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	RA
Activity Name:	REMOVAL ACTION
AWP Code:	SUMPS
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	09301991
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	250
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	N
Activity Comments:	REMOVAL OF ALL CAUSTIC AND CHEMICAL LIQUID & SLUDGE.
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	PPP
Activity Name:	PUBLIC PARTICIPATION PLAN

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

MYERS DRUM - OAKLAND (Continued)

S101272666

AWP Code:	Not reported
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	12121991
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	RIFS
Activity Name:	REMEDIAL INVESTIGATION / FEASIBILITY STUDY
AWP Code:	Not reported
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	04121995
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	RAP
Activity Name:	REMEDIAL ACTION PLAN / RECORD OF DECISION
AWP Code:	Not reported
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	05281996
Est Person-Yrs to complete:	0.10000
Estimated Size:	M
Request to Delete Activity:	Not reported
Activity Status:	AWP

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MYERS DRUM - OAKLAND (Continued)

S101272666

Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	RIFS
Activity Name:	REMEDIAL INVESTIGATION / FEASIBILITY STUDY
AWP Code:	AMEND
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	02231996
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	CEQA
Activity Name:	CEQA INCLUDING NEGATIVE DECS
AWP Code:	NEGD
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	05241996
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number _____
EPA ID Number _____

MYERS DRUM - OAKLAND (Continued)

S101272666

For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	RMDL
Activity Name:	REMEDIAL ACTION (RAP REQUIRED)
AWP Code:	PHA I
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	03211999
Est Person-Yrs to complete:	0
Estimated Size:	M
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	15500
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	X
Action Included Fencing:	Not reported
Removal Action Certification:	N
Activity Comments:	APPROXIMATELY 14,800 CUBIC YARDS OF CONTAMINATED SOIL, 570 TONS OF CONCRETE, WOOD, AND CONSTRUCTION DEBRIS AND 20,000 GALLONS OF WATER WAS REMOVED OFF SITE. ADDITIONAL 12 MONITORING WELLS DECOMMISSIONED.
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	CERT
Activity Name:	CERTIFICATION
AWP Code:	Not reported
Proposed Budget:	0
AWP Completion Date:	09302004
Revised Due Date:	Not reported
Comments Date:	12212004
Est Person-Yrs to complete:	0
Estimated Size:	M
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	DES
Activity Name:	DESIGN

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MYERS DRUM - OAKLAND (Continued)

S101272666

AWP Code:	DEMOL
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	10251996
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	DES
Activity Name:	DESIGN
AWP Code:	PHA I
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	06261998
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	DES
Activity Name:	DESIGN
AWP Code:	PHAI I
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	08311998
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MYERS DRUM - OAKLAND (Continued)

S101272666

Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	RMDL
Activity Name:	REMEDIAL ACTION (RAP REQUIRED)
AWP Code:	PHAI1
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	12312003
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	DES
Activity Name:	DESIGN
AWP Code:	Not reported
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	08052002
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MYERS DRUM - OAKLAND (Continued)

S101272666

For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Facility ID:	01340111
Activity:	RAP
Activity Name:	REMEDIAL ACTION PLAN / RECORD OF DECISION
AWP Code:	ESD
Proposed Budget:	0
AWP Completion Date:	Not reported
Revised Due Date:	Not reported
Comments Date:	12312003
Est Person-Yrs to complete:	0
Estimated Size:	Not reported
Request to Delete Activity:	Not reported
Activity Status:	AWP
Definition of Status:	ANNUAL WORKPLAN - ACTIVE SITE
Liquids Removed (Gals):	0
Liquids Treated (Gals):	0
Action Included Capping:	Not reported
Well Decommissioned:	Not reported
Action Included Fencing:	Not reported
Removal Action Certification:	Not reported
Activity Comments:	Not reported
For Commercial Reuse:	0
For Industrial Reuse:	0
For Residential Reuse:	0
Unknown Type:	0
Alternate Address:	6549 SAN PABLO AVENUE
Alternate City,St,Zip:	OAKLAND, CA 94608
Background Info:	The site was a drum recycling facility located in a commercial, industrial, and residential area. Due to poor drum recycling practices, there were releases of hazardous substances at the site.
Comments Date:	02231996
Comments:	Amended RIFS. Feasibility Study amended to propose soil and
Comments Date:	02231996
Comments:	groundwater removal to residential use standards.
Comments Date:	03211999
Comments:	Completed Remedial Action. The RA included excavation of
Comments Date:	03211999
Comments:	contaminated soil for residential development. Approximately
Comments Date:	03211999
Comments:	22,500 tons of contaminated soils were excavated and disposed
Comments Date:	03211999
Comments:	off-site. Approximately 20,000 gallons of groundwater were
Comments Date:	03211999
Comments:	encountered during excavation and disposed off-site.
Comments Date:	04121995
Comments:	Completed RIFS. Feasibility Study approved proposing soil and
Comments Date:	04121995
Comments:	groundwater removal to industrial use standards.
Comments Date:	04281989
Comments:	DHS inspected site as part of drum recycling project.
Comments Date:	05222000
Comments:	In-situ groundwater treatment was performed using
Comments Date:	05222000
Comments:	hydrogen-releasing compounds (HRC). In order to measure the

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MYERS DRUM - OAKLAND (Continued)

S101272666

Comments Date: 05222000
 Comments: effectiveness of the HRC treatment, groundwater was sampled
 Comments Date: 05222000
 Comments: approximately every 4-6 weeks over a 12 month period.
 Comments Date: 05241996
 Comments: Approved CEQA Negative Declaration.
 Comments Date: 05281996
 Comments: Approved RAP. The plan required excavation of contaminated soil
 Comments Date: 05281996
 Comments: to the residential cleanup levels and groundwater extraction and
 Comments Date: 05281996
 Comments: treatment.
 Comments Date: 06151989
 Comments: Completed PA. Due to poor drum recycling practices, there have
 Comments Date: 06151989
 Comments: been periodic releases of hazardous substances at the site.
 Comments Date: 06151989
 Comments: Soils at the site were contaminated with metals (lead, zinc, and
 Comments Date: 06151989
 Comments: arsenic); volatile organic compounds (toluene, xylene, and
 Comments Date: 06151989
 Comments: propanol), semi-volatile organic compounds (naphthalene and
 Comments Date: 06151989
 Comments: phenol), and total petroleum hydrocarbons. Two localized
 Comments Date: 06151989
 Comments: groundwater plume were identified.
 Comments Date: 06281991
 Comments: Issued I&SE Order.
 Comments Date: 09212004
 Comments: Recorded Deed Restriction. A deed restriction was recorded for
 Comments Date: 09212004
 Comments: the significant area where residuals remain to prevent use of
 Comments Date: 09212004
 Comments: the underlying groundwater.
 Comments Date: 09271991
 Comments: The Department entered into a settlement with Kaiser in
 Comments Date: 09271991
 Comments: connection with the company's bankruptcy for both of the Myers
 Comments Date: 09271991
 Comments: Oakland and Emeryville sites.
 Comments Date: 09301991
 Comments: Completed RA. Eleven sumps were drained and the integrity of
 Comments Date: 09301991
 Comments: the sumps were checked. 250 cubic yards of waste removed.
 Comments Date: 10251996
 Comments: Approved Phase IA Design for building demolition.
 Comments Date: 12212004
 Comments: Certified Site. A residential/commercial development is being
 Comments Date: 12212004
 Comments: developed on the property.
 Comments Date: 12312003
 Comments: Remedial Action Plan modification was approved that changed the
 Comments Date: 12312003
 Comments: groundwater remedy from extraction and treatment to long term
 Comments Date: 12312003
 Comments: groundwater monitoring and deed restrictions.
 ID Name: CALSTARS CODE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site _____ Database(s) _____ EDR ID Number
EPA ID Number

MYERS DRUM - OAKLAND (Continued)

S101272666

ID Value: 200143
 ID Name: BEP DATABASE PCODE
 ID Value: P20014
 ID Name: EPA IDENTIFICATION NUMBER
 ID Value: CAD009123217
 Alternate Name: MYERS CONTAINER CORPORATION
 Alternate Name: KAISER - FORMER OWNER
 Alternate Name: MYERS DRUM - OAKLAND
 Alternate Name: MEYERS DRUM
 Alternate Name: Not reported
 Special Programs Code: Not reported
 Special Programs Name: Not reported

Count: 4 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
BERKELEY	S116165216	KRENZ INC	ASHBY AT 6TH STREET	94710	CA ENVIROSTOR
BERKELEY	S116165235	BERKELEY LANDFILL COMPANY	BETWEEN I-80, FRONTAGE RD & MA	94710	CA ENVIROSTOR
BERKELEY	S106234906	NORTH BASIN STRIP-II	I-80 FRONTAGE ROAD		CA CPS-SLIC
OAKLAND	S103881512	UPTOWN THEATER DISTRICT	BORDERED BY 20TH ST SAN PABLO		CA CPS-SLIC

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 12/11/2017	Source: EPA
Date Data Arrived at EDR: 12/22/2017	Telephone: N/A
Date Made Active in Reports: 01/05/2018	Last EDR Contact: 04/27/2018
Number of Days to Update: 14	Next Scheduled EDR Contact: 07/16/2018
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 3
Telephone 215-814-5418

EPA Region 4
Telephone 404-562-8033

EPA Region 5
Telephone 312-886-6686

EPA Region 10
Telephone 206-553-8665

EPA Region 6
Telephone: 214-655-6659

EPA Region 7
Telephone: 913-551-7247

EPA Region 8
Telephone: 303-312-6774

EPA Region 9
Telephone: 415-947-4246

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 12/11/2017	Source: EPA
Date Data Arrived at EDR: 12/22/2017	Telephone: N/A
Date Made Active in Reports: 01/05/2018	Last EDR Contact: 04/27/2018
Number of Days to Update: 14	Next Scheduled EDR Contact: 07/16/2018
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/1991	Source: EPA
Date Data Arrived at EDR: 02/02/1994	Telephone: 202-564-4267
Date Made Active in Reports: 03/30/1994	Last EDR Contact: 08/15/2011
Number of Days to Update: 56	Next Scheduled EDR Contact: 11/28/2011
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal Delisted NPL site list

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 12/11/2017	Source: EPA
Date Data Arrived at EDR: 12/22/2017	Telephone: N/A
Date Made Active in Reports: 01/05/2018	Last EDR Contact: 04/27/2018
Number of Days to Update: 14	Next Scheduled EDR Contact: 07/16/2018
	Data Release Frequency: Quarterly

Federal CERCLIS list

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 11/07/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/05/2017	Telephone: 703-603-8704
Date Made Active in Reports: 04/07/2017	Last EDR Contact: 04/06/2018
Number of Days to Update: 92	Next Scheduled EDR Contact: 07/16/2018
	Data Release Frequency: Varies

SEMS: Superfund Enterprise Management System

SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly know as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 01/09/2018	Source: EPA
Date Data Arrived at EDR: 02/06/2018	Telephone: 800-424-9346
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 04/27/2018
Number of Days to Update: 66	Next Scheduled EDR Contact: 07/30/2018
	Data Release Frequency: Quarterly

Federal CERCLIS NFRAP site list

SEMS-ARCHIVE: Superfund Enterprise Management System Archive

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

Date of Government Version: 01/09/2018	Source: EPA
Date Data Arrived at EDR: 02/06/2018	Telephone: 800-424-9346
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 04/27/2018
Number of Days to Update: 66	Next Scheduled EDR Contact: 07/30/2018
	Data Release Frequency: Quarterly

Federal RCRA CORRACTS facilities list

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 12/11/2017	Source: EPA
Date Data Arrived at EDR: 12/26/2017	Telephone: 800-424-9346
Date Made Active in Reports: 02/09/2018	Last EDR Contact: 03/28/2018
Number of Days to Update: 45	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 12/11/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/26/2017	Telephone: (415) 495-8895
Date Made Active in Reports: 02/09/2018	Last EDR Contact: 03/28/2018
Number of Days to Update: 45	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

Federal RCRA generators list

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 12/11/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/26/2017	Telephone: (415) 495-8895
Date Made Active in Reports: 02/09/2018	Last EDR Contact: 03/28/2018
Number of Days to Update: 45	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 12/11/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/26/2017	Telephone: (415) 495-8895
Date Made Active in Reports: 02/09/2018	Last EDR Contact: 03/28/2018
Number of Days to Update: 45	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

RCRA-CESQG: RCRA - Conditionally Exempt Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 12/11/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/26/2017	Telephone: (415) 495-8895
Date Made Active in Reports: 02/09/2018	Last EDR Contact: 03/28/2018
Number of Days to Update: 45	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

Federal institutional controls / engineering controls registries

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 02/16/2018	Source: Department of the Navy
Date Data Arrived at EDR: 02/22/2018	Telephone: 843-820-7326
Date Made Active in Reports: 05/11/2018	Last EDR Contact: 05/09/2018
Number of Days to Update: 78	Next Scheduled EDR Contact: 08/27/2018
	Data Release Frequency: Varies

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 02/13/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/27/2018	Telephone: 703-603-0695
Date Made Active in Reports: 05/11/2018	Last EDR Contact: 02/27/2018
Number of Days to Update: 73	Next Scheduled EDR Contact: 06/11/2018
	Data Release Frequency: Varies

US INST CONTROL: Sites with Institutional Controls

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 02/13/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/27/2018	Telephone: 703-603-0695
Date Made Active in Reports: 05/11/2018	Last EDR Contact: 02/27/2018
Number of Days to Update: 73	Next Scheduled EDR Contact: 06/11/2018
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 01/16/2018	Source: National Response Center, United States Coast Guard
Date Data Arrived at EDR: 01/19/2018	Telephone: 202-267-2180
Date Made Active in Reports: 03/23/2018	Last EDR Contact: 03/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

State- and tribal - equivalent NPL

RESPONSE: State Response Sites

Identifies confirmed release sites where DTSC is involved in remediation, either in a lead or oversight capacity. These confirmed release sites are generally high-priority and high potential risk.

Date of Government Version: 01/30/2018	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 01/31/2018	Telephone: 916-323-3400
Date Made Active in Reports: 03/19/2018	Last EDR Contact: 05/02/2018
Number of Days to Update: 47	Next Scheduled EDR Contact: 08/13/2018
	Data Release Frequency: Quarterly

State- and tribal - equivalent CERCLIS

ENVIROSTOR: EnviroStor Database

The Department of Toxic Substances Control's (DTSC's) Site Mitigation and Brownfields Reuse Program's (SMBRP's) EnviroStor database identifies sites that have known contamination or sites for which there may be reasons to investigate further. The database includes the following site types: Federal Superfund sites (National Priorities List (NPL)); State Response, including Military Facilities and State Superfund; Voluntary Cleanup; and School sites. EnviroStor provides similar information to the information that was available in CalSites, and provides additional site information, including, but not limited to, identification of formerly-contaminated properties that have been released for reuse, properties where environmental deed restrictions have been recorded to prevent inappropriate land uses, and risk characterization information that is used to assess potential impacts to public health and the environment at contaminated sites.

Date of Government Version: 01/30/2018	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 01/31/2018	Telephone: 916-323-3400
Date Made Active in Reports: 03/19/2018	Last EDR Contact: 05/02/2018
Number of Days to Update: 47	Next Scheduled EDR Contact: 08/13/2018
	Data Release Frequency: Quarterly

State and tribal landfill and/or solid waste disposal site lists

SWF/LF (SWIS): Solid Waste Information System

Active, Closed and Inactive Landfills. SWF/LF records typically contain an inventory of solid waste disposal facilities or landfills. These may be active or inactive facilities or open dumps that failed to meet RCRA Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 02/12/2018	Source: Department of Resources Recycling and Recovery
Date Data Arrived at EDR: 02/14/2018	Telephone: 916-341-6320
Date Made Active in Reports: 04/03/2018	Last EDR Contact: 05/16/2018
Number of Days to Update: 48	Next Scheduled EDR Contact: 08/27/2018
	Data Release Frequency: Quarterly

State and tribal leaking storage tank lists

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

LUST REG 7: Leaking Underground Storage Tank Case Listing

Leaking Underground Storage Tank locations. Imperial, Riverside, San Diego, Santa Barbara counties.

Date of Government Version: 02/26/2004
Date Data Arrived at EDR: 02/26/2004
Date Made Active in Reports: 03/24/2004
Number of Days to Update: 27

Source: California Regional Water Quality Control Board Colorado River Basin Region (7)
Telephone: 760-776-8943
Last EDR Contact: 08/01/2011
Next Scheduled EDR Contact: 11/14/2011
Data Release Frequency: No Update Planned

LUST: Leaking Underground Fuel Tank Report (GEOTRACKER)

Leaking Underground Storage Tank (LUST) Sites included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 03/12/2018
Date Data Arrived at EDR: 03/14/2018
Date Made Active in Reports: 03/21/2018
Number of Days to Update: 7

Source: State Water Resources Control Board
Telephone: see region list
Last EDR Contact: 03/14/2018
Next Scheduled EDR Contact: 06/25/2018
Data Release Frequency: Quarterly

LUST REG 9: Leaking Underground Storage Tank Report

Orange, Riverside, San Diego counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 03/01/2001
Date Data Arrived at EDR: 04/23/2001
Date Made Active in Reports: 05/21/2001
Number of Days to Update: 28

Source: California Regional Water Quality Control Board San Diego Region (9)
Telephone: 858-637-5595
Last EDR Contact: 09/26/2011
Next Scheduled EDR Contact: 01/09/2012
Data Release Frequency: No Update Planned

LUST REG 8: Leaking Underground Storage Tanks

California Regional Water Quality Control Board Santa Ana Region (8). For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 02/14/2005
Date Data Arrived at EDR: 02/15/2005
Date Made Active in Reports: 03/28/2005
Number of Days to Update: 41

Source: California Regional Water Quality Control Board Santa Ana Region (8)
Telephone: 909-782-4496
Last EDR Contact: 08/15/2011
Next Scheduled EDR Contact: 11/28/2011
Data Release Frequency: Varies

LUST REG 6V: Leaking Underground Storage Tank Case Listing

Leaking Underground Storage Tank locations. Inyo, Kern, Los Angeles, Mono, San Bernardino counties.

Date of Government Version: 06/07/2005
Date Data Arrived at EDR: 06/07/2005
Date Made Active in Reports: 06/29/2005
Number of Days to Update: 22

Source: California Regional Water Quality Control Board Victorville Branch Office (6)
Telephone: 760-241-7365
Last EDR Contact: 09/12/2011
Next Scheduled EDR Contact: 12/26/2011
Data Release Frequency: No Update Planned

LUST REG 6L: Leaking Underground Storage Tank Case Listing

For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 09/09/2003
Date Data Arrived at EDR: 09/10/2003
Date Made Active in Reports: 10/07/2003
Number of Days to Update: 27

Source: California Regional Water Quality Control Board Lahontan Region (6)
Telephone: 530-542-5572
Last EDR Contact: 09/12/2011
Next Scheduled EDR Contact: 12/26/2011
Data Release Frequency: No Update Planned

LUST REG 5: Leaking Underground Storage Tank Database

Leaking Underground Storage Tank locations. Alameda, Alpine, Amador, Butte, Colusa, Contra Costa, Calveras, El Dorado, Fresno, Glenn, Kern, Kings, Lake, Lassen, Madera, Mariposa, Merced, Modoc, Napa, Nevada, Placer, Plumas, Sacramento, San Joaquin, Shasta, Solano, Stanislaus, Sutter, Tehama, Tulare, Tuolumne, Yolo, Yuba counties.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/01/2008
Date Data Arrived at EDR: 07/22/2008
Date Made Active in Reports: 07/31/2008
Number of Days to Update: 9

Source: California Regional Water Quality Control Board Central Valley Region (5)
Telephone: 916-464-4834
Last EDR Contact: 07/01/2011
Next Scheduled EDR Contact: 10/17/2011
Data Release Frequency: No Update Planned

LUST REG 4: Underground Storage Tank Leak List

Los Angeles, Ventura counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 09/07/2004
Date Data Arrived at EDR: 09/07/2004
Date Made Active in Reports: 10/12/2004
Number of Days to Update: 35

Source: California Regional Water Quality Control Board Los Angeles Region (4)
Telephone: 213-576-6710
Last EDR Contact: 09/06/2011
Next Scheduled EDR Contact: 12/19/2011
Data Release Frequency: No Update Planned

LUST REG 3: Leaking Underground Storage Tank Database

Leaking Underground Storage Tank locations. Monterey, San Benito, San Luis Obispo, Santa Barbara, Santa Cruz counties.

Date of Government Version: 05/19/2003
Date Data Arrived at EDR: 05/19/2003
Date Made Active in Reports: 06/02/2003
Number of Days to Update: 14

Source: California Regional Water Quality Control Board Central Coast Region (3)
Telephone: 805-542-4786
Last EDR Contact: 07/18/2011
Next Scheduled EDR Contact: 10/31/2011
Data Release Frequency: No Update Planned

LUST REG 2: Fuel Leak List

Leaking Underground Storage Tank locations. Alameda, Contra Costa, Marin, Napa, San Francisco, San Mateo, Santa Clara, Solano, Sonoma counties.

Date of Government Version: 09/30/2004
Date Data Arrived at EDR: 10/20/2004
Date Made Active in Reports: 11/19/2004
Number of Days to Update: 30

Source: California Regional Water Quality Control Board San Francisco Bay Region (2)
Telephone: 510-622-2433
Last EDR Contact: 09/19/2011
Next Scheduled EDR Contact: 01/02/2012
Data Release Frequency: Quarterly

LUST REG 1: Active Toxic Site Investigation

Del Norte, Humboldt, Lake, Mendocino, Modoc, Siskiyou, Sonoma, Trinity counties. For more current information, please refer to the State Water Resources Control Board's LUST database.

Date of Government Version: 02/01/2001
Date Data Arrived at EDR: 02/28/2001
Date Made Active in Reports: 03/29/2001
Number of Days to Update: 29

Source: California Regional Water Quality Control Board North Coast (1)
Telephone: 707-570-3769
Last EDR Contact: 08/01/2011
Next Scheduled EDR Contact: 11/14/2011
Data Release Frequency: No Update Planned

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 10/12/2017
Date Data Arrived at EDR: 01/23/2018
Date Made Active in Reports: 04/13/2018
Number of Days to Update: 80

Source: EPA Region 8
Telephone: 303-312-6271
Last EDR Contact: 05/18/2018
Next Scheduled EDR Contact: 08/06/2018
Data Release Frequency: Varies

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 09/30/2017
Date Data Arrived at EDR: 01/23/2018
Date Made Active in Reports: 04/13/2018
Number of Days to Update: 80

Source: Environmental Protection Agency
Telephone: 415-972-3372
Last EDR Contact: 05/18/2018
Next Scheduled EDR Contact: 08/06/2018
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 10/24/2017	Source: EPA Region 10
Date Data Arrived at EDR: 01/23/2018	Telephone: 206-553-2857
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/18/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land
A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 10/14/2017	Source: EPA Region 1
Date Data Arrived at EDR: 01/23/2018	Telephone: 617-918-1313
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/18/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 10/14/2017	Source: EPA Region 4
Date Data Arrived at EDR: 01/23/2018	Telephone: 404-562-8677
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/16/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 01/06/2018	Source: EPA Region 6
Date Data Arrived at EDR: 01/23/2018	Telephone: 214-665-6597
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/18/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land
Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 10/16/2017	Source: EPA, Region 5
Date Data Arrived at EDR: 01/23/2018	Telephone: 312-886-7439
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/18/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 10/12/2017	Source: EPA Region 7
Date Data Arrived at EDR: 01/23/2018	Telephone: 913-551-7003
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/18/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

CPS-SLIC: Statewide SLIC Cases (GEOTRACKER)

Cleanup Program Sites (CPS; also known as Site Cleanups [SC] and formerly known as Spills, Leaks, Investigations, and Cleanups [SLIC] sites) included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 03/12/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 03/21/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 7	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SLIC REG 1: Active Toxic Site Investigations

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/03/2003
Date Data Arrived at EDR: 04/07/2003
Date Made Active in Reports: 04/25/2003
Number of Days to Update: 18

Source: California Regional Water Quality Control Board, North Coast Region (1)
Telephone: 707-576-2220
Last EDR Contact: 08/01/2011
Next Scheduled EDR Contact: 11/14/2011
Data Release Frequency: No Update Planned

SLIC REG 2: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/30/2004
Date Data Arrived at EDR: 10/20/2004
Date Made Active in Reports: 11/19/2004
Number of Days to Update: 30

Source: Regional Water Quality Control Board San Francisco Bay Region (2)
Telephone: 510-286-0457
Last EDR Contact: 09/19/2011
Next Scheduled EDR Contact: 01/02/2012
Data Release Frequency: Quarterly

SLIC REG 3: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 05/18/2006
Date Data Arrived at EDR: 05/18/2006
Date Made Active in Reports: 06/15/2006
Number of Days to Update: 28

Source: California Regional Water Quality Control Board Central Coast Region (3)
Telephone: 805-549-3147
Last EDR Contact: 07/18/2011
Next Scheduled EDR Contact: 10/31/2011
Data Release Frequency: Semi-Annually

SLIC REG 4: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 11/17/2004
Date Data Arrived at EDR: 11/18/2004
Date Made Active in Reports: 01/04/2005
Number of Days to Update: 47

Source: Region Water Quality Control Board Los Angeles Region (4)
Telephone: 213-576-6600
Last EDR Contact: 07/01/2011
Next Scheduled EDR Contact: 10/17/2011
Data Release Frequency: Varies

SLIC REG 5: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/01/2005
Date Data Arrived at EDR: 04/05/2005
Date Made Active in Reports: 04/21/2005
Number of Days to Update: 16

Source: Regional Water Quality Control Board Central Valley Region (5)
Telephone: 916-464-3291
Last EDR Contact: 09/12/2011
Next Scheduled EDR Contact: 12/26/2011
Data Release Frequency: Semi-Annually

SLIC REG 6V: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 05/24/2005
Date Data Arrived at EDR: 05/25/2005
Date Made Active in Reports: 06/16/2005
Number of Days to Update: 22

Source: Regional Water Quality Control Board, Victorville Branch
Telephone: 619-241-6583
Last EDR Contact: 08/15/2011
Next Scheduled EDR Contact: 11/28/2011
Data Release Frequency: Semi-Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SLIC REG 6L: SLIC Sites

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/07/2004
Date Data Arrived at EDR: 09/07/2004
Date Made Active in Reports: 10/12/2004
Number of Days to Update: 35

Source: California Regional Water Quality Control Board, Lahontan Region
Telephone: 530-542-5574
Last EDR Contact: 08/15/2011
Next Scheduled EDR Contact: 11/28/2011
Data Release Frequency: No Update Planned

SLIC REG 7: SLIC List

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 11/24/2004
Date Data Arrived at EDR: 11/29/2004
Date Made Active in Reports: 01/04/2005
Number of Days to Update: 36

Source: California Regional Quality Control Board, Colorado River Basin Region
Telephone: 760-346-7491
Last EDR Contact: 08/01/2011
Next Scheduled EDR Contact: 11/14/2011
Data Release Frequency: No Update Planned

SLIC REG 8: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 04/03/2008
Date Data Arrived at EDR: 04/03/2008
Date Made Active in Reports: 04/14/2008
Number of Days to Update: 11

Source: California Region Water Quality Control Board Santa Ana Region (8)
Telephone: 951-782-3298
Last EDR Contact: 09/12/2011
Next Scheduled EDR Contact: 12/26/2011
Data Release Frequency: Semi-Annually

SLIC REG 9: Spills, Leaks, Investigation & Cleanup Cost Recovery Listing

The SLIC (Spills, Leaks, Investigations and Cleanup) program is designed to protect and restore water quality from spills, leaks, and similar discharges.

Date of Government Version: 09/10/2007
Date Data Arrived at EDR: 09/11/2007
Date Made Active in Reports: 09/28/2007
Number of Days to Update: 17

Source: California Regional Water Quality Control Board San Diego Region (9)
Telephone: 858-467-2980
Last EDR Contact: 08/08/2011
Next Scheduled EDR Contact: 11/21/2011
Data Release Frequency: Annually

State and tribal registered storage tank lists

FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 05/15/2017
Date Data Arrived at EDR: 05/30/2017
Date Made Active in Reports: 10/13/2017
Number of Days to Update: 136

Source: FEMA
Telephone: 202-646-5797
Last EDR Contact: 04/13/2018
Next Scheduled EDR Contact: 07/23/2018
Data Release Frequency: Varies

UST CLOSURE: Proposed Closure of Underground Storage Tank (UST) Cases

UST cases that are being considered for closure by either the State Water Resources Control Board or the Executive Director have been posted for a 60-day public comment period. UST Case Closures being proposed for consideration by the State Water Resources Control Board. These are primarily UST cases that meet closure criteria under the decisional framework in State Water Board Resolution No. 92-49 and other Board orders. UST Case Closures proposed for consideration by the Executive Director pursuant to State Water Board Resolution No. 2012-0061. These are cases that meet the criteria of the Low-Threat UST Case Closure Policy. UST Case Closure Review Denials and Approved Orders.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/08/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 916-327-7844
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 03/14/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Varies

MILITARY UST SITES: Military UST Sites (GEOTRACKER)

Military ust sites

Date of Government Version: 03/12/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Varies

UST: Active UST Facilities

Active UST facilities gathered from the local regulatory agencies

Date of Government Version: 03/12/2018	Source: SWRCB
Date Data Arrived at EDR: 03/14/2018	Telephone: 916-341-5851
Date Made Active in Reports: 03/29/2018	Last EDR Contact: 03/14/2018
Number of Days to Update: 15	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Semi-Annually

AST: Aboveground Petroleum Storage Tank Facilities

A listing of aboveground storage tank petroleum storage tank locations.

Date of Government Version: 07/06/2016	Source: California Environmental Protection Agency
Date Data Arrived at EDR: 07/12/2016	Telephone: 916-327-5092
Date Made Active in Reports: 09/19/2016	Last EDR Contact: 03/21/2018
Number of Days to Update: 69	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 10/14/2017	Source: EPA, Region 1
Date Data Arrived at EDR: 01/23/2018	Telephone: 617-918-1313
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/18/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 10/12/2017	Source: EPA Region 8
Date Data Arrived at EDR: 01/23/2018	Telephone: 303-312-6137
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/18/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 01/13/2018	Source: EPA Region 7
Date Data Arrived at EDR: 01/23/2018	Telephone: 913-551-7003
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/18/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 04/24/2017	Source: EPA Region 6
Date Data Arrived at EDR: 07/27/2017	Telephone: 214-665-7591
Date Made Active in Reports: 12/08/2017	Last EDR Contact: 05/18/2018
Number of Days to Update: 134	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 09/30/2017	Source: EPA Region 9
Date Data Arrived at EDR: 01/23/2018	Telephone: 415-972-3368
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/18/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 10/24/2017	Source: EPA Region 10
Date Data Arrived at EDR: 01/23/2018	Telephone: 206-553-2857
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/18/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 10/14/2017	Source: EPA Region 4
Date Data Arrived at EDR: 01/23/2018	Telephone: 404-562-9424
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/16/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 10/16/2017	Source: EPA Region 5
Date Data Arrived at EDR: 01/23/2018	Telephone: 312-886-6136
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 05/18/2018
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

State and tribal voluntary cleanup sites

INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008	Source: EPA, Region 7
Date Data Arrived at EDR: 04/22/2008	Telephone: 913-551-7365
Date Made Active in Reports: 05/19/2008	Last EDR Contact: 04/20/2009
Number of Days to Update: 27	Next Scheduled EDR Contact: 07/20/2009
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 07/27/2015	Source: EPA, Region 1
Date Data Arrived at EDR: 09/29/2015	Telephone: 617-918-1102
Date Made Active in Reports: 02/18/2016	Last EDR Contact: 03/21/2018
Number of Days to Update: 142	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Varies

VCP: Voluntary Cleanup Program Properties

Contains low threat level properties with either confirmed or unconfirmed releases and the project proponents have request that DTSC oversee investigation and/or cleanup activities and have agreed to provide coverage for DTSC's costs.

Date of Government Version: 01/30/2018	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 01/31/2018	Telephone: 916-323-3400
Date Made Active in Reports: 03/19/2018	Last EDR Contact: 05/02/2018
Number of Days to Update: 47	Next Scheduled EDR Contact: 08/13/2018
	Data Release Frequency: Quarterly

State and tribal Brownfields sites

BROWNFIELDS: Considered Brownfields Sites Listing

A listing of sites the SWRCB considers to be Brownfields since these are sites have come to them through the MOA Process.

Date of Government Version: 03/26/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/27/2018	Telephone: 916-323-7905
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 03/27/2018
Number of Days to Update: 38	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 01/19/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/19/2018	Telephone: 202-566-2777
Date Made Active in Reports: 02/09/2018	Last EDR Contact: 03/21/2018
Number of Days to Update: 21	Next Scheduled EDR Contact: 07/02/2018
	Data Release Frequency: Semi-Annually

Local Lists of Landfill / Solid Waste Disposal Sites

WMUDS/SWAT: Waste Management Unit Database

Waste Management Unit Database System. WMUDS is used by the State Water Resources Control Board staff and the Regional Water Quality Control Boards for program tracking and inventory of waste management units. WMUDS is composed of the following databases: Facility Information, Scheduled Inspections Information, Waste Management Unit Information, SWAT Program Information, SWAT Report Summary Information, SWAT Report Summary Data, Chapter 15 (formerly Subchapter 15) Information, Chapter 15 Monitoring Parameters, TPCA Program Information, RCRA Program Information, Closure Information, and Interested Parties Information.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/01/2000
Date Data Arrived at EDR: 04/10/2000
Date Made Active in Reports: 05/10/2000
Number of Days to Update: 30

Source: State Water Resources Control Board
Telephone: 916-227-4448
Last EDR Contact: 05/03/2018
Next Scheduled EDR Contact: 08/13/2018
Data Release Frequency: No Update Planned

SWRCY: Recycler Database

A listing of recycling facilities in California.

Date of Government Version: 03/12/2018
Date Data Arrived at EDR: 03/14/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 51

Source: Department of Conservation
Telephone: 916-323-3836
Last EDR Contact: 03/14/2018
Next Scheduled EDR Contact: 06/25/2018
Data Release Frequency: Quarterly

HAULERS: Registered Waste Tire Haulers Listing

A listing of registered waste tire haulers.

Date of Government Version: 02/08/2018
Date Data Arrived at EDR: 02/09/2018
Date Made Active in Reports: 03/20/2018
Number of Days to Update: 39

Source: Integrated Waste Management Board
Telephone: 916-341-6422
Last EDR Contact: 05/22/2018
Next Scheduled EDR Contact: 08/27/2018
Data Release Frequency: Varies

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998
Date Data Arrived at EDR: 12/03/2007
Date Made Active in Reports: 01/24/2008
Number of Days to Update: 52

Source: Environmental Protection Agency
Telephone: 703-308-8245
Last EDR Contact: 01/30/2018
Next Scheduled EDR Contact: 05/14/2018
Data Release Frequency: Varies

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009
Date Data Arrived at EDR: 05/07/2009
Date Made Active in Reports: 09/21/2009
Number of Days to Update: 137

Source: EPA, Region 9
Telephone: 415-947-4219
Last EDR Contact: 04/18/2018
Next Scheduled EDR Contact: 08/06/2018
Data Release Frequency: No Update Planned

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985
Date Data Arrived at EDR: 08/09/2004
Date Made Active in Reports: 09/17/2004
Number of Days to Update: 39

Source: Environmental Protection Agency
Telephone: 800-424-9346
Last EDR Contact: 06/09/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

IHS OPEN DUMPS: Open Dumps on Indian Land

A listing of all open dumps located on Indian Land in the United States.

Date of Government Version: 04/01/2014
Date Data Arrived at EDR: 08/06/2014
Date Made Active in Reports: 01/29/2015
Number of Days to Update: 176

Source: Department of Health & Human Services, Indian Health Service
Telephone: 301-443-1452
Last EDR Contact: 05/04/2018
Next Scheduled EDR Contact: 08/13/2018
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Local Lists of Hazardous waste / Contaminated Sites

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations that have been removed from the DEAs National Clandestine Laboratory Register.

Date of Government Version: 02/22/2018	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 03/01/2018	Telephone: 202-307-1000
Date Made Active in Reports: 05/11/2018	Last EDR Contact: 02/27/2018
Number of Days to Update: 71	Next Scheduled EDR Contact: 06/11/2018
	Data Release Frequency: No Update Planned

HIST CAL-SITES: Calsites Database

The Calsites database contains potential or confirmed hazardous substance release properties. In 1996, California EPA reevaluated and significantly reduced the number of sites in the Calsites database. No longer updated by the state agency. It has been replaced by ENVIROSTOR.

Date of Government Version: 08/08/2005	Source: Department of Toxic Substance Control
Date Data Arrived at EDR: 08/03/2006	Telephone: 916-323-3400
Date Made Active in Reports: 08/24/2006	Last EDR Contact: 02/23/2009
Number of Days to Update: 21	Next Scheduled EDR Contact: 05/25/2009
	Data Release Frequency: No Update Planned

SCH: School Property Evaluation Program

This category contains proposed and existing school sites that are being evaluated by DTSC for possible hazardous materials contamination. In some cases, these properties may be listed in the CalSites category depending on the level of threat to public health and safety or the environment they pose.

Date of Government Version: 01/30/2018	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 01/31/2018	Telephone: 916-323-3400
Date Made Active in Reports: 03/19/2018	Last EDR Contact: 05/02/2018
Number of Days to Update: 47	Next Scheduled EDR Contact: 08/13/2018
	Data Release Frequency: Quarterly

CDL: Clandestine Drug Labs

A listing of drug lab locations. Listing of a location in this database does not indicate that any illegal drug lab materials were or were not present there, and does not constitute a determination that the location either requires or does not require additional cleanup work.

Date of Government Version: 06/30/2017	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 08/18/2017	Telephone: 916-255-6504
Date Made Active in Reports: 09/21/2017	Last EDR Contact: 05/24/2018
Number of Days to Update: 34	Next Scheduled EDR Contact: 07/23/2018
	Data Release Frequency: Varies

TOXIC PITS: Toxic Pits Cleanup Act Sites

Toxic PITS Cleanup Act Sites. TOXIC PITS identifies sites suspected of containing hazardous substances where cleanup has not yet been completed.

Date of Government Version: 07/01/1995	Source: State Water Resources Control Board
Date Data Arrived at EDR: 08/30/1995	Telephone: 916-227-4364
Date Made Active in Reports: 09/26/1995	Last EDR Contact: 01/26/2009
Number of Days to Update: 27	Next Scheduled EDR Contact: 04/27/2009
	Data Release Frequency: No Update Planned

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 02/22/2018
Date Data Arrived at EDR: 03/01/2018
Date Made Active in Reports: 05/11/2018
Number of Days to Update: 71

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 02/27/2018
Next Scheduled EDR Contact: 06/11/2018
Data Release Frequency: Quarterly

Local Lists of Registered Storage Tanks

SWEEPS UST: SWEEPS UST Listing

Statewide Environmental Evaluation and Planning System. This underground storage tank listing was updated and maintained by a company contacted by the SWRCB in the early 1990's. The listing is no longer updated or maintained. The local agency is the contact for more information on a site on the SWEEPS list.

Date of Government Version: 06/01/1994
Date Data Arrived at EDR: 07/07/2005
Date Made Active in Reports: 08/11/2005
Number of Days to Update: 35

Source: State Water Resources Control Board
Telephone: N/A
Last EDR Contact: 06/03/2005
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

UST MENDOCINO: Mendocino County UST Database

A listing of underground storage tank locations in Mendocino County.

Date of Government Version: 02/28/2018
Date Data Arrived at EDR: 03/01/2018
Date Made Active in Reports: 03/28/2018
Number of Days to Update: 27

Source: Department of Public Health
Telephone: 707-463-4466
Last EDR Contact: 05/22/2018
Next Scheduled EDR Contact: 09/10/2018
Data Release Frequency: Annually

HIST UST: Hazardous Substance Storage Container Database

The Hazardous Substance Storage Container Database is a historical listing of UST sites. Refer to local/county source for current data.

Date of Government Version: 10/15/1990
Date Data Arrived at EDR: 01/25/1991
Date Made Active in Reports: 02/12/1991
Number of Days to Update: 18

Source: State Water Resources Control Board
Telephone: 916-341-5851
Last EDR Contact: 07/26/2001
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

SAN FRANCISCO AST: Aboveground Storage Tank Site Listing

Aboveground storage tank sites

Date of Government Version: 04/19/2018
Date Data Arrived at EDR: 04/24/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 10

Source: San Francisco County Department of Public Health
Telephone: 415-252-3896
Last EDR Contact: 05/02/2018
Next Scheduled EDR Contact: 08/20/2018
Data Release Frequency: Varies

CA FID UST: Facility Inventory Database

The Facility Inventory Database (FID) contains a historical listing of active and inactive underground storage tank locations from the State Water Resource Control Board. Refer to local/county source for current data.

Date of Government Version: 10/31/1994
Date Data Arrived at EDR: 09/05/1995
Date Made Active in Reports: 09/29/1995
Number of Days to Update: 24

Source: California Environmental Protection Agency
Telephone: 916-341-5851
Last EDR Contact: 12/28/1998
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

Local Land Records

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

LIENS: Environmental Liens Listing

A listing of property locations with environmental liens for California where DTSC is a lien holder.

Date of Government Version: 01/28/2018	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 03/01/2018	Telephone: 916-323-3400
Date Made Active in Reports: 04/16/2018	Last EDR Contact: 02/28/2018
Number of Days to Update: 46	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Varies

LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 01/09/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/06/2018	Telephone: 202-564-6023
Date Made Active in Reports: 05/11/2018	Last EDR Contact: 04/27/2018
Number of Days to Update: 94	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Semi-Annually

DEED: Deed Restriction Listing

Site Mitigation and Brownfields Reuse Program Facility Sites with Deed Restrictions & Hazardous Waste Management Program Facility Sites with Deed / Land Use Restriction. The DTSC Site Mitigation and Brownfields Reuse Program (SMBRP) list includes sites cleaned up under the program's oversight and generally does not include current or former hazardous waste facilities that required a hazardous waste facility permit. The list represents deed restrictions that are active. Some sites have multiple deed restrictions. The DTSC Hazardous Waste Management Program (HWMP) has developed a list of current or former hazardous waste facilities that have a recorded land use restriction at the local county recorder's office. The land use restrictions on this list were required by the DTSC HWMP as a result of the presence of hazardous substances that remain on site after the facility (or part of the facility) has been closed or cleaned up. The types of land use restriction include deed notice, deed restriction, or a land use restriction that binds current and future owners.

Date of Government Version: 02/08/2018	Source: DTSC and SWRCB
Date Data Arrived at EDR: 02/08/2018	Telephone: 916-323-3400
Date Made Active in Reports: 02/08/2018	Last EDR Contact: 03/06/2018
Number of Days to Update: 0	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Semi-Annually

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 01/19/2018	Source: U.S. Department of Transportation
Date Data Arrived at EDR: 01/19/2018	Telephone: 202-366-4555
Date Made Active in Reports: 03/23/2018	Last EDR Contact: 03/27/2018
Number of Days to Update: 63	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

CHMIRS: California Hazardous Material Incident Report System

California Hazardous Material Incident Reporting System. CHMIRS contains information on reported hazardous material incidents (accidental releases or spills).

Date of Government Version: 02/15/2018	Source: Office of Emergency Services
Date Data Arrived at EDR: 02/20/2018	Telephone: 916-845-8400
Date Made Active in Reports: 04/03/2018	Last EDR Contact: 04/24/2018
Number of Days to Update: 42	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Semi-Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

LDS: Land Disposal Sites Listing (GEOTRACKER)

Land Disposal sites (Landfills) included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 03/12/2018	Source: State Water Quality Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Quarterly

MCS: Military Cleanup Sites Listing (GEOTRACKER)

Military sites (consisting of: Military UST sites; Military Privatized sites; and Military Cleanup sites [formerly known as DoD non UST]) included in GeoTracker. GeoTracker is the Water Boards data management system for sites that impact, or have the potential to impact, water quality in California, with emphasis on groundwater.

Date of Government Version: 03/12/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 03/21/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 7	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Quarterly

SPILLS 90: SPILLS90 data from FirstSearch

Spills 90 includes those spill and release records available exclusively from FirstSearch databases. Typically, they may include chemical, oil and/or hazardous substance spills recorded after 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 90.

Date of Government Version: 06/06/2012	Source: FirstSearch
Date Data Arrived at EDR: 01/03/2013	Telephone: N/A
Date Made Active in Reports: 02/22/2013	Last EDR Contact: 01/03/2013
Number of Days to Update: 50	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

Other Ascertainable Records

RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 12/11/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/26/2017	Telephone: (415) 495-8895
Date Made Active in Reports: 02/09/2018	Last EDR Contact: 03/28/2018
Number of Days to Update: 45	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 01/31/2015	Source: U.S. Army Corps of Engineers
Date Data Arrived at EDR: 07/08/2015	Telephone: 202-528-4285
Date Made Active in Reports: 10/13/2015	Last EDR Contact: 05/25/2018
Number of Days to Update: 97	Next Scheduled EDR Contact: 09/03/2018
	Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2005
Date Data Arrived at EDR: 11/10/2006
Date Made Active in Reports: 01/11/2007
Number of Days to Update: 62

Source: USGS
Telephone: 888-275-8747
Last EDR Contact: 04/13/2018
Next Scheduled EDR Contact: 07/23/2018
Data Release Frequency: Semi-Annually

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 12/31/2005
Date Data Arrived at EDR: 02/06/2006
Date Made Active in Reports: 01/11/2007
Number of Days to Update: 339

Source: U.S. Geological Survey
Telephone: 888-275-8747
Last EDR Contact: 04/11/2018
Next Scheduled EDR Contact: 07/23/2018
Data Release Frequency: N/A

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 01/01/2017
Date Data Arrived at EDR: 02/03/2017
Date Made Active in Reports: 04/07/2017
Number of Days to Update: 63

Source: Environmental Protection Agency
Telephone: 615-532-8599
Last EDR Contact: 05/15/2018
Next Scheduled EDR Contact: 08/27/2018
Data Release Frequency: Varies

US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 01/11/2018
Date Data Arrived at EDR: 01/19/2018
Date Made Active in Reports: 03/02/2018
Number of Days to Update: 42

Source: Environmental Protection Agency
Telephone: 202-566-1917
Last EDR Contact: 03/27/2018
Next Scheduled EDR Contact: 07/09/2018
Data Release Frequency: Quarterly

EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013
Date Data Arrived at EDR: 03/21/2014
Date Made Active in Reports: 06/17/2014
Number of Days to Update: 88

Source: Environmental Protection Agency
Telephone: 617-520-3000
Last EDR Contact: 05/07/2018
Next Scheduled EDR Contact: 08/20/2018
Data Release Frequency: Quarterly

2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/22/2013	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/03/2015	Telephone: 703-308-4044
Date Made Active in Reports: 03/09/2015	Last EDR Contact: 05/08/2018
Number of Days to Update: 6	Next Scheduled EDR Contact: 08/20/2018
	Data Release Frequency: Varies

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2016	Source: EPA
Date Data Arrived at EDR: 06/21/2017	Telephone: 202-260-5521
Date Made Active in Reports: 01/05/2018	Last EDR Contact: 03/23/2018
Number of Days to Update: 198	Next Scheduled EDR Contact: 07/02/2018
	Data Release Frequency: Every 4 Years

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2016	Source: EPA
Date Data Arrived at EDR: 01/10/2018	Telephone: 202-566-0250
Date Made Active in Reports: 01/12/2018	Last EDR Contact: 05/25/2018
Number of Days to Update: 2	Next Scheduled EDR Contact: 09/03/2018
	Data Release Frequency: Annually

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/2009	Source: EPA
Date Data Arrived at EDR: 12/10/2010	Telephone: 202-564-4203
Date Made Active in Reports: 02/25/2011	Last EDR Contact: 04/09/2018
Number of Days to Update: 77	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Annually

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 01/09/2018	Source: EPA
Date Data Arrived at EDR: 02/06/2018	Telephone: 703-416-0223
Date Made Active in Reports: 05/11/2018	Last EDR Contact: 04/27/2018
Number of Days to Update: 94	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Annually

RMP: Risk Management Plans

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 11/02/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/17/2017	Telephone: 202-564-8600
Date Made Active in Reports: 12/08/2017	Last EDR Contact: 04/20/2018
Number of Days to Update: 21	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 10/25/2013	Source: EPA
Date Data Arrived at EDR: 10/17/2014	Telephone: 202-564-6023
Date Made Active in Reports: 10/20/2014	Last EDR Contact: 04/27/2018
Number of Days to Update: 3	Next Scheduled EDR Contact: 08/20/2018
	Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 06/01/2017	Source: EPA
Date Data Arrived at EDR: 06/09/2017	Telephone: 202-566-0500
Date Made Active in Reports: 10/13/2017	Last EDR Contact: 04/13/2018
Number of Days to Update: 126	Next Scheduled EDR Contact: 07/23/2018
	Data Release Frequency: Annually

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 11/18/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/23/2016	Telephone: 202-564-2501
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 04/09/2018
Number of Days to Update: 79	Next Scheduled EDR Contact: 07/23/2018
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: Quarterly

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: Quarterly

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 08/30/2016	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 09/08/2016	Telephone: 301-415-7169
Date Made Active in Reports: 10/21/2016	Last EDR Contact: 05/03/2018
Number of Days to Update: 43	Next Scheduled EDR Contact: 08/20/2018
	Data Release Frequency: Quarterly

COAL ASH DOE: Steam-Electric Plant Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2005	Source: Department of Energy
Date Data Arrived at EDR: 08/07/2009	Telephone: 202-586-8719
Date Made Active in Reports: 10/22/2009	Last EDR Contact: 03/09/2018
Number of Days to Update: 76	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 07/01/2014	Source: Environmental Protection Agency
Date Data Arrived at EDR: 09/10/2014	Telephone: N/A
Date Made Active in Reports: 10/20/2014	Last EDR Contact: 03/06/2018
Number of Days to Update: 40	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Varies

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 05/24/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/30/2017	Telephone: 202-566-0517
Date Made Active in Reports: 12/15/2017	Last EDR Contact: 04/27/2018
Number of Days to Update: 15	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/03/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/04/2018	Telephone: 202-343-9775
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 04/05/2018
Number of Days to Update: 99	Next Scheduled EDR Contact: 07/16/2018
	Data Release Frequency: Quarterly

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2007
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2007
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 07/31/2012	Source: Department of Transportation, Office of Pipeline Safety
Date Data Arrived at EDR: 08/07/2012	Telephone: 202-366-4595
Date Made Active in Reports: 09/18/2012	Last EDR Contact: 05/03/2018
Number of Days to Update: 42	Next Scheduled EDR Contact: 08/13/2018
	Data Release Frequency: Varies

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 12/31/2017	Source: Department of Justice, Consent Decree Library
Date Data Arrived at EDR: 01/24/2018	Telephone: Varies
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 04/06/2018
Number of Days to Update: 79	Next Scheduled EDR Contact: 07/02/2018
	Data Release Frequency: Varies

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2015	Source: EPA/NTIS
Date Data Arrived at EDR: 02/22/2017	Telephone: 800-424-9346
Date Made Active in Reports: 09/28/2017	Last EDR Contact: 05/25/2018
Number of Days to Update: 218	Next Scheduled EDR Contact: 09/03/2018
	Data Release Frequency: Biennially

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2014	Source: USGS
Date Data Arrived at EDR: 07/14/2015	Telephone: 202-208-3710
Date Made Active in Reports: 01/10/2017	Last EDR Contact: 04/11/2018
Number of Days to Update: 546	Next Scheduled EDR Contact: 07/23/2018
	Data Release Frequency: Semi-Annually

FUSRAP: Formerly Utilized Sites Remedial Action Program

DOE established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations.

Date of Government Version: 12/23/2016	Source: Department of Energy
Date Data Arrived at EDR: 12/27/2016	Telephone: 202-586-3559
Date Made Active in Reports: 02/17/2017	Last EDR Contact: 05/07/2018
Number of Days to Update: 52	Next Scheduled EDR Contact: 08/20/2018
	Data Release Frequency: Varies

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 06/23/2017	Source: Department of Energy
Date Data Arrived at EDR: 10/11/2017	Telephone: 505-845-0011
Date Made Active in Reports: 11/03/2017	Last EDR Contact: 05/18/2018
Number of Days to Update: 23	Next Scheduled EDR Contact: 09/03/2018
	Data Release Frequency: Varies

LEAD SMELTER 1: Lead Smelter Sites

A listing of former lead smelter site locations.

Date of Government Version: 01/09/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/06/2018	Telephone: 703-603-8787
Date Made Active in Reports: 03/02/2018	Last EDR Contact: 04/27/2018
Number of Days to Update: 24	Next Scheduled EDR Contact: 07/16/2018
	Data Release Frequency: Varies

LEAD SMELTER 2: Lead Smelter Sites

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

Date of Government Version: 04/05/2001	Source: American Journal of Public Health
Date Data Arrived at EDR: 10/27/2010	Telephone: 703-305-6451
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 12/02/2009
Number of Days to Update: 36	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: Annually

US AIRS MINOR: Air Facility System Data
A listing of minor source facilities.

Date of Government Version: 10/12/2016
Date Data Arrived at EDR: 10/26/2016
Date Made Active in Reports: 02/03/2017
Number of Days to Update: 100

Source: EPA
Telephone: 202-564-2496
Last EDR Contact: 09/26/2017
Next Scheduled EDR Contact: 01/08/2018
Data Release Frequency: Annually

US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 01/25/2018
Date Data Arrived at EDR: 02/28/2018
Date Made Active in Reports: 05/11/2018
Number of Days to Update: 72

Source: Department of Labor, Mine Safety and Health Administration
Telephone: 303-231-5959
Last EDR Contact: 02/28/2018
Next Scheduled EDR Contact: 06/11/2018
Data Release Frequency: Semi-Annually

US MINES 2: Ferrous and Nonferrous Metal Mines Database Listing

This map layer includes ferrous (ferrous metal mines are facilities that extract ferrous metals, such as iron ore or molybdenum) and nonferrous (Nonferrous metal mines are facilities that extract nonferrous metals, such as gold, silver, copper, zinc, and lead) metal mines in the United States.

Date of Government Version: 12/05/2005
Date Data Arrived at EDR: 02/29/2008
Date Made Active in Reports: 04/18/2008
Number of Days to Update: 49

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 03/02/2018
Next Scheduled EDR Contact: 06/11/2018
Data Release Frequency: Varies

US MINES 3: Active Mines & Mineral Plants Database Listing

Active Mines and Mineral Processing Plant operations for commodities monitored by the Minerals Information Team of the USGS.

Date of Government Version: 04/14/2011
Date Data Arrived at EDR: 06/08/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 97

Source: USGS
Telephone: 703-648-7709
Last EDR Contact: 03/02/2018
Next Scheduled EDR Contact: 06/11/2018
Data Release Frequency: Varies

ABANDONED MINES: Abandoned Mines

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by OSMRE to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as, information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

Date of Government Version: 12/20/2017
Date Data Arrived at EDR: 12/21/2017
Date Made Active in Reports: 03/23/2018
Number of Days to Update: 92

Source: Department of Interior
Telephone: 202-208-2609
Last EDR Contact: 03/07/2018
Next Scheduled EDR Contact: 06/25/2018
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 02/21/2018	Source: EPA
Date Data Arrived at EDR: 02/23/2018	Telephone: (415) 947-8000
Date Made Active in Reports: 03/23/2018	Last EDR Contact: 02/23/2018
Number of Days to Update: 28	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Quarterly

UXO: Unexploded Ordnance Sites

A listing of unexploded ordnance site locations

Date of Government Version: 09/30/2016	Source: Department of Defense
Date Data Arrived at EDR: 10/31/2017	Telephone: 703-704-1564
Date Made Active in Reports: 01/12/2018	Last EDR Contact: 04/13/2018
Number of Days to Update: 73	Next Scheduled EDR Contact: 07/30/2018
	Data Release Frequency: Varies

ECHO: Enforcement & Compliance History Information

ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

Date of Government Version: 01/13/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/19/2018	Telephone: 202-564-2280
Date Made Active in Reports: 03/02/2018	Last EDR Contact: 03/07/2018
Number of Days to Update: 42	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Quarterly

DOCKET HWC: Hazardous Waste Compliance Docket Listing

A complete list of the Federal Agency Hazardous Waste Compliance Docket Facilities.

Date of Government Version: 01/04/2018	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/19/2018	Telephone: 202-564-0527
Date Made Active in Reports: 04/13/2018	Last EDR Contact: 03/02/2018
Number of Days to Update: 84	Next Scheduled EDR Contact: 06/11/2018
	Data Release Frequency: Varies

FUELS PROGRAM: EPA Fuels Program Registered Listing

This listing includes facilities that are registered under the Part 80 (Code of Federal Regulations) EPA Fuels Programs. All companies now are required to submit new and updated registrations.

Date of Government Version: 02/20/2018	Source: EPA
Date Data Arrived at EDR: 02/21/2018	Telephone: 800-385-6164
Date Made Active in Reports: 03/23/2018	Last EDR Contact: 05/23/2018
Number of Days to Update: 30	Next Scheduled EDR Contact: 09/03/2018
	Data Release Frequency: Quarterly

CA BOND EXP. PLAN: Bond Expenditure Plan

Department of Health Services developed a site-specific expenditure plan as the basis for an appropriation of Hazardous Substance Cleanup Bond Act funds. It is not updated.

Date of Government Version: 01/01/1989	Source: Department of Health Services
Date Data Arrived at EDR: 07/27/1994	Telephone: 916-255-2118
Date Made Active in Reports: 08/02/1994	Last EDR Contact: 05/31/1994
Number of Days to Update: 6	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CORTESE: "Cortese" Hazardous Waste & Substances Sites List

The sites for the list are designated by the State Water Resource Control Board (LUST), the Integrated Waste Board (SWF/LS), and the Department of Toxic Substances Control (Cal-Sites).

Date of Government Version: 03/26/2018	Source: CAL EPA/Office of Emergency Information
Date Data Arrived at EDR: 03/27/2018	Telephone: 916-323-3400
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 03/27/2018
Number of Days to Update: 38	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

CUPA LIVERMORE-PLEASANTON: CUPA LIVERMORE-PLEASANTON

list of facilities associated with the various CUPA programs in Livermore-Pleasanton

Date of Government Version: 02/28/2018	Source: Livermore-Pleasanton Fire Department
Date Data Arrived at EDR: 03/01/2018	Telephone: 925-454-2361
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 05/07/2018
Number of Days to Update: 64	Next Scheduled EDR Contact: 08/27/2018
	Data Release Frequency: Varies

CUPA SAN FRANCISCO CO: CUPA SAN FRANCISCO CO

Cupa facilities

Date of Government Version: 04/20/2018	Source: San Francisco County Department of Environmental Health
Date Data Arrived at EDR: 04/24/2018	Telephone: 415-252-3896
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 05/02/2018
Number of Days to Update: 10	Next Scheduled EDR Contact: 08/20/2018
	Data Release Frequency: Varies

DRYCLEAN AVAQMD: DRYCLEAN AVAQMD

A listing of dry cleaners in the Antelope Valley Air Quality Management District.

Date of Government Version: 03/08/2018	Source: Antelope Valley Air Quality Management District
Date Data Arrived at EDR: 03/13/2018	Telephone: 661-723-8070
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 02/28/2018
Number of Days to Update: 52	Next Scheduled EDR Contact: 06/11/2018
	Data Release Frequency: Varies

DRYCLEANERS: Cleaner Facilities

A list of drycleaner related facilities that have EPA ID numbers. These are facilities with certain SIC codes: power laundries, family and commercial; garment pressing and cleaner's agents; linen supply; coin-operated laundries and cleaning; drycleaning plants, except rugs; carpet and upholster cleaning; industrial launderers; laundry and garment services.

Date of Government Version: 03/27/2018	Source: Department of Toxic Substance Control
Date Data Arrived at EDR: 03/29/2018	Telephone: 916-327-4498
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 02/28/2018
Number of Days to Update: 36	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Annually

DRYCLEAN SOUTH COAST: DRYCLEAN SOUTH COAST

A listing of dry cleaners in the South Coast Air Quality Management District

Date of Government Version: 03/16/2018	Source: South Coast Air Quality Management District
Date Data Arrived at EDR: 03/20/2018	Telephone: 909-396-3211
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 05/22/2018
Number of Days to Update: 45	Next Scheduled EDR Contact: 09/10/2018
	Data Release Frequency: Varies

EMI: Emissions Inventory Data

Toxics and criteria pollutant emissions data collected by the ARB and local air pollution agencies.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2015	Source: California Air Resources Board
Date Data Arrived at EDR: 03/21/2017	Telephone: 916-322-2990
Date Made Active in Reports: 08/15/2017	Last EDR Contact: 03/23/2018
Number of Days to Update: 147	Next Scheduled EDR Contact: 07/02/2018
	Data Release Frequency: Varies

ENF: Enforcement Action Listing

A listing of Water Board Enforcement Actions. Formal is everything except Oral/Verbal Communication, Notice of Violation, Expedited Payment Letter, and Staff Enforcement Letter.

Date of Government Version: 01/22/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 01/24/2018	Telephone: 916-445-9379
Date Made Active in Reports: 03/19/2018	Last EDR Contact: 04/18/2018
Number of Days to Update: 54	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

Financial Assurance 1: Financial Assurance Information Listing

Financial Assurance information

Date of Government Version: 01/22/2018	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 01/24/2018	Telephone: 916-255-3628
Date Made Active in Reports: 03/20/2018	Last EDR Contact: 04/18/2018
Number of Days to Update: 55	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

Financial Assurance 2: Financial Assurance Information Listing

A listing of financial assurance information for solid waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 02/14/2018	Source: California Integrated Waste Management Board
Date Data Arrived at EDR: 02/16/2018	Telephone: 916-341-6066
Date Made Active in Reports: 04/03/2018	Last EDR Contact: 05/09/2018
Number of Days to Update: 46	Next Scheduled EDR Contact: 08/27/2018
	Data Release Frequency: Varies

HAZNET: Facility and Manifest Data

Facility and Manifest Data. The data is extracted from the copies of hazardous waste manifests received each year by the DTSC. The annual volume of manifests is typically 700,000 - 1,000,000 annually, representing approximately 350,000 - 500,000 shipments. Data are from the manifests submitted without correction, and therefore many contain some invalid values for data elements such as generator ID, TSD ID, waste category, and disposal method. This database begins with calendar year 1993.

Date of Government Version: 12/31/2016	Source: California Environmental Protection Agency
Date Data Arrived at EDR: 07/12/2017	Telephone: 916-255-1136
Date Made Active in Reports: 10/17/2017	Last EDR Contact: 04/12/2018
Number of Days to Update: 97	Next Scheduled EDR Contact: 07/23/2018
	Data Release Frequency: Annually

ICE: ICE

Contains data pertaining to the Permitted Facilities with Inspections / Enforcements sites tracked in Envirositor.

Date of Government Version: 02/20/2018	Source: Department of Toxic Substances Control
Date Data Arrived at EDR: 02/21/2018	Telephone: 877-786-9427
Date Made Active in Reports: 04/03/2018	Last EDR Contact: 05/23/2018
Number of Days to Update: 41	Next Scheduled EDR Contact: 09/03/2018
	Data Release Frequency: Quarterly

HIST CORTESE: Hazardous Waste & Substance Site List

The sites for the list are designated by the State Water Resource Control Board [LUST], the Integrated Waste Board [SWF/LS], and the Department of Toxic Substances Control [CALSTATES]. This listing is no longer updated by the state agency.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/01/2001
Date Data Arrived at EDR: 01/22/2009
Date Made Active in Reports: 04/08/2009
Number of Days to Update: 76

Source: Department of Toxic Substances Control
Telephone: 916-323-3400
Last EDR Contact: 01/22/2009
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

HWP: EnviroStor Permitted Facilities Listing

Detailed information on permitted hazardous waste facilities and corrective action ("cleanups") tracked in EnviroStor.

Date of Government Version: 02/20/2018
Date Data Arrived at EDR: 02/21/2018
Date Made Active in Reports: 04/03/2018
Number of Days to Update: 41

Source: Department of Toxic Substances Control
Telephone: 916-323-3400
Last EDR Contact: 05/23/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Quarterly

HWT: Registered Hazardous Waste Transporter Database

A listing of hazardous waste transporters. In California, unless specifically exempted, it is unlawful for any person to transport hazardous wastes unless the person holds a valid registration issued by DTSC. A hazardous waste transporter registration is valid for one year and is assigned a unique registration number.

Date of Government Version: 01/08/2018
Date Data Arrived at EDR: 01/09/2018
Date Made Active in Reports: 02/06/2018
Number of Days to Update: 28

Source: Department of Toxic Substances Control
Telephone: 916-440-7145
Last EDR Contact: 04/11/2018
Next Scheduled EDR Contact: 07/23/2018
Data Release Frequency: Quarterly

MINES: Mines Site Location Listing

A listing of mine site locations from the Office of Mine Reclamation.

Date of Government Version: 03/12/2018
Date Data Arrived at EDR: 03/14/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 51

Source: Department of Conservation
Telephone: 916-322-1080
Last EDR Contact: 03/14/2018
Next Scheduled EDR Contact: 06/25/2018
Data Release Frequency: Quarterly

MWMP: Medical Waste Management Program Listing

The Medical Waste Management Program (MWMP) ensures the proper handling and disposal of medical waste by permitting and inspecting medical waste Offsite Treatment Facilities (PDF) and Transfer Stations (PDF) throughout the state. MWMP also oversees all Medical Waste Transporters.

Date of Government Version: 02/27/2018
Date Data Arrived at EDR: 03/05/2018
Date Made Active in Reports: 04/16/2018
Number of Days to Update: 42

Source: Department of Public Health
Telephone: 916-558-1784
Last EDR Contact: 03/06/2018
Next Scheduled EDR Contact: 06/18/2018
Data Release Frequency: Varies

NPDES: NPDES Permits Listing

A listing of NPDES permits, including stormwater.

Date of Government Version: 03/14/2018
Date Data Arrived at EDR: 03/14/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 51

Source: State Water Resources Control Board
Telephone: 916-445-9379
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 08/27/2018
Data Release Frequency: Quarterly

PEST LIC: Pesticide Regulation Licenses Listing

A listing of licenses and certificates issued by the Department of Pesticide Regulation. The DPR issues licenses and/or certificates to: Persons and businesses that apply or sell pesticides; Pest control dealers and brokers; Persons who advise on agricultural pesticide applications.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/05/2018
Date Data Arrived at EDR: 03/05/2018
Date Made Active in Reports: 04/19/2018
Number of Days to Update: 45

Source: Department of Pesticide Regulation
Telephone: 916-445-4038
Last EDR Contact: 03/05/2018
Next Scheduled EDR Contact: 06/18/2018
Data Release Frequency: Quarterly

PROC: Certified Processors Database
A listing of certified processors.

Date of Government Version: 03/12/2018
Date Data Arrived at EDR: 03/14/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 51

Source: Department of Conservation
Telephone: 916-323-3836
Last EDR Contact: 03/14/2018
Next Scheduled EDR Contact: 06/25/2018
Data Release Frequency: Quarterly

NOTIFY 65: Proposition 65 Records

Listings of all Proposition 65 incidents reported to counties by the State Water Resources Control Board and the Regional Water Quality Control Board. This database is no longer updated by the reporting agency.

Date of Government Version: 03/23/2018
Date Data Arrived at EDR: 03/27/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 38

Source: State Water Resources Control Board
Telephone: 916-445-3846
Last EDR Contact: 03/14/2018
Next Scheduled EDR Contact: 07/02/2018
Data Release Frequency: No Update Planned

UIC: UIC Listing

A listing of wells identified as underground injection wells, in the California Oil and Gas Wells database.

Date of Government Version: 03/12/2018
Date Data Arrived at EDR: 03/14/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 51

Source: Department of Conservation
Telephone: 916-445-2408
Last EDR Contact: 03/14/2018
Next Scheduled EDR Contact: 06/25/2018
Data Release Frequency: Varies

WASTEWATER PITS: Oil Wastewater Pits Listing

Water officials discovered that oil producers have been dumping chemical-laden wastewater into hundreds of unlined pits that are operating without proper permits. Inspections completed by the Central Valley Regional Water Quality Control Board revealed the existence of previously unidentified waste sites. The water board's review found that more than one-third of the region's active disposal pits are operating without permission.

Date of Government Version: 04/15/2015
Date Data Arrived at EDR: 04/17/2015
Date Made Active in Reports: 06/23/2015
Number of Days to Update: 67

Source: RWQCB, Central Valley Region
Telephone: 559-445-5577
Last EDR Contact: 04/13/2018
Next Scheduled EDR Contact: 07/23/2018
Data Release Frequency: Varies

WDS: Waste Discharge System

Sites which have been issued waste discharge requirements.

Date of Government Version: 06/19/2007
Date Data Arrived at EDR: 06/20/2007
Date Made Active in Reports: 06/29/2007
Number of Days to Update: 9

Source: State Water Resources Control Board
Telephone: 916-341-5227
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Quarterly

WIP: Well Investigation Program Case List

Well Investigation Program case in the San Gabriel and San Fernando Valley area.

Date of Government Version: 07/03/2009
Date Data Arrived at EDR: 07/21/2009
Date Made Active in Reports: 08/03/2009
Number of Days to Update: 13

Source: Los Angeles Water Quality Control Board
Telephone: 213-576-6726
Last EDR Contact: 03/21/2018
Next Scheduled EDR Contact: 07/09/2018
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

MILITARY PRIV SITES: Military Privatized Sites (GEOTRACKER)

Military privatized sites

Date of Government Version: 03/12/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Varies

OTHER OIL GAS: OTHER OIL & GAS (GEOTRACKER)

Other Oil & Gas Projects sites

Date of Government Version: 03/12/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Varies

PROD WATER PONDS: PROD WATER PONDS (GEOTRACKER)

Produced water ponds sites

Date of Government Version: 03/12/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Varies

PROJECT: PROJECT (GEOTRACKER)

Projects sites

Date of Government Version: 03/12/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Varies

NON-CASE INFO: NON-CASE INFO (GEOTRACKER)

Non-Case Information sites

Date of Government Version: 03/12/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Varies

SAMPLING POINT: SAMPLING POINT (GEOTRACKER)

Sampling point - public sites

Date of Government Version: 03/12/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Varies

WELL STIM PROJ: WELL SAMP PROJ (GEOTRACKER)

Includes areas of groundwater monitoring plans, a depiction of the monitoring network, and the facilities, boundaries, and subsurface characteristics of the oilfield and the features (oil and gas wells, produced water ponds, UIC wells, water supply wells, etc?) being monitored

Date of Government Version: 03/12/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CIWQS: The California Integrated Water Quality System

The California Integrated Water Quality System (CIWQS) is a computer system used by the State and Regional Water Quality Control Boards to track information about places of environmental interest, manage permits and other orders, track inspections, and manage violations and enforcement activities.

Date of Government Version: 03/05/2018	Source: State Water Resources Control Board
Date Data Arrived at EDR: 03/05/2018	Telephone: 866-794-4977
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 03/06/2018
Number of Days to Update: 60	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Varies

UIC GEO: UIC GEO (GEOTRACKER)

Underground control injection sites

Date of Government Version: 03/12/2018	Source: State Water Resource Control Board
Date Data Arrived at EDR: 03/14/2018	Telephone: 866-480-1028
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 12/12/2018
Number of Days to Update: 51	Next Scheduled EDR Contact: 06/25/2018
	Data Release Frequency: Varies

EDR HIGH RISK HISTORICAL RECORDS

EDR Exclusive Records

EDR MGP: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A	Source: EDR, Inc.
Date Data Arrived at EDR: N/A	Telephone: N/A
Date Made Active in Reports: N/A	Last EDR Contact: N/A
Number of Days to Update: N/A	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

EDR Hist Auto: EDR Exclusive Historical Auto Stations

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A	Source: EDR, Inc.
Date Data Arrived at EDR: N/A	Telephone: N/A
Date Made Active in Reports: N/A	Last EDR Contact: N/A
Number of Days to Update: N/A	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

EDR Hist Cleaner: EDR Exclusive Historical Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

EDR RECOVERED GOVERNMENT ARCHIVES

Exclusive Recovered Govt. Archives

RGA LF: Recovered Government Archive Solid Waste Facilities List

The EDR Recovered Government Archive Landfill database provides a list of landfills derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Resources Recycling and Recovery in California.

Date of Government Version: N/A
Date Data Arrived at EDR: 07/01/2013
Date Made Active in Reports: 01/13/2014
Number of Days to Update: 196

Source: Department of Resources Recycling and Recovery
Telephone: N/A
Last EDR Contact: 06/01/2012
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

RGA LUST: Recovered Government Archive Leaking Underground Storage Tank

The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the State Water Resources Control Board in California.

Date of Government Version: N/A
Date Data Arrived at EDR: 07/01/2013
Date Made Active in Reports: 12/30/2013
Number of Days to Update: 182

Source: State Water Resources Control Board
Telephone: N/A
Last EDR Contact: 06/01/2012
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

COUNTY RECORDS

ALAMEDA COUNTY:

Contaminated Sites

A listing of contaminated sites overseen by the Toxic Release Program (oil and groundwater contamination from chemical releases and spills) and the Leaking Underground Storage Tank Program (soil and ground water contamination from leaking petroleum USTs).

Date of Government Version: 01/09/2018
Date Data Arrived at EDR: 01/11/2018
Date Made Active in Reports: 02/22/2018
Number of Days to Update: 42

Source: Alameda County Environmental Health Services
Telephone: 510-567-6700
Last EDR Contact: 04/05/2018
Next Scheduled EDR Contact: 07/23/2018
Data Release Frequency: Semi-Annually

Underground Tanks

Underground storage tank sites located in Alameda county.

Date of Government Version: 04/05/2018
Date Data Arrived at EDR: 04/10/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 24

Source: Alameda County Environmental Health Services
Telephone: 510-567-6700
Last EDR Contact: 04/05/2018
Next Scheduled EDR Contact: 04/24/2047
Data Release Frequency: Semi-Annually

AMADOR COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA Facility List

Cupa Facility List

Date of Government Version: 03/01/2018
Date Data Arrived at EDR: 03/05/2018
Date Made Active in Reports: 03/15/2018
Number of Days to Update: 10

Source: Amador County Environmental Health
Telephone: 209-223-6439
Last EDR Contact: 02/28/2018
Next Scheduled EDR Contact: 06/18/2018
Data Release Frequency: Varies

BUTTE COUNTY:

CUPA Facility Listing

Cupa facility list.

Date of Government Version: 04/21/2017
Date Data Arrived at EDR: 04/25/2017
Date Made Active in Reports: 08/09/2017
Number of Days to Update: 106

Source: Public Health Department
Telephone: 530-538-7149
Last EDR Contact: 04/05/2018
Next Scheduled EDR Contact: 07/23/2018
Data Release Frequency: No Update Planned

CALVERAS COUNTY:

CUPA Facility Listing

Cupa Facility Listing

Date of Government Version: 01/25/2018
Date Data Arrived at EDR: 01/26/2018
Date Made Active in Reports: 03/14/2018
Number of Days to Update: 47

Source: Calveras County Environmental Health
Telephone: 209-754-6399
Last EDR Contact: 03/26/2018
Next Scheduled EDR Contact: 07/09/2018
Data Release Frequency: Quarterly

COLUSA COUNTY:

CUPA Facility List

Cupa facility list.

Date of Government Version: 02/26/2018
Date Data Arrived at EDR: 03/01/2018
Date Made Active in Reports: 03/15/2018
Number of Days to Update: 14

Source: Health & Human Services
Telephone: 530-458-0396
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 08/20/2018
Data Release Frequency: Semi-Annually

CONTRA COSTA COUNTY:

Site List

List includes sites from the underground tank, hazardous waste generator and business plan/2185 programs.

Date of Government Version: 02/22/2018
Date Data Arrived at EDR: 02/27/2018
Date Made Active in Reports: 04/16/2018
Number of Days to Update: 48

Source: Contra Costa Health Services Department
Telephone: 925-646-2286
Last EDR Contact: 04/30/2018
Next Scheduled EDR Contact: 08/13/2018
Data Release Frequency: Semi-Annually

DEL NORTE COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA Facility List

Cupa Facility list

Date of Government Version: 01/05/2018
Date Data Arrived at EDR: 02/02/2018
Date Made Active in Reports: 03/14/2018
Number of Days to Update: 40

Source: Del Norte County Environmental Health Division
Telephone: 707-465-0426
Last EDR Contact: 04/25/2018
Next Scheduled EDR Contact: 08/13/2018
Data Release Frequency: Varies

EL DORADO COUNTY:

CUPA Facility List

CUPA facility list.

Date of Government Version: 03/05/2018
Date Data Arrived at EDR: 03/08/2018
Date Made Active in Reports: 04/16/2018
Number of Days to Update: 39

Source: El Dorado County Environmental Management Department
Telephone: 530-621-6623
Last EDR Contact: 04/30/2018
Next Scheduled EDR Contact: 08/13/2018
Data Release Frequency: Varies

FRESNO COUNTY:

CUPA Resources List

Certified Unified Program Agency. CUPA's are responsible for implementing a unified hazardous materials and hazardous waste management regulatory program. The agency provides oversight of businesses that deal with hazardous materials, operate underground storage tanks or aboveground storage tanks.

Date of Government Version: 03/01/2018
Date Data Arrived at EDR: 03/05/2018
Date Made Active in Reports: 03/14/2018
Number of Days to Update: 9

Source: Dept. of Community Health
Telephone: 559-445-3271
Last EDR Contact: 03/06/2018
Next Scheduled EDR Contact: 07/16/2018
Data Release Frequency: Semi-Annually

GLENN COUNTY:

CUPA Facility List

Cupa facility list

Date of Government Version: 01/22/2018
Date Data Arrived at EDR: 01/24/2018
Date Made Active in Reports: 03/14/2018
Number of Days to Update: 49

Source: Glenn County Air Pollution Control District
Telephone: 830-934-6500
Last EDR Contact: 04/18/2018
Next Scheduled EDR Contact: 08/06/2018
Data Release Frequency: Varies

HUMBOLDT COUNTY:

CUPA Facility List

CUPA facility list.

Date of Government Version: 03/05/2018
Date Data Arrived at EDR: 03/08/2018
Date Made Active in Reports: 04/30/2018
Number of Days to Update: 53

Source: Humboldt County Environmental Health
Telephone: N/A
Last EDR Contact: 05/21/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Semi-Annually

IMPERIAL COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA Facility List

Cupa facility list.

Date of Government Version: 01/22/2018
Date Data Arrived at EDR: 01/26/2018
Date Made Active in Reports: 03/14/2018
Number of Days to Update: 47

Source: San Diego Border Field Office
Telephone: 760-339-2777
Last EDR Contact: 04/18/2018
Next Scheduled EDR Contact: 08/06/2018
Data Release Frequency: Varies

INYO COUNTY:

CUPA Facility List

Cupa facility list.

Date of Government Version: 06/08/2017
Date Data Arrived at EDR: 06/09/2017
Date Made Active in Reports: 08/04/2017
Number of Days to Update: 56

Source: Inyo County Environmental Health Services
Telephone: 760-878-0238
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Varies

KERN COUNTY:

Underground Storage Tank Sites & Tank Listing

Kern County Sites and Tanks Listing.

Date of Government Version: 02/02/2018
Date Data Arrived at EDR: 02/02/2018
Date Made Active in Reports: 03/28/2018
Number of Days to Update: 54

Source: Kern County Environment Health Services Department
Telephone: 661-862-8700
Last EDR Contact: 05/02/2018
Next Scheduled EDR Contact: 08/20/2018
Data Release Frequency: Quarterly

KINGS COUNTY:

CUPA Facility List

A listing of sites included in the county's Certified Unified Program Agency database. California's Secretary for Environmental Protection established the unified hazardous materials and hazardous waste regulatory program as required by chapter 6.11 of the California Health and Safety Code. The Unified Program consolidates the administration, permits, inspections, and enforcement activities.

Date of Government Version: 11/14/2017
Date Data Arrived at EDR: 11/17/2017
Date Made Active in Reports: 12/15/2017
Number of Days to Update: 28

Source: Kings County Department of Public Health
Telephone: 559-584-1411
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Varies

LAKE COUNTY:

CUPA Facility List

Cupa facility list

Date of Government Version: 02/06/2018
Date Data Arrived at EDR: 02/09/2018
Date Made Active in Reports: 03/14/2018
Number of Days to Update: 33

Source: Lake County Environmental Health
Telephone: 707-263-1164
Last EDR Contact: 04/16/2018
Next Scheduled EDR Contact: 07/30/2018
Data Release Frequency: Varies

LASSEN COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA Facility List

Cupa facility list

Date of Government Version: 01/22/2018
Date Data Arrived at EDR: 01/24/2018
Date Made Active in Reports: 03/14/2018
Number of Days to Update: 49

Source: Lassen County Environmental Health
Telephone: 530-251-8528
Last EDR Contact: 04/18/2018
Next Scheduled EDR Contact: 08/06/2018
Data Release Frequency: Varies

LOS ANGELES COUNTY:

San Gabriel Valley Areas of Concern

San Gabriel Valley areas where VOC contamination is at or above the MCL as designated by region 9 EPA office.

Date of Government Version: 03/30/2009
Date Data Arrived at EDR: 03/31/2009
Date Made Active in Reports: 10/23/2009
Number of Days to Update: 206

Source: EPA Region 9
Telephone: 415-972-3178
Last EDR Contact: 03/14/2018
Next Scheduled EDR Contact: 07/02/2018
Data Release Frequency: No Update Planned

HMS: Street Number List

Industrial Waste and Underground Storage Tank Sites.

Date of Government Version: 01/16/2018
Date Data Arrived at EDR: 01/23/2018
Date Made Active in Reports: 03/20/2018
Number of Days to Update: 56

Source: Department of Public Works
Telephone: 626-458-3517
Last EDR Contact: 04/05/2018
Next Scheduled EDR Contact: 07/23/2018
Data Release Frequency: Semi-Annually

List of Solid Waste Facilities

Solid Waste Facilities in Los Angeles County.

Date of Government Version: 01/16/2018
Date Data Arrived at EDR: 01/16/2018
Date Made Active in Reports: 02/14/2018
Number of Days to Update: 29

Source: La County Department of Public Works
Telephone: 818-458-5185
Last EDR Contact: 04/17/2018
Next Scheduled EDR Contact: 07/30/2018
Data Release Frequency: Varies

City of Los Angeles Landfills

Landfills owned and maintained by the City of Los Angeles.

Date of Government Version: 01/01/2018
Date Data Arrived at EDR: 05/01/2018
Date Made Active in Reports: 05/14/2018
Number of Days to Update: 13

Source: Engineering & Construction Division
Telephone: 213-473-7869
Last EDR Contact: 04/11/2018
Next Scheduled EDR Contact: 07/30/2018
Data Release Frequency: Varies

Site Mitigation List

Industrial sites that have had some sort of spill or complaint.

Date of Government Version: 01/01/2018
Date Data Arrived at EDR: 01/17/2018
Date Made Active in Reports: 02/14/2018
Number of Days to Update: 28

Source: Community Health Services
Telephone: 323-890-7806
Last EDR Contact: 04/17/2018
Next Scheduled EDR Contact: 07/30/2018
Data Release Frequency: Annually

City of El Segundo Underground Storage Tank

Underground storage tank sites located in El Segundo city.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/21/2017
Date Data Arrived at EDR: 04/19/2017
Date Made Active in Reports: 05/10/2017
Number of Days to Update: 21

Source: City of El Segundo Fire Department
Telephone: 310-524-2236
Last EDR Contact: 04/11/2018
Next Scheduled EDR Contact: 07/30/2018
Data Release Frequency: Semi-Annually

City of Long Beach Underground Storage Tank

Underground storage tank sites located in the city of Long Beach.

Date of Government Version: 03/09/2017
Date Data Arrived at EDR: 03/10/2017
Date Made Active in Reports: 05/03/2017
Number of Days to Update: 54

Source: City of Long Beach Fire Department
Telephone: 562-570-2563
Last EDR Contact: 04/18/2018
Next Scheduled EDR Contact: 08/06/2018
Data Release Frequency: Annually

City of Torrance Underground Storage Tank

Underground storage tank sites located in the city of Torrance.

Date of Government Version: 01/04/2018
Date Data Arrived at EDR: 01/05/2018
Date Made Active in Reports: 01/18/2018
Number of Days to Update: 13

Source: City of Torrance Fire Department
Telephone: 310-618-2973
Last EDR Contact: 04/05/2018
Next Scheduled EDR Contact: 07/23/2018
Data Release Frequency: Semi-Annually

MADERA COUNTY:

CUPA Facility List

A listing of sites included in the county's Certified Unified Program Agency database. California's Secretary for Environmental Protection established the unified hazardous materials and hazardous waste regulatory program as required by chapter 6.11 of the California Health and Safety Code. The Unified Program consolidates the administration, permits, inspections, and enforcement activities.

Date of Government Version: 02/21/2018
Date Data Arrived at EDR: 02/22/2018
Date Made Active in Reports: 04/03/2018
Number of Days to Update: 40

Source: Madera County Environmental Health
Telephone: 559-675-7823
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Varies

MARIN COUNTY:

Underground Storage Tank Sites

Currently permitted USTs in Marin County.

Date of Government Version: 03/30/2018
Date Data Arrived at EDR: 04/06/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 28

Source: Public Works Department Waste Management
Telephone: 415-473-6647
Last EDR Contact: 03/29/2018
Next Scheduled EDR Contact: 07/16/2018
Data Release Frequency: Semi-Annually

MERCED COUNTY:

CUPA Facility List

CUPA facility list.

Date of Government Version: 01/11/2018
Date Data Arrived at EDR: 01/12/2018
Date Made Active in Reports: 02/08/2018
Number of Days to Update: 27

Source: Merced County Environmental Health
Telephone: 209-381-1094
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Varies

MONO COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA Facility List

CUPA Facility List

Date of Government Version: 02/22/2018
Date Data Arrived at EDR: 02/27/2018
Date Made Active in Reports: 03/14/2018
Number of Days to Update: 15

Source: Mono County Health Department
Telephone: 760-932-5580
Last EDR Contact: 05/22/2018
Next Scheduled EDR Contact: 09/10/2018
Data Release Frequency: Varies

MONTEREY COUNTY:

CUPA Facility Listing

CUPA Program listing from the Environmental Health Division.

Date of Government Version: 03/27/2018
Date Data Arrived at EDR: 03/29/2018
Date Made Active in Reports: 04/16/2018
Number of Days to Update: 18

Source: Monterey County Health Department
Telephone: 831-796-1297
Last EDR Contact: 05/21/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Varies

NAPA COUNTY:

Sites With Reported Contamination

A listing of leaking underground storage tank sites located in Napa county.

Date of Government Version: 01/09/2017
Date Data Arrived at EDR: 01/11/2017
Date Made Active in Reports: 03/02/2017
Number of Days to Update: 50

Source: Napa County Department of Environmental Management
Telephone: 707-253-4269
Last EDR Contact: 05/22/2018
Next Scheduled EDR Contact: 09/10/2018
Data Release Frequency: No Update Planned

Closed and Operating Underground Storage Tank Sites

Underground storage tank sites located in Napa county.

Date of Government Version: 02/22/2018
Date Data Arrived at EDR: 02/27/2018
Date Made Active in Reports: 03/29/2018
Number of Days to Update: 30

Source: Napa County Department of Environmental Management
Telephone: 707-253-4269
Last EDR Contact: 05/22/2018
Next Scheduled EDR Contact: 09/10/2018
Data Release Frequency: No Update Planned

NEVADA COUNTY:

CUPA Facility List

CUPA facility list.

Date of Government Version: 01/31/2018
Date Data Arrived at EDR: 02/01/2018
Date Made Active in Reports: 03/14/2018
Number of Days to Update: 41

Source: Community Development Agency
Telephone: 530-265-1467
Last EDR Contact: 04/25/2018
Next Scheduled EDR Contact: 08/13/2018
Data Release Frequency: Varies

ORANGE COUNTY:

List of Industrial Site Cleanups

Petroleum and non-petroleum spills.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 02/05/2018	Source: Health Care Agency
Date Data Arrived at EDR: 02/13/2018	Telephone: 714-834-3446
Date Made Active in Reports: 04/03/2018	Last EDR Contact: 05/07/2018
Number of Days to Update: 49	Next Scheduled EDR Contact: 08/20/2018
	Data Release Frequency: Annually

List of Underground Storage Tank Cleanups
Orange County Underground Storage Tank Cleanups (LUST).

Date of Government Version: 02/05/2018	Source: Health Care Agency
Date Data Arrived at EDR: 02/13/2018	Telephone: 714-834-3446
Date Made Active in Reports: 03/20/2018	Last EDR Contact: 05/07/2018
Number of Days to Update: 35	Next Scheduled EDR Contact: 08/20/2018
	Data Release Frequency: Quarterly

List of Underground Storage Tank Facilities
Orange County Underground Storage Tank Facilities (UST).

Date of Government Version: 01/02/2018	Source: Health Care Agency
Date Data Arrived at EDR: 02/07/2018	Telephone: 714-834-3446
Date Made Active in Reports: 03/28/2018	Last EDR Contact: 05/08/2018
Number of Days to Update: 49	Next Scheduled EDR Contact: 08/20/2018
	Data Release Frequency: Quarterly

PLACER COUNTY:

Master List of Facilities

List includes aboveground tanks, underground tanks and cleanup sites.

Date of Government Version: 03/15/2018	Source: Placer County Health and Human Services
Date Data Arrived at EDR: 03/19/2018	Telephone: 530-745-2363
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 03/15/2018
Number of Days to Update: 46	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Semi-Annually

PLUMAS COUNTY:

CUPA Facility List

Plumas County CUPA Program facilities.

Date of Government Version: 01/22/2018	Source: Plumas County Environmental Health
Date Data Arrived at EDR: 01/24/2018	Telephone: 530-283-6355
Date Made Active in Reports: 03/15/2018	Last EDR Contact: 04/18/2018
Number of Days to Update: 50	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

RIVERSIDE COUNTY:

Listing of Underground Tank Cleanup Sites
Riverside County Underground Storage Tank Cleanup Sites (LUST).

Date of Government Version: 04/05/2018	Source: Department of Environmental Health
Date Data Arrived at EDR: 04/10/2018	Telephone: 951-358-5055
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 03/19/2018
Number of Days to Update: 24	Next Scheduled EDR Contact: 07/02/2018
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Underground Storage Tank Tank List

Underground storage tank sites located in Riverside county.

Date of Government Version: 04/05/2018	Source: Department of Environmental Health
Date Data Arrived at EDR: 04/10/2018	Telephone: 951-358-5055
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 03/19/2018
Number of Days to Update: 24	Next Scheduled EDR Contact: 07/02/2018
	Data Release Frequency: Quarterly

SACRAMENTO COUNTY:

Toxic Site Clean-Up List

List of sites where unauthorized releases of potentially hazardous materials have occurred.

Date of Government Version: 11/02/2017	Source: Sacramento County Environmental Management
Date Data Arrived at EDR: 01/03/2018	Telephone: 916-875-8406
Date Made Active in Reports: 02/05/2018	Last EDR Contact: 04/04/2018
Number of Days to Update: 33	Next Scheduled EDR Contact: 07/16/2018
	Data Release Frequency: Quarterly

Master Hazardous Materials Facility List

Any business that has hazardous materials on site - hazardous material storage sites, underground storage tanks, waste generators.

Date of Government Version: 11/02/2017	Source: Sacramento County Environmental Management
Date Data Arrived at EDR: 01/03/2018	Telephone: 916-875-8406
Date Made Active in Reports: 02/14/2018	Last EDR Contact: 04/04/2018
Number of Days to Update: 42	Next Scheduled EDR Contact: 07/16/2018
	Data Release Frequency: Quarterly

SAN BENITO COUNTY:

CUPA Facility List

Cupa facility list

Date of Government Version: 11/01/2017	Source: San Benito County Environmental Health
Date Data Arrived at EDR: 11/03/2017	Telephone: N/A
Date Made Active in Reports: 11/17/2017	Last EDR Contact: 05/16/2018
Number of Days to Update: 14	Next Scheduled EDR Contact: 08/20/2018
	Data Release Frequency: Varies

SAN BERNARDINO COUNTY:

Hazardous Material Permits

This listing includes underground storage tanks, medical waste handlers/generators, hazardous materials handlers, hazardous waste generators, and waste oil generators/handlers.

Date of Government Version: 11/30/2017	Source: San Bernardino County Fire Department Hazardous Materials Division
Date Data Arrived at EDR: 12/01/2017	Telephone: 909-387-3041
Date Made Active in Reports: 01/16/2018	Last EDR Contact: 04/06/2018
Number of Days to Update: 46	Next Scheduled EDR Contact: 08/20/2018
	Data Release Frequency: Quarterly

SAN DIEGO COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Hazardous Materials Management Division Database

The database includes: HE58 - This report contains the business name, site address, business phone number, establishment 'H' permit number, type of permit, and the business status. HE17 - In addition to providing the same information provided in the HE58 listing, HE17 provides inspection dates, violations received by the establishment, hazardous waste generated, the quantity, method of storage, treatment/disposal of waste and the hauler, and information on underground storage tanks. Unauthorized Release List - Includes a summary of environmental contamination cases in San Diego County (underground tank cases, non-tank cases, groundwater contamination, and soil contamination are included.)

Date of Government Version: 03/05/2018	Source: Hazardous Materials Management Division
Date Data Arrived at EDR: 03/07/2018	Telephone: 619-338-2268
Date Made Active in Reports: 04/16/2018	Last EDR Contact: 03/07/2018
Number of Days to Update: 40	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Quarterly

Solid Waste Facilities

San Diego County Solid Waste Facilities.

Date of Government Version: 10/31/2015	Source: Department of Health Services
Date Data Arrived at EDR: 11/07/2015	Telephone: 619-338-2209
Date Made Active in Reports: 01/04/2016	Last EDR Contact: 04/18/2018
Number of Days to Update: 58	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

Local Oversight Program Listing

A listing of all LOP release sites that are or were under the County of San Diego's jurisdiction. Included are closed or transferred cases, open cases, and cases that did not have a case type indicated. The cases without a case type are mostly complaints; however, some of them could be LOP cases.

Date of Government Version: 04/18/2018	Source: Department of Environmental Health
Date Data Arrived at EDR: 04/23/2018	Telephone: 858-505-6874
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 04/18/2018
Number of Days to Update: 11	Next Scheduled EDR Contact: 08/06/2018
	Data Release Frequency: Varies

Environmental Case Listing

The listing contains all underground tank release cases and projects pertaining to properties contaminated with hazardous substances that are actively under review by the Site Assessment and Mitigation Program.

Date of Government Version: 03/23/2010	Source: San Diego County Department of Environmental Health
Date Data Arrived at EDR: 06/15/2010	Telephone: 619-338-2371
Date Made Active in Reports: 07/09/2010	Last EDR Contact: 02/28/2018
Number of Days to Update: 24	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: No Update Planned

SAN FRANCISCO COUNTY:

Local Oversight Facilities

A listing of leaking underground storage tank sites located in San Francisco county.

Date of Government Version: 09/19/2008	Source: Department Of Public Health San Francisco County
Date Data Arrived at EDR: 09/19/2008	Telephone: 415-252-3920
Date Made Active in Reports: 09/29/2008	Last EDR Contact: 05/02/2018
Number of Days to Update: 10	Next Scheduled EDR Contact: 08/20/2018
	Data Release Frequency: Quarterly

Underground Storage Tank Information

Underground storage tank sites located in San Francisco county.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/02/2017
Date Data Arrived at EDR: 11/07/2017
Date Made Active in Reports: 12/19/2017
Number of Days to Update: 42

Source: Department of Public Health
Telephone: 415-252-3920
Last EDR Contact: 05/02/2018
Next Scheduled EDR Contact: 08/20/2018
Data Release Frequency: Quarterly

SAN JOAQUIN COUNTY:

San Joaquin Co. UST

A listing of underground storage tank locations in San Joaquin county.

Date of Government Version: 03/20/2018
Date Data Arrived at EDR: 03/22/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 43

Source: Environmental Health Department
Telephone: N/A
Last EDR Contact: 03/14/2018
Next Scheduled EDR Contact: 07/02/2018
Data Release Frequency: Semi-Annually

SAN LUIS OBISPO COUNTY:

CUPA Facility List

Cupa Facility List.

Date of Government Version: 11/16/2017
Date Data Arrived at EDR: 11/17/2017
Date Made Active in Reports: 12/18/2017
Number of Days to Update: 31

Source: San Luis Obispo County Public Health Department
Telephone: 805-781-5596
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Varies

SAN MATEO COUNTY:

Business Inventory

List includes Hazardous Materials Business Plan, hazardous waste generators, and underground storage tanks.

Date of Government Version: 03/14/2018
Date Data Arrived at EDR: 03/20/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 45

Source: San Mateo County Environmental Health Services Division
Telephone: 650-363-1921
Last EDR Contact: 03/07/2018
Next Scheduled EDR Contact: 06/25/2018
Data Release Frequency: Annually

Fuel Leak List

A listing of leaking underground storage tank sites located in San Mateo county.

Date of Government Version: 03/15/2018
Date Data Arrived at EDR: 03/20/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 45

Source: San Mateo County Environmental Health Services Division
Telephone: 650-363-1921
Last EDR Contact: 03/07/2018
Next Scheduled EDR Contact: 06/25/2018
Data Release Frequency: Semi-Annually

SANTA BARBARA COUNTY:

CUPA Facility Listing

CUPA Program Listing from the Environmental Health Services division.

Date of Government Version: 09/08/2011
Date Data Arrived at EDR: 09/09/2011
Date Made Active in Reports: 10/07/2011
Number of Days to Update: 28

Source: Santa Barbara County Public Health Department
Telephone: 805-686-8167
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Varies

SANTA CLARA COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Cupa Facility List

Cupa facility list

Date of Government Version: 02/20/2018
Date Data Arrived at EDR: 02/20/2018
Date Made Active in Reports: 03/19/2018
Number of Days to Update: 27

Source: Department of Environmental Health
Telephone: 408-918-1973
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Varies

HIST LUST - Fuel Leak Site Activity Report

A listing of open and closed leaking underground storage tanks. This listing is no longer updated by the county. Leaking underground storage tanks are now handled by the Department of Environmental Health.

Date of Government Version: 03/29/2005
Date Data Arrived at EDR: 03/30/2005
Date Made Active in Reports: 04/21/2005
Number of Days to Update: 22

Source: Santa Clara Valley Water District
Telephone: 408-265-2600
Last EDR Contact: 03/23/2009
Next Scheduled EDR Contact: 06/22/2009
Data Release Frequency: No Update Planned

LOP Listing

A listing of leaking underground storage tanks located in Santa Clara county.

Date of Government Version: 03/03/2014
Date Data Arrived at EDR: 03/05/2014
Date Made Active in Reports: 03/18/2014
Number of Days to Update: 13

Source: Department of Environmental Health
Telephone: 408-918-3417
Last EDR Contact: 05/22/2018
Next Scheduled EDR Contact: 09/10/2018
Data Release Frequency: Annually

Hazardous Material Facilities

Hazardous material facilities, including underground storage tank sites.

Date of Government Version: 02/04/2018
Date Data Arrived at EDR: 02/06/2018
Date Made Active in Reports: 03/20/2018
Number of Days to Update: 42

Source: City of San Jose Fire Department
Telephone: 408-535-7694
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 08/20/2018
Data Release Frequency: Annually

SANTA CRUZ COUNTY:

CUPA Facility List

CUPA facility listing.

Date of Government Version: 01/21/2017
Date Data Arrived at EDR: 02/22/2017
Date Made Active in Reports: 05/23/2017
Number of Days to Update: 90

Source: Santa Cruz County Environmental Health
Telephone: 831-464-2761
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Varies

SHASTA COUNTY:

CUPA Facility List

Cupa Facility List.

Date of Government Version: 06/15/2017
Date Data Arrived at EDR: 06/19/2017
Date Made Active in Reports: 08/09/2017
Number of Days to Update: 51

Source: Shasta County Department of Resource Management
Telephone: 530-225-5789
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Varies

SOLANO COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Leaking Underground Storage Tanks

A listing of leaking underground storage tank sites located in Solano county.

Date of Government Version: 03/08/2018	Source: Solano County Department of Environmental Management
Date Data Arrived at EDR: 03/13/2018	Telephone: 707-784-6770
Date Made Active in Reports: 05/04/2018	Last EDR Contact: 02/28/2018
Number of Days to Update: 52	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Quarterly

Underground Storage Tanks

Underground storage tank sites located in Solano county.

Date of Government Version: 03/08/2018	Source: Solano County Department of Environmental Management
Date Data Arrived at EDR: 03/13/2018	Telephone: 707-784-6770
Date Made Active in Reports: 03/29/2018	Last EDR Contact: 02/28/2018
Number of Days to Update: 16	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Quarterly

SONOMA COUNTY:

Cupa Facility List

Cupa Facility list

Date of Government Version: 03/01/2018	Source: County of Sonoma Fire & Emergency Services Department
Date Data Arrived at EDR: 03/27/2018	Telephone: 707-565-1174
Date Made Active in Reports: 04/16/2018	Last EDR Contact: 03/22/2018
Number of Days to Update: 20	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Varies

Leaking Underground Storage Tank Sites

A listing of leaking underground storage tank sites located in Sonoma county.

Date of Government Version: 04/03/2018	Source: Department of Health Services
Date Data Arrived at EDR: 04/06/2018	Telephone: 707-565-6565
Date Made Active in Reports: 05/09/2018	Last EDR Contact: 03/22/2018
Number of Days to Update: 33	Next Scheduled EDR Contact: 07/09/2018
	Data Release Frequency: Quarterly

STANISLAUS COUNTY:

CUPA Facility List

Cupa facility list

Date of Government Version: 02/06/2018	Source: Stanislaus County Department of Environmental Protection
Date Data Arrived at EDR: 02/07/2018	Telephone: 209-525-6751
Date Made Active in Reports: 03/16/2018	Last EDR Contact: 04/16/2018
Number of Days to Update: 37	Next Scheduled EDR Contact: 07/30/2018
	Data Release Frequency: Varies

SUTTER COUNTY:

Underground Storage Tanks

Underground storage tank sites located in Sutter county.

Date of Government Version: 01/08/2018	Source: Sutter County Department of Agriculture
Date Data Arrived at EDR: 03/01/2018	Telephone: 530-822-7500
Date Made Active in Reports: 03/30/2018	Last EDR Contact: 02/28/2018
Number of Days to Update: 29	Next Scheduled EDR Contact: 06/18/2018
	Data Release Frequency: Semi-Annually

TEHAMA COUNTY:

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CUPA Facility List

Cupa facilities

Date of Government Version: 01/26/2018
Date Data Arrived at EDR: 02/02/2018
Date Made Active in Reports: 03/21/2018
Number of Days to Update: 47

Source: Tehama County Department of Environmental Health
Telephone: 530-527-8020
Last EDR Contact: 05/03/2018
Next Scheduled EDR Contact: 08/20/2018
Data Release Frequency: Varies

TRINITY COUNTY:

CUPA Facility List

Cupa facility list

Date of Government Version: 01/22/2018
Date Data Arrived at EDR: 01/25/2018
Date Made Active in Reports: 03/19/2018
Number of Days to Update: 53

Source: Department of Toxic Substances Control
Telephone: 760-352-0381
Last EDR Contact: 04/18/2018
Next Scheduled EDR Contact: 08/06/2018
Data Release Frequency: Varies

TULARE COUNTY:

CUPA Facility List

Cupa program facilities

Date of Government Version: 03/19/2018
Date Data Arrived at EDR: 03/22/2018
Date Made Active in Reports: 04/17/2018
Number of Days to Update: 26

Source: Tulare County Environmental Health Services Division
Telephone: 559-624-7400
Last EDR Contact: 05/16/2018
Next Scheduled EDR Contact: 08/20/2018
Data Release Frequency: Varies

TUOLUMNE COUNTY:

CUPA Facility List

Cupa facility list

Date of Government Version: 01/22/2018
Date Data Arrived at EDR: 01/25/2018
Date Made Active in Reports: 03/16/2018
Number of Days to Update: 50

Source: Division of Environmental Health
Telephone: 209-533-5633
Last EDR Contact: 04/18/2018
Next Scheduled EDR Contact: 08/06/2018
Data Release Frequency: Varies

VENTURA COUNTY:

Business Plan, Hazardous Waste Producers, and Operating Underground Tanks

The BWT list indicates by site address whether the Environmental Health Division has Business Plan (B), Waste Producer (W), and/or Underground Tank (T) information.

Date of Government Version: 12/26/2017
Date Data Arrived at EDR: 01/25/2018
Date Made Active in Reports: 03/14/2018
Number of Days to Update: 48

Source: Ventura County Environmental Health Division
Telephone: 805-654-2813
Last EDR Contact: 04/23/2018
Next Scheduled EDR Contact: 08/06/2018
Data Release Frequency: Quarterly

Inventory of Illegal Abandoned and Inactive Sites

Ventura County Inventory of Closed, Illegal Abandoned, and Inactive Sites.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/01/2011
Date Data Arrived at EDR: 12/01/2011
Date Made Active in Reports: 01/19/2012
Number of Days to Update: 49

Source: Environmental Health Division
Telephone: 805-654-2813
Last EDR Contact: 03/29/2018
Next Scheduled EDR Contact: 07/16/2018
Data Release Frequency: Annually

Listing of Underground Tank Cleanup Sites

Ventura County Underground Storage Tank Cleanup Sites (LUST).

Date of Government Version: 05/29/2008
Date Data Arrived at EDR: 06/24/2008
Date Made Active in Reports: 07/31/2008
Number of Days to Update: 37

Source: Environmental Health Division
Telephone: 805-654-2813
Last EDR Contact: 05/09/2018
Next Scheduled EDR Contact: 08/27/2018
Data Release Frequency: Quarterly

Medical Waste Program List

To protect public health and safety and the environment from potential exposure to disease causing agents, the Environmental Health Division Medical Waste Program regulates the generation, handling, storage, treatment and disposal of medical waste throughout the County.

Date of Government Version: 12/26/2017
Date Data Arrived at EDR: 01/25/2018
Date Made Active in Reports: 03/20/2018
Number of Days to Update: 54

Source: Ventura County Resource Management Agency
Telephone: 805-654-2813
Last EDR Contact: 04/23/2018
Next Scheduled EDR Contact: 08/06/2018
Data Release Frequency: Quarterly

Underground Tank Closed Sites List

Ventura County Operating Underground Storage Tank Sites (UST)/Underground Tank Closed Sites List.

Date of Government Version: 02/28/2018
Date Data Arrived at EDR: 03/14/2018
Date Made Active in Reports: 03/30/2018
Number of Days to Update: 16

Source: Environmental Health Division
Telephone: 805-654-2813
Last EDR Contact: 03/14/2018
Next Scheduled EDR Contact: 06/25/2018
Data Release Frequency: Quarterly

YOLO COUNTY:

Underground Storage Tank Comprehensive Facility Report

Underground storage tank sites located in Yolo county.

Date of Government Version: 03/27/2018
Date Data Arrived at EDR: 04/03/2018
Date Made Active in Reports: 05/04/2018
Number of Days to Update: 31

Source: Yolo County Department of Health
Telephone: 530-666-8646
Last EDR Contact: 03/29/2018
Next Scheduled EDR Contact: 07/16/2018
Data Release Frequency: Annually

YUBA COUNTY:

CUPA Facility List

CUPA facility listing for Yuba County.

Date of Government Version: 02/01/2018
Date Data Arrived at EDR: 02/02/2018
Date Made Active in Reports: 03/21/2018
Number of Days to Update: 47

Source: Yuba County Environmental Health Department
Telephone: 530-749-7523
Last EDR Contact: 04/25/2018
Next Scheduled EDR Contact: 08/13/2018
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 01/03/2018
Date Data Arrived at EDR: 02/14/2018
Date Made Active in Reports: 03/22/2018
Number of Days to Update: 36

Source: Department of Energy & Environmental Protection
Telephone: 860-424-3375
Last EDR Contact: 05/18/2018
Next Scheduled EDR Contact: 08/27/2018
Data Release Frequency: No Update Planned

NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2016
Date Data Arrived at EDR: 04/11/2017
Date Made Active in Reports: 07/27/2017
Number of Days to Update: 107

Source: Department of Environmental Protection
Telephone: N/A
Last EDR Contact: 04/23/2018
Next Scheduled EDR Contact: 07/23/2018
Data Release Frequency: Annually

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 12/31/2017
Date Data Arrived at EDR: 01/31/2018
Date Made Active in Reports: 03/09/2018
Number of Days to Update: 37

Source: Department of Environmental Conservation
Telephone: 518-402-8651
Last EDR Contact: 05/03/2018
Next Scheduled EDR Contact: 08/13/2018
Data Release Frequency: Quarterly

PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2016
Date Data Arrived at EDR: 07/25/2017
Date Made Active in Reports: 09/25/2017
Number of Days to Update: 62

Source: Department of Environmental Protection
Telephone: 717-783-8990
Last EDR Contact: 04/12/2018
Next Scheduled EDR Contact: 07/30/2018
Data Release Frequency: Annually

RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2017
Date Data Arrived at EDR: 02/23/2018
Date Made Active in Reports: 04/09/2018
Number of Days to Update: 45

Source: Department of Environmental Management
Telephone: 401-222-2797
Last EDR Contact: 05/21/2018
Next Scheduled EDR Contact: 09/03/2018
Data Release Frequency: Annually

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2016
Date Data Arrived at EDR: 04/13/2017
Date Made Active in Reports: 07/14/2017
Number of Days to Update: 92

Source: Department of Natural Resources
Telephone: N/A
Last EDR Contact: 03/08/2018
Next Scheduled EDR Contact: 06/25/2018
Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Oil/Gas Pipelines

Source: PennWell Corporation

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by PennWell Corporation. This information is provided on a best effort basis and PennWell Corporation does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of PennWell.

Electric Power Transmission Line Data

Source: PennWell Corporation

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Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Licensed Facilities

Source: Department of Social Services

Telephone: 916-657-4041

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetland Inventory

Source: Department of Fish & Game

Telephone: 916-445-0411

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Current USGS 7.5 Minute Topographic Map
Source: U.S. Geological Survey

STREET AND ADDRESS INFORMATION

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GEOCHECK® - PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

RESIDENTIAL DUPLEX
2422 5TH STREET
BERKELEY, CA 94710

TARGET PROPERTY COORDINATES

Latitude (North): 37.860555 - 37° 51' 38.00"
Longitude (West): 122.296828 - 122° 17' 48.58"
Universal Tranverse Mercator: Zone 10
UTM X (Meters): 561855.2
UTM Y (Meters): 4190371.0
Elevation: 30 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map: 5641112 OAKLAND WEST, CA
Version Date: 2012

North Map: 5640624 RICHMOND, CA
Version Date: 2012

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principal investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

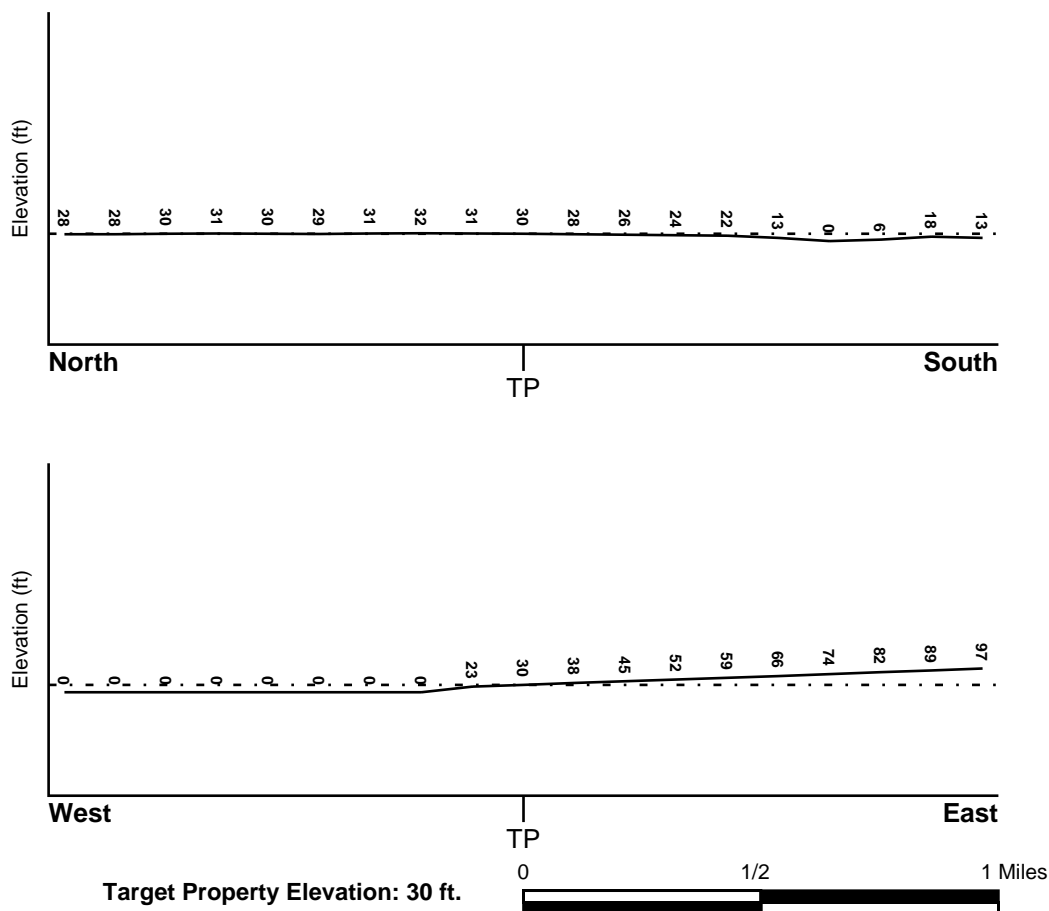
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General West

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

<u>Flood Plain Panel at Target Property</u>	<u>FEMA Source Type</u>
06001C0056G	FEMA FIRM Flood data
<u>Additional Panels in search area:</u>	<u>FEMA Source Type</u>
06013C0243G	FEMA FIRM Flood data
06001C0057G	FEMA FIRM Flood data
06001C0052G	FEMA FIRM Flood data

NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u>	<u>NWI Electronic Data Coverage</u>
OAKLAND WEST	YES - refer to the Overview Map and Detail Map

HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Site-Specific Hydrogeological Data*:
 Search Radius: 1.25 miles
 Status: Not found

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
1	1/8 - 1/4 Mile North	NW
2	1/4 - 1/2 Mile SE	NE, SE
A3	1/4 - 1/2 Mile ESE	Not Reported
4	1/2 - 1 Mile North	Not Reported
A5	1/2 - 1 Mile ESE	Not Reported
7	1/2 - 1 Mile NNW	NE

* ©1996 Site-specific hydrogeological data gathered by CERCLIS Alerts, Inc., Bainbridge Island, WA. All rights reserved. All of the information and opinions presented are those of the cited EPA report(s), which were completed under a Comprehensive Environmental Response Compensation and Liability Information System (CERCLIS) investigation.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
B8	1/2 - 1 Mile SSE	WSW
C9	1/2 - 1 Mile South	SW
B10	1/2 - 1 Mile SSE	SW
B11	1/2 - 1 Mile SSE	Varies
B12	1/2 - 1 Mile SSE	SW
C13	1/2 - 1 Mile South	Varies
C14	1/2 - 1 Mile South	Varies
15	1/2 - 1 Mile SSE	W
D16	1/2 - 1 Mile SSE	Varies
17	1/2 - 1 Mile SSE	NE
18	1/2 - 1 Mile South	SW
D19	1/2 - 1 Mile SSE	Varies
1G	1/2 - 1 Mile NNW	NE
2G	1/2 - 1 Mile North	Not Reported
3G	1/8 - 1/4 Mile North	NW
4G	1/4 - 1/2 Mile ESE	Not Reported
5G	1/2 - 1 Mile ESE	Not Reported
6G	1/4 - 1/2 Mile SE	NE, SE
7G	1/2 - 1 Mile SSE	W
8G	1/2 - 1 Mile SSE	SW
9G	1/2 - 1 Mile SSE	Varies
10G	1/2 - 1 Mile SSE	SW
11G	1/2 - 1 Mile SSE	WSW
12G	1/2 - 1 Mile South	SW
13G	1/2 - 1 Mile South	Varies
14G	1/2 - 1 Mile South	Varies
15G	1/2 - 1 Mile SSE	Varies
16G	1/2 - 1 Mile SSE	Varies
17G	1/2 - 1 Mile SSE	NE
18G	1/2 - 1 Mile South	SW

For additional site information, refer to Physical Setting Source Map Findings.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

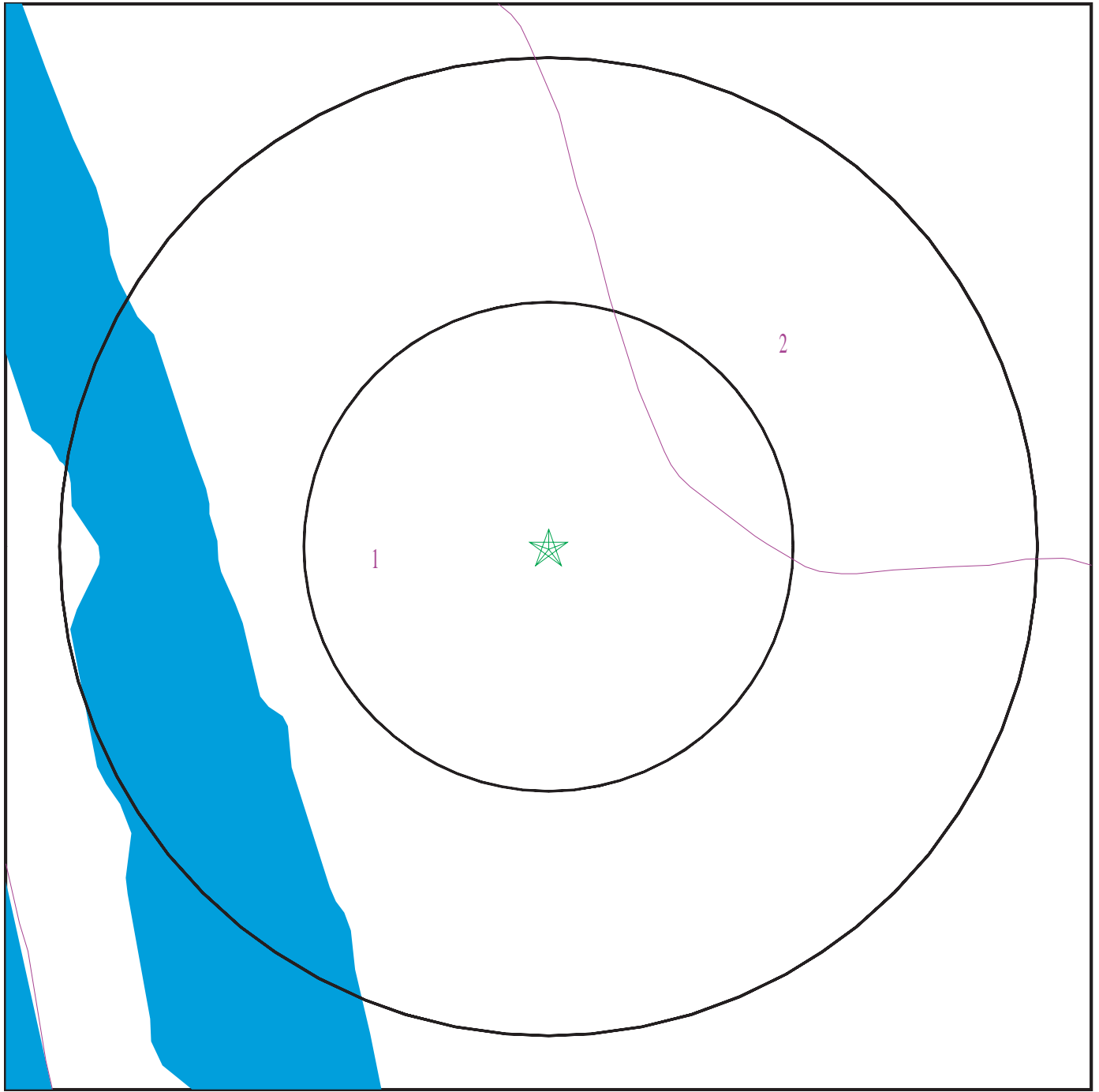
ROCK STRATIGRAPHIC UNIT

GEOLOGIC AGE IDENTIFICATION

Era:	Cenozoic	Category:	Stratified Sequence
System:	Quaternary		
Series:	Quaternary		
Code:	Q (decoded above as Era, System & Series)		

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

SSURGO SOIL MAP - 5312825.2s



- ★ Target Property
- ∕ SSURGO Soil
- ∕ Water



SITE NAME: Residential Duplex
ADDRESS: 2422 5th Street
Berkeley CA 94710
LAT/LONG: 37.860555 / 122.296828

CLIENT: Partner Engineering and Science, Inc.
CONTACT: Colleen Tubridy
INQUIRY #: 5312825.2s
DATE: May 29, 2018 10:59 am

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. The following information is based on Soil Conservation Service SSURGO data.

Soil Map ID: 1

Soil Component Name: Urban land

Soil Surface Texture:
Hydrologic Group: Not reported

Soil Drainage Class:
Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

No Layer Information available.

Soil Map ID: 2

Soil Component Name: Urban land

Soil Surface Texture:
Hydrologic Group: Not reported

Soil Drainage Class:
Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 153 inches

No Layer Information available.

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No PWS System Found		

Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
6	CADW60000001684	1/2 - 1 Mile NNW

PHYSICAL SETTING SOURCE MAP - 5312825.2s



- County Boundary
- Major Roads
- Contour Lines
- Earthquake Fault Lines
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons

- Groundwater Flow Direction
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location
- Closest Hydrogeological Data
- Oil, gas or related wells

<p>SITE NAME: Residential Duplex ADDRESS: 2422 5th Street Berkeley CA 94710 LAT/LONG: 37.860555 / 122.296828</p>	<p>CLIENT: Partner Engineering and Science, Inc. CONTACT: Colleen Tubridy INQUIRY #: 5312825.2s DATE: May 29, 2018 10:59 am</p>
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GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation			Database	EDR ID Number	
1 North 1/8 - 1/4 Mile Higher	Site ID:	01-1496			
	Groundwater Flow:	NW	AQUIFLOW	38262	
	Shallow Water Depth:	9.9			
	Deep Water Depth:	13.0			
	Average Water Depth:	Not Reported			
	Date:	11/04/1988			
2 SE 1/4 - 1/2 Mile Higher	Site ID:	01-0436			
	Groundwater Flow:	NE, SE	AQUIFLOW	65488	
	Shallow Water Depth:	Not Reported			
	Deep Water Depth:	Not Reported			
	Average Water Depth:	20			
	Date:	07/31/1996			
A3 ESE 1/4 - 1/2 Mile Higher	Site ID:	01-1051			
	Groundwater Flow:	Not Reported	AQUIFLOW	38237	
	Shallow Water Depth:	Not Reported			
	Deep Water Depth:	Not Reported			
	Average Water Depth:	10			
	Date:	09/1993			
4 North 1/2 - 1 Mile Lower	Site ID:	01-1464			
	Groundwater Flow:	Not Reported	AQUIFLOW	38261	
	Shallow Water Depth:	Not Reported			
	Deep Water Depth:	Not Reported			
	Average Water Depth:	10.0			
	Date:	10/07/1987			
A5 ESE 1/2 - 1 Mile Higher	Site ID:	01-0195			
	Groundwater Flow:	Not Reported	AQUIFLOW	38199	
	Shallow Water Depth:	Not Reported			
	Deep Water Depth:	Not Reported			
	Average Water Depth:	9-6			
	Date:	09/06/1988			
6 NNW 1/2 - 1 Mile Lower	Objectid:	1684			
	Latitude:	37.8686			
	Longitude:	-122.2993			
	Site code:	378686N1222993W001			
	State well numbe:	01S04W04R001M			
	Local well name:	"			
	Well use id:	2			
	Well use descrip:	Industrial			
	County id:	1			
	County name:	Alameda			
				CA WELLS	CADW60000001684

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Basin code: '2-9.04'
 Basin desc: East Bay Plain
 Dwr region id: 80236
 Dwr region: North Central Region Office
 Site id: CADW60000001684

7 NNW 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-2069 NE Not Reported Not Reported 5 05/17/1995	AQUIFLOW	38191
B8 SSE 1/2 - 1 Mile Higher	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-2191 WSW Not Reported Not Reported 10' 02/06/1997	AQUIFLOW	51589
C9 South 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-1415 SW 9.24 13.55 Not Reported 10/07/1992	AQUIFLOW	51570
B10 SSE 1/2 - 1 Mile Higher	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0726 SW Not Reported Not Reported 8 ft. 08/30/1993	AQUIFLOW	51568
B11 SSE 1/2 - 1 Mile Higher	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0726 Varies Not Reported Not Reported 11.02 05/31/1995	AQUIFLOW	51566
B12 SSE 1/2 - 1 Mile Higher	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0726 SW Not Reported Not Reported 11.02 05/31/1994	AQUIFLOW	51567
C13 South 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0971 Varies 21.5 22.0 Not Reported 01/30/1990	AQUIFLOW	52485

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation			Database	EDR ID Number
C14 South 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0971 Varies 5.15 13.13 Not Reported 12/15/1995	AQUIFLOW	52486
15 SSE 1/2 - 1 Mile Higher	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-2191 W Not Reported Not Reported 5 bgs 10/21/1996	AQUIFLOW	51590
D16 SSE 1/2 - 1 Mile Higher	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-1091 Varies Not Reported Not Reported 10.5 03/31/1988	AQUIFLOW	51581
17 SSE 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-1785 NE 4.18 4.94 Not Reported 09/14/1992	AQUIFLOW	52365
18 South 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0558 SW 4.19 12.04 Not Reported 06/30/1995	AQUIFLOW	53573
D19 SSE 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0753 Varies Not Reported Not Reported 12 ft 07/14/1988	AQUIFLOW	51577
1G NNW 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-2069 NE Not Reported Not Reported 5 05/17/1995	AQUIFLOW	38191

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation			Database	EDR ID Number
2G North 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-1464 Not Reported Not Reported Not Reported 10.0 10/07/1987	AQUIFLOW	38261
3G North 1/8 - 1/4 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-1496 NW 9.9 13.0 Not Reported 11/04/1988	AQUIFLOW	38262
4G ESE 1/4 - 1/2 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-1051 Not Reported Not Reported Not Reported 10 09/1993	AQUIFLOW	38237
5G ESE 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0195 Not Reported Not Reported Not Reported 9-6 09/06/1988	AQUIFLOW	38199
6G SE 1/4 - 1/2 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0436 NE, SE Not Reported Not Reported 20 07/31/1996	AQUIFLOW	65488
7G SSE 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-2191 W Not Reported Not Reported 5 bgs 10/21/1996	AQUIFLOW	51590
8G SSE 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0726 SW Not Reported Not Reported 8 ft. 08/30/1993	AQUIFLOW	51568

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation			Database	EDR ID Number
9G SSE 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0726 Varies Not Reported Not Reported 11.02 05/31/1995	AQUIFLOW	51566
10G SSE 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0726 SW Not Reported Not Reported 11.02 05/31/1994	AQUIFLOW	51567
11G SSE 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-2191 WSW Not Reported Not Reported 10' 02/06/1997	AQUIFLOW	51589
12G South 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-1415 SW 9.24 13.55 Not Reported 10/07/1992	AQUIFLOW	51570
13G South 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0971 Varies 21.5 22.0 Not Reported 01/30/1990	AQUIFLOW	52485
14G South 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-0971 Varies 5.15 13.13 Not Reported 12/15/1995	AQUIFLOW	52486
15G SSE 1/2 - 1 Mile Lower	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	01-1091 Varies Not Reported Not Reported 10.5 03/31/1988	AQUIFLOW	51581

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation			Database	EDR ID Number
16G SSE 1/2 - 1 Mile Lower	Site ID:	01-0753		
	Groundwater Flow:	Varies	AQUIFLOW	51577
	Shallow Water Depth:	Not Reported		
	Deep Water Depth:	Not Reported		
	Average Water Depth:	12 ft		
	Date:	07/14/1988		
17G SSE 1/2 - 1 Mile Lower	Site ID:	01-1785		
	Groundwater Flow:	NE	AQUIFLOW	52365
	Shallow Water Depth:	4.18		
	Deep Water Depth:	4.94		
	Average Water Depth:	Not Reported		
	Date:	09/14/1992		
18G South 1/2 - 1 Mile Lower	Site ID:	01-0558		
	Groundwater Flow:	SW	AQUIFLOW	53573
	Shallow Water Depth:	4.19		
	Deep Water Depth:	12.04		
	Average Water Depth:	Not Reported		
	Date:	06/30/1995		

**GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS
RADON**

AREA RADON INFORMATION

State Database: CA Radon

Radon Test Results

Zipcode	Num Tests	> 4 pCi/L
94710	7	0

Federal EPA Radon Zone for ALAMEDA County: 2

- Note: Zone 1 indoor average level > 4 pCi/L.
- : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.
- : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for ALAMEDA COUNTY, CA

Number of sites tested: 49

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	0.776 pCi/L	100%	0%	0%
Living Area - 2nd Floor	-0.400 pCi/L	100%	0%	0%
Basement	1.338 pCi/L	100%	0%	0%

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

HYDROLOGIC INFORMATION

Flood Zone Data: This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005 and 2010 from the U.S. Fish and Wildlife Service.

State Wetlands Data: Wetland Inventory

Source: Department of Fish & Game

Telephone: 916-445-0411

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Service, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

STATE RECORDS

Water Well Database

Source: Department of Water Resources

Telephone: 916-651-9648

California Drinking Water Quality Database

Source: Department of Public Health

Telephone: 916-324-2319

The database includes all drinking water compliance and special studies monitoring for the state of California since 1984. It consists of over 3,200,000 individual analyses along with well and water system information.

OTHER STATE DATABASE INFORMATION

California Oil and Gas Well Locations

Source: Department of Conservation

Telephone: 916-323-1779

Oil and Gas well locations in the state.

RADON

State Database: CA Radon

Source: Department of Health Services

Telephone: 916-324-2208

Radon Database for California

Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey.

The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

OTHER

Airport Landing Facilities: Private and public use landing facilities
Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater
Source: Department of Commerce, National Oceanic and Atmospheric Administration

California Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary fault lines, prepared in 1975 by the United State Geological Survey. Additional information (also from 1975) regarding activity at specific fault lines comes from California's Preliminary Fault Activity Map prepared by the California Division of Mines and Geology.

STREET AND ADDRESS INFORMATION

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APPENDIX D: QUALIFICATIONS

Education

B.A., Integrated Biology, Human Biology and Health Services, University of California, Berkeley

Highlights

Phase I Environmental Site Assessments
Transaction Screen Assessments
Records Search with Risk Assessments
Environmental Desktop Reports

Experience Summary

Ms. Xiao serves as a Staff Assessor for Partner Engineering and Science, Inc. (Partner), performing Phase I Environmental Site Assessments on a variety of property types in accordance with EPA's All Appropriate Inquiry (AAI) and the American Society of Testing and Materials (ASTM). She has worked as a project assessor on sites involved with initiatives for transfer, sale, and redevelopment.

Ms. Xiao's responsibilities include conducting Freedom of Information Act (FOIA) agency file reviews, detailed site-inspections, in-depth historical reviews, and preparation and submittal of reports. She has conducted numerous projects on high rises, gas stations, industrial facilities, and large retail complexes throughout the San Francisco Bay and greater Northern California region. Many of these reports have had known manufacturing/industrial use and associated underground storage tanks.

Project Experience

Metal Parts Manufacturer, Hayward, California. Ms. Xiao performed a Phase I Environmental Site Assessment for a metal parts manufacturer that had been in operation from the late 1970s until 2017. She recommended subsurface investigations due to prolonged use and large quantities of hazardous materials stored onsite. The results of the Phase II Environmental Subsurface Investigation indicated high concentrations of contaminants in the soil and groundwater, leading the property to become an active cleanup site.

Construction Materials Storage Yard, Livermore, California. Ms. Xiao performed a Phase I Environmental Site Assessment for 3-acre materials storage yard that was formerly utilized as a truck and trailer storage, maintenance, and salvaging facility from the 1970s to the 2000s and that had residual contamination after site mitigation.

Art Studio and Gallery, Oakland, California. Ms. Xiao performed a Phase I Environmental Site Assessment for a warehouse that was utilized as an art studio and gallery. She identified a past foundry that had operated on the site from the 1940s to the 2000s and recommended a subsurface investigation for potential metal contamination.

Multi-Family Apartment Complex, Fresno, California. Ms. Xiao performed a Fannie Mae Phase I Environmental Site Assessment for a 164-unit multi-family apartment complex.

Commercial Shopping Center, Hayward, California. Ms. Xiao performed a Phase I Environmental Site Assessment for a large multi-building shopping center with former tenants including a dry cleaner and multiple adjacent gasoline service station leak cases.

Jane Xiao

Multi-Building Commercial Complex, Hayward, California. Ms. Xiao performed a Phase I Environmental Site Assessment for a commercial complex that was occupied by auto sales, auto body, and auto repair tenants.

Retail Store, San Francisco, California. Ms. Xiao performed a Phase I Environmental Site Assessment as part of a large Kelly Moore portfolio and identified a former onsite underground storage tank.

Research and Development Facilities, Petaluma, California. Ms. Xiao performed a Phase I Environmental Site Assessment for a multi-building complex occupied by research and development facilities.

Contact

jxiao@partneresi.com

Education

B.A. Geography, California State University Fresno

Training

OSHA 24-Hour Health and Safety Training

Highlights

11 years of experience in environmental consulting
Phase I Environmental Site Assessments (ESAs)
Environmental Transaction Screens

Experience Summary

Mr. Redding serves as a Project Manager for Partner Engineering and Science, Inc. (Partner), overseeing and managing all aspects of multi-scope projects including Phase I ESAs in accordance with EPA's All Appropriate Inquiry (AAI), Property Condition Assessments (PCAs), Zoning Reports, and Seismic Assessments.

Mr. Redding has over eleven years of project experience in the environmental consulting industry. Mr. Redding is familiar with all aspects of Due Diligence Property Assessments and the needs and requirements of a varied number of reporting standards, including ASTM E1527-13, EPA's All Appropriate Inquiry (AAI), The U.S. Small Business Administration (SBA), and customized client formats and scopes. Mr. Redding has performed and supervised over 1,000 ESAs and customized environmental assessments of a variety of properties including multi-family residential, hospitality, commercial office buildings, shopping centers, multi-tenant commercial complexes, industrial warehouses, manufacturing facilities, dry cleaning plants, gasoline service stations, automotive repair and body shops, medical facilities, food processing facilities, and agricultural properties.

Project Experience

Junior College Campus and Historical Military and Medical Hospital, Modesto, CA. Mr. Redding prepared a Phase I ESA on a junior college campus in Modesto, the site of a historical World War II era military hospital and subsequent State-run hospital. Multiple recognized environmental conditions (RECs) were identified related to current and historical uses including vehicle and facilities maintenance, underground and aboveground fueling facilities, domestic wastewater treatment systems and septic systems, and asbestos and lead-based paint issues.

2,500-Acre Agricultural Property, Maricopa, CA. Mr. Redding prepared a Phase I ESA on a large agricultural property within an active oil and gas production area. Multiple RECs were identified related to oil and gas well development, oil and gas production, subsurface oil and gas pipelines, aboveground fuel storage, and agricultural chemical use, storage, and application.

Printed Circuit Board Manufacturing Facility, Redwood City, CA. Mr. Redding prepared a Phase I ESA on a printed circuit board manufacturing facility. Multiple RECs were identified related to electroplating, etching, silk screening, chemical storage, and hazardous waste generation, storage, and treatment operations.

Joel Redding

10-Site Residential Portfolio, Central CA. Managed a multi-million dollar acquisition project consisting of Phase ESAs of ten, large-acreage, rural agricultural properties throughout Central California for a residential developer. Duties included managing, performing, and reviewing Phase I ESAs.

25-Site Grocery Chain Portfolio, OR and CA. Managed a multi-million dollar rehabilitation financing project consisting of Phase I ESAs of 25 grocery store properties throughout the State of Oregon and Northern California. Duties included managing, performing, and reviewing Phase I ESAs.

16-Site Multi-Family Residential Portfolio, FL. Managed a multi-million dollar acquisition project consisting of 16, multi-story apartment buildings in Florida. Duties included managing and reviewing Phase I ESAs.

Contact

jredding@partneresi.com

Education

B.A., Environmental Analysis and Criminal Justice, University of California Irvine

Trainings

ASTM Technical and Professional Training

Hazardous Materials Management Certificate Courses, University of California Irvine

Highlights

25 years of experience in Real Estate Due Diligence/Consulting and Site Development Engineering

Prepared over 10,000 Phase I Environmental Site Assessments

Managed over 20,000 Phase I Environmental Site Assessments

Managed over 1,000 Phase II Subsurface Soil/Groundwater and Soil Gas Investigations, Asbestos, Lead, and Radon Screenings

Managed Several Class-A Equity Property Condition Assessments with Specialized Inspections, Seismic Evaluations, ALTA Surveys, Zoning, ADA Surveys and Pest Inspections

Managed Several Civil Engineering/Geotechnical Investigations of Commercial Development Projects, Construction Doc and Cost Reviews, Construction Progress Monitoring, and Energy Benchmarking

Experience Summary

Mr. Taylor is a Principal and National Client Manager with significant experience in commercial real estate due diligence and site development engineering throughout the United States with specialized geographical experience in California and the Pacific West/Northwest. His responsibilities include full-phase site development and environmental consulting, national client management, multi-scope contract negotiation/execution, portfolio project management, and technical report quality control. Mr. Taylor's regional and national expertise compliments the wide variety of Partner projects and client types including national and local lending institutions, asset management/investment groups, commercial/retail developers, and commercial real estate professionals.

Mr. Taylor has 25 years of experience in national commercial real estate due diligence consulting including Phase I Environmental Site Assessments, Phase II Subsurface Soil/Soil Gas Investigations, Property Condition Assessments, Seismic Evaluations, Asbestos, Lead-Paint, and Radon Surveys, ALTA Surveys, Geotechnical Investigations, Civil Engineering, MEP Special Inspections, Energy Evaluations, and Construction Monitoring.

Mr. Taylor has assessed/managed over 20,000 commercial real estate transactions throughout his professional career including several multi-million dollar asset portfolios consisting of a 29-site commercial office property acquisition, two 1,200-site cellular tower transactions, a 215-site regional shopping center vacancy evaluation, a 25-site regional grocery-store chain environmental/survey evaluation, a 16-site multi-family apartment building acquisition, a 10-site residential development acquisition, and 5-site Class A multi-specialized-scope building acquisition inspection. These transactions have included some or all of Partner's core engineering due diligence services described above. Mr. Taylor routinely manages national asset/developer clients to evaluate the environmental and structural risks associated with commercial/industrial properties prior to acquisition. These risks may be associated with past hazardous materials use (i.e., gasoline stations, dry cleaners) which require historical research combined with subsurface evaluations to assess for contamination that could devalue the property or create a human

Cody Taylor

health concern to occupants or construction workers; evaluate for asbestos, lead-based paint, and radon to determine the need for abatement or venting systems; evaluate the structural integrity of the building and assess for seismic retrofit; evaluate the roof, mechanical, electrical, plumbing systems (i.e., elevators, HVAC systems, sewer); evaluate for American Disabilities Act (ADA) deficiencies (i.e., ramps, railings, access); survey the property boundaries (i.e., ALTA Surveys); evaluate the subsurface conditions for construction suitability (i.e., Geotechnical Investigations); Civil Engineering/Design, and energy studies of the site building to meet with current requirements and systems efficiencies.

Project Experience

National Quick-Serve Restaurant Chains. Multiple National Quick-Serve Restaurant (QSR) Chain development projects (ongoing) which include Phase I Environmental Site Assessments, Asbestos Surveys, Geotechnical Investigations, ALTA Surveys, and Civil Design. Mr. Taylor manages/assists several QSR and commercial development companies with their site development due diligence engineering assessments. These projects require multiple scope management and coordination with architects, municipalities, water purveyors, and construction design/contractor entities. Mr. Taylor's due diligence engineering experience as well as Partner's responsiveness and expertise in national commercial real estate development engineering create successful developments and client satisfaction on an ongoing basis.

Large Residential Development. A \$50 million dollar residential development project including a Phase I Environmental Site Assessment, Phase II Subsurface Investigation, Site Remediation Investigation with State Regulatory Oversight, and a Civil Design (geotechnical investigations, surveys, grading design, civil plan, and permitting). Multiple engineering professionals completed state-directed remedial investigations and construction civil design for the large-scale residential development. The project required significant management/collaboration with the client and the state for completion. The development was successful and exemplified Mr. Taylor's due diligence engineering experience as well as Partner's responsiveness and expertise in commercial real estate evaluation and regulatory compliance.

247-Unit Multi-Family Acquisition. A \$42 million dollar acquisition project consisting of 53 multi-family residential buildings which included a Phase I Environmental Site Assessment, Property Condition Assessment, Seismic Evaluation, ALTA Survey, Zoning, and termite/pest inspections. Multiple engineering professionals were coordinated and dispatched to the project site including two pest inspecting contractors to complete due diligence assessments and cost studies associated with the acquisition. The acquisition was successful and exemplified Mr. Taylor's due diligence engineering experience as well as Partner's responsiveness and expertise in commercial real estate evaluation.

Beverly Hills Country Club Renovation. A \$12 million dollar renovation project which included a Phase I Environmental Site Assessment, Property Condition Assessment, Seismic Evaluation, ADA Survey, ALTA Survey and a comprehensive roof assessment. Multiple engineering professionals were coordinated and dispatched to the project site to complete due diligence assessments and cost studies associated with the planned renovation of the historic facility. The renovation was successful and exemplified Mr. Taylor's due diligence engineering experience as well as Partner's responsiveness and expertise in commercial real estate evaluation.

Philadelphia Commercial Office Portfolio. A \$186 million dollar acquisition project consisting of 29, multi-story commercial office buildings and included Phase I Environmental Site Assessments and Property

Cody Taylor

Condition Assessments with special inspections of HVAC systems, elevators, and roofing systems. Multiple inspectors were coordinated and dispatched to each site within a two-week report completion timeline. Special inspection findings and related repair costs were cross-calculated with generalist inspection reporting and incorporated into the Property Condition Assessment spreadsheets for client/lender review. The acquisition was successful and exemplified Mr. Taylor's project management and negotiation skills, coordination of several in-house engineering professionals and subcontracted elevator consultants as well as Partner's responsiveness and expertise of client/lender's expedited timeline.

National Cellular Tower Portfolios. Two multi-million dollar acquisition projects consisting of over 2,400 cellular towers located throughout the United States which included Phase I Environmental Site Assessments. Multiple national inspectors were dispatched to each mountain-top tower within each state. The inspections incorporated the use of guides and four-wheel drive vehicles (primarily Jeeps) to visually inspect each tower. The acquisition project was successful and exemplified Mr. Taylor's project management skills, coordination of dozens of national inspectors, quality control reviews, and responsiveness to client's timeline.

Oregon Grocery Chain Portfolio. A multi-million dollar rehabilitation financing project consisting of 25 grocery store properties throughout the State of Oregon and included Phase I Environmental Site Assessments and ALTA Surveys. Multiple inspectors were dispatched to each site within a two-week turnaround. The financing project was successful and the project exemplified Mr. Taylor's negotiation/client management skills, coordination of inspections, quality control and completion of timely reports as well as the responsiveness and professional acumen of Partner's Engineering Team.

Affiliations

ASTM Member No. 000216930
Environmental Bankers Association
Risk Management Association, Director, Fresno, CA
Northwest Environmental Business Council

Speaking

"Commercial Due Diligence 101", Northwest Environmental Business Council, Northwest Environmental Conference and Tradeshow, Portland, OR. Commercial Real Estate Risks and Assessments

"Regulations in Lending", Risk Management Association, Fresno, CA. Risk Tolerance and Environmental Regulation for Commercial Bankers

"Water in the Central Valley", Risk Management Association, Fresno, CA. Contaminated Sites and Environmental Remediation of Commercial Properties

Contact

CTaylor@partneresi.com

Devi Dutta-Choudhury

From: Sage, Aaron E. <ASage@cityofberkeley.info>
Sent: Friday, August 10, 2018 12:59 PM
To: 'Herbie'
Cc: 'devi dutta-choudhury'
Subject: RE: 2422 5th Street - Parking Waiver

Hi Herbie,

Here's the code sections pertaining to joint use parking. Please discuss with Devi and the client, and let me know if you'd like to pursue this.

23E.28.060 Joint Use of Off-street Parking Spaces

A. The Zoning Officer may approve an AUP to allow a Joint Use Parking Agreement to satisfy off-street parking space requirements, if all of the following findings are made:

1. The off-street parking spaces designated for joint use are located within 800 feet of the use to be served;
2. The times demanded for these parking spaces will not conflict substantially between the use offering the spaces and the use to be served [e.g. commercial parking during weekdays 8 am – 6 pm, residential all other times]; and
3. The off-street parking spaces designated for joint use are not otherwise committed to satisfying the parking requirements for some other use at similar times.

B. When a building contains two or more uses, the total required number of off-street parking spaces shall be the sum of the requirements for each use computed separately. Off-street parking spaces for one use may not be considered as providing required off-street parking spaces for any other use, except as specified in the foregoing paragraph. (Ord. 6794-NS § 2 (part), 2004; Ord. 6478-NS § 4 (part), 1999)

23E.28.030 Off-site Parking Requirements

C. In the event that the required off-street parking is either located on leased property or is located in a lot for joint use of parking as set forth in Section [23E.28.060](#), a statement shall be recorded in the Office of the County Recorder that restricts the use of the property and designates the off-street parking that is to serve the other property. The deed restrictions shall state that the property cannot be used so as to prevent the use of the parking that is being provided in compliance with the requirements of the City, unless the restriction is removed by the City. Upon submission of satisfactory evidence either that other parking space meeting the requirements of this Ordinance has been provided or that the building or use has been removed or altered in use so as to no longer require the parking space, the City shall remove the restriction from the property.

Please let me know if any further questions.

Regards,
Aaron

Aaron Sage, AICP

Senior Planner
City of Berkeley Land Use Planning Division
1947 Center Street, 2nd floor, Berkeley, CA 94704
510-981-7418

From: Sage, Aaron E.
Sent: Tuesday, July 31, 2018 3:25 PM
To: 'Herbie' <herbie@devidutta.com>
Cc: 'devi dutta-choudhury' <hello@devidutta.com>
Subject: RE: 2422 5th Street - Parking Waiver

Herbert,

I just tried you but you were out. Please give me a call when you get a chance. I'm a little confused. The project actually requires 6 spaces, not 5 – see below:

- ~800 sq. ft. medical office @ 1 space per 300 sq. ft. = 3 spaces
- 3 units @ 1 space per unit = 3 spaces

Your site plan shows 5 spaces, not 2 – are you reducing the parking all the way down to 2 spaces? The code allows one space to be waived for a new unit (23E.84.080.F), and the two additional spaces triggered by the change of use on the front building (23E.28.130.A), so the bare minimum even with waivers would be 3 spaces. Please confirm if this is how you want to proceed, and then I'll contact Peter so he can provide further direction on the parking survey.

Regards,
Aaron

Aaron Sage, AICP

Senior Planner
City of Berkeley Land Use Planning Division
1947 Center Street, 2nd floor, Berkeley, CA 94704
510-981-7418

From: Herbie [<mailto:herbie@devidutta.com>]
Sent: Monday, July 30, 2018 9:50 AM
To: Sage, Aaron E. <ASage@cityofberkeley.info>
Cc: 'devi dutta-choudhury' <hello@devidutta.com>
Subject: 2422 5th Street - Parking Waiver

Hi Aaron,

We are trying to obtain a parking waiver for 3 parking spaces for 2422 5th street. Peter Chun has explained that we will need to work with you in order to start this process. The project requires 5 spaces but we are only providing 2.

Please advise us on how to proceed.

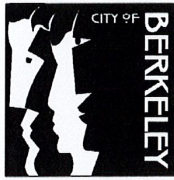
Thank you

Herbert Watts

Devi Dutta **ARCHITECTURE**

928 Carleton Street, Berkeley, CA 94710
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510/705-1937 office
www.devidutta.com

RECEIVED
AUG 31 2018
LAND USE PLANNING



Rent Stabilization Board

August 30, 2018

To: Aaron Sage, Senior Planner, Planning & Development Department

From: Jay Kelekian, Executive Director *JK*
By: Lief Bursell, Associate Management Analyst

Subject: 2422 5th Street

On July 2, 2018 you wrote to Mr. Bursell informing him of a proposed development to convert one unit in an existing duplex into a medical office, and to build a new duplex at the rear of the above referenced property. As part of the process of reviewing proposals to eliminate an existing dwelling unit, we provide the Planning Department with information on the property's history and status under the Rent Stabilization Ordinance in order to assist with the determination on whether or not the proposed project is consistent with Demolition Ordinance.

History

2422 5th Street is listed as being owned by Gold Trust 2017 with a purchase date of June 14, 2017. Gold Trust 2017 purchased the property from Jill D. Arehart. RealQuest shows this property contains a 2,512 square foot duplex.

City of Berkeley records indicate that the building at 2422 5th Street was originally constructed in 1920 for use as a single family home. The Finance Department's property record card indicates that sometime prior to 1953 the building was converted into 3 dwelling units, two of which are located in the basement. A permit to legalize the two basement units was applied for in 1953 but later cancelled by the Building Department in 1954. In 1989 Use Permit #A1627 was approved to allow the conversion of the basement into a single dwelling unit, converting the building into a legal duplex.

Our records reflect that the property contains 2 dwelling units with the addresses 2422 5th Street, and 2422 5th Street #B. The property was originally registered as a single family home, with a full basement. This owner claimed that the property was owner-occupied from 1978 until 1986. Starting in 1986 the entire property was rented to a single tenant until it was sold to a new owner in 1990. From 1990 until 2002 2422 5th Street #A was rented, and 2422 5th Street #B was claimed as owner-occupied. The property was sold again in 2002 to "The Quinlan Group LLC". The Quinlan Group LLC continued to rent unit #A and claim unit #B as exempt for owners use. There was no change in the status of either unit until the property was sold to Jill D. Arehart in 2013.

On November 21, 2013 Jill D. Arehart submitted a request for an Administrative Determination of Exempt Status. On December 11, 2013 the Rent Stabilization Board issued a determination that 2422 5th Street is an exempt “Golden Duplex,” which means the property is “fully exempt from the Berkeley Rent Ordinance, as long as an owner of at least 50% recorded interest is living in one of the units.”

The current owners, Gold Trust 2017, have not updated Rent Board records since they purchased the property. The Rent Board’s database still lists 2422 5th Street #A as owner-occupied, and 2422 Street #B being claimed exempt under the “Golden Duplex” exemption. Rent Board records still have Jill Arehart listed as the owner. However, this status is inaccurate since that exemption only applies if the owner-occupant is a “natural person” under Rent Board Regulation 503. Since the property is currently owned by a trust, which is not a “natural person,” the property is currently not eligible for the “Golden Duplex” exemption.

2014 Zoning Research Request

In July of 2014 the previous owner, Jill D. Arehart, submitted a Zoning Research Letter request to the Planning Department in order to investigate the possibility of converting the existing duplex at 2422 5th Street into a single-family residence. In August of 2014 the Rent Board wrote a memorandum to Planning Department staff informing them that 2422 5th Street has a history of being subject to rent control and that the conversion of the existing duplex into a single-family home would eliminate a “controlled” rental unit.

In September of 2014 the Planning Department informed the owners that a conversion of a single-family home would require a Use Permit if it eliminated a “controlled” rental unit, and attached the Rent Board’s determination that a conversion into a single-family home would eliminate a “controlled” rental unit.

Ellis Act

No building at 2422 5th Street has been removed from the rental market under the Ellis Act at any time during the preceding five (5) years.

Harassment or Illegal Eviction

The Rent Board has no record of any verified cases of harassment or threatened or actual illegal eviction occurring at 2422 5th Street.

Rent Control Status

The status of the units is unknown because the owners have not updated Rent Board records since they purchased the property. Rent Board registration staff mailed a letter to the new owners on August 5, 2018, but they have not yet received a response. Either unit would be fully covered by both rent regulation and eviction protections if rented since the property is not currently eligible for the “Golden Duplex” exemption.

2016 Demolition Ordinance Revisions

The Demolition Ordinance (BMC 23C.08) was revised by the City Council in March of 2016 with the goal of simplifying the requirements for demolishing existing residential units. The

revisions were the result of discussion between the City Council, 4x4 Committee, Planning Department and Rent Board and allow demolition projects to go forward only if existing tenants were protected and the loss of housing affordability is mitigated.

Specifically, the Demolition Ordinance prevents conversion or changes of use of tenant occupied units, requires relocation assistance to tenants in buildings scheduled for demolition, and mitigates the loss of housing affordability through either the payment of an affordable housing mitigation fee or the creation of permanently affordable replacement units.

BMC Section 23C.08.030 specifically addresses eliminations of residential units through conversions and changes of use. Conversions are only allowed if there are no existing tenants, and the owner of the property seeks to combine two units for owner-occupancy. Residential units may also be eliminated in order to allow a change of use to a community care or child care facility if the use is in conformance with the regulations of the District in which it is located.

BMC Section 23C.08.010.A states that that no dwelling unit may be eliminated or demolished except as authorized by the provisions of the Demolition Ordinance. There are no provisions in the Demolition Ordinance that allow for the elimination of dwelling units for conversion into a commercial use such as a medical office.

Project Analysis

Since there are no provisions in the Demolition Ordinance that allow the elimination of an existing dwelling unit through a conversion to a commercial use, we believe that this proposal requires a Variance. If Planning staff disagree with this interpretation, we also believe the project is inconsistent with the Demolition Ordinance's intent to preserve Berkeley's older, more affordable housing stock.

While the project proposes to create two new dwelling units, this is not adequate to mitigate the loss of affordability provided by the existing residential unit, since newly constructed units are typically rented at significantly higher rates. The new duplex units would also be exempt from rent control due to the issuance of a certificate of occupancy for the new building. If the Zoning Adjustments Board reviews this proposal as a Use Permit application, we recommend they require that the applicant either pay the affordable housing mitigation fee or create a permanently affordable replacement unit. Alternatively, the applicant may consider revising the project so that it maintains both of the existing residential units and their rent control protections. This could be achieved by creating the medical office in the new building, or by moving the existing building to the rear of the lot in order to allow the construction of a new building with a medical office in the front of the lot so that is immediately accessible from the street.

Please feel free to contact Mr. Bursell with any further questions regarding this matter.

Sage, Aaron E.

From: Sage, Aaron E.
Sent: Wednesday, September 05, 2018 10:54 AM
To: devi dutta-choudhury; 'Herbie'
Subject: FW: 2422 Fifth St. - Phase I report
Attachments: HazMat Standard Requirements 20160503.pdf

Devi and Herbie,

FYI, the Toxics Management Division has reviewed the Phase I report and finds it acceptable. Please see attached requirements which will be included in the Use Permit, if approved.

Regards,
Aaron

Aaron Sage, AICP
Senior Planner
City of Berkeley Land Use Planning Division
1947 Center Street, 2nd floor, Berkeley, CA 94704
510-981-7418

From: Busche, Karl
Sent: Thursday, August 16, 2018 12:49 PM
To: Sage, Aaron E. <ASage@cityofberkeley.info>
Subject: RE: 2422 Fifth St. - Phase I report

Hi Aaron, I am sorry your email was buried. Nothing noted in Geotracker database or our files. This one seems straight forward with no real concerns, it is located in the EMA area. The standard Hazmat requirement for Building Permit & Land use application would apply here. Let me know if there are any questions. Thank you, Karl Busche

From: Sage, Aaron E.
Sent: Tuesday, August 14, 2018 5:28 PM
To: Busche, Karl <kbusche@cityofberkeley.info>
Subject: RE: 2422 Fifth St. - Phase I report

Hi Karl,
Just following up on this. Is TMD able to review? Please advise.
Regards,
Aaron

Aaron Sage, AICP
Senior Planner
City of Berkeley Land Use Planning Division
1947 Center Street, 2nd floor, Berkeley, CA 94704
510-981-7418

From: Sage, Aaron E.
Sent: Tuesday, July 24, 2018 11:46 AM
To: Busche, Karl <kbusche@cityofberkeley.info>
Subject: 2422 Fifth St. - Phase I report

Hi Karl,

We have received a Phase I ESA report (click [here](#)) in conjunction with an application for a 3-story, 2-unit residential building at the above address. Past practice has been to route these to TMD for review, to see if you concur with the findings. If that is no longer the practice, please advise. Otherwise, I would like to have TMD's comments within 3 weeks (by 8/14).

Regards,
Aaron

Aaron Sage, AICP

Senior Planner

City of Berkeley Land Use Planning Division

1947 Center Street, 2nd floor, Berkeley, CA 94704

510-981-7418

Sage, Aaron E.

From: Sage, Aaron E.
Sent: Friday, September 21, 2018 1:54 PM
To: devi dutta-choudhury; 'Herbie'
Cc: Allen, Shannon
Subject: 2422 Fifth St. - staffing change

Hi Devi and Herbie,

I'm writing to let you know that I've accepted another position and my last day with the City is today. Apologies for the late notice, but we have been scrambling to figure out how to re-assign my many projects. Since this project is still incomplete pending approval of the parking survey and the geotech report, we are not assigning a new planner at this time. If you need assistance from planning staff prior to resubmitting (e.g. to route the geotech report to our peer reviewer), please contact Shannon Allen (copied here).

Best of luck with the project.

Regards,
Aaron

Aaron Sage, AICP

Senior Planner
City of Berkeley Land Use Planning Division
1947 Center Street, 2nd floor, Berkeley, CA 94704
510-981-7418

Devi Dutta-Choudhury

From: Chun, Peter <PChun@cityofberkeley.info>
Sent: Thursday, October 04, 2018 5:04 PM
To: 'Devi Dutta-Choudhury'
Cc: 'Herbie'; 'Steve Abrams'; Allen, Shannon
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking
Attachments: Parking From Steet View from 2460 Fifth St.pdf

Devi,

I would confirm with the applicant as the operating hours may change or the use so it would be better to vet the later hour parking now. Attached are Street View images from 2460 Fifth looking toward 2422 Fifth. It is almost 100% parked in every picture. My greater concern is evening and night parking when the residents at the property and neighboring properties get home. The survey may help bolster the need for joint parking as it does not look like there is much parking on the block. A survey should be done so that the burden on the neighbors or the property occupants was assessed. The extended street blocks look like they have parking.

Thanks,

Peter

From: Devi Dutta-Choudhury [mailto:hello@devidutta.com]
Sent: Thursday, October 04, 2018 2:37 PM
To: Chun, Peter <PChun@cityofberkeley.info>
Cc: 'Herbie' <herbie@devidutta.com>; 'Steve Abrams' <steve@abramsassociates.com>; Allen, Shannon <ShAllen@cityofberkeley.info>
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Thanks Peter. I'm including our traffic engineer Steve Abrams. The office hours for the Medical office would be 8am-4pm at the latest, 3-4 days a week, , so could we just do one time of day in the afternoon for the survey? This is quite expensive for a small project. Also, as an option I would also be open to a mix of joint use parking and parking waiver if that is more achievable.

Shannon, I'm copying you until we are assigned a planner.

thanks
Devi

Devi Dutta ARCHITECTURE Inc.
928 Carleton Street, Berkeley, CA 94710
[415/794-0923](tel:4157940923) mobile
[510/705-1937](tel:5107051937) office
www.devidutta.com

From: Chun, Peter <PChun@cityofberkeley.info>
Sent: Wednesday, October 03, 2018 3:46 PM

To: 'Devi Dutta-Choudhury' <hello@devidutta.com>

Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Hi Devi,

Here is the guidance. You can conduct a reduced survey because of the nos. One block radius and I would say an afternoon hour and late afternoon/evening depending on how late the Medical Office would operate. I.e., if the office is allowed to be open to 9 pm then then one of the survey hours should include that time. Evening is important as residence come home and parking potentially fills up.

Thanks,

Peter

From: Devi Dutta-Choudhury [<mailto:hello@devidutta.com>]

Sent: Tuesday, October 02, 2018 2:37 PM

To: Chun, Peter <PChun@cityofberkeley.info>; 'Herbie' <herbie@devidutta.com>

Cc: Allen, Shannon <ShAllen@cityofberkeley.info>

Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Peter, Upon review, I believe there is generally parking available in this area. Can you advise on what to include in the survey so we can get our traffic engineer on board? Or is the survey something we could do on our own?

Devi Dutta ARCHITECTURE Inc.
928 Carleton Street, Berkeley, CA 94710
[415/794-0923](tel:4157940923) mobile
[510/705-1937](tel:5107051937) office
www.devidutta.com

From: Chun, Peter <PChun@cityofberkeley.info>

Sent: Tuesday, September 25, 2018 3:25 PM

To: 'Devi Dutta-Choudhury' <hello@devidutta.com>; Sage, Aaron E. <ASage@cityofberkeley.info>; 'Herbie' <herbie@devidutta.com>

Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Devi,

I am not sure 3 space can be waived. The original plan called for 5 spaces. Why has the number gone up to 6? Two spaces would probably be easier to waive although it would fall on the survey. The area looks heavily parked on the residential section but there appears to be spaces in the mixed and commercial area. I would recommend the applicant take a look at the parking ad if there is generally space available in a one block area then go forward with the survey.

Thanks,

Peter

From: Devi Dutta-Choudhury [<mailto:hello@devidutta.com>]

Sent: Wednesday, September 19, 2018 12:10 PM

To: Chun, Peter <PChun@cityofberkeley.info>; Sage, Aaron E. <ASage@cityofberkeley.info>; 'Herbie' <herbie@devidutta.com>

Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Hi Peter, can you advise on the parking survey requirements? Or what the path forward on this is?

thanks

Devi Dutta ARCHITECTURE Inc.
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[415/794-0923](tel:4157940923) mobile
[510/705-1937](tel:5107051937) office
www.devidutta.com

From: Devi Dutta-Choudhury <hello@devidutta.com>
Sent: Tuesday, September 11, 2018 10:51 AM
To: 'Chun, Peter' <PChun@cityofberkeley.info>; 'Sage, Aaron E.' <ASage@cityofberkeley.info>; 'Herbie' <herbie@devidutta.com>
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

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From: Chun, Peter <PChun@cityofberkeley.info>
Sent: Tuesday, September 11, 2018 10:03 AM
To: Sage, Aaron E. <ASage@cityofberkeley.info>; 'Devi Dutta-Choudhury' <hello@devidutta.com>; 'Herbie' <herbie@devidutta.com>
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

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Sent: Tuesday, September 11, 2018 9:33 AM
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Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

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Regards,
Aaron

Aaron Sage, AICP

Senior Planner
City of Berkeley Land Use Planning Division
1947 Center Street, 2nd floor, Berkeley, CA 94704
510-981-7418

From: Devi Dutta-Choudhury [<mailto:hello@devidutta.com>]
Sent: Tuesday, September 11, 2018 9:27 AM
To: Sage, Aaron E. <ASage@cityofberkeley.info>; Chun, Peter <PChun@cityofberkeley.info>; 'Herbie' <herbie@devidutta.com>
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

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Peter, please advise on the requirements of the parking survey.

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From: Sage, Aaron E. <ASage@cityofberkeley.info>
Sent: Monday, September 10, 2018 3:28 PM
To: Chun, Peter <PChun@cityofberkeley.info>; 'devi dutta-choudhury' <hello@devidutta.com>; 'Herbie' <herbie@devidutta.com>
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Ok, thanks Peter. Please advise the applicant on next steps to start the survey (scope of work, approved consultants, etc.).

Regards,
Aaron

Aaron Sage, AICP

Senior Planner
City of Berkeley Land Use Planning Division
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Sent: Monday, September 10, 2018 3:20 PM
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Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

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If you are granting a waiver then the project should go that route and conduct a survey. It does not burden the parking like the joint parking.

Thanks,

Peter

From: Sage, Aaron E.
Sent: Wednesday, September 05, 2018 2:27 PM
To: 'devi dutta-choudhury' <hello@devidutta.com>; 'Herbie' <herbie@devidutta.com>
Cc: Chun, Peter <PChun@cityofberkeley.info>
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Hi Devi and Herbie,

I spoke with Peter about the joint use parking approach. He understood the idea and needs a few days to think about it before we make a decision. Either way, I think we have a path forward as we can do the standard parking waiver with a survey if Peter is not comfortable with the joint use approach. We should be giving you direction within a week.

Thanks for your patience and please let me know if any further questions.

Regards,
Aaron

Aaron Sage, AICP
Senior Planner
City of Berkeley Land Use Planning Division
1947 Center Street, 2nd floor, Berkeley, CA 94704
510-981-7418

From: Sage, Aaron E.
Sent: Wednesday, September 05, 2018 9:49 AM
To: devi dutta-choudhury <hello@devidutta.com>; 'Herbie' <herbie@devidutta.com>
Subject: 2422 Fifth St - letter from Rent Board / joint use parking

Hi Devi and Herbie

Please see the attached letter from Rent Board staff regarding this project. We will be discussing and clarifying these issues with Rent Board staff.

Also, due to vacations and workload I've been unable to meet with the traffic engineer to discuss the joint parking. I am hoping to discuss with him this afternoon and will let you know if we're all set to move forward with this approach.

Regards,
Aaron

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Senior Planner
City of Berkeley Land Use Planning Division
1947 Center Street, 2nd floor, Berkeley, CA 94704
510-981-7418

Devi Dutta-Choudhury

From: Chun, Peter <PChun@cityofberkeley.info>
Sent: Friday, October 05, 2018 4:45 PM
To: 'Steve Abrams'; 'Devi Dutta-Choudhury'
Cc: 'Herbie'; Allen, Shannon
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Hi Stephen,

I think we can reduce it a little. They are placing an estimated three vehicles on the surrounding streets. I would drop 4th and 6th St. 5th Street seems to be pretty consistently parked during the day.

Thanks,

Peter

From: Steve Abrams [mailto:steve@abramsassociates.com]
Sent: Friday, October 05, 2018 4:03 PM
To: Chun, Peter <PChun@cityofberkeley.info>; 'Devi Dutta-Choudhury' <hello@devidutta.com>
Cc: 'Herbie' <herbie@devidutta.com>; Allen, Shannon <ShAllen@cityofberkeley.info>
Subject: Re: 2422 Fifth St - letter from Rent Board / joint use parking

Hi Peter,

I hope you're doing well. Attached is a rudimentary drawing of some proposed boundaries for the survey for your review. I hope you don't mind the rough drawing for the purposes of scoping this. Just let me know if you have any changes.

Thanks,
Steve

Stephen Abrams

PRESIDENT

Abrams Associates Traffic Engineering

1875 Olympic Boulevard, Suite 210

Walnut Creek, CA 94596

Phone: (925) 945-0201

FAX: (925) 945-7966

<http://www.abramsassociates.com/>

From: "Chun, Peter" <PChun@cityofberkeley.info>
To: 'Devi Dutta-Choudhury' <hello@devidutta.com>
Cc: 'Herbie' <herbie@devidutta.com>; 'Steve Abrams' <steve@abramsassociates.com>; "Allen, Shannon" <ShAllen@cityofberkeley.info>
Sent: Friday, October 5, 2018 3:33 PM
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Yes, let's plan for surveys from 1 pm to 2 pm and 5 pm to 6 pm. Send me a map of the survey area so I can confirm it.

Thanks,

Peter

From: Devi Dutta-Choudhury [<mailto:hello@devidutta.com>]
Sent: Friday, October 05, 2018 2:59 PM
To: Chun, Peter <PChun@cityofberkeley.info>
Cc: 'Herbie' <herbie@devidutta.com>; 'Steve Abrams' <steve@abramsassociates.com>; Allen, Shannon <ShAllen@cityofberkeley.info>
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

I've never had trouble parking there when we meet, but I agree it would be preferable for the residential units to be able to use medical parking spots at night - which honestly they would do regardless of whether its in the permit or not. The owners currently have no intent to increase the business hours. She also has acupuncture offices in SF, which she intends to keep, but I could see extending the hours to 6pm just in case the business mode changes. So should our traffic engineer plan to survey 2 times of day?

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From: Chun, Peter <PChun@cityofberkeley.info>
Sent: Thursday, October 04, 2018 5:04 PM
To: 'Devi Dutta-Choudhury' <hello@devidutta.com>
Cc: 'Herbie' <herbie@devidutta.com>; 'Steve Abrams' <steve@abramsassociates.com>; Allen, Shannon <ShAllen@cityofberkeley.info>
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Devi,

I would confirm with the applicant as the operating hours may change or the use so it would be better to vet the later hour parking now. Attached are Street View images from 2460 Fifth looking toward 2422 Fifth. It is almost 100% parked in every picture. My greater concern is evening and night parking when the residents at the property and neighboring properties get home. The survey may help bolster the need for joint parking as it does not look like there is much parking on the block. A survey should be done so that the burden on the neighbors or the property occupants was assessed. The extended street blocks look like they have parking.

Thanks,

Peter

From: Devi Dutta-Choudhury [<mailto:hello@devidutta.com>]
Sent: Thursday, October 04, 2018 2:37 PM

To: Chun, Peter <PChun@cityofberkeley.info>
Cc: 'Herbie' <herbie@devidutta.com>; 'Steve Abrams' <steve@abramsassociates.com>; Allen, Shannon <ShAllen@cityofberkeley.info>
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Thanks Peter. I'm including our traffic engineer Steve Abrams. The office hours for the Medical office would be 8am-4pm at the latest, 3-4 days a week, , so could we just do one time of day in the afternoon for the survey? This is quite expensive for a small project. Also, as an option I would also be open to a mix of joint use parking and parking waiver if that is more achievable.

Shannon, I'm copying you until we are assigned a planner.

thanks
Devi

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From: Chun, Peter <PChun@cityofberkeley.info>
Sent: Wednesday, October 03, 2018 3:46 PM
To: 'Devi Dutta-Choudhury' <hello@devidutta.com>
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Hi Devi,

Here is the guidance. You can conduct a reduced survey because of the nos. One block radius and I would say an afternoon hour and late afternoon/evening depending on how late the Medical Office would operate. I.e., if the office is allows to be open to 9 pm then then one of the survey hours should include that time. Evening is important as residence come home and parking potentially fills up.

Thanks,

Peter

From: Devi Dutta-Choudhury [<mailto:hello@devidutta.com>]
Sent: Tuesday, October 02, 2018 2:37 PM
To: Chun, Peter <PChun@cityofberkeley.info>; 'Herbie' <herbie@devidutta.com>
Cc: Allen, Shannon <ShAllen@cityofberkeley.info>
Subject: RE: 2422 Fifth St - letter from Rent Board / joint use parking

Peter, Upon review, I believe there is generally parking available in this area. Can you advise on what to include in the survey so we can get our traffic engineer on board? Or is the survey something we could do on our own?

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From: Chun, Peter <PChun@cityofberkeley.info>
Sent: Tuesday, September 25, 2018 3:25 PM
To: 'Devi Dutta-Choudhury' <hello@devidutta.com>; Sage, Aaron E. <ASage@cityofberkeley.info>; 'Herbie' <herbie@devidutta.com>
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1947 Center Street, 2nd floor, Berkeley, CA 94704
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From: Sage, Aaron E.

Sent: Wednesday, September 05, 2018 9:49 AM

To: devi dutta-choudhury <hello@devidutta.com>; 'Herbie' <herbie@devidutta.com>

Subject: 2422 Fifth St - letter from Rent Board / joint use parking

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Devi Dutta-Choudhury

From: Chun, Peter <PChun@cityofberkeley.info>
Sent: Friday, November 02, 2018 3:49 PM
To: 'Devi Dutta-Choudhury'; Allen, Shannon
Cc: herbie@devidutta.com; 'Guillermo Salazar'
Subject: RE: 2422 Fifth St - resubmittal

The parking survey analysis indicates there is available space on street for the commercial parking demand. I need to verify a couple of the parking supply estimates but it will not change the result.

Peter Chun, T.E.
Associate Traffic Engineer
Transportation Division – Public Works Department
City of Berkeley
1947 Center Street, 4th Floor
Berkeley, CA 94704
(510) 981-6445

From: Devi Dutta-Choudhury [mailto:hello@devidutta.com]
Sent: Friday, November 02, 2018 3:39 PM
To: Chun, Peter <PChun@cityofberkeley.info>; Allen, Shannon <ShAllen@cityofberkeley.info>
Cc: herbie@devidutta.com; 'Guillermo Salazar' <guillermo@devidutta.com>
Subject: RE: 2422 Fifth St - resubmittal

Hi Shannon, we are planning to re-submit our drawings for this project at 2422-5th Street early next week. We've completed the traffic survey as requested by Peter Chun, and responded to Aaron Sage and Anne Burns comments for zoning and design review. How are we to re-submit, since I don't think we've been assigned a new planner? Should we just submit to you?

Please advise.
thanks
Devi

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From: Devi Dutta-Choudhury <hello@devidutta.com>
Sent: Friday, October 26, 2018 9:34 AM
To: 'Chun, Peter' <PChun@cityofberkeley.info>; 'Allen, Shannon' <ShAllen@cityofberkeley.info>
Cc: 'herbie@devidutta.com' <herbie@devidutta.com>; 'Guillermo Salazar' <guillermo@devidutta.com>
Subject: FW: 2422 Fifth St - Parking Survey Results

Hi Peter, see attached parking survey for 2422-5th Street, as requested. Please review and let me know if this is adequate for the parking waiver request. There seems to be enough parking on the street to accommodate 3 residential cars. We would like to submit the updated drawings package next week, so let me know how we should address the parking. As you will recall, we can either request the waiver for the 3 residential spaces, or provide a joint parking agreement between the medical use and residential use for the parking.

Let me know if you need anything else.

thanks
Devi

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[510/705-1937](tel:5107051937) office
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From: Steve Abrams <steve@abramsassociates.com>
Sent: Thursday, October 25, 2018 3:20 PM
To: Devi Dutta-Choudhury <hello@devidutta.com>
Subject: 2422 Fifth St - Parking Survey Results

Hi Devi,

Attached is a report and the required graphic summarizing the results of the parking survey. It came out pretty favorable. Just let me know if you have questions or need anything else.

Thanks,
Steve

Stephen Abrams
PRESIDENT
Abrams Associates Traffic Engineering
1875 Olympic Boulevard, Suite 210
Walnut Creek, CA 94596
Phone: (925) 945-0201
FAX: (925) 945-7966
<http://www.abramsassociates.com/>



October 25, 2018

Devi Dutta-Choudhury
Devi Dutta Architecture, Inc.
928 Carleton Street, Berkeley, CA 94710

Re: On-Street Parking Occupancy Survey for the Proposed Project at 2455 5th Street in the City of Berkeley

This report summarizes the results of the parking surveys for the proposed development to be located at 2422 Fifth Street in the City of Berkeley. The proposed project involves constructing one additional apartment on the site along with 840 square feet of medical office space.

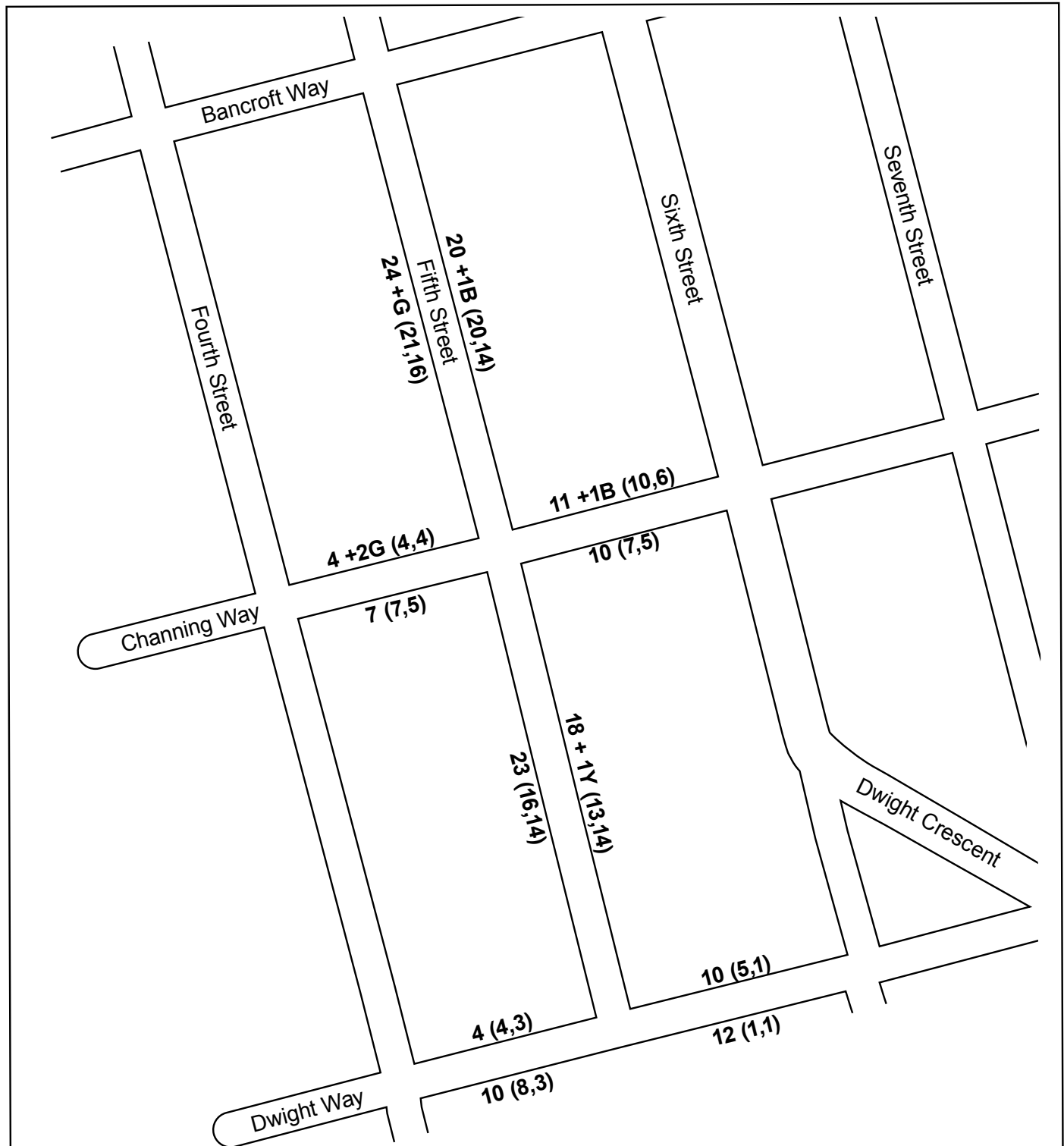
On-Street Parking Surveys - In order to evaluate the local parking situation on-street parking occupancy surveys were conducted based on the standard guidelines specified by the City of Berkeley. This survey included a detailed inventory of all on-street and public off-street parking within one block of the project site. The study involved a block-by-block survey of the number and types of spaces and the current parking occupancy conditions on weekday afternoons and weekday evenings.

The surveys were conducted October 17 and 18, 2018 (a Wednesday and Thursday). The surveys indicated there are approximately 153 on-street parking spaces located within about one block of the project site. The surveys found that during the afternoon between 1:00 and 2:00 PM, there are about 116 spaces (76%) that are occupied, and about 37 spaces available. During the evening between 5:00 and 6:00 PM, about 86 of the 153 on-street parking spaces were occupied, which is an occupancy rate of 56%, with about 67 available on-street spaces. The detailed survey results are attached to this report.

Please don't hesitate to contact me if you have any questions or need additional information.

Sincerely,

Stephen C. Abrams
President, Abrams Associates
T.E. License No. 1852



Legend

- M - Meters
- B - Handicapped
- Y - Loading Zone
- W - Passenger Loading
- G - Green Zone
- P - Permit Parking
- NP - No Parking
- XX (YY, ZZ) - Supply (Occupancy on Weds Oct 17th: 1:30PM, 5:30PM)

	10-17-18 (1:30 PM)	10-17-18 (5:30 PM)
Total Supply:	153	153
Total Demand:	116	86
Net Vacant Spaces:	37	67

City of Berkeley	
On-Street Parking Occupancy	
OCT 2018	Prepared by: Abrams Associates

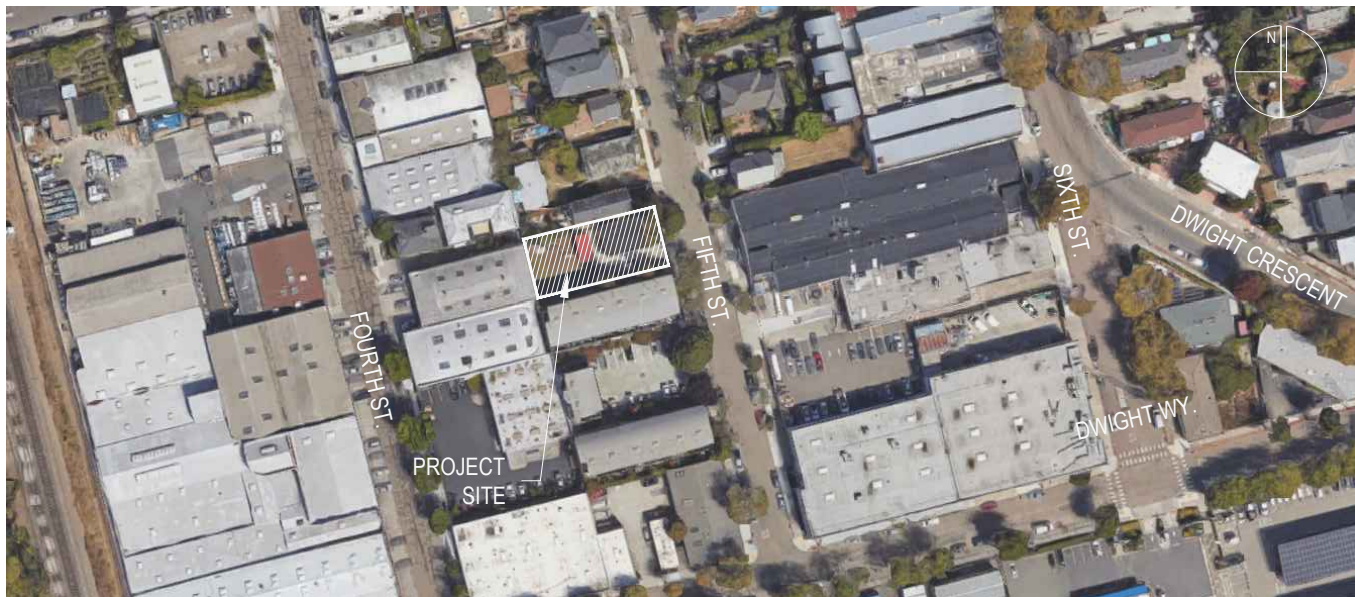
2422 5TH STREET. BERKELEY, CA 94710



PROJECT DESCRIPTION:

CONVERSION OF UPPER UNIT OF EXISTING DUPLEX INTO ACUPUNCTURE & WELLNESS OFFICES. ADDITION OF NEW DUPLEX AT REAR YARD; EXISTING LOWER RESIDENTIAL UNIT TO REMAIN.

AERIAL VIEW



ARCHITECT

DEVI DUTTA-CHOUDHURY, AIA
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BERKELEY, CA 94710
510-705-1937
hello@devidutta.com

LANDSCAPE

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930 CARLETON STREET
BERKELEY, CA 94710
510-927-3202
ramsey@mantlela.com

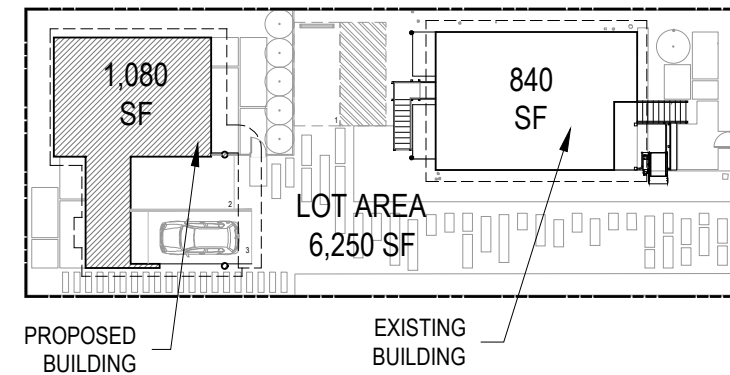
OWNER

ANNA & CARL GOLD
2422 5TH ST
BERKELEY, CA 94710

SHEET INDEX:

- A0.0 COVER
- A0.1 SURVEY MAP
- A0.2 STREET PHOTOGRAPHS
- A0.3 VICINITY MAP
- A0.4 SITE PHOTOS
- A1.1 PROPOSED SITE PLAN
- A1.2 EXISTING/DEMO GROUND FLOOR
- A1.3 EXISTING/DEMO 2ND FLOOR
- A1.4 EXISTING/DEMO ELEVATIONS
- A2.1 PROPOSED GROUND FLOOR PLAN
- A2.2 PROPOSED 2ND FLOOR PLAN
- A2.3 PROPOSED 3RD FLOOR PLAN
- A2.4 PROPOSED ROOF PLAN
- A3.1 PROPOSED ELEVATIONS
- A3.2 PROPOSED ELEVATIONS
- A3.3 PROPOSED ELEVATIONS
- A4.1 PROPOSED SECTIONS
- A5.1 SHADOW STUDIES SUMMER SOLSTICE
- A5.2 SHADOW STUDIES WINTER SOLSTICE
- A5.3 SHADOW STUDIES APRIL REVIEW
- A6.1 OPEN SPACE
- 7.1 RENDERS
- L1.0 SCHEMATIC MATERIALS PLAN
- L2.0 SCHEMATIC PLANTING PLAN
- L2.1 PROPOSED PLANTING PALETTE

LOT COVERAGE DIAGRAM



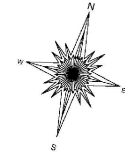
ZONING TABLE

MIXED-USE RESIDENTIAL			
ZONING DEVELOPMENT STANDARDS	REQUIRED / PERMITTED	EXISTING	PROPOSED
FAR	1.5 FOR RESIDENTIAL	1,783 / 6,250 = 0.285	4,659 / 6,250 = 0.745
DENSITY RESIDENTIAL	1 DU / 1,250 SF LOT AREA 6,250 / 1,250 = 5 ALLOWABLE DU	2 UNITS	3 UNITS + OFFICE
LOT SIZE	40' WIDTH MINIMUM	50' X 125'	50' X 125'
HEIGHT, RESIDENTIAL	35'	18'	35'
HEIGHT, NON-RES.	35'	-	18'
YARDS (SETBACKS)	FRONT: 5'-0" SIDE: 5'-0" (ADJACENT TO RESIDENTIAL) REAR: NONE (ADJACENT TO NON-RES)	19'-0" 4'-0" 67'-0"	10'-0" 5'-0" 5'-10"
OPEN SPACE	150SF / DWELLING UNIT X 3 = 450SF	3,297 SF	870 SF
PARKING, RESIDENTIAL	1 / UNIT (3 REQUIRED)	1 / UNIT = 2 TANDEM SPACES	PARKING WAIVER REQUESTED
PARKING, MEDICAL	1 / 300 SF	NONE	3 MEDICAL
BIKE PARKING	1 / 2,000 SF NON-RES. AREA = 1 REQUIRED	NONE	2 PROVIDED
OCCUPANCY TYPE	-	-	R-3 OCCUPANCY
CONSTRUCTION TYPE	-	-	VB

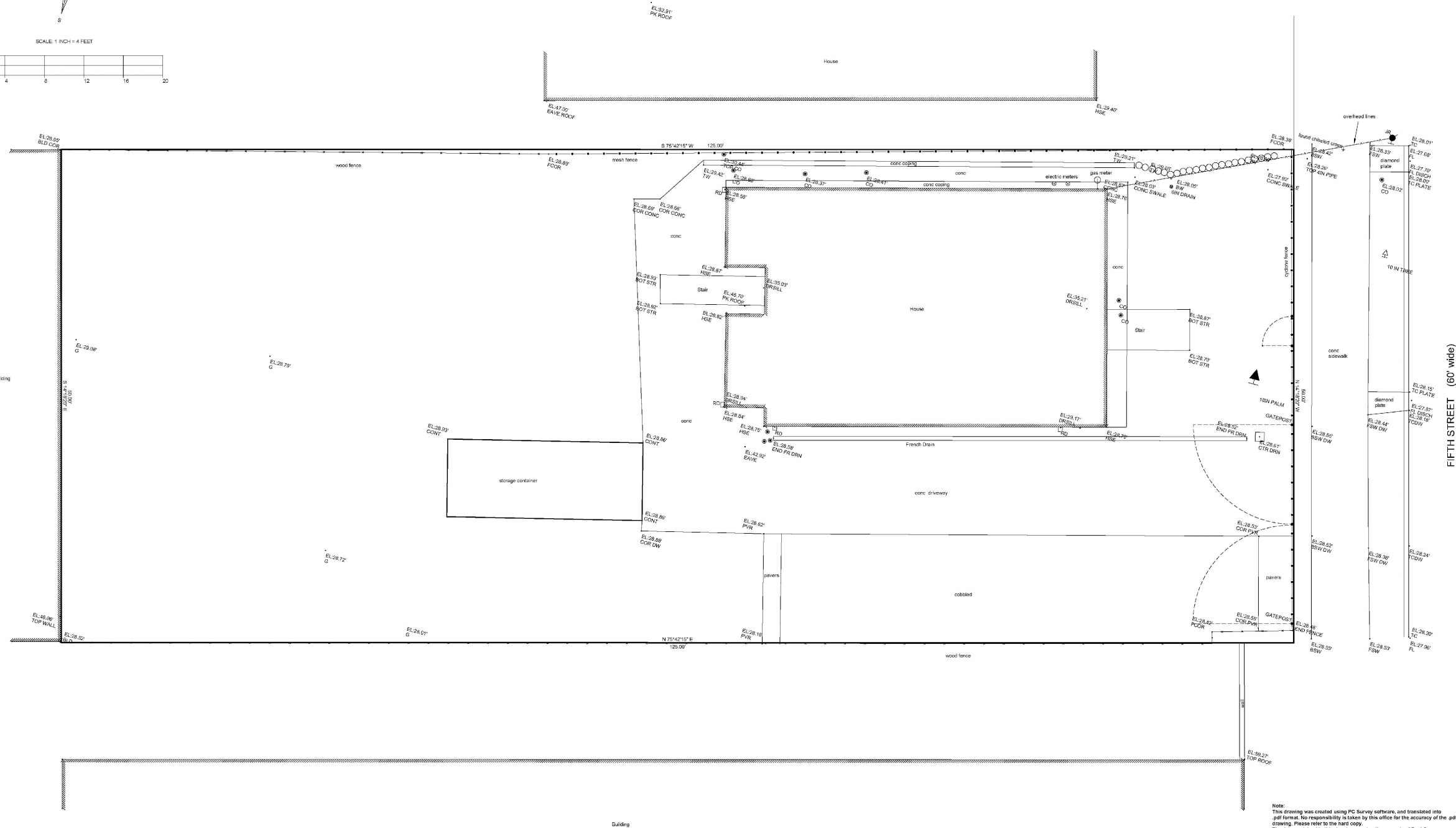
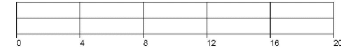
2422 FIFTH STREET, BERKELEY, CA

LOTS 13 & 14, BLOCK 132, CORRECTED MAP OF THE AVERY TRACT
FILED OCTOBER 9, 1890, MAP BOOK 9, PAGE 66,
ALAMEDA COUNTY RECORDS

APN. 56-1944-11 NOVEMBER, 2017



SCALE: 1 INCH = 4 FEET



- LEGEND
- TC top of curb
 - FL lowline
 - FSW front of sidewalk
 - BSW back of sidewalk
 - DW driveway
 - TW top of wall
 - BW bottom of wall
 - CO clean-out
 - DISCH curb discharge
 - RD roof drain
 - DRN drain
 - DRSILL doorsill
 - STR stair
 - BLD surface outside corner of building
 - HSE surface outside corner of house
 - PK peak
 - G ground
 - FCOR fence corner
 - PVR paver

BENCHMARK:
City of Berkeley monument B0365 at Fifth Street and Channing Way taken as Elev. 27.71 per City of Berkeley records.

Note:
This drawing was created using PC Survey software, and translated into pdf format. No responsibility is taken by this office for the accuracy of the pdf drawing. Please refer to the hard copy.
The data contained in this drawing remains the property of Paul O. Webb, Licensed Surveyor, and may only be used for its intended purpose.

Paul O. Webb, Licensed Surveyor
2724 Ninth Street, Suite B
Berkeley, Ca. 94710



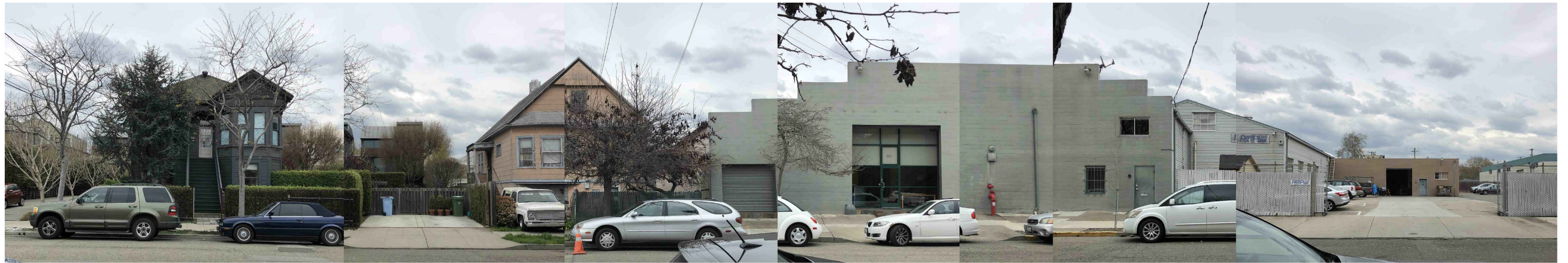
EXISTING WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



PROPOSED WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY

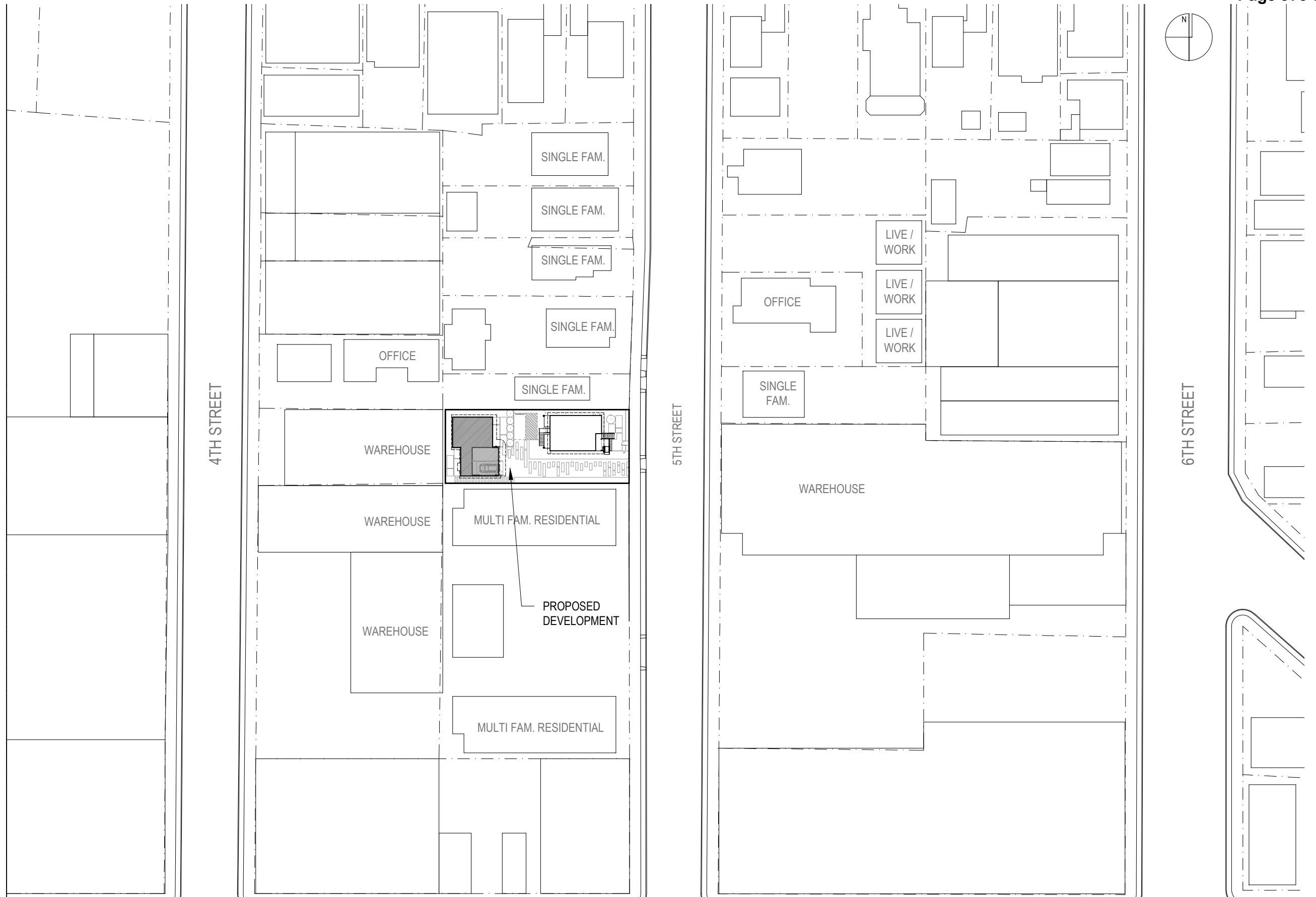


EXISTING EAST VIEW 2422 5TH STREET

A0.2 **STREET PHOTOGRAPHS**
SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
NOV. 06, 2018



A0.3

VICINITY MAP

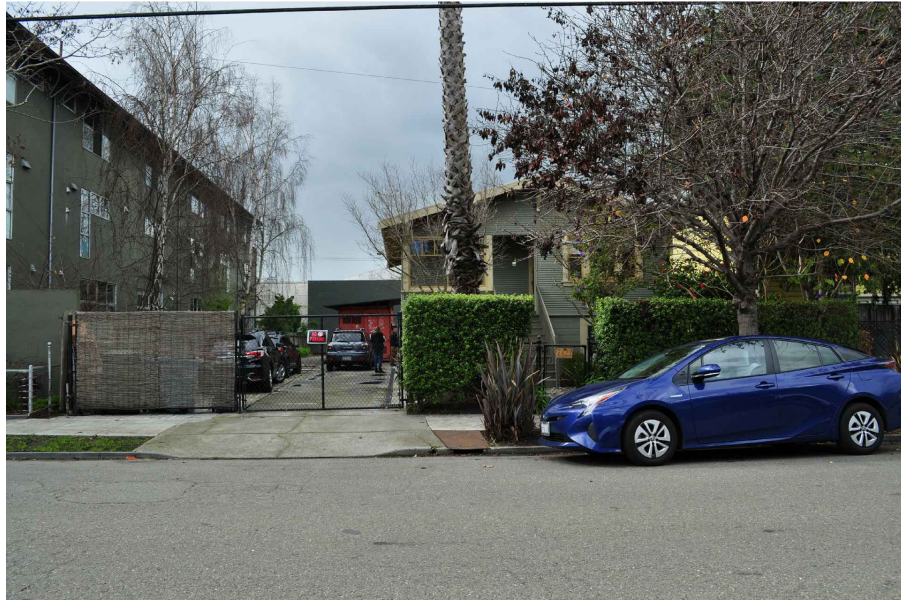
SCALE: 1/64"=1'-0"

2422 5TH STREET

DEVI DUTTA ARCHITECTURE

ZONING

NOV. 06, 2018



A - EXISTING FRONT OF HOUSE



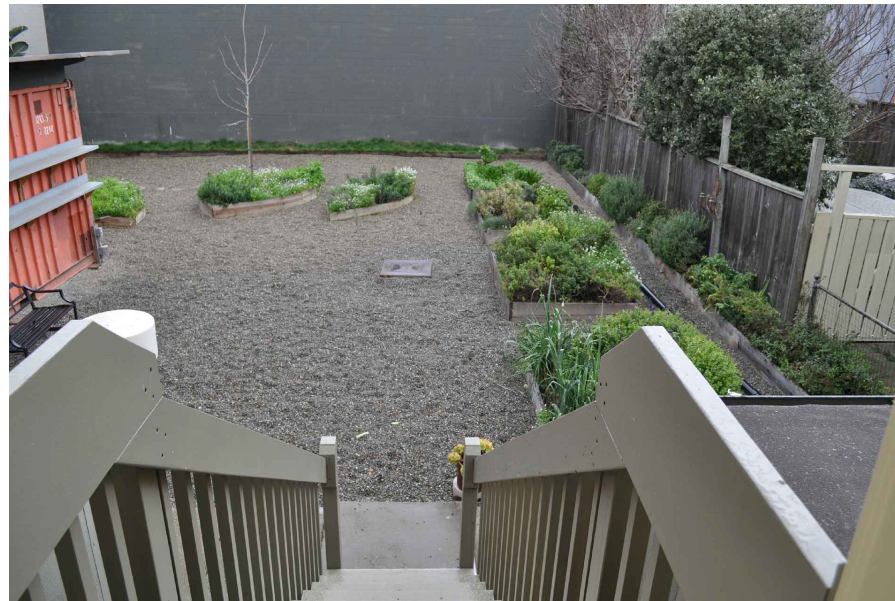
B - EXISTING



C - EXISTING FRONT YARD



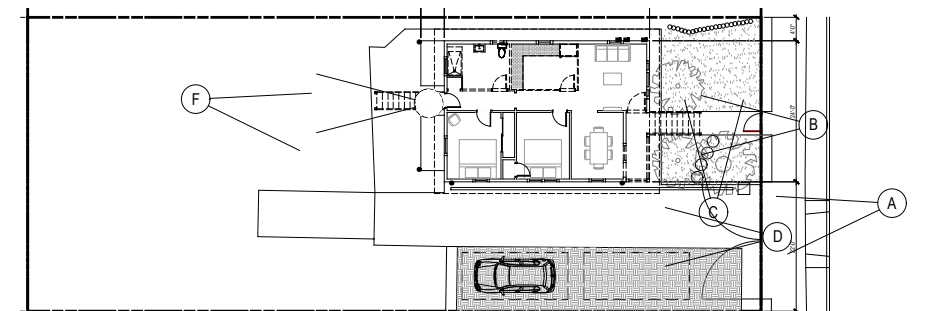
D - EXISTING DRIVEWAY



E - EXISTING REAR STAIRYARD



F - EXISTING BACK OF HOUSE

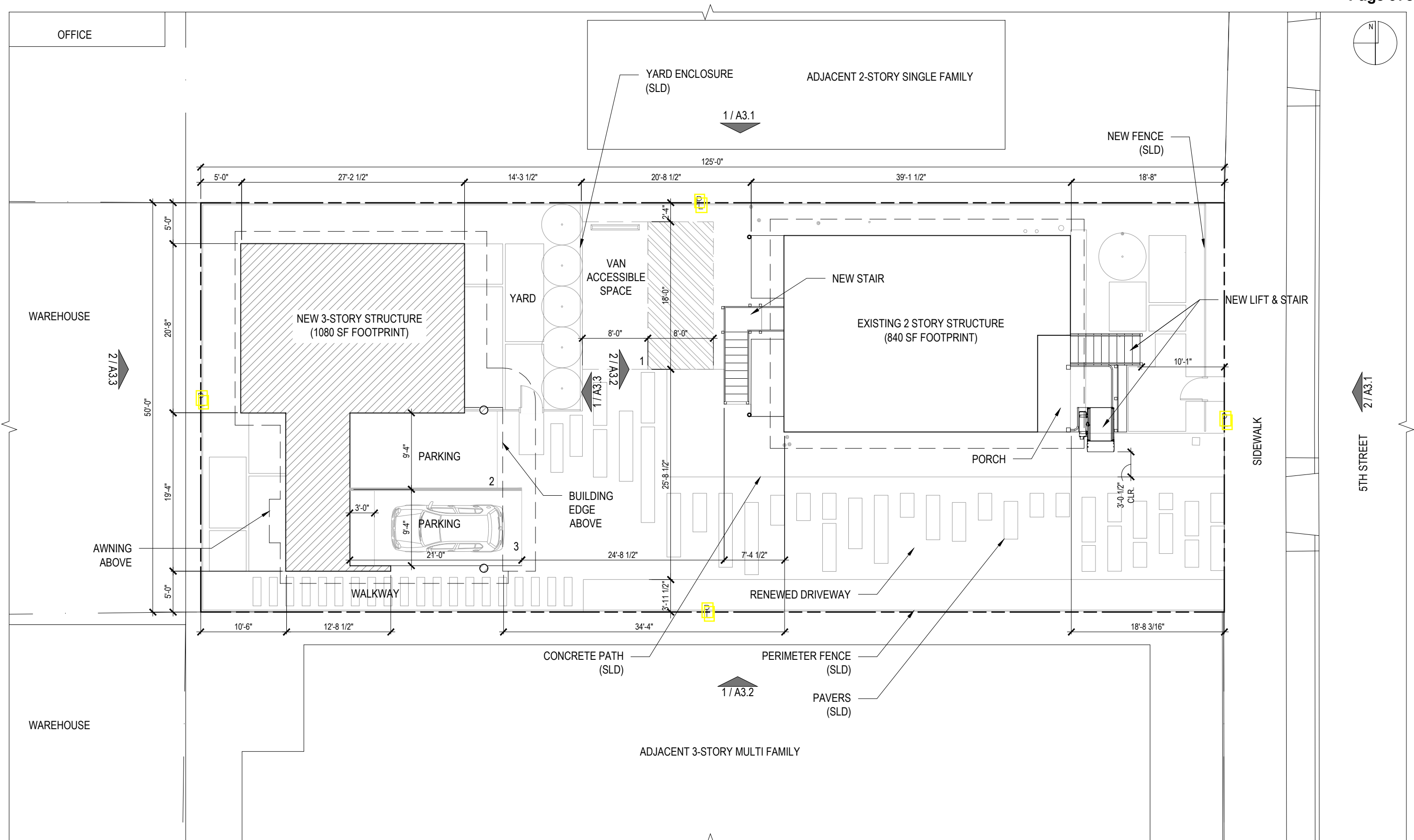


KEY MAP

A0.4 **SITE PHOTOS**
SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

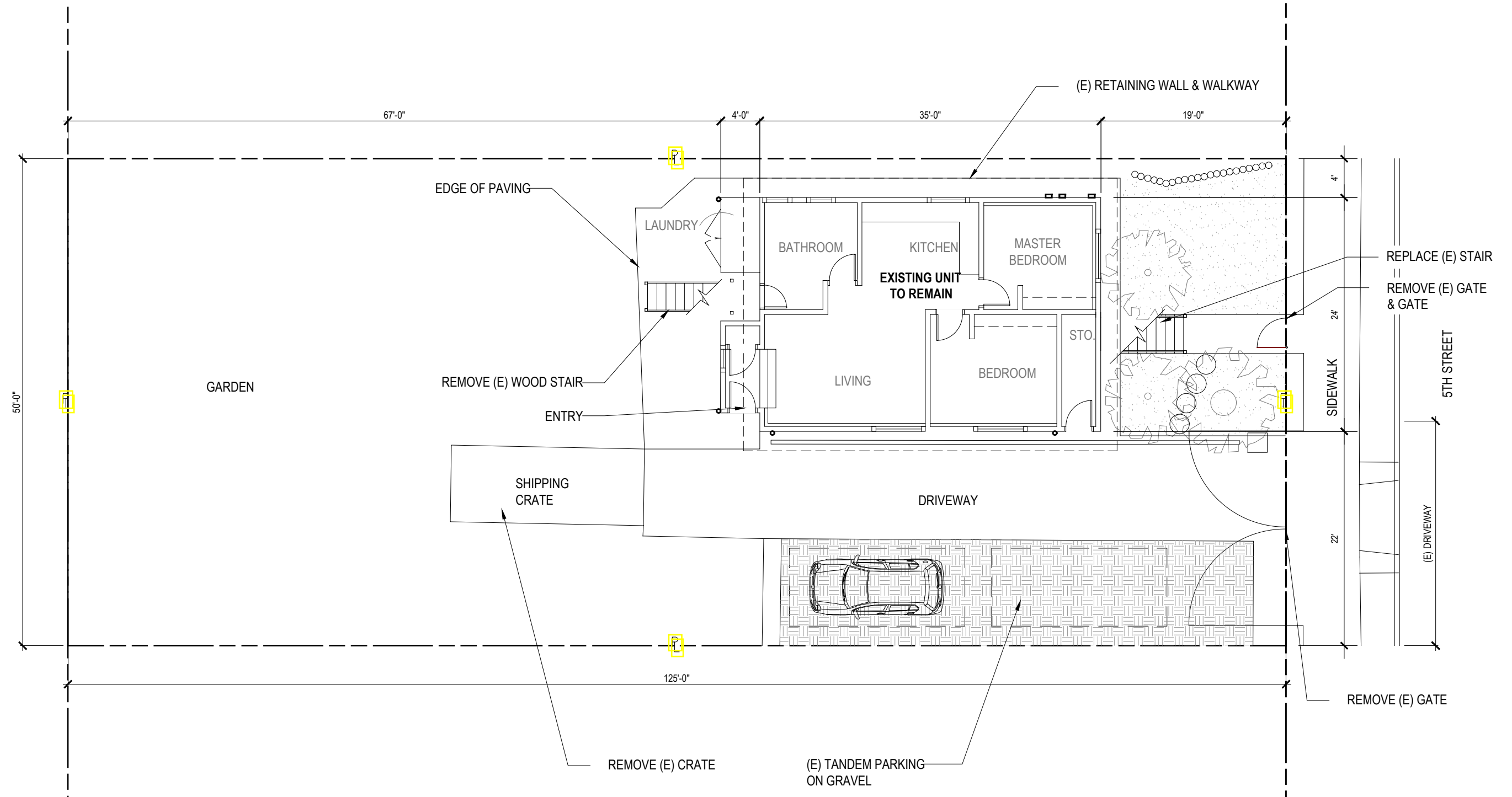
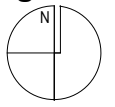
ZONING
NOV. 06, 2018



A1.1 PROPOSED SITE PLAN
SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
NOV. 06, 2018



WALL LEGEND

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN

A1.2

EXISTING/DEMO GROUND FLOOR PLAN

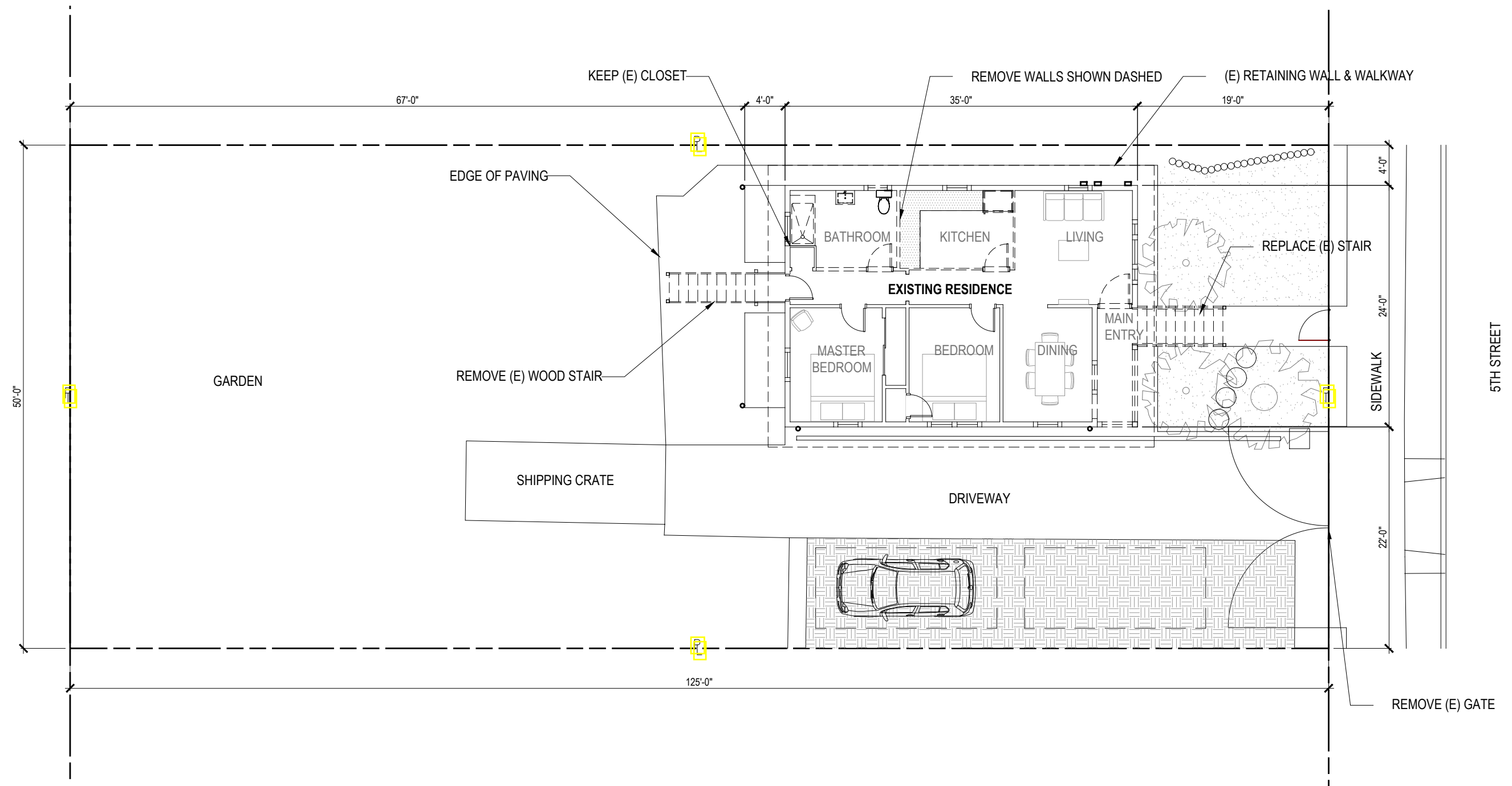
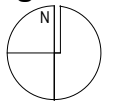
SCALE: 3/32"=1'-0"

2422 5TH STREET

DEVI DUTTA ARCHITECTURE

ZONING

NOV. 06, 2018



WALL LEGEND

- (E) WALL TO BE DEMOLISHED
- (E) WALL TO REMAIN

A1.3

EXISTING/DEMO 2ND FLOOR PLAN

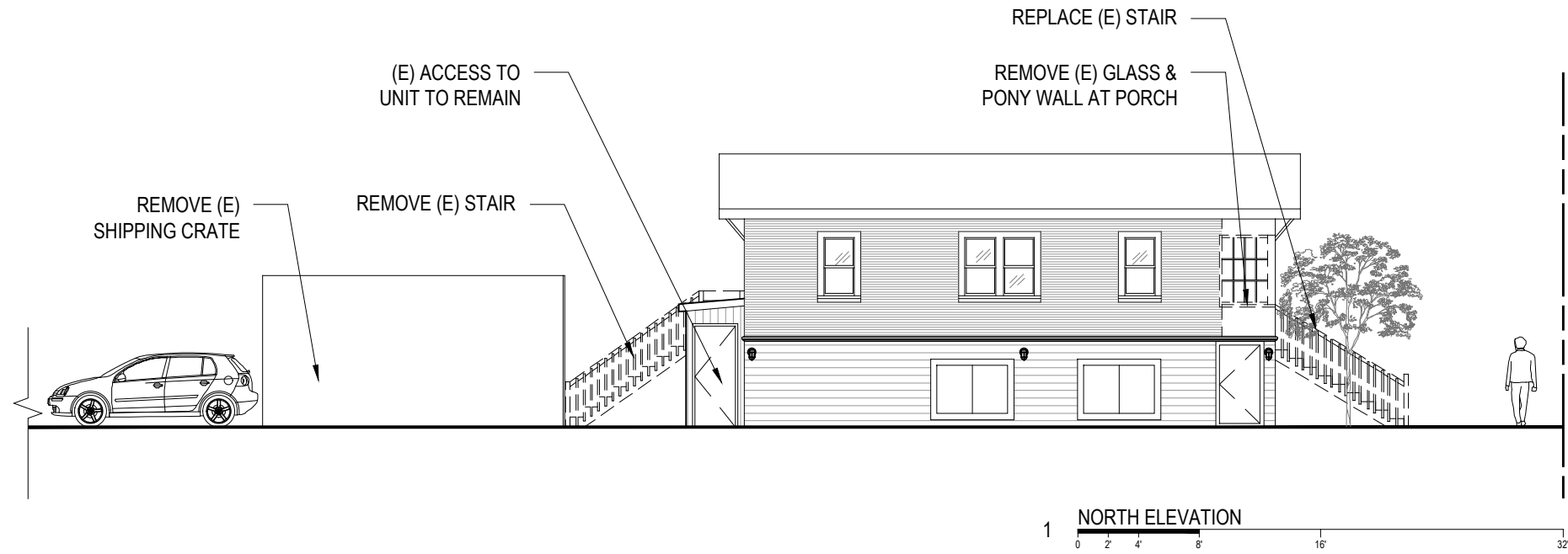
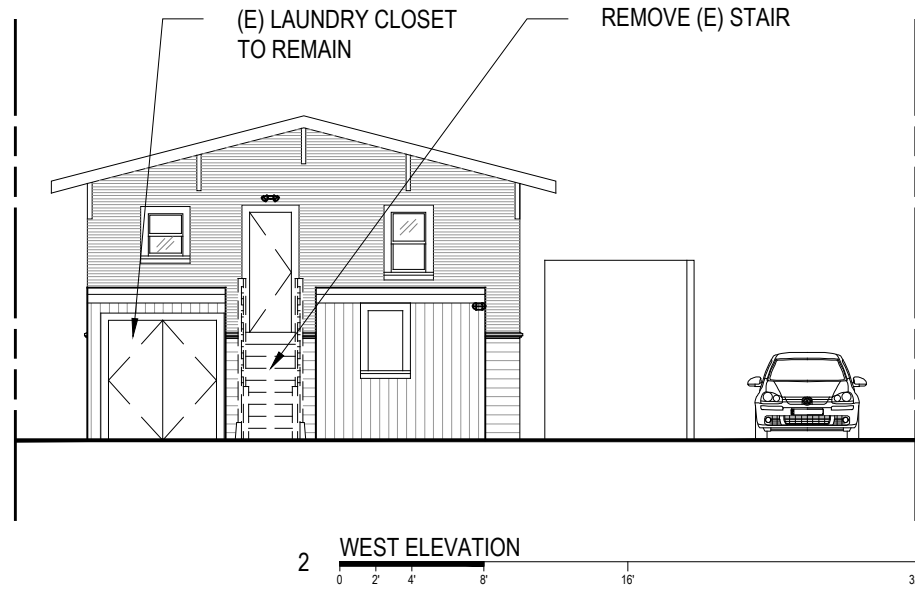
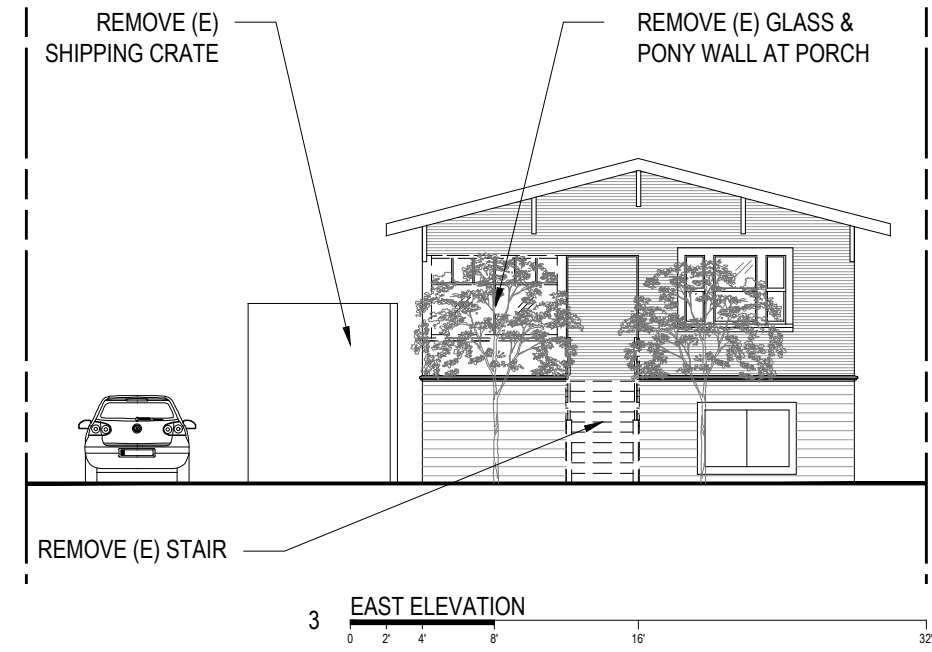
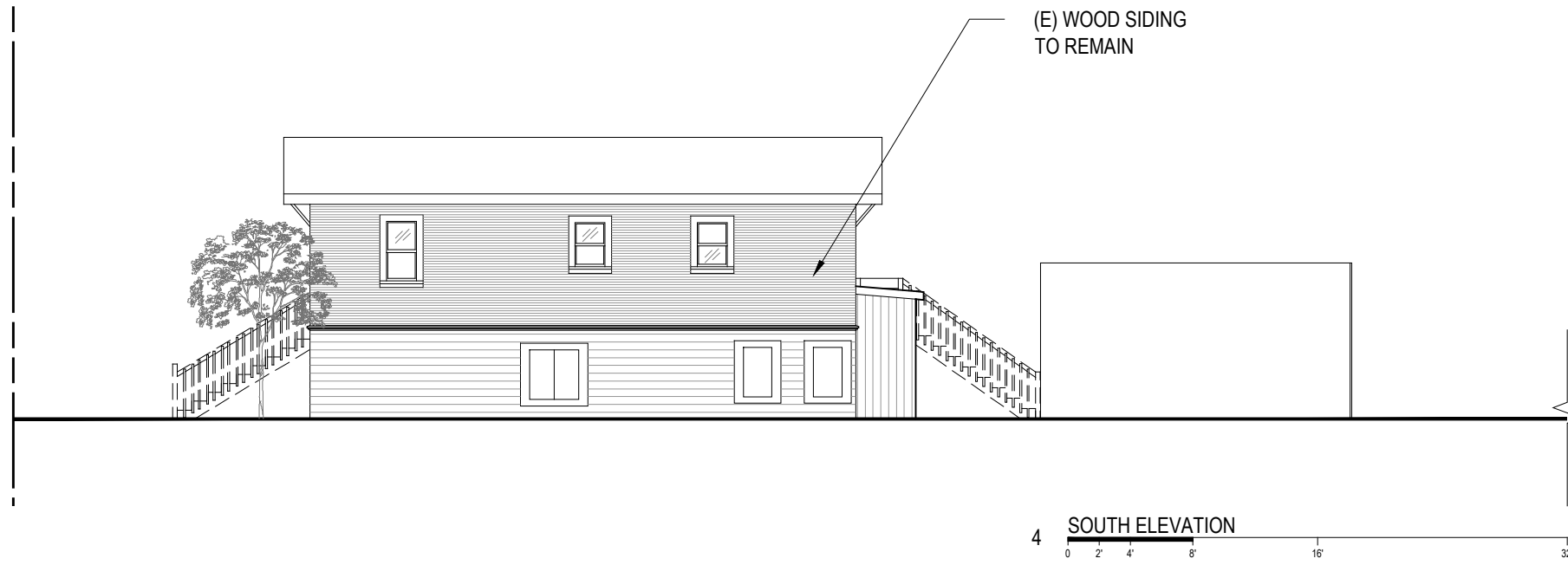
SCALE: 3/32"=1'-0"

2422 5TH STREET

DEVI DUTTA ARCHITECTURE

ZONING

NOV. 06, 2018



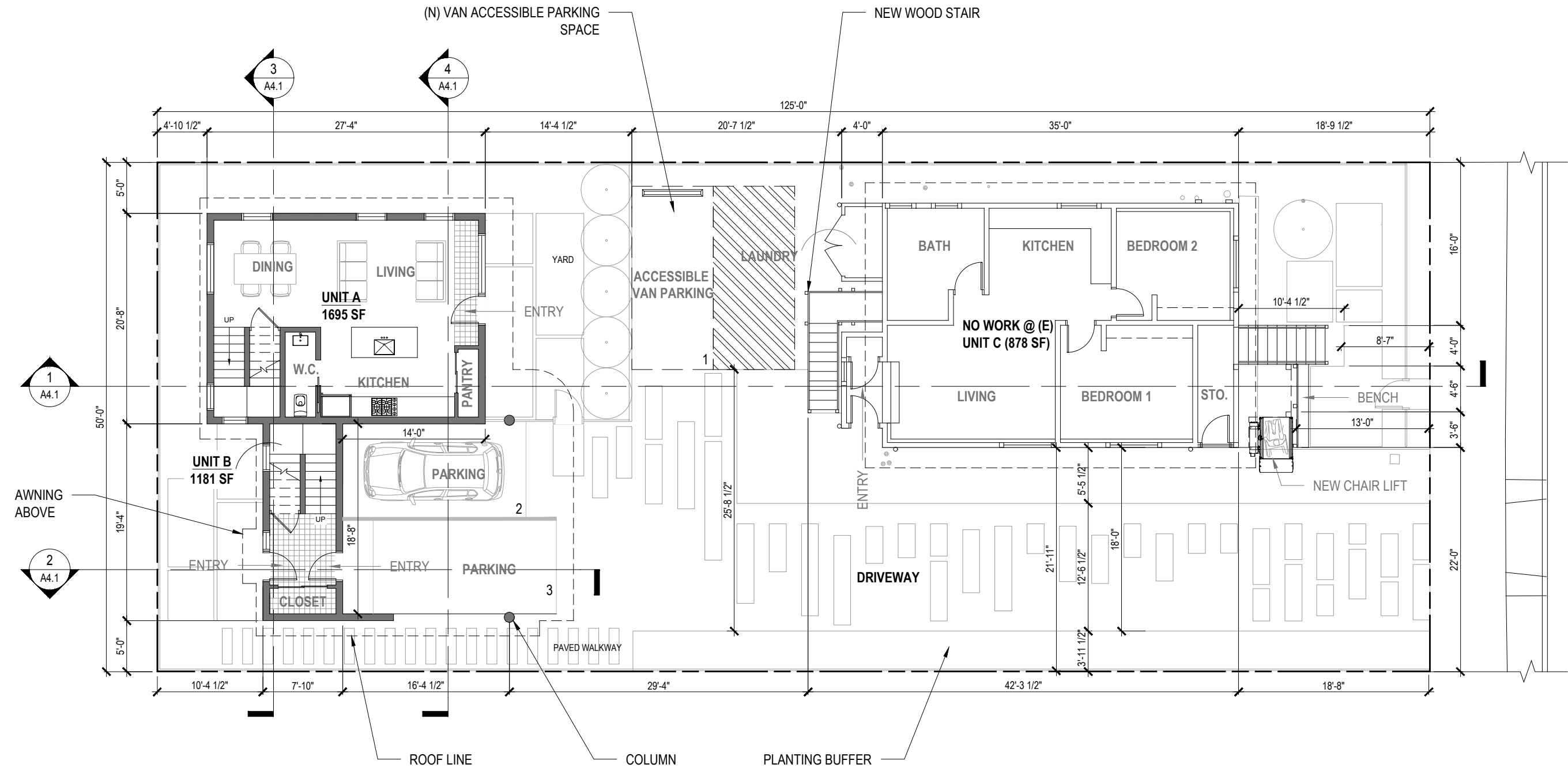
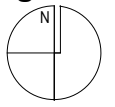
EXISTING/DEMO ELEVATIONS

SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
NOV. 06, 2018

A1.4



WALL LEGEND

- (E) WALL TO REMAIN
- NEW 2X4 STUD WALL

A2.1

PROPOSED GROUND FLOOR

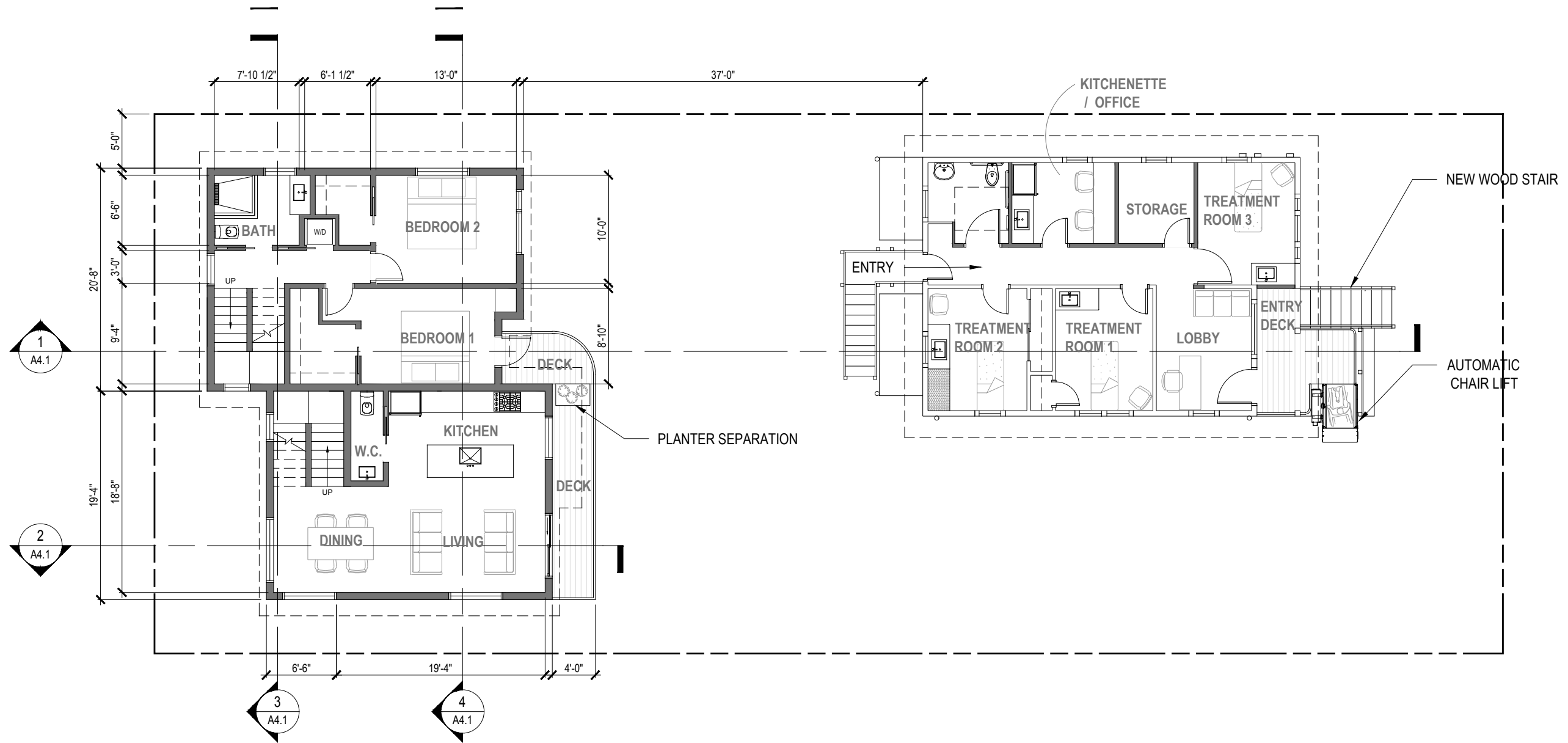
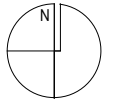
SCALE: 3/32"=1'-0"

2422 5TH STREET



DEVI DUTTA ARCHITECTURE

ZONING

NOV. 06, 2018



WALL LEGEND

-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL

A2.2

PROPOSED 2ND FLOOR

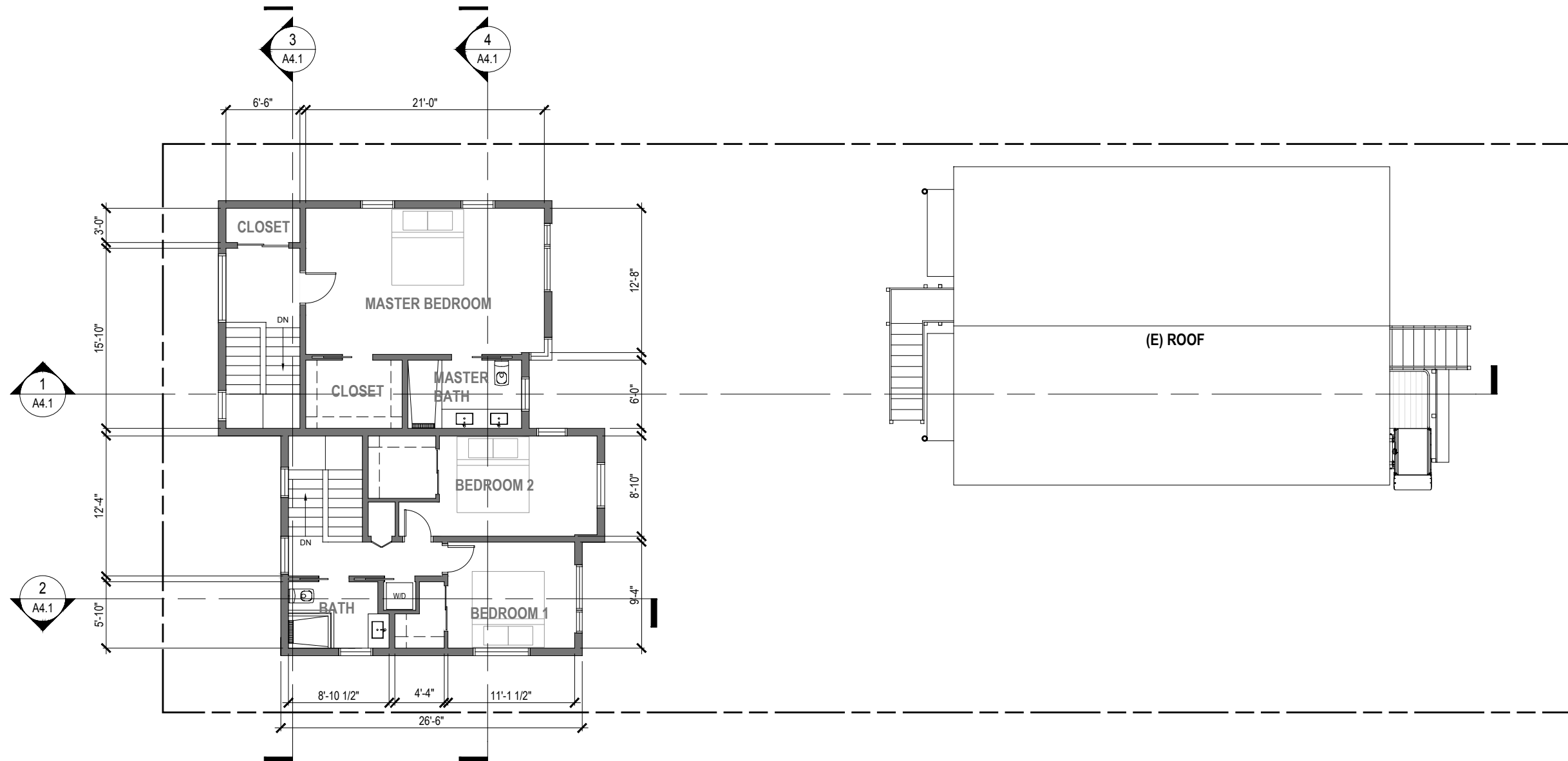
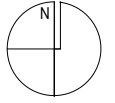
SCALE: 3/32"=1'-0"

2422 5TH STREET



DEVI DUTTA ARCHITECTURE

ZONING

NOV. 06, 2018



WALL LEGEND

-  (E) WALL TO REMAIN
-  NEW 2X4 STUD WALL

A2.3

PROPOSED 3RD FLOOR

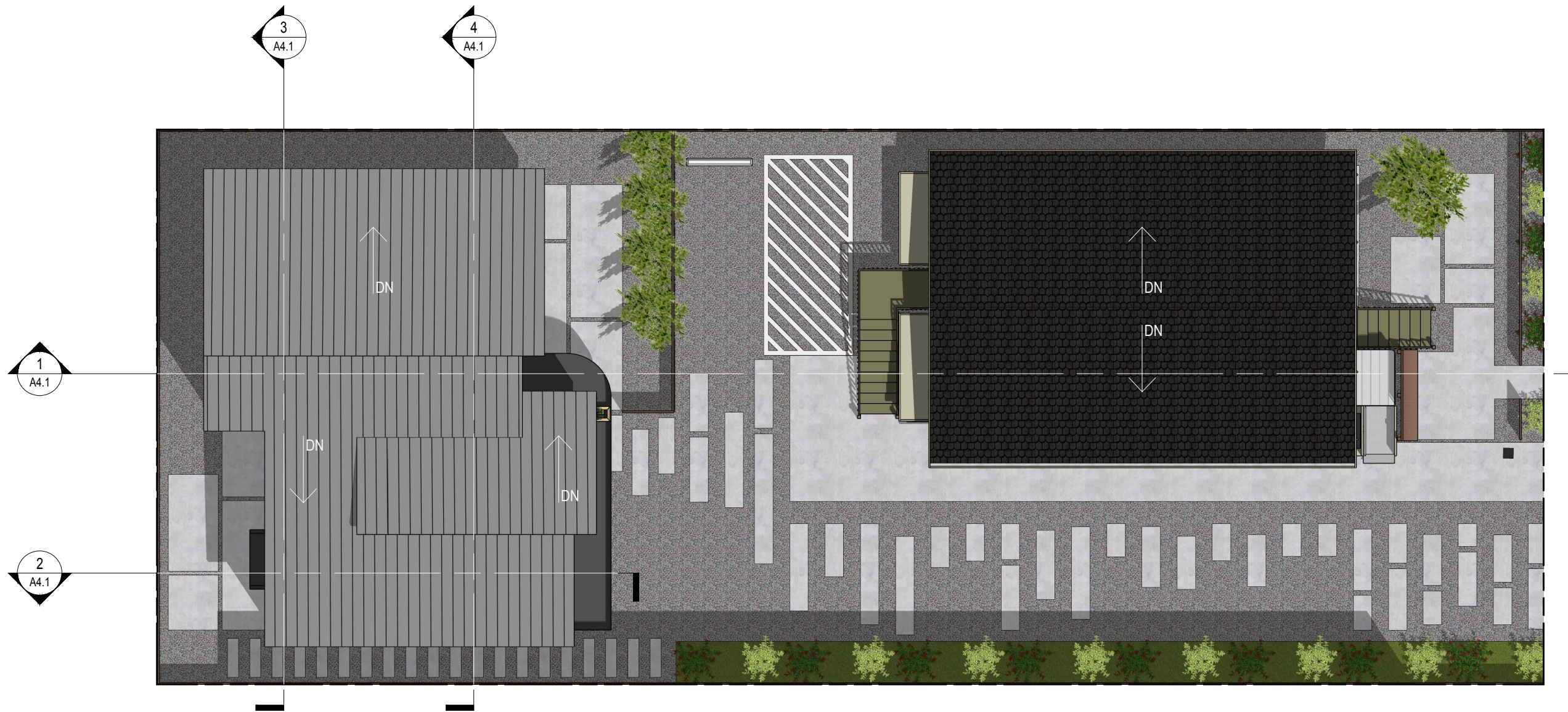
SCALE: 3/32"=1'-0"

2422 5TH STREET

DEVI DUTTA ARCHITECTURE

ZONING

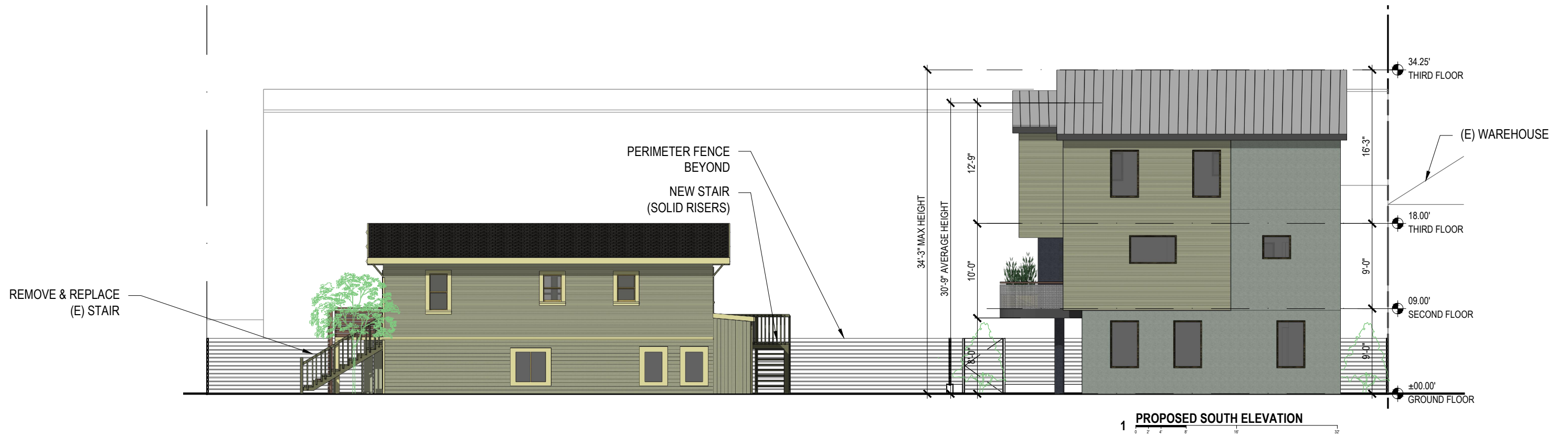
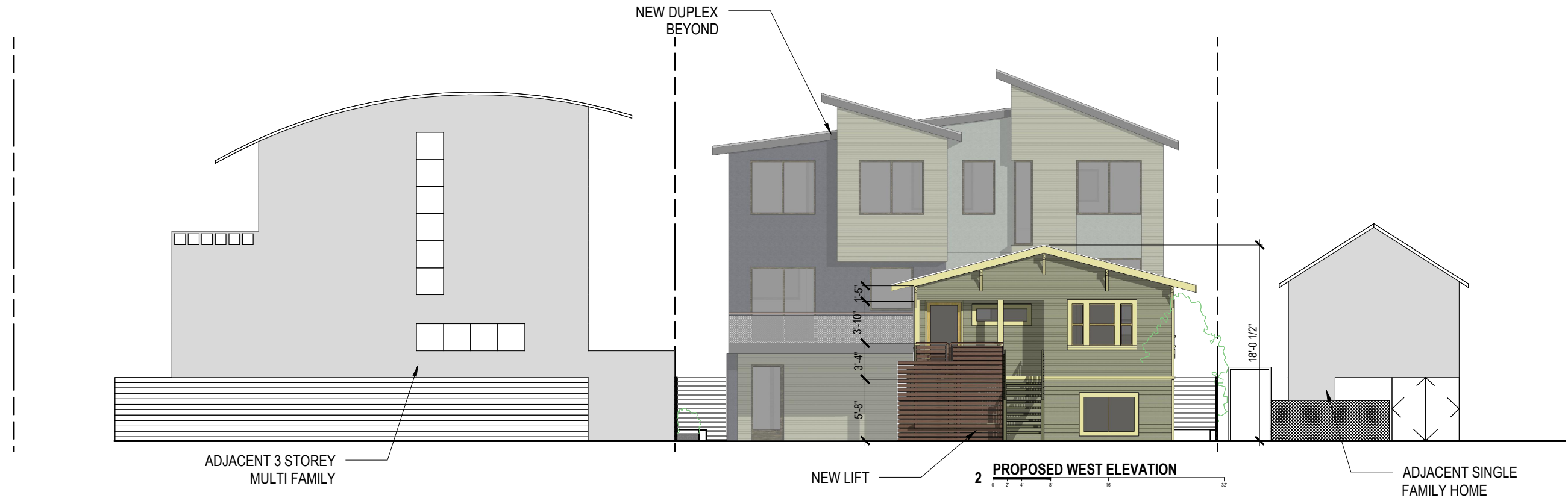
NOV. 06, 2018



A2.4 **ROOF PLAN**
SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
NOV. 06, 2018



PROPOSED ELEVATIONS

SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
NOV. 06, 2018

A3.1



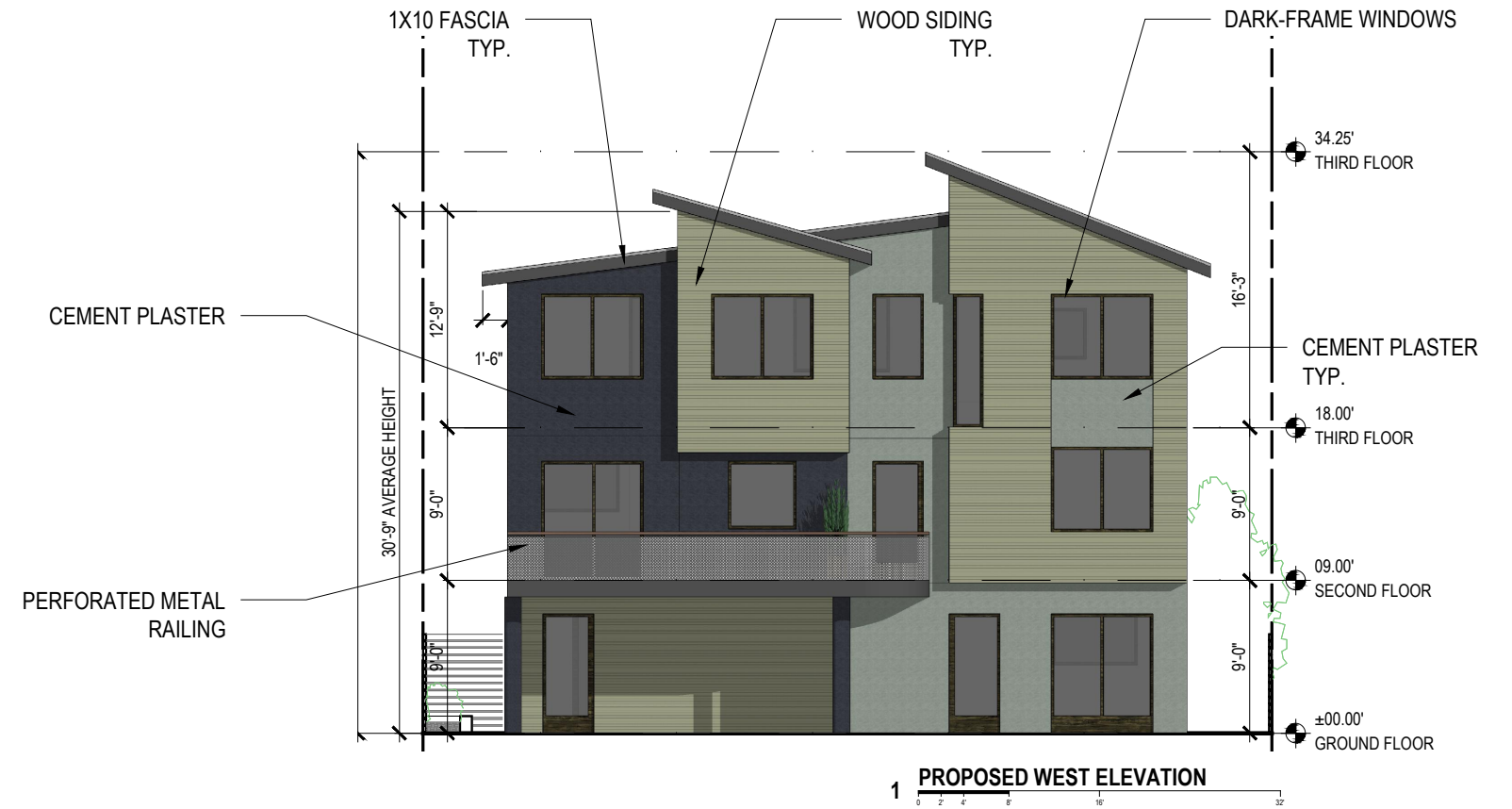
PROPOSED ELEVATIONS

SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
NOV. 06, 2018

A3.2



PROPOSED ELEVATIONS

SCALE: 3/32"=1'-0"

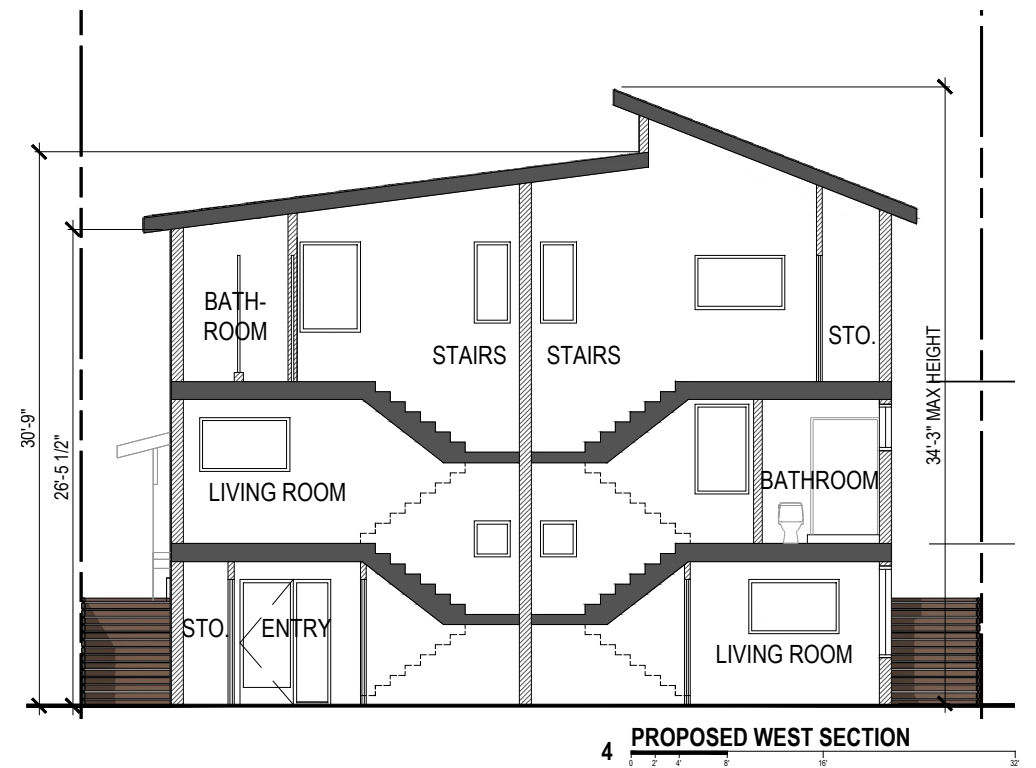
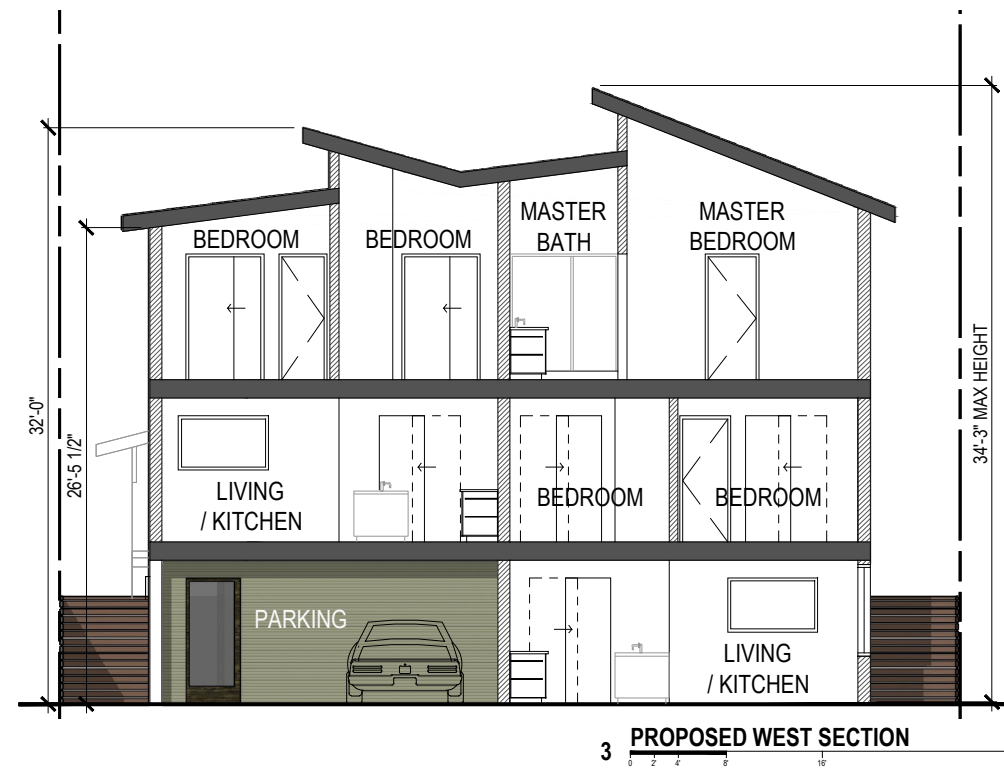
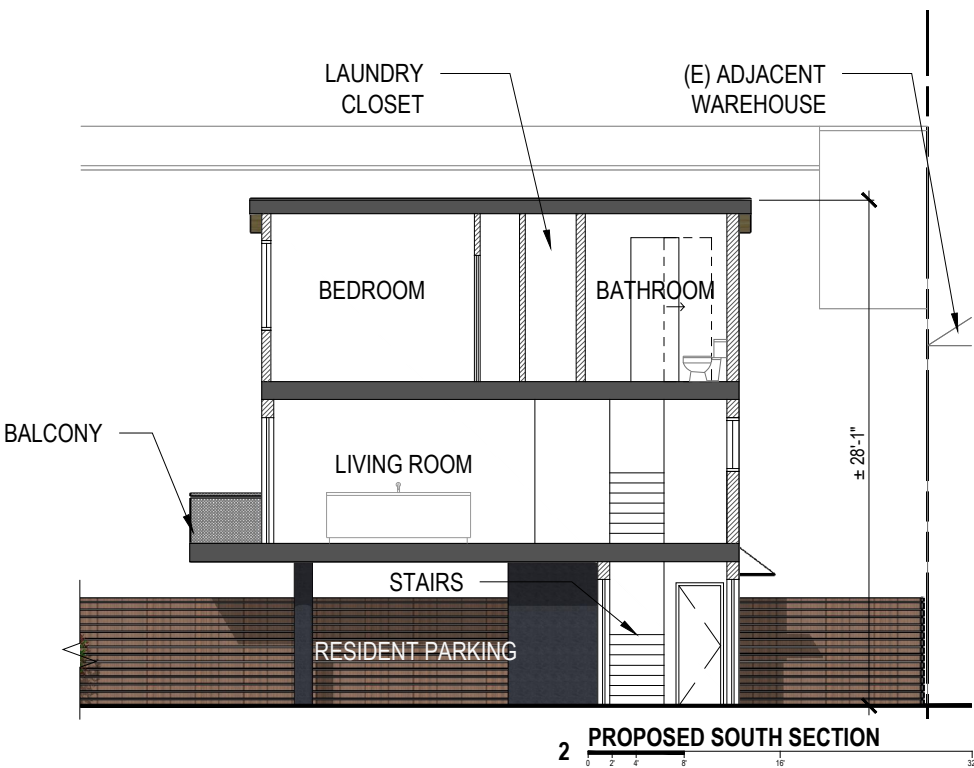
2422 5TH STREET

DEVI DUTTA ARCHITECTURE

ZONING

NOV. 06, 2018

A3.3



PROPOSED BUILDING SECTIONS

2422 5TH STREET

ZONING

SCALE: 3/32"=1'-0"

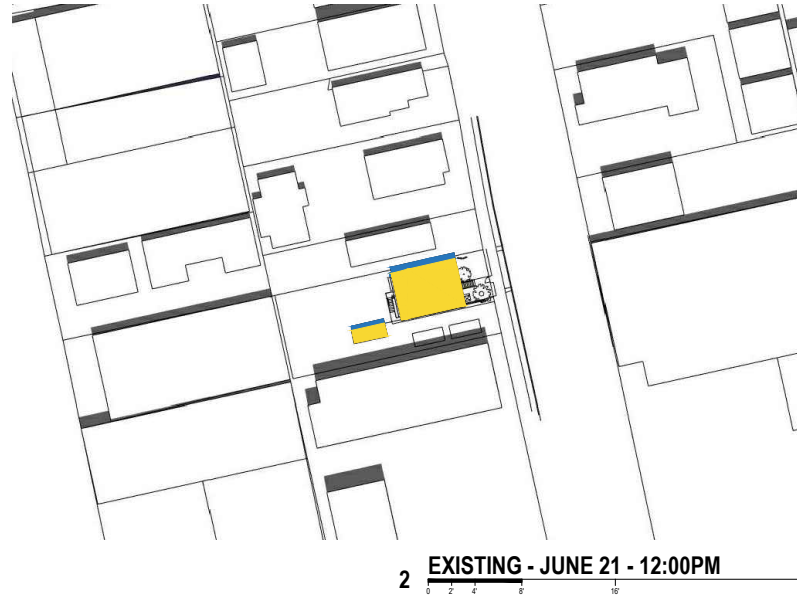
DEVI DUTTA ARCHITECTURE

NOV. 06, 2018





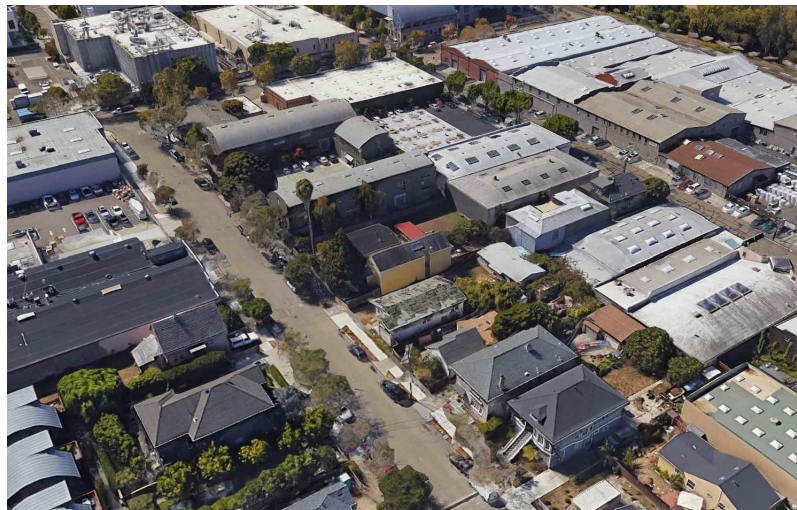
1 EXISTING - JUNE 21 - 7:48AM



2 EXISTING - JUNE 21 - 12:00PM

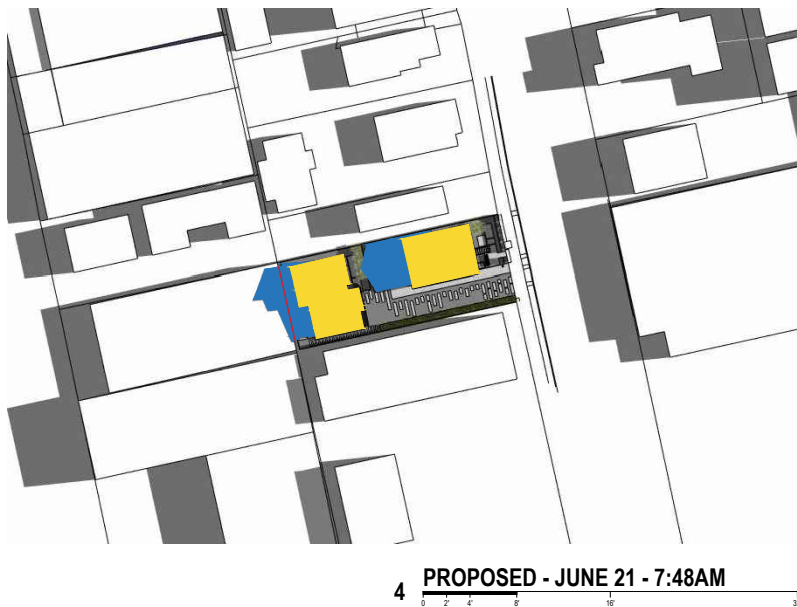
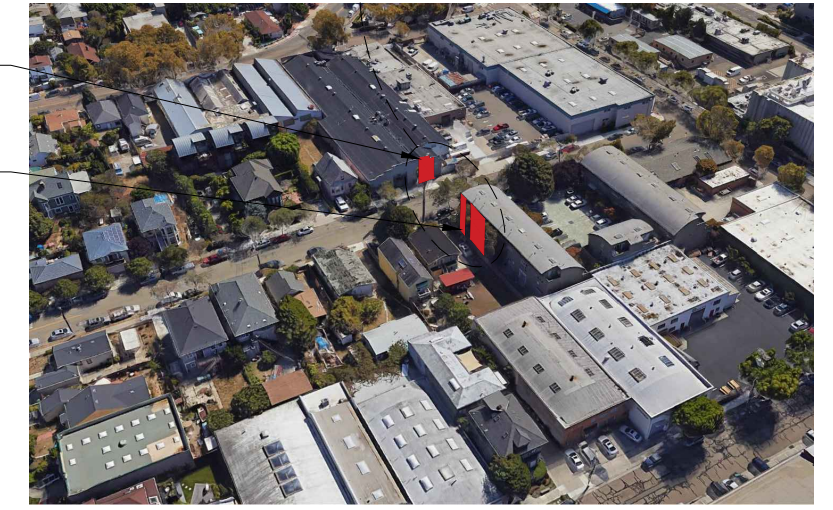


3 EXISTING - JUNE 21 - 6:35PM

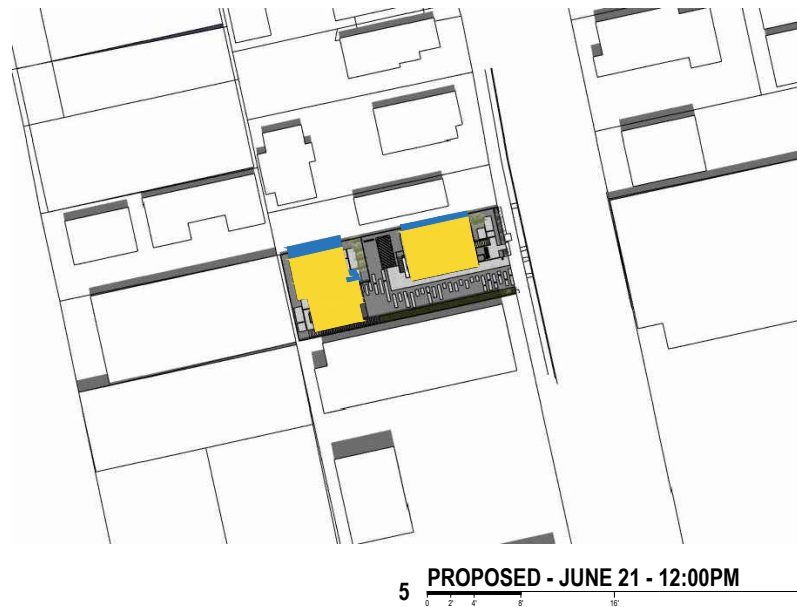


WAREHOUSE - NO
AFFECTED ROOMS

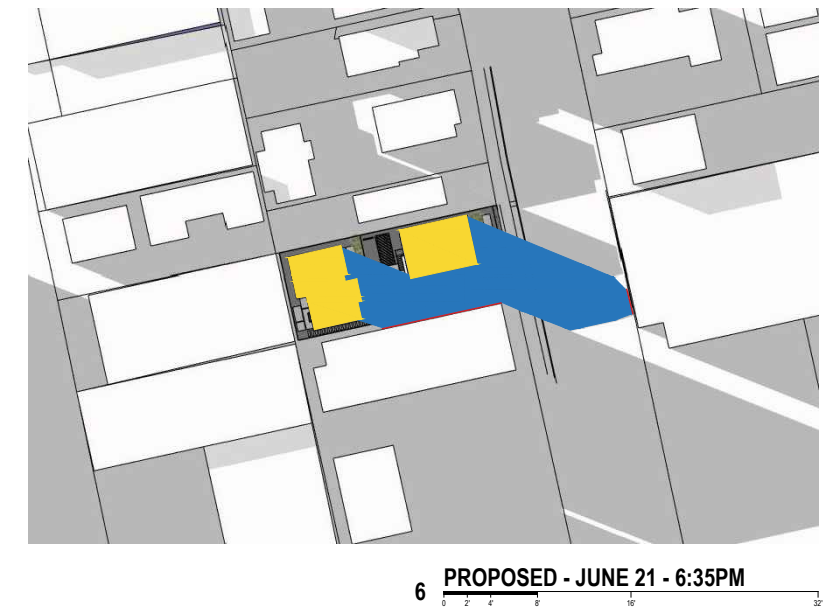
3 STORY MULTI-FAMILY - BATH
& LIVING (ASSUMED)



4 PROPOSED - JUNE 21 - 7:48AM



5 PROPOSED - JUNE 21 - 12:00PM



6 PROPOSED - JUNE 21 - 6:35PM

A5.1

SHADOW STUDIES - JUNE 21, SUMMER SOLSTICE

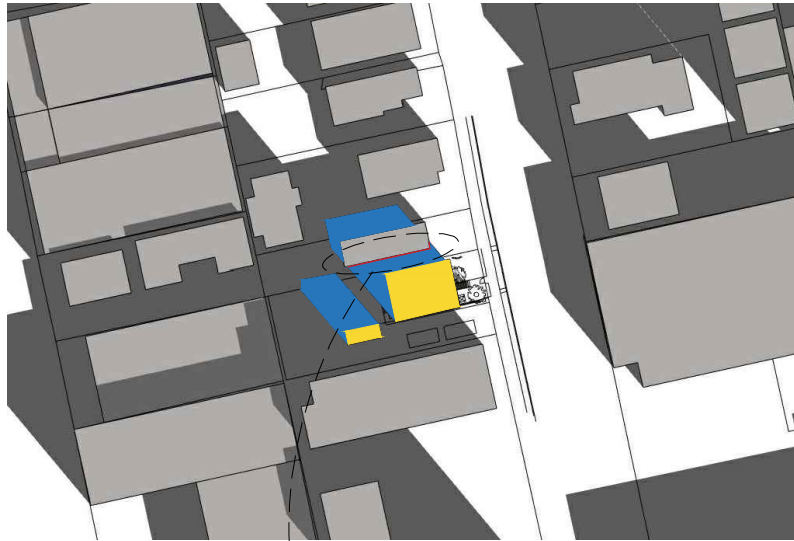
SCALE: NONE

2422 5TH STREET

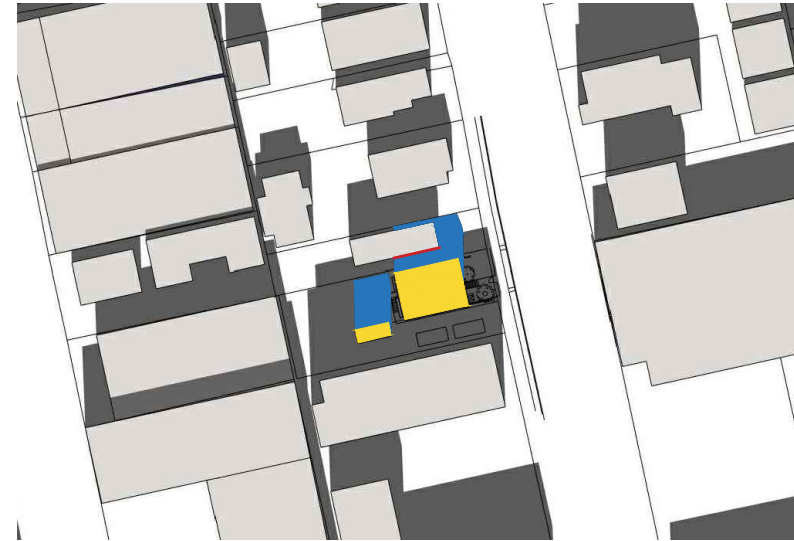
DEVI DUTTA ARCHITECTURE

ZONING

NOV. 06, 2018



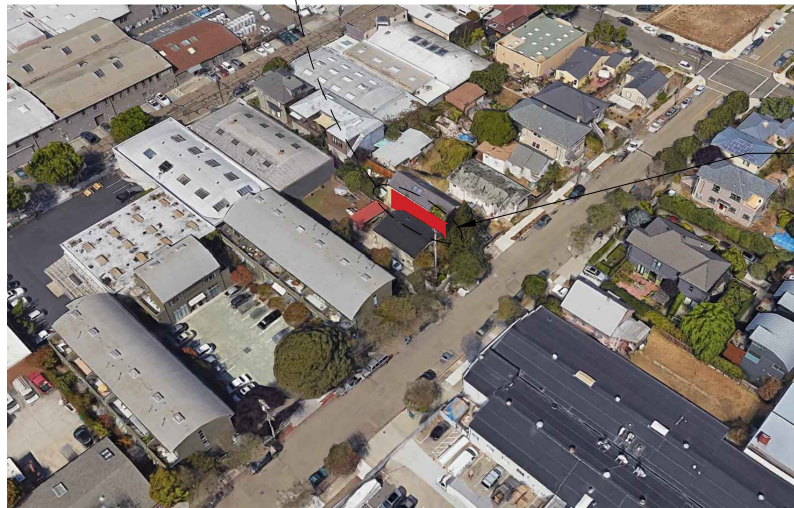
1 EXISTING - DECEMBER 21 - 9:21AM



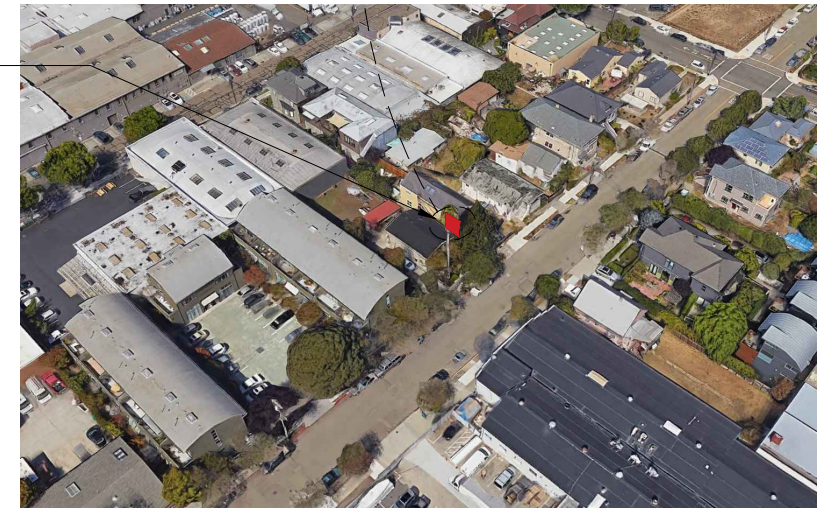
2 EXISTING - DECEMBER 21 - 12:00PM



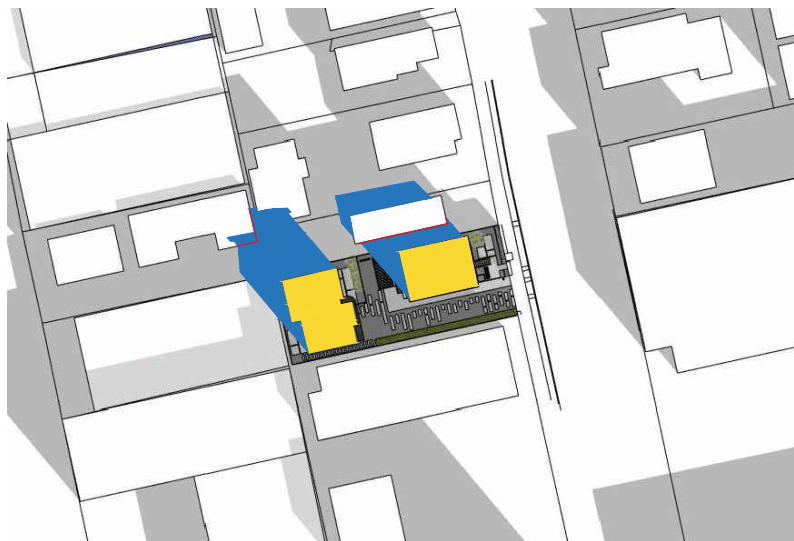
3 EXISTING - DECEMBER 21 - 2:54PM



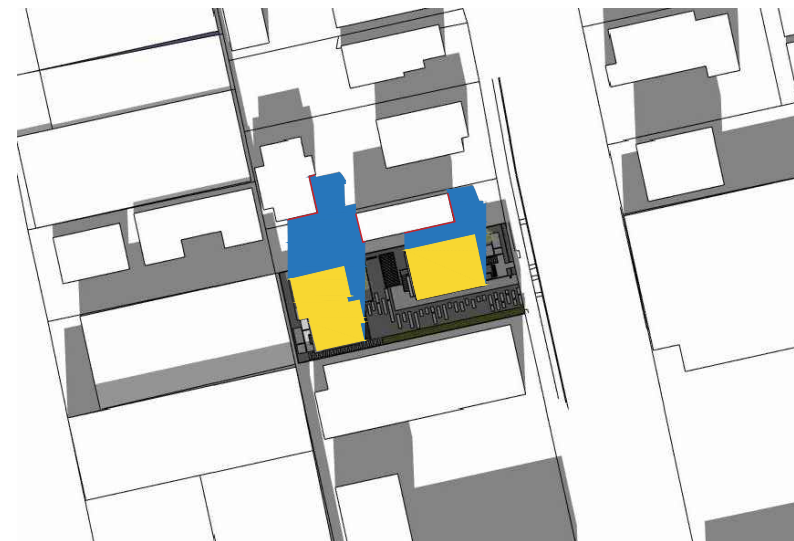
2 STOREY SINGLE FAMILY -
BEDROOM & BATHROOM
(ASSUMED)



2 STOREY SINGLE FAMILY -
LIVING ROOM (ASSUMED)



4 PROPOSED - DECEMBER 21 - 9:21AM



5 PROPOSED - DECEMBER 21 - 12:00PM



6 PROPOSED - DECEMBER 21 - 2:54PM

A5.2

SHADOW STUDIES - DECEMBER 21, WINTER SOLSTICE

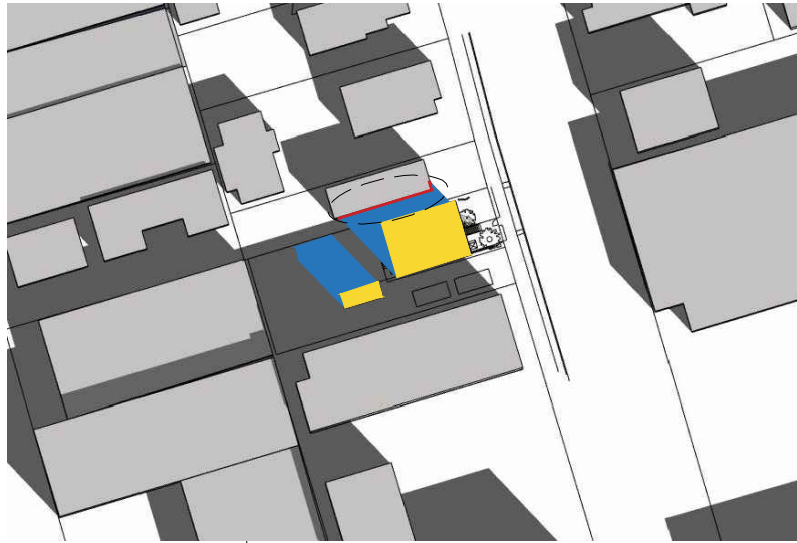
SCALE: NONE

2422 5TH STREET

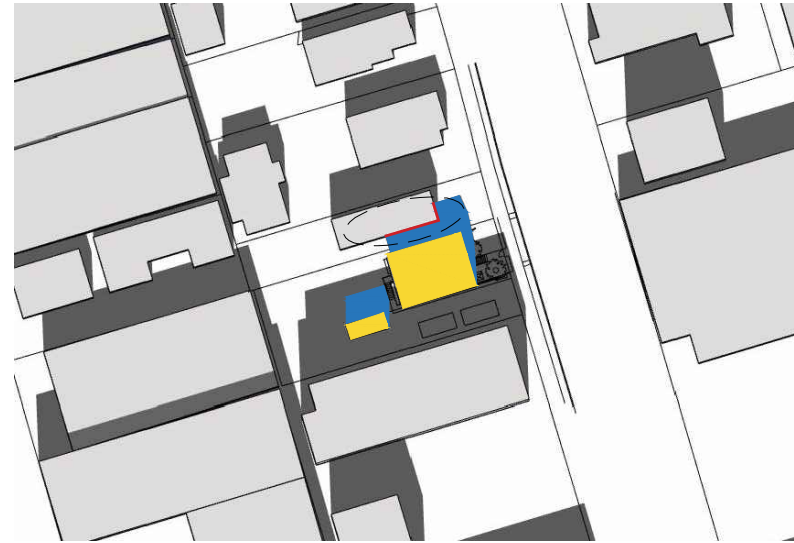
DEVI DUTTA ARCHITECTURE

ZONING

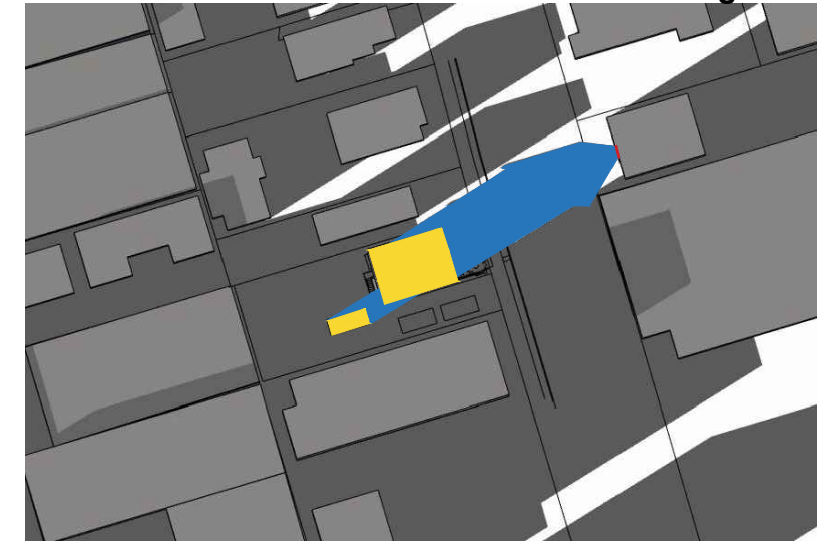
NOV. 06, 2018



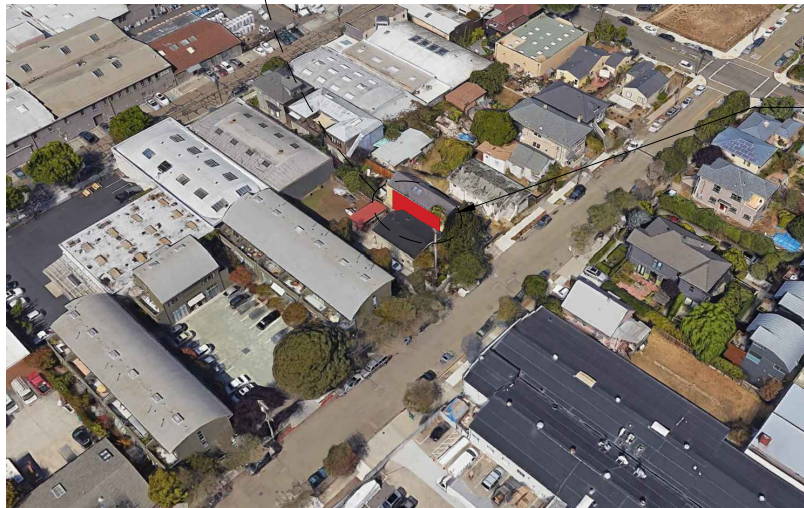
1 EXISTING - OCTOBER 31 - 9:34AM



2 EXISTING - OCTOBER 31 - 12:00PM

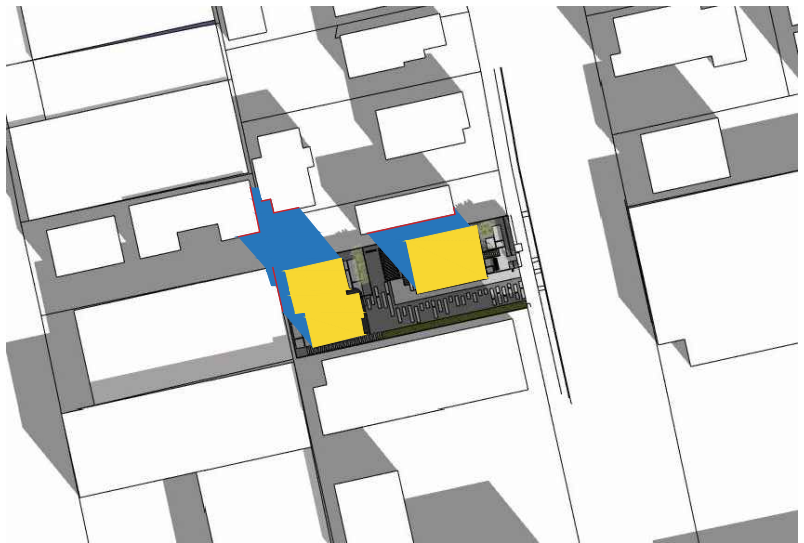
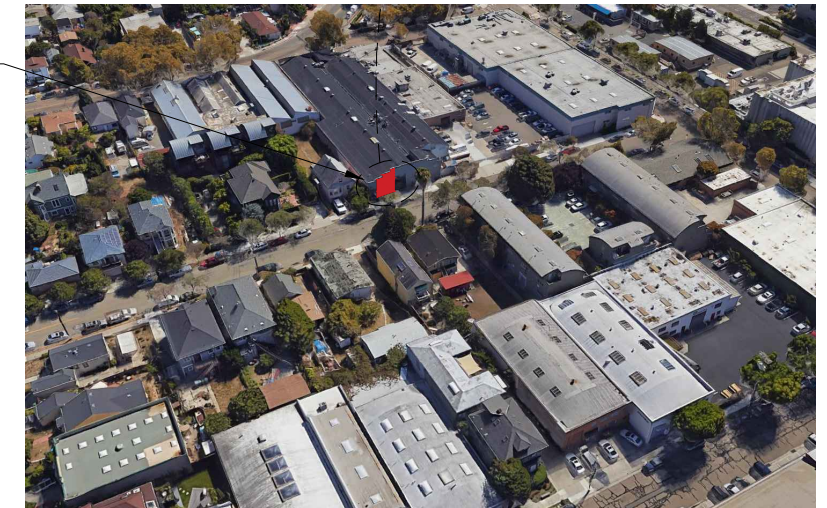


3 EXISTING - OCTOBER 31 - 4:11PM

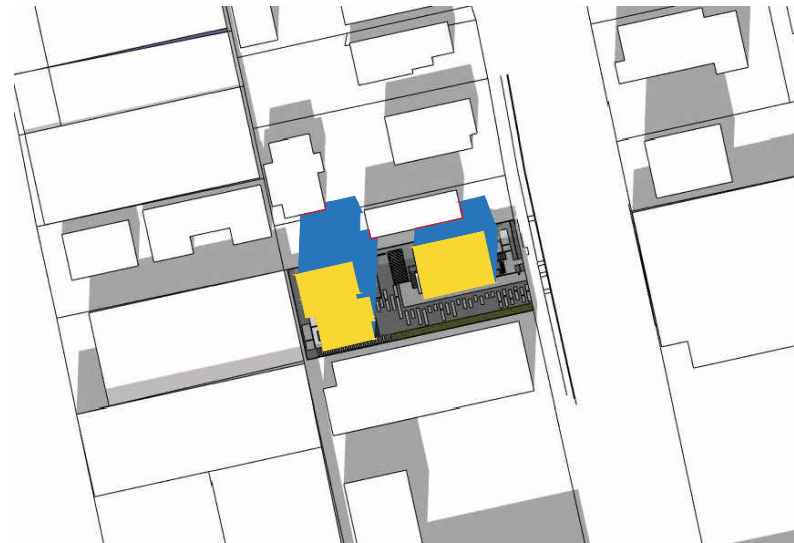


2 STOREY SINGLE FAMILY -
BEDROOM & BATHROOM
(ASSUMED)

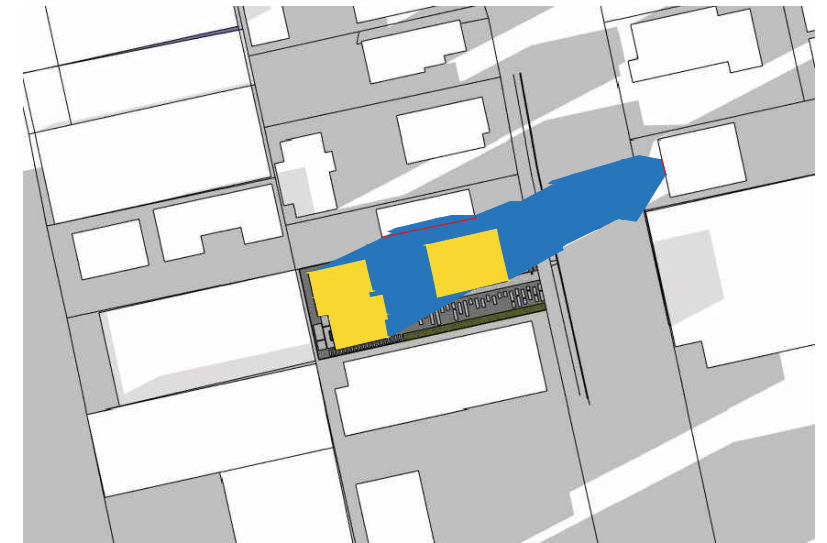
WAREHOUSE - NO
AFFECTED ROOMS



4 PROPOSED - OCTOBER 31 - 9:34AM



5 PROPOSED - OCTOBER 31 - 12:00PM



6 PROPOSED - OCTOBER 31 - 4:11PM

A5.3

SHADOW STUDIES - OCTOBER 31 REVIEW

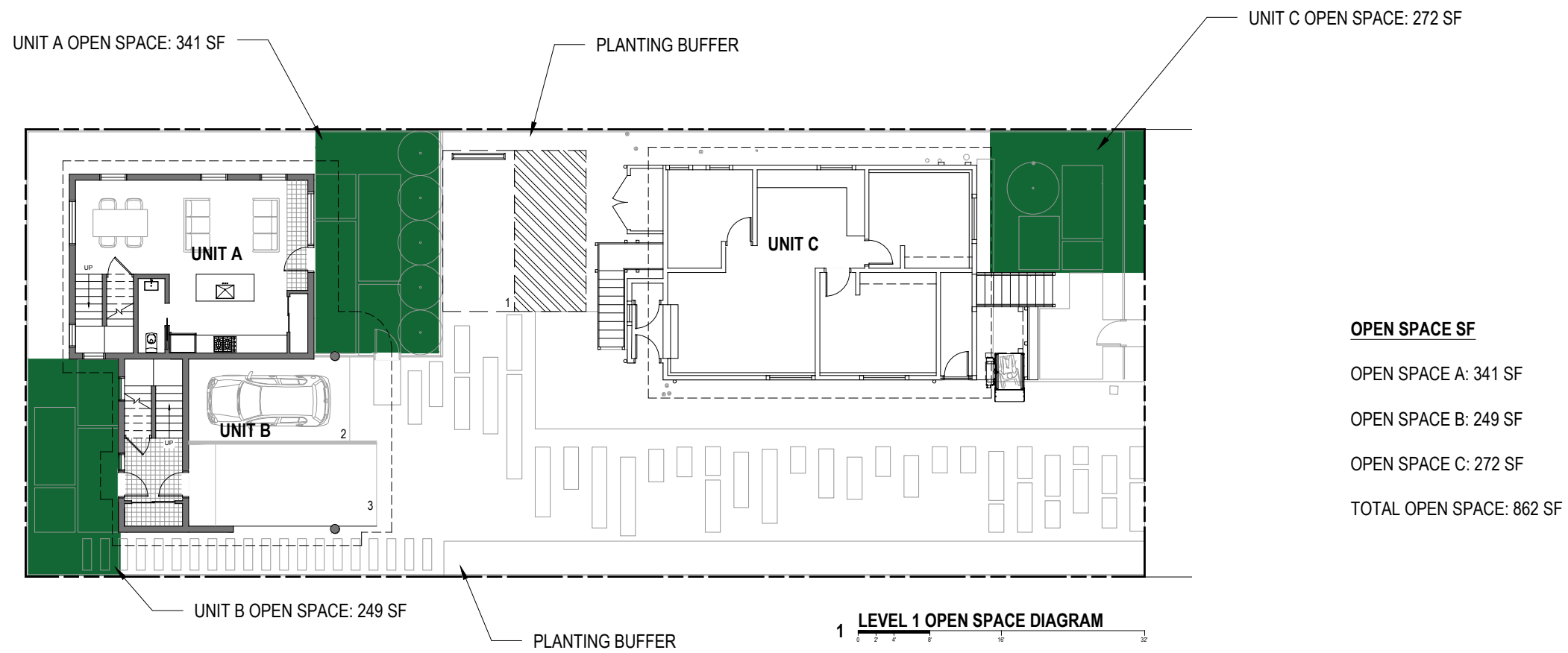
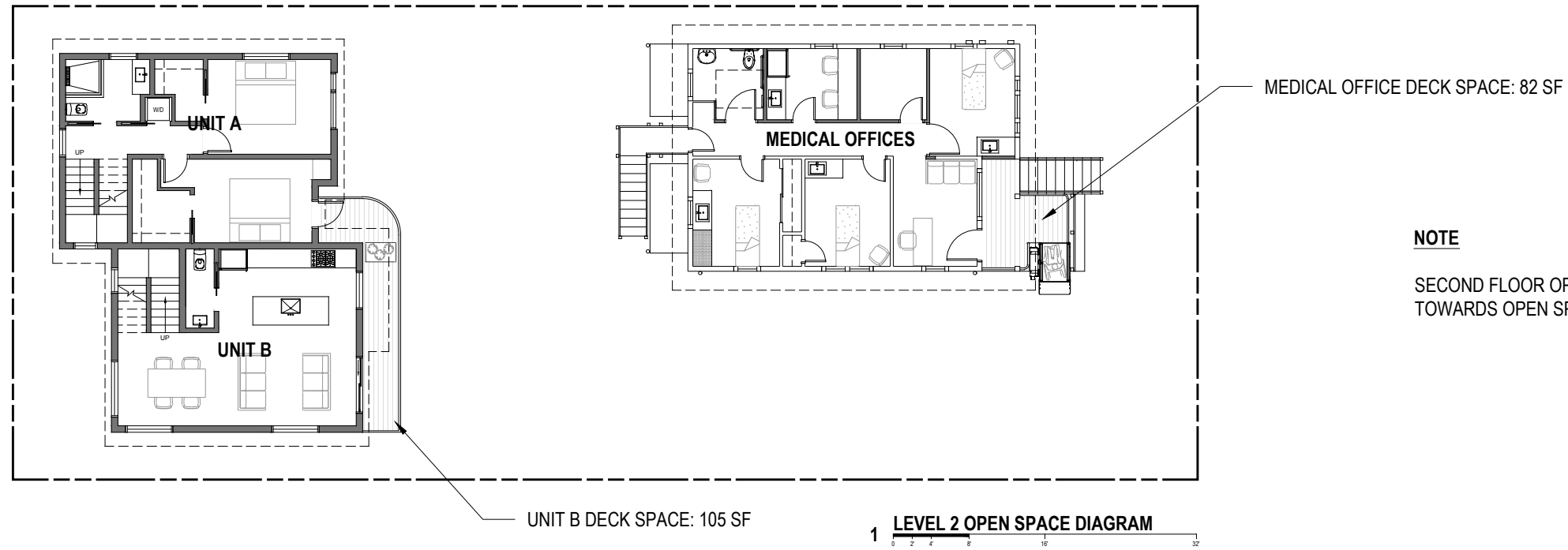
SCALE: NONE

2422 5TH STREET

DEVI DUTTA ARCHITECTURE

ZONING

NOV. 06, 2018

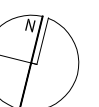
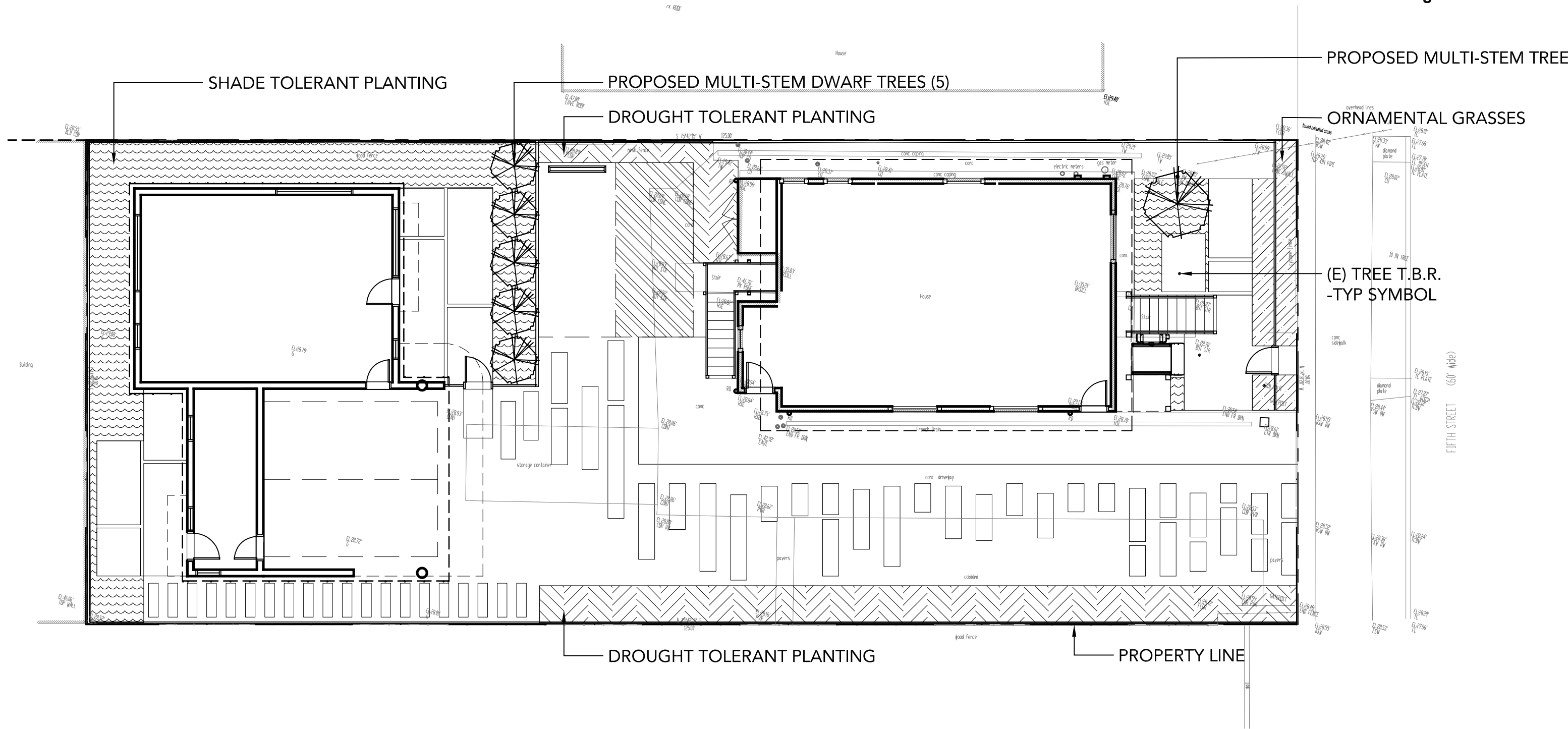




A7.1 PERSPECTIVE VIEWS
SCALE: 3/32"=1'-0"

2422 5TH STREET
DEVI DUTTA ARCHITECTURE

ZONING
NOV. 06, 2018





TREES
Acer griseum, Lagerstroemia aindica 'Natchez' + 'Zuni'

SHADE TOLERANT
Carex dolichostachya, Mahonia 'Soft Caress', Montia perfoliata, Polystichum munitum



ORNAMENTAL GRASSES
Carex divulsa + Pennisetum alopecuroides

CACTI + SUCCULENT
Agave azul, Agave ovatifolia, Echeveria "Morning Beauty" + "Romeo"

L2.1 PROPOSED PLANTING PALETTE
SCALE: 1"=10'-0"

2422 5TH STREET
MANTLE LANDSCAPE ARCHITECTURE

ZONING 10.25.18 



928 Carleton Street
Berkeley, CA 94710
510/705-1937
www.devidutta.com

2422 5th Street

Response to incomplete letters from planner Aaron Sage and design review secretary Anne Burns.

Design review comments – 6/22/18, Anne Burns

1. Although there is some surface parking that is existing on the site, the new design does have some large areas of surface parking and driveway. I do see where pavers are proposed, but still ask for as much tree canopy coverage as possible on the site to soften the amount of paving on this site.

The amount of parking on-site has been reduced to 3 spaces, freeing up more site area for planting. A 4' planting buffer separates the driveway from the adjacent housing complex to the south and also allows a space for trees and other plants to break up the continuity of the fence and concrete. The continuity of the paving on site is now staggered into a set of rectangular concrete paving slabs that will allow plants and other greenery to grow in between the slabs. The remaining unpaved surface is proposed to have a permeable gravel aggregate for drainage and aesthetic. See updated landscape plans.

2. I do not see a pedestrian path from the sidewalk to the rear units. Is this possible?
A new pedestrian path is provided adjacent to the front of the driveway and connects the driveway surface to the lift, then continues back to the residential units. The path is defined by staggered pavers.
3. Provide a detailed landscape plan, including a preliminary plant palette and note where existing landscape is to remain. Include any proposed planters as well. I was concerned with the deck directly over the garage as it extends over to the bedroom space on the adjacent building, but also see in the renderings where you have planters at the very end of that deck, increasing the privacy.
See new landscape plans for additional information. The only area where existing landscape is to remain is the tree at the front of the property. The existing palm tree however will be removed for the paving to the accessible entrance. The new plant palette will include shade tolerant plants and ornamental grasses to act as the planting buffers around the perimeter of the site. The new trees will be used to break up the view of the masses of the back units, as well as provide privacy.

4. Provide more detail on the lift facing Fifth and how it works with the circulation and upper entry deck.

The lift is located next to the front deck of the existing building. The new paving connects both the existing pedestrian entrance and also the accessible parking to the landing area for the new lift. A wooden partition will separate the view of the lift tower from the main circulation areas, and a integral bench creates a seating area towards the front yard. The lift itself leads to the main entrance of the acupuncture space which is also shared by the front stairway entrance.

5. We will need more detailed color and material information, but this can come later on the permitting process. I see one rendering that has the same color for both back units, and another that has a color shift. I believe that a subtle color shift would help to further break down the mass on the new rear units.

The design of the two rear units has been updated to provide further breakdown of the massing into bays and dynamic rooflines. The materials are intended to complement the existing wood siding of the front structure, but take on a new form for the different use.

Zoning review comments – 6/22/18, Aaron Sage

1. Parking waiver requires a parking survey – please consult with the traffic engineer, Peter Chun, for further details.

The parking survey analysis has been completed and indicates that there is available space on the street for commercial parking demand. Parking supply estimates still need to be verified by traffic engineer. See traffic study performed by Abrams Associates Traffic Engineering.

2. Traffic engineer review fee has not been paid. Not applicable if Peter has already reviewed/approved your site plan.

Peter Chun is reviewing the project. Please advise on review fee.

3. Provide Phase 1 report for determination of potential contaminated soil/groundwater impacts.

Phase 1 report was provided to planner Aaron Sage. The Berkeley Toxics Management Division has reviewed the phase 1 report and finds it acceptable.

4. Provide geotechnical report per Special Publication 117 (liquefaction zone), and pay peer review fee of \$2,000.

Geotechnical report prepared by Rockridge Geotechnical was provided to Aaron Sage. According to the geotechnical report by Rockridge geotechnical, the proposed improvements can be constructed as planned. The primary concerns for the site are: 1. The presence of moderately expansive near-surface soil, 2. The potential for up to ½ inch of seismically induced differential settlement due to cyclic softening following a major earthquake. According to the report the most appropriate foundation type would consist of deepened spread footings bottomed below the zone of severe moisture change. Please advise on fee.

Gong, Sharon

From: Burns, Anne M
Sent: Thursday, December 06, 2018 5:55 PM
To: 'Devi Dutta-Choudhury'
Cc: Gong, Sharon
Subject: RE: 2422 Fifth Street, DRSL2018-0006

Follow Up Flag: Follow up
Flag Status: Flagged

Hello, Devi: We were able to review the Nov. 7th resubmittal for the above address. Thank you for the design changes and the additional information to date. I think that we're very close for design review, but we do need a bit more information to continue our review:

- Thank you for the 4' planting buffer along the south property line. I see in the preliminary plant palette that there are several trees illustrated, but I do not see where they are proposed and how they will improve any of the paved areas.
- There is a pedestrian path shown from the accessible parking space to the lift, but I don't see how a protected path extends to both rear units.
- You mention that one of the proposed planters will increase privacy between the rear units and the adjacent residential structure to the south. I don't fully understand this as the 4' planting area does not extend back behind the rear units. Please provide some more specific information on this.
- The new location for the lift appears to be working well with the circulation flow from the accessible unit and into the office space, but it appears to be open to the sky. Of course, the lift will be designed for the outdoor elements, but is there any possibility of some cover for this lift?
- Thank you for the design changes to date. The change in the roof line, planes, and colors and materials help to reduce the mass of the rear structure. I understand that we will be able to review more details during the building permit process, but please submit additional information on the proposed windows, including the details and how far the new window units are recessed in the wall plane.

Thank you. Any questions, please let me know. – Anne (510) 981-7415



Planning and Development
Land Use Planning Division

December 7, 2018

Devi Dutta
Devi Dutta Architecture
928 Carleton Street
Berkeley, CA 94710

Sent via email to:
hello@devidutta.com

RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

Dear Mr. Dutta,

Thank you for submitting the materials to support the proposal to convert a dwelling unit into medical offices, and construct a new duplex on the rear of a lot.

Application – The application includes the following approval requests:

1. Use Permit under BMC 23C.08.030.A to eliminate a dwelling unit through the combination with another dwelling unit for purpose of occupancy by a single household;
2. Administrative Use Permit under BMC 23E.84.030.A to establish a new medical office space;
3. Use Permit under BMC 23E.84.030.A to establish a mixed-use building;
4. Administrative Use Permit under BMC 23E.84.030.A to create two new dwelling units; and,
5. Use Permit under BMC 23E.84.080.F to waive one residential parking space.

Incomplete Items – Staff has also determined that application is incomplete at this time. Please address the following items to continue with the application review:

1. Fees: A fee for the Parking Analysis review (base fee \$640), and peer review of the Geotechnical Report (\$2,500) are due immediately. Please submit a check for **\$3,140**, payable to the City of Berkeley, or pay in person at the Permit Service Center at 1947 Center Street, 3rd floor, and use the attached invoice for payment.
2. Plans:
 - a. Add a north arrow to all site plans, the vicinity map, and floor plans.
 - b. Add the labels “front”, “back”, “right side”, “left side”, to the elevations.
 - c. Provide a legend for any acronyms in the plans. What does “SLD” mean?

- d. Provide the gross floor area that is being converted from residential to medical offices.
 - e. Provide the total gross floor area of the new duplex.
 - f. Verify that at least 50% of the total floor area of the front building (where upper-level residential is proposed to be converted to offices) will be residential.
 - g. Indicate the height(s) of the wood perimeter fence on the site plan.
 - h. On the Vicinity Map, add any missing uses for all properties within 150 feet of the subject site. Especially note any manufacturing uses (construction product manufacturing or primary production manufacturing).
 - i. Indicate the driveway width at the front property line on the site plan.
3. Bike Parking. Show the calculation for the amount of bike parking required for the medical offices, and show the location of any required spaces on the site plan/floor plan. Bike parking is to be provided at 1 space per 2000 SF of commercial space.
 4. Parking. Show all 6 proposed parking spaces, and label them as residential or medical office. You currently only show 3, and it is unclear which spaces are to be used by which uses. Note that per BMC 23D.12.050.D, tandem parking is not permissible, unless expressly allowed by the Traffic Engineer and the Board. I recommend that you contact the Traffic Engineer, Peter Chun, at (510) 981-6445 or PChun@cityofberkeley.info, to discuss the parking layout before you commit to it.
 5. Elimination of a Dwelling Unit. The Rent Stabilization Board advises that you are proposing to eliminate a rent-controlled unit, and that a Variance is required to do so. This issue is under discussion, and you will be informed of the outcome as soon as it is reached.
 6. Application Submittal Requirements. The following required items were missing from the application submittal, and must be submitted for application completeness:
 - a. License Stamp. Include a licensed architect or engineer's stamp on each sheet in the plan set.
 - b. Shadow Studies.
 - i. Add a north arrow to all studies, plans, and 3d views. Highlight the subject property in the 3d view.
 - ii. The 3d views do not appear to show the impact from shadows from the new rear building. Clearly indicate the new shadows from the proposal in the 3d views.
 - iii. Label the buildings affected with their addresses.
 - iv. Use the terminology in the shadow study guidelines – “2 hours before sunset”, “2 hours after sunrise”.
 - c. Stormwater Requirements Checklist. Projects with 2,500 square feet or more of newly created or replaced impervious surface are required to submit a Stormwater Requirements Checklist. Indicate the area of new or replaced impervious surface, and submit the checklist, if applicable. The checklist and guidelines on how to prepare it can be found here:

http://www.cityofberkeley.info/uploadedFiles/Online_Service_Center/Planning/Storm_water%20Overview_10-23-13.pdf

- d. Water Efficiency. Projects with 2,500 square feet or more of new irrigated landscaping are subject to Berkeley Water Efficient and Bay Friendly Landscape Requirements. Indicate how much landscaping is proposed, and submit the checklists, if applicable. Information can be found here:
<http://www.stopwaste.org/sites/default/files/Documents/BF%20Basics%20Checklist%20v2.1.pdf>
https://www.ebmud.com/index.php/download_file/force/6341/1167/?EBMUD_-_Water_Efficiency_Review_-_Outdoor_Water_Use_Requirements.pdf
- e. Tabulation Form.
 - i. Revise the Tabulation Form to reflect any changes made in response to all other comments in this letter.
 - ii. Correct the "Permitted/Required" column to have the following amounts: Parking for Medical = 1/300 SF; Left and Right Setback = 5' (10% of lot width);
 - iii. Fill in the proposed and required FAR amounts.

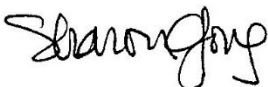
Advisory Comments

7. Department Comments. This application may be routed to other city departments for comments. These comments will be forwarded to you when they are received. Please respond to all department comments, and include revisions and response with your next submittal to Planning. Further revisions to the application may be required based upon your response to these items.

Revised submittal items should be submitted in both paper (two 11x17 sets) and electronic form (CD or flash drive), to my attention, to the Permit Service Center at 1947 Center Street, 3rd floor. Please submit responses to **all** requested items at once, and not incrementally. Also, please be aware that if you do not take action on the above items within 60 days, the application may be deemed withdrawn and returned to you.

Should you have questions regarding this letter or your application, please feel free to contact me.

Sincerely,



Sharon Gong
Associate Planner
(510) 981-7429
sgong@cityofberkeley.info

Gong, Sharon

From: Bursell, Lief
Sent: Wednesday, January 16, 2019 9:30 AM
To: Gong, Sharon
Subject: RE: 2422 Fifth Street Use Permit

Follow Up Flag: Follow up
Flag Status: Flagged

This type of clarification on the rental history would not impact our memo. They would be eliminating an older unit and replacing it with a new unit that is not subject to rent control, so a net-loss of housing stock that is subject to rent control which the Demo Ordinance seeks to protect. The Demo ordinance superficially allows for conversions for purpose of owner-occupancy but not for commercial use. What are your thoughts on converting a residential unit to commercial? I do not see any section or findings allowing for this in the Demo Ordinance.

From: Gong, Sharon
Sent: Wednesday, January 16, 2019 9:22 AM
To: Bursell, Lief <LBursell@cityofberkeley.info>
Subject: RE: 2422 Fifth Street Use Permit

Hi Lief,

I sent the memo to the architect, so they should have it. They are saying that the upper residential unit, which they will be converting into a medical office, has always been owner occupied. Here's the bit of correspondence from the architect where she sent me the rental registration:
The owners have been in touch with the rent board since the letter was written and have gotten up to speed on what is required for registration. I'm attaching the rental registration letter showing the lower unit as a rental and the upper unit as owner-occupied - I assume this will affect the rent board's assessment? We are not removing a rental unit from the site - the upper unit has always been owner occupied by the current owner as well as previous owners, and the lower unit will remain a rental as is. As I said in emails to Aaron Sage, it is not feasible to design the acupuncture offices for the new building because of site constraints, and it is not feasible to move the existing building to the back - it is constructed a couple of feet below grade so moving it would require completely re-building.

I can put you in touch with the architect and the owners, if you need their contact info.

Thanks,

Sharon

From: Bursell, Lief
Sent: Wednesday, January 16, 2019 8:51 AM
To: Gong, Sharon <SGong@cityofberkeley.info>
Subject: RE: 2422 Fifth Street Use Permit

Hi Sharon,

Happy New Year!

I don't recall reading this claim – I see the attachment has a copy of the letter we provided Aaron, is there also correspondence from the owner stating their position? I believe the current ownership is a trust, and therefore is not eligible for the "golden duplex" exemption but I would like to review their position before responding to you.

Thanks,
Lief

From: Gong, Sharon
Sent: Wednesday, January 16, 2019 8:45 AM
To: Bursell, Lief <L.Bursell@cityofberkeley.info>
Subject: 2422 Fifth Street Use Permit

Hi Lief,

Happy new year!

I am following up with this UP application because I recently spoke with the applicant, and the property owners indicated that they sent you more information to back their claim that they have a golden duplex, and that the units are not rent-controlled. I've attached what they submitted to you, along with your memo from August.

Have you had a chance to consider this material, and does it change anything in the memo?

Thanks,

Sharon

Sharon Gong

Associate Planner, Land Use Planning Division
Planning and Development Department
City of Berkeley
1947 Center Street, 2nd floor
Berkeley, CA 94704
(510) 981-7429

Gong, Sharon

From: Gong, Sharon
Sent: Friday, January 18, 2019 5:12 PM
To: 'Devi Dutta-Choudhury'
Cc: 'Aquariummama'; 'Herbie'; 'Carl Gold'
Subject: RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

Hi Devi,

I just had a meeting with Principal Planners about the project. Planning agrees with the Rent Board, that a Variance would be needed to convert the residential unit to medical offices, and unfortunately we think we would not be able to make the findings to approve that Variance. If you were eliminating and combining with an owner-occupied residence, then it would be a Use Permit that we would have make the findings for under 23C.08.030.

Or you'll need to find a way to preserve the two rent-controlled units and not eliminate any units.

We can talk more about this if you'd like.

Sharon

Sharon Gong

Associate Planner, Land Use Planning Division
Planning and Development Department
City of Berkeley
1947 Center Street, 2nd floor
Berkeley, CA 94704
(510) 981-7429

From: Devi Dutta-Choudhury [mailto:hello@devidutta.com]
Sent: Friday, January 18, 2019 2:43 PM
To: Gong, Sharon <SGong@cityofberkeley.info>
Cc: 'Aquariummama' <aquariummama@gmail.com>; 'Herbie' <herbie@devidutta.com>; 'Carl Gold' <carl.steven.gold@gmail.com>
Subject: RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

Hi Sharon, have you heard anything further from the rent board? We'd like to keep this project moving, but are stuck right now on this rent board question. Should we go ahead and resubmit and address their comments later if they have any?

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[415/794-0923](tel:4157940923) mobile
[510/705-1937](tel:5107051937) office
www.devidutta.com

Gong, Sharon

From: Gong, Sharon
Sent: Monday, March 11, 2019 9:53 AM
To: 'Devi Dutta-Choudhury'
Cc: 'Aquariummama'; 'Herbie'; 'Carl Gold'; Allen, Shannon
Subject: RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

Hi Devi,

Here is the result of my discussion with the principal planners:

1. The code section 23E.84.080.F, *If the Zoning Officer or Board finds that existing evening parking supply is adequate and/or that other mitigating circumstances exist on the property, the requirement for an additional off-street parking space may be waived through a Use Permit when an additional residential unit is added to a property with one or more residential units, can be used to waive parking for more than one residence, if the parking survey supports it. In your last proposal, which was to leave the 2 dwelling units in front as they are, and build a new building with medical offices and two more dwelling units in the rear, you would need 3 medical office parking and 4 dwelling unit parking. So you would be seeking to waive 4 parking spaces.*
2. The parking survey must be updated to reflect the need to waive 4 residential parking spaces. In addition to the data already gathered, you will need to get parking data for more than one evening during the week and at least 2 times on the weekend. Please make sure that the purpose of the survey is stated in the report - to provide data to waive 4 residential parking spaces, under BMC 23E.84.080.F. Please include the language in the BMC code as well.

Thank you for your patience during this discussion. I believe you now have a path forward on the project.

Let me know if you have further questions.

Sharon

Sharon Gong

Associate Planner, Land Use Planning Division
Planning and Development Department
City of Berkeley
1947 Center Street, 2nd floor
Berkeley, CA 94704
(510) 981-7429

From: Devi Dutta-Choudhury [mailto:hello@devidutta.com]
Sent: Tuesday, February 19, 2019 10:58 AM
To: Gong, Sharon <SGong@cityofberkeley.info>
Cc: 'Aquariummama' <aquariummama@gmail.com>; 'Herbie' <herbie@devidutta.com>; 'Carl Gold' <carl.steven.gold@gmail.com>; Allen, Shannon <ShAllen@cityofberkeley.info>
Subject: RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

Gong, Sharon

From: Gong, Sharon
Sent: Thursday, March 14, 2019 11:04 AM
To: 'Devi Dutta-Choudhury'; 'Aquariusmama'; 'Carl Gold'
Cc: 'Herbie'; Allen, Shannon
Subject: RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Devi,

Hopefully I'll answer the previous questions from Carl and Anna as well as your questions below.

Here are the permits that were needed for the original proposal:

1. UP to establish a mixed-use building
 2. UP to waive residential parking spaces
 3. UP to eliminate a dwelling unit
 4. AUP to establish a medical office 5,000 SF or less
 5. AUP to construct dwelling units (less than 5)
- In the current proposal of keeping the 2 units in the front and building 2 new units and new medical offices in the rear, you would no longer need the UP to eliminate a dwelling unit, but you'll still need the remaining UPs and AUPs.
 - If you don't build the medical offices then you no longer need the AUP for the medical office use, or the UP for mixed use, and you'll be able to put 3 residential parking on site, but will need still need to waive 1 space for the 4th dwelling unit.
 - If you only propose 3 dwelling units and no medical office, then you'll also no longer need the UP to waive parking, so all that you'll need is an AUP to build 1 dwelling unit in addition to the 2 existing – no UP or public hearing.

As for your question below, you are correct in the process for a parking survey supportive of waiving 4 spaces.

1. if the results of the traffic study are favorable to waiving fewer spaces (1, 2 or 3), then we can revise the plans to show fewer total residential units

Yes, you can reduce the number of proposed dwellings to the number of waived spaces that is supported with the revised parking survey.

2. OR, we could still propose the project with 4 units, and apply for a variance for the remaining parking spaces - would this be possible? I think the findings for this variance would be much easier than the conversion of the unit. The variance asks if there are an extenuating circumstances, including use, so we can argue that the medical use puts undue strain on the project.

Yes, you can try for a variance to waive the remaining parking. Based on recent experience with the ZAB, the elimination of parking has been less concerning to them than the elimination of rent-controlled dwelling units.

3. OR, we could propose joint-use parking between medical and residences to make up the difference

Yes, you could propose joint parking. An AUP to approve that would be added to the application.

4. OR, we could bail on the medical altogether and have a 4-unit residential only project with no medical. Then we are just waiving 1 parking space, which seems clearly approvable.

Yes, you could request a waiver of only 1 space, which your current parking survey already supports.

Hope that provides you with enough information to move forward.

Sharon

Sharon Gong

Associate Planner, Land Use Planning Division
Planning and Development Department
City of Berkeley
1947 Center Street, 2nd floor
Berkeley, CA 94704
(510) 981-7429

From: Devi Dutta-Choudhury [mailto:hello@devidutta.com]
Sent: Tuesday, March 12, 2019 1:32 PM
To: 'Aquariumama' <aquariumama@gmail.com>; 'Carl Gold' <carl.steven.gold@gmail.com>
Cc: Gong, Sharon <SGong@cityofberkeley.info>; 'Herbie' <herbie@devidutta.com>; Allen, Shannon <ShAllen@cityofberkeley.info>
Subject: RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

Sharon, to summarize, please confirm these are next steps:

1. work with our traffic engineer (Abrams Associates) on updating the study with the parameters you provided (*The parking survey must be updated to reflect the need to waive 4 residential parking spaces. In addition to the data already gathered, you will need to get parking data for more than one evening during the week and at least 2 times on the weekend. Please make sure that the purpose of the survey is stated in the report - to provide data to waive 4 residential parking spaces, under BMC 23E.84.080.F. Please include the language in the BMC code as well.*)
2. if the results of the traffic study are favorable to waiving (4) spaces, the we will revise the plans to show the new project, and submit the revised set, including new landscape plans.

This process seems clear. However, if the traffic study does not support waiving that many spaces, what are our options? This is what I assume:

3. if the results of the traffic study are favorable to waiving fewer spaces (1, 2 or 3), then we can revise the plans to show fewer total residential units
4. OR, we could still propose the project with 4 units, and apply for a variance for the remaining parking spaces - would this be possible? I think the findings for this variance would be much easier than the conversion of the unit. The variance asks if there are an extenuating circumstances, including use, so we can argue that the medical use puts undue strain on the project.
5. OR, we could propose joint-use parking between medical and residences to make up the difference

6. OR, we could bail on the medical altogether and have a 4-unit residential only project with no medical. Then we are just waiving 1 parking space, which seems clearly approvable.

Let me know your thoughts on each of these so we have a plan of action.

thanks

Devi

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From: Aquariummama <aquariummama@gmail.com>
Sent: Tuesday, March 12, 2019 7:34 AM
To: Carl Gold <carl.steven.gold@gmail.com>
Cc: Devi Dutta-Choudhury <hello@devidutta.com>; Gong, Sharon <SGong@cityofberkeley.info>; Herbie <herbie@devidutta.com>; Allen, Shannon <ShAllen@cityofberkeley.info>
Subject: Re: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

I would also like to know what the turnaround timeframe for city planning approval is if we were to pursue putting the medical unit in the back.

On Mar 12, 2019, at 7:21 AM, Carl Gold <carl.steven.gold@gmail.com> wrote:

Hi,

I think if the office is still a possibility we should go for it but I have one concern: Can we find out if it will be approved before we go through the effort and expense of the redesign? Meaning, can we do the additional parking study (or whatever is needed) and then get a definitive Yes we can do it, or No we can't, but without having had Devi redesign everything? We wouldn't want to have Devi do a complete re-design and then find out some other issue derails it.

Thanks for all the time you have put into this (Sharon, Devi especially!)

Carl

On Tue, Mar 12, 2019 at 6:17 AM Aquariummama <aquariummama@gmail.com> wrote:

If there is still a possibility with having the medical office as part of the structure in the back , we would

like to schedule a new parking study and whatever else is needed to proceed as soon as possible. Please let us know how to best to proceed.

Anna

On Mar 11, 2019, at 2:48 PM, Devi Dutta-Choudhury <hello@devidutta.com> wrote:

Thanks Sharon,

A third option that has come up is just ditching the medical office idea altogether, and building a duplex at the back. We'd keep the front building a duplex as is. This would presumably be the simplest and fastest plan - would it even require a public hearing? please advise how long this would take - either as an AUP or UP.

thanks

Devi

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[415/794-0923](tel:4157940923) mobile

[510/705-1937](tel:5107051937) office

www.devidutta.com

<image001.jpg> <image002.jpg> <image003.gif>

From: Gong, Sharon <SGong@cityofberkeley.info>
Sent: Monday, March 11, 2019 2:02 PM
To: 'Devi Dutta-Choudhury' <hello@devidutta.com>
Cc: 'Aquariusmama' <aquariusmama@gmail.com>; 'Herbie' <herbie@devidutta.com>; 'Carl Gold' <carl.steven.gold@gmail.com>; Allen, Shannon

<ShAllen@cityofberkeley.info>

Subject: RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

Correct. We still are not able to support the variance to convert the front dwelling to medical, but see a way forward with the alternate design that leaves the front duplex as is.

From: Devi Dutta-Choudhury [<mailto:hello@devidutta.com>]

Sent: Monday, March 11, 2019 1:13 PM

To: Gong, Sharon <SGong@cityofberkeley.info>

Cc: 'Aquariusmama' <aquariusmama@gmail.com>; 'Herbie' <herbie@devidutta.com>; 'Carl Gold' <carl.steven.gold@gmail.com>; Allen, Shannon <ShAllen@cityofberkeley.info>

Subject: RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

Thanks Sharon, we will review. To be clear, this is if we decide to re-design the project to leave the front units in-tact, correct? If we were to proceed with the project as currently designed (converting the existing unit to the medical offices), we'd need to make the findings to support a variance for eliminating a dwelling unit. The variances findings seem fairly difficult for this particular scope, but I want to make sure that you are saying you will not support that project. Please let us know. Redesign is a costly effort, so we only want to do it once, if at all.

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<image001.jpg> <image002.jpg> <image003.gif>

From: Gong, Sharon <SGong@cityofberkeley.info>

Sent: Monday, March 11, 2019 9:53 AM

To: 'Devi Dutta-Choudhury' <hello@devidutta.com>

Cc: 'Aquariusmama' <aquariusmama@gmail.com>; 'Herbie' <herbie@devidutta.com>; 'Carl Gold' <carl.steven.gold@gmail.com>; Allen, Shannon



March 21, 2018

Devi Dutta-Choudhury
Devi Dutta Architecture, Inc.
928 Carleton Street, Berkeley, CA 94710

Re: On-Street Parking Occupancy Surveys for the Proposed Project at 2455 5th Street in the City of Berkeley

This report summarizes the results of the parking surveys for the proposed development to be located at 2422 Fifth Street in the City of Berkeley. The proposed project involves constructing one additional apartment on the site along with 840 square feet of medical office space. The purpose of this report is to support a request to waive the requirement for 4 additional residential parking spaces. Please note that Section 23E.84.080.F of the Berkeley Municipal Code states the following: If the Zoning Officer or Board finds that existing evening parking supply is adequate and/or that other mitigating circumstances exist on the property, the requirement for an additional off-street parking space may be waived through a Use Permit when an additional residential unit is added to a property with one or more residential units.

On-Street Parking Surveys - In order to evaluate the local parking situation on-street parking occupancy surveys were conducted based on the standard guidelines specified by the City of Berkeley. This survey included a detailed inventory of all on-street and public off-street parking within one block of the project site. The study involved a block-by-block survey of the number and types of spaces and the current parking occupancy conditions on weekday afternoons and weekday evenings.

The surveys were conducted on Wednesday October 17, 2018, Saturday, March 16, 2019, Sunday March 17, 2019, and Thursday March 21, 2019. The surveys indicated there are approximately 153 on-street parking spaces located within about one block of the project site. The weekday surveys found the highest occupancy levels on a Thursday during the afternoon between 1:00 and 2:00 PM. At this time there were about 129 spaces (84%) that were occupied, and about 24 spaces available. During the evening between 5:00 and 6:00 PM, about 96 of the 153 on-street parking spaces were occupied, which is an occupancy rate of 63%, with about 57 available on-street spaces. The Saturday and Sunday surveys were very similar to each other and had lower occupancy levels than the weekday surveys. Those surveys found the highest weekend occupancy levels were during the afternoon on Saturday between 1:00 and 2:00 PM when there were about 64 spaces (42%) that were occupied, and about 89 spaces available. During the evening between 5:00 and 6:00 PM, about 54 of the 153 on-street parking spaces were occupied, which is an occupancy rate of 35%, with about 99 available on-street spaces. The detailed survey results are attached to this report.

Page 2 of 2 – 2455 5th Street Parking Surveys

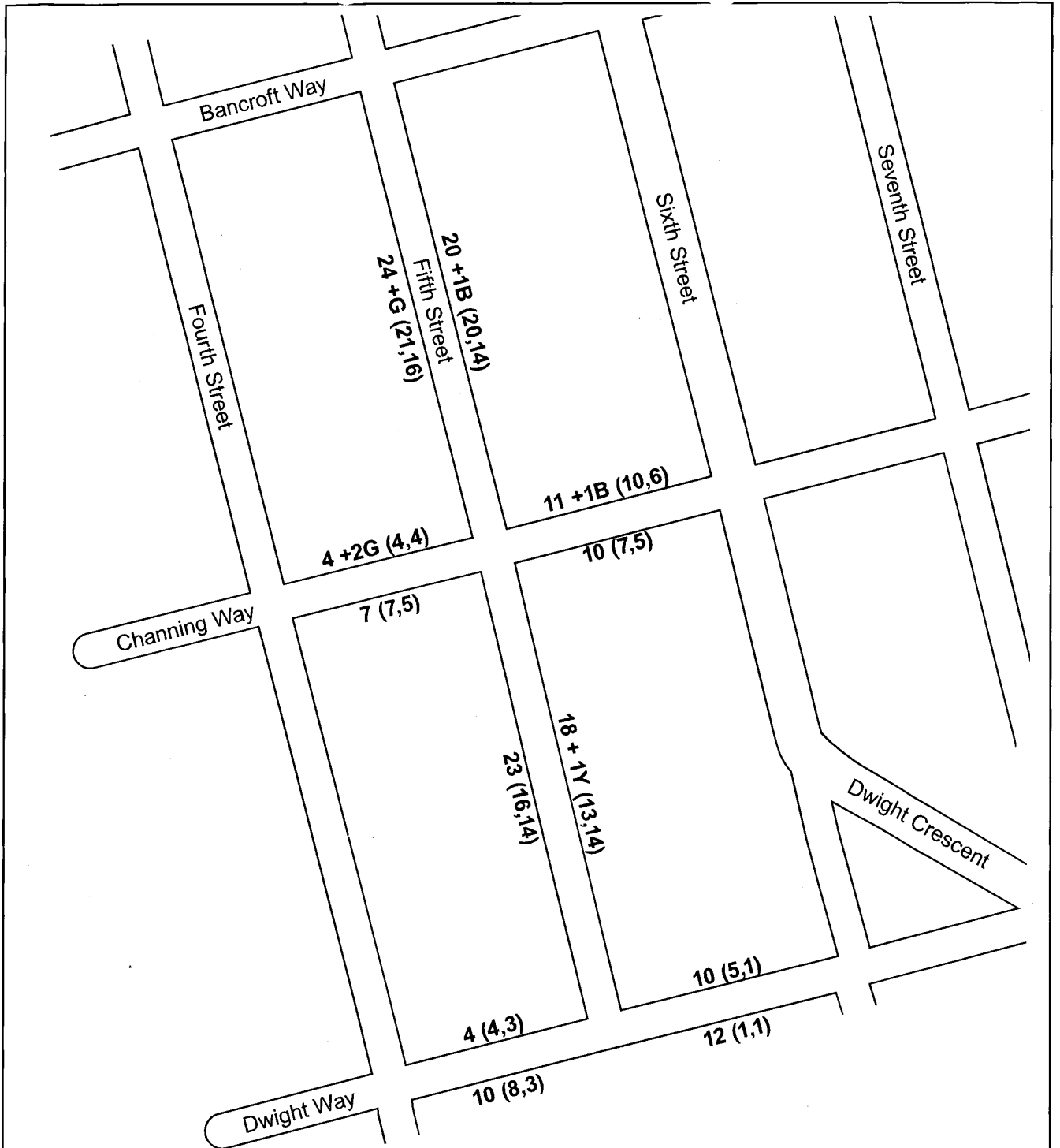
Abrams Associates
TRAFFIC ENGINEERING, INC.

Please don't hesitate to contact me if you have any questions or need additional information.

Sincerely,

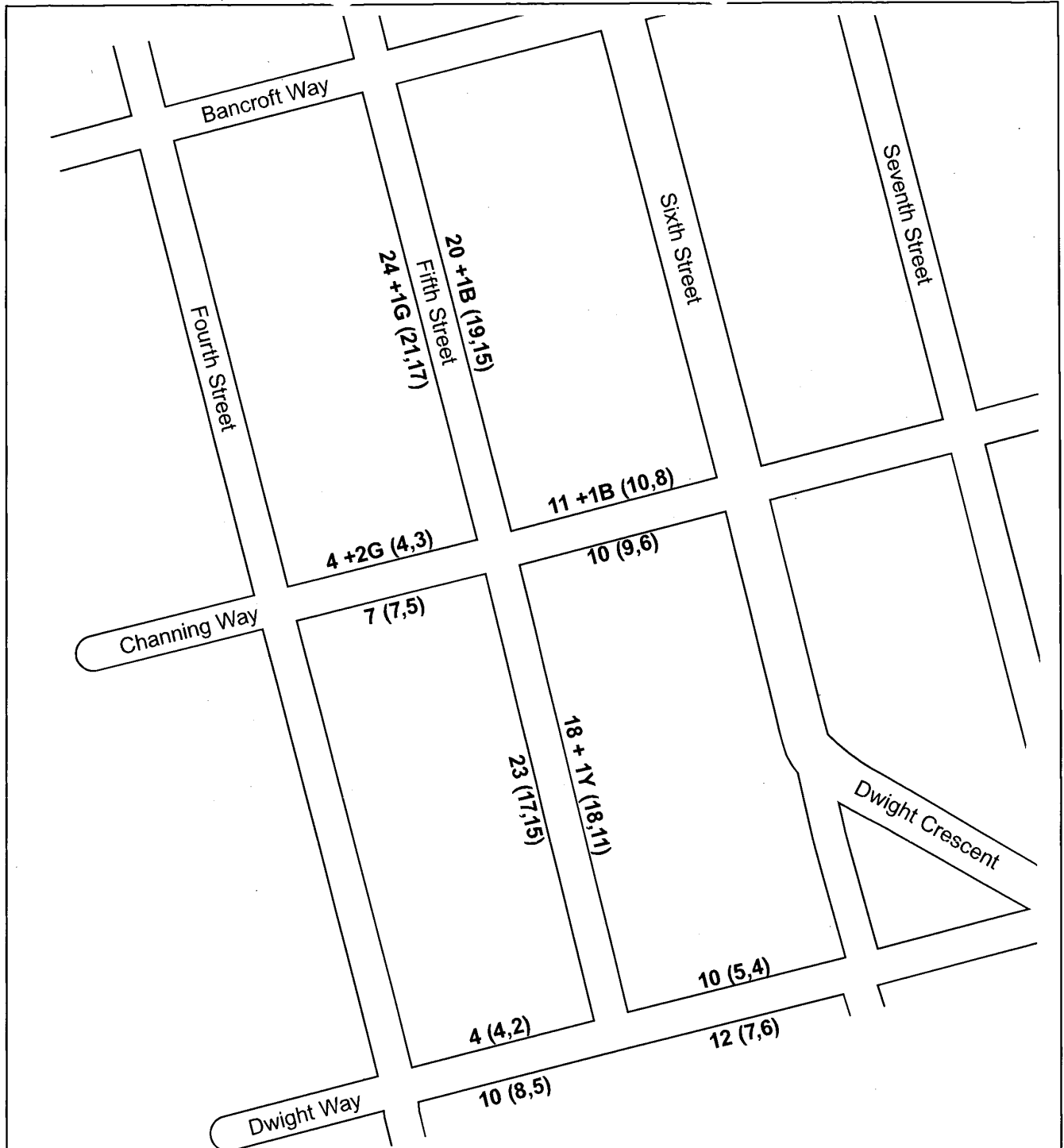
A handwritten signature in black ink that reads "Stephen Abrams". The signature is written in a cursive style with a large, stylized "S" and "A".

Stephen C. Abrams
President, Abrams Associates
T.E. License No. 1852



Legend
M - Meters
B - Handicapped
Y - Loading Zone
W - Passenger Loading
G - Green Zone
P - Permit Parking
NP - No Parking
XX (YY, ZZ) - Supply (Occupancy on Weds Oct 17th: 1:30PM, 5:30PM)

10-17-18 (1:30 PM)		10-17-18 (5:30 PM)	
Total Supply:	153	Total Supply:	153
Total Demand:	116	Total Demand:	86
Net Vacant Spaces:	37	Net Vacant Spaces:	67



Legend

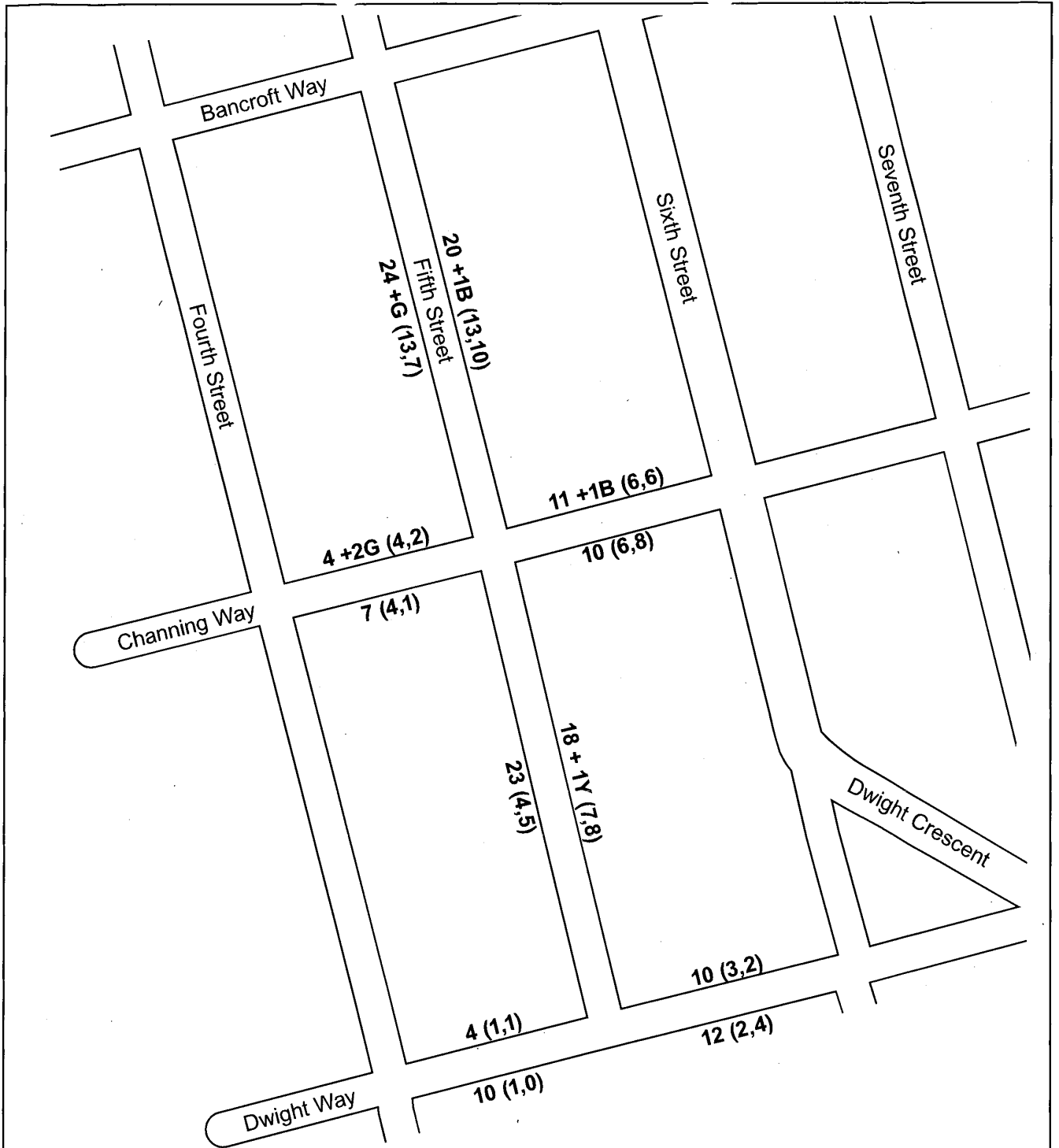
- M - Meters
- B - Handicapped
- Y - Loading Zone
- W- Passenger Loading
- G - Green Zone
- P - Permit Parking
- NP - No Parking
- XX (YY, ZZ) - Supply (Occupancy on Tues Mar 21th: 1:30PM, 8:00PM)

	3-21-19 (1:30 PM)	3-21-19 (8:00 PM)
Total Supply:	153	153
Total Demand:	129	97
Net Vacant Spaces:	24	56

City of Berkeley

On-Street Parking Occupancy

MAR 2019 Prepared by: Abrams Associates



Legend

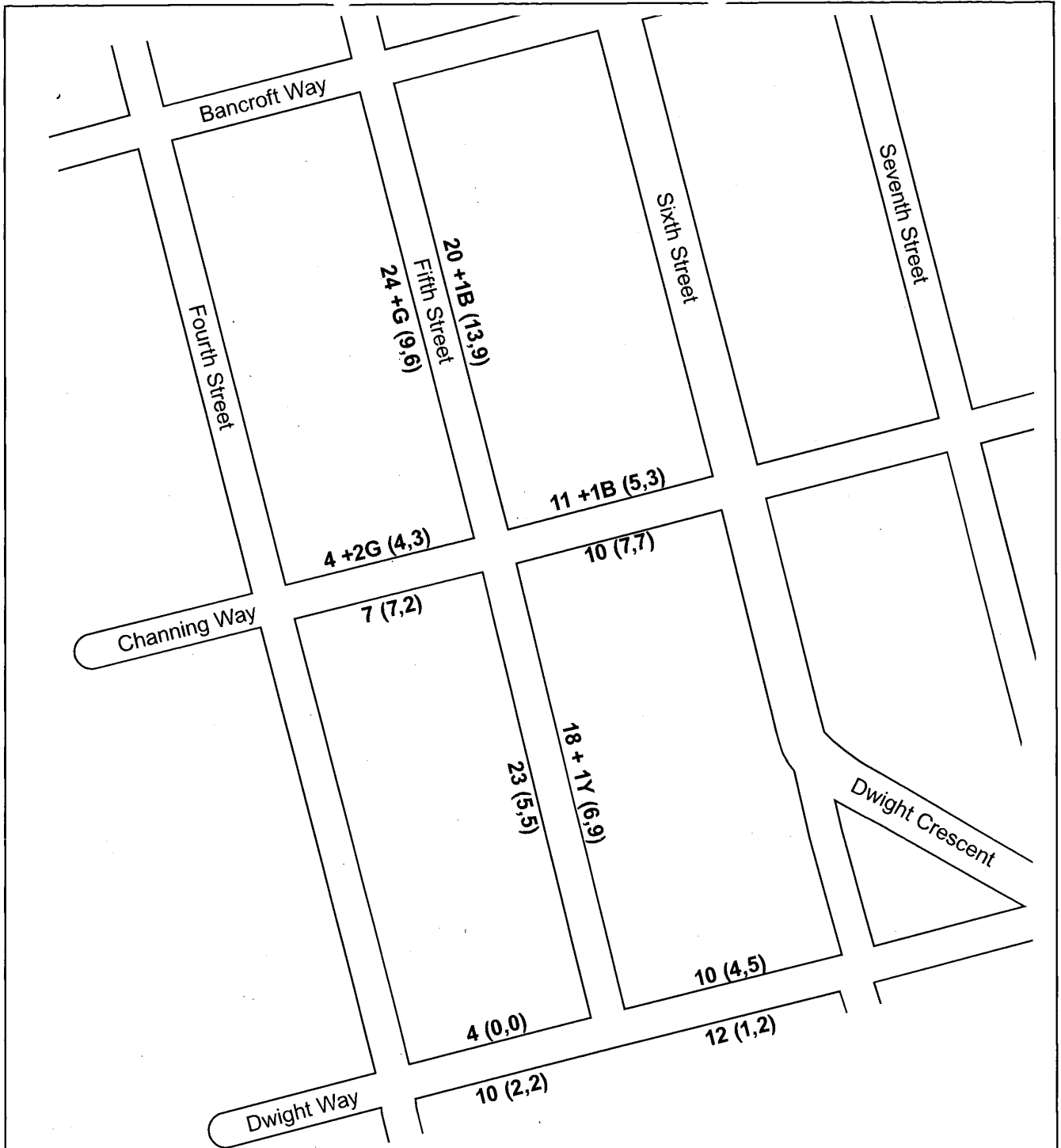
- M - Meters
- B - Handicapped
- Y - Loading Zone
- W - Passenger Loading
- G - Green Zone
- P - Permit Parking
- NP - No Parking
- XX (YY, ZZ) - Supply (Occupancy on Sat Mar 16th: 2:30PM, 8:00PM)

	3-16-19 (2:30 PM)	3-16-19 (8:00 PM)
Total Supply:	153	153
Total Demand:	64	54
Net Vacant Spaces:	89	99

City of Berkeley

On-Street Parking Occupancy

MAR 2019 Prepared by: Abrams Associates



Legend

- M - Meters
- B - Handicapped
- Y - Loading Zone
- W- Passenger Loading
- G - Green Zone
- P - Permit Parking
- NP - No Parking
- XX (YY, ZZ) - Supply (Occupancy on Sun Mar 17th: 1:00PM, 6:00PM)

	3-17-19 (1:00 PM)	3-17-19 (6:00 PM)
Total Supply:	153	153
Total Demand:	63	53
Net Vacant Spaces:	90	100

City of Berkeley

On-Street Parking Occupancy

Gong, Sharon

From: Gong, Sharon
Sent: Friday, March 29, 2019 11:38 AM
To: 'Devi Dutta-Choudhury'
Cc: Allen, Shannon; 'Herbie'
Subject: RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

Hi Devi,

We had a meeting today with Peter to discuss the revised survey, and came to a solution that we are comfortable with – we will use the survey to support the Use Permit waiver of 2 residential spaces (for the new dwellings), and also have an Administrative Use Permit to establish a joint parking arrangement to accommodate 3 commercial and 2 residential spaces on site. We'll add a Condition to the permit to require a joint parking agreement between the medical offices and residences of the new rear building.

Does this sound workable to you?

23E.84.080.F, If the Zoning Officer or Board finds that existing evening parking supply is adequate and/or that other mitigating circumstances exist on the property, the requirement for an additional off-street parking space may be waived through a Use Permit when an additional residential unit is added to a property with one or more residential units.

23E.28.060 Joint Use of Off-street Parking Spaces

A. The Zoning Officer may approve an AUP to allow a Joint Use Parking Agreement to satisfy off-street parking space requirements, if all of the following findings are made:

- 1. The off-street parking spaces designated for joint use are located within 800 feet of the use to be served;*
- 2. The times demanded for these parking spaces will not conflict substantially between the use offering the spaces and the use to be served; and*
- 3. The off-street parking spaces designated for joint use are not otherwise committed to satisfying the parking requirements for some other use at similar times.*

Sharon

Sharon Gong

Senior Planner, Land Use Planning Division
Planning and Development Department
City of Berkeley
1947 Center Street, 2nd floor
Berkeley, CA 94704
(510) 981-7429

From: Gong, Sharon
Sent: Tuesday, March 26, 2019 9:43 AM
To: 'Devi Dutta-Choudhury' <hello@devidutta.com>

2422 Fifth Street

May 6, 2019

RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street Response

Response for zoning comments (Sharon Gong):

1. Fees: A fee for the Parking Analysis review (base fee \$640), and peer review of the Geotechnical Report (\$2,500) are due immediately. Please submit a check for **\$3,140**, payable to the City of Berkeley, or pay in person at the Permit Service Center at 1947 Center Street, 3rd floor, and use the attached invoice for payment.
The client is aware of this and will and will make the payment as requested
2. Plans:
 - a. Add a north arrow to all site plans, the vicinity map, and floor plans. **North arrows added to all plan views**
 - b. Add the labels “front”, “back”, “right side”, “left side”, to the elevations. **Labels added to elevations as requested**
 - c. Provide a legend for any acronyms in the plans. What does “SLD” mean? **Additional info sheet (A0.2) included with abbreviations list**
 - d. Provide the gross floor area that is being converted from residential to medical offices. **The proposed project doesn’t convert the existing residential area to medical offices anymore. Existing dwelling units in the front house are to remain.**
 - e. Provide the total gross floor area of the new duplex.
See areas section on A0.1
 - f. Verify that at least 50% of the total floor area of the front building (where upper-level residential is proposed to be converted to offices) will be residential.
The proposed project doesn’t change the current use of the front building, to remain only residential
 - g. Indicate the height(s) of the wood perimeter fence on the site plan.
Dimension shown on A2.2
 - h. On the Vicinity Map, add any missing uses for all properties within 150 feet of the subject site. Especially note any manufacturing uses (construction product manufacturing or primary production manufacturing)
Vicinity Map A0.5 updated
 - i. Indicate the driveway width at the front property line on the site plan.
Dimension shown on A1.1

2422 Fifth Street

May 6, 2019

3. Bike Parking. Show the calculation for the amount of bike parking required for the medical offices and show the location of any required spaces on the site plan/floor plan. Bike parking is to be provided at 1 space per 2000 SF of commercial space.

Bike parking calculation shown at zoning table on A0.1 Bike parking area shown on site plan A1.1 & A1.2

4. Parking. Show all 6 proposed parking spaces, and label them as residential or medical office. You currently only show 3, and it is unclear which spaces are to be used by which uses. Note that per BMC 23D.12.050.D, tandem parking is not permissible, unless expressly allowed by the Traffic Engineer and the Board. I recommend that you contact the Traffic Engineer, Peter Chun, at (510) 981-6445 or PChun@cityofberkeley.info, to discuss the parking layout before you commit to it.

3 parking spaces provided for the medical offices, 2 parking spaces for residences provided through a joint-use parking agreement, 2 parking waiver requested for the 2 left dwelling units.

5. Elimination of a Dwelling Unit. The Rent Stabilization Board advises that you are proposing to eliminate a rent-controlled unit, and that a Variance is required to do so. This issue is under discussion, and you will be informed of the outcome as soon as it is reached.

The proposed project doesn't eliminate the dwelling unit anymore

6. Application Submittal Requirements. The following required items were missing from the application submittal, and must be submitted for application completeness:

- a. License Stamp. Include a licensed architect or engineer's stamp on each sheet in the plan set.

Stamp added to all sheets

- b. Shadow Studies.

- i. Add a north arrow to all studies, plans, and 3d views. Highlight the subject property in the 3d view. **North arrow included**
- ii. The 3d views do not appear to show the impact from shadows from the new rear building. Clearly indicate the new shadows from the proposal in the 3d views. **Shadow study revised to show consistency**
- iii. Label the buildings affected with their addresses. **Affected buildings tagged**
- iv. Use the terminology in the shadow study guidelines – "2 hours before sunset", "2 hours after sunrise" **Titles at shadow study revised**

v.

- c. Stormwater Requirements Checklist. Projects with 2,500 square feet or more of newly created or replaced impervious surface are required to submit a Stormwater Requirements Checklist. Indicate the area of new or replaced impervious surface, and submit the checklist, if applicable. The checklist and guidelines on how to prepare it can be found here: (...)

Storm water checklist not required; See impervious surface study on A0.2

2422 Fifth Street

May 6, 2019

- d. Water Efficiency. Projects with 2,500 square feet or more of new irrigated landscaping are subject to Berkeley Water Efficient and Bay Friendly Landscape Requirements. Indicate how much landscaping is proposed, and submit the checklists, if applicable. Information can be found here: (...) **Checklist not required, see new irrigated landscape study at A0.2**
- e. Tabulation Form.
 - i. Revise the Tabulation Form to reflect any changes made in response to all other comments in this letter. **Tabulation form revised, A0.1**
 - ii. Correct the "Permitted/Required" column to have the following amounts: Parking for Medical = 1/300 SF; Left and Right Setback = 5' (10% of lot width) **Tabulation form revised, A0.1**
 - iii. Fill in the proposed and required FAR amounts. **Tabulation form revised, A0.1**

Response for design review comments (Anne Burns):

1. Thank you for the 4' planting buffer along the south property line. I see in the preliminary plant palette that there are several trees illustrated, but I do not see where they are proposed and how they will improve any of the paved areas. **See landscape plans**
2. There is a pedestrian path shown from the accessible parking space to the lift, but I don't see how a protected path extends to both rear units. **The proposed project doesn't include the lift anymore, the proposed path leads from the street to the medical offices and to the rear units. Another pedestrian path connect the parking spaces to the offices and rear units access.**
3. You mention that one of the proposed planters will increase privacy between the rear units and the adjacent residential structure to the south. I don't fully understand this as the 4' planting area does not extend back behind the rear units. Please provide some more specific information on this. **At the rear building at ground floor there will be offices instead of dwelling units, here the planting buffer will be 2' wide.**
4. The new location for the lift appears to be working well with the circulation flow from the accessible unit and into the office space, but it appears to be open to the sky. Of course, the lift will be designed for the outdoor elements, but is there any possibility of some cover for this lift? **The proposed project doesn't include the lift anymore**

2422 Fifth Street

May 6, 2019

5. Thank you for the design changes to date. The change in the roof line, planes, and colors and materials help to reduce the mass of the rear structure. I understand that we will be able to review more details during the building permit process, but please submit additional information on the proposed windows, including the details and how far the new window units are recessed in the wall plane.

Schematic window detail provided on A6.1



Devi Dutta-Choudhury

Applicant Statement

2422-5th Street is located in southwest Berkeley in the MU-R Mixed-Use Residential District. The purpose of this zoning district as stated in the Berkeley Municipal Code is to combine residential, live/work, light industrial, arts and crafts and other compatible uses, and strengthen residential concentrations which exist within the District. The existing property at 2422-5th Street consists of a craftsman style duplex structure consisting of an upper unit with access from a front stair, and a lower unit with access from the left side yard. There is a large vacant rear yard. To the north is a single family home. To the south is a large live/work, multi-unit development with a long 3-story wall along the north side. To the west is a furniture warehouse, located in the MULI district. The rest of the neighborhood is similarly mixed, with warehouses and businesses mixed with residential and live/work uses.

The owner, Anna Gold, is an established acupuncture and wellness practitioner with a focus in fertility. Her current medical offices are in San Francisco, and she would like to move her primary business to this Berkeley location, which is allowed by the MU-R zoning. She has a young family that will likely live in this development.

The owner intends to keep the existing front house for residential use and add her new Acupuncture and Wellness offices in the rear yard. In addition, the project would provide 2 new residential units, on 2 levels. The rear structure will consist of a 3-story building with the offices at ground floor and 2 residences on the upper floors, with access from the south side of the lot. The (2) 2-bedroom units are acoustically separated from each other, allowing privacy to tenants, each of them will have a large deck to the east side, which qualifies as useable open space.

3 parking spaces will be provided along the north side of the lot between the 2 buildings, screened by a 2' wide planting buffer along the fence. It will provide the 3 required parking spaces for the medical offices, and through a joint-use parking agreement, provide 2 spaces for the residences. We request a parking waiver for 2 residential parking spaces, which is supported by a traffic study. 2 bike racks will also be installed in the front yard, on the north side of the driveway. The project meets all of the other development standards for the MU-R zoning, including setbacks, FAR, height, lot coverage and open space.

The driveway will be constructed with permeable paving, which would allow the space to also be used for recreation. A 4' wide planting buffer will separate the driveway from the accessible walk path along the south side of the property, which leads to the rear structure entries.

The new building design follows traditional design principles of gabled roofs and bay windows that echo some of the neighboring structures, and also has more modern features such as cement plaster, wood slat screening system and railings, and large windows. The palette is neutral and simple, consisting of white & mint-grey cement plaster and painted wood siding. The medical offices will be accessed through a screened covered porch, both from the walkway and from the parking, to allow for more privacy and weather protection.

This is a low-impact project that fits in well with the neighborhood character and typology.



PLANNING & DEVELOPMENT

Land Use Planning, 2120 Milvia Street, Berkeley, CA 94704
Tel: 510.981.7410 TDD: 510.981.7474 Fax: 510.981.7420
Email: Planning@ci.berkeley.ca.us

II.E. HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Pursuant to the Permit Streamlining Act (PSA), a development permit application may not be accepted as complete unless and until the applicant has submitted a signed statement indicating whether the proposed project site or any alternative site(s) is on the lists of hazardous waste sites compiled pursuant to Government Code Section 65962.5 by the California Secretary for Environmental Protection.

Data lists / maps are available at the following websites (check multiple lists and categories):

<http://www.calepa.ca.gov/SiteCleanup/CorteseList/>

<http://www.envirostor.dtsc.ca.gov/public/>

<https://geotracker.waterboards.ca.gov/>

Applicant's Information:

Name: DEVI DUTTA ARCHITECTURE

Street Address: 928 CARLETON STREET, BERKELEY

City, State, Zip Code: BERKELEY, CA, 94710

Phone Number: 510-705-1937

Project Information:

Address: 2422 5TH STREET

City, State, Zip Code: BERKELEY, CA, 94710

Assessor's book, page, and parcel number: 056 194401100

Specify any list pursuant to Section 65962.5 of the Government Code:

NONE

Regulatory identification number: _____

Date of list: 4/30/18

Applicant's verification:

Signature:  Date: 5/11/18



PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704
Tel: 510.981.7410 TDD: 510.981.6903 Fax: 510.981.7420 Email: Planning@CityofBerkeley.info

TABULATION FORM

Project Address: 2422 5TH STREET Date: 5/1/2019
 Applicant's Name: DEVI DUTTA ARCHITECTURE
 Zoning District MIXED USE RESIDENTIAL (MUR)

Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units, Parking Spaces & Bedrooms			
Number of Dwelling Units (#)	2	4 + OFFICE	$\frac{1\text{DU}}{1250} = \frac{6250}{1250} = 5$ ALLOWABLE UNITS
Number of Parking Spaces (#)	2	3 MEDICAL, 2 JOINT USE, 2 WAIVER	1/UNIT 1/300 SF MED
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)	4	8	-
Yards and Height			
Front Yard Setback (Feet)	19'	19'	5'
Side Yard Setbacks: (facing property)			
Left: (Feet)	20'	5'	10% OF LOT WIDTH= 5'
Right: (Feet)	4'	5'	10% OF LOT WIDTH=5'
Rear Yard Setback (Feet)	67'	4'	NONE ADJACENT TO NON RES.
Building Height* (# Stories)	2	3	3
Average* (Feet)	16'-3"	32'	-
Maximum* (Feet)	18'-1/2"	35'	35'
Areas			
Lot Area (Square-Feet)	6250	6250	40' WIDTH MIN.
Gross Floor Area* (Square-Feet)			
Total Area Covered by All Floors	1670	4806	-
Building Footprint* (Square-Feet)	984 (INCL STAIRS)	2170	-
Total of All Structures			
Lot Coverage* (%) (Footprint/Lot Area)	15.7%	$\frac{2170}{6250} / \% =$	<40%
Useable Open Space* (Square-Feet)	3297 SF	723 SF	150 / UNIT = 600 SF
Floor Area Ratio* Non-Residential only (Except ES-R)	N/A	0.77	1.5

*See Definitions – Zoning Ordinance Title 23F.

Revised: 05/15



I. ZONING PROJECT APPLICATION FORM

(This box for staff use only.)		DATE STAMP HERE
ZP201 _____ - _____ <input type="checkbox"/> Administrative Use Permit <input type="checkbox"/> Use Permit / Variance <input type="checkbox"/> Modification of any of the Above	PLN201 _____ - _____ <input type="checkbox"/> Pre-Application Intake Planner: _____	

• **Project Address:** 2422 5TH STREET, BERKELEY Unit/Suite #: _____

Project Description: _____
CONSTRUCTION OF A NEW DUPLEX AND AN ACUPUNCTURE & WELLNESS OFFICES ON THE REAR YARD OF THE PROPERTY.

• **Property Owner Name:** ANNA & CARL GOLD

Owner's Mailing Address: 2422-5TH STREET, BERKELEY, CA

Phone #: 510-691-0757 x | Home Mobile Business E-mail: aquariusmama@gmail.com

• **Applicant Name** (or write "same"): DEVI DUTTA ARCHITECTURE

Applicant's Mailing Address: 928 CARLETON STREET, BERKELEY, 94710

Phone #: 510-705-1937 Home Mobile Business E-mail: hello@devidutta.com

For projects involving <u>only</u> the following four items and <u>none</u> of the items on pages 2-3 of this form, please refer to the handout indicated in the right-hand column <u>instead</u> of filling out this form.	
1. Converting existing Rental or Tenant In Common (TIC) Units to Condominiums?	Refer to the "Condominium Conversion Procedures: Guide for Applicants"
2. Demolition of, or exterior alterations to, a designated City of Berkeley Landmark, Structure of Merit, or structure in a City Historic District (or interior alterations to such buildings if publicly owned)?	Refer to the "Landmark Preservation Commission: Structural Alteration Permit and Design Review Submittal Requirements"
3. Application to designate a City Landmark, Structure of Merit or Historic District?	Refer to the "Landmark, Structure of Merit or Historic District Designation Form"
4. Exterior changes (including signs) to (1) any structure (new or existing) in a non-residential zoning district OR (2) a commercial or mixed-use building in the R-4 District?	Refer to the Design Review Submittal Packet
Continued on Page 2	

PLANNING & DEVELOPMENT

Land Use Planning Division, 1947 Center Street, 2nd Floor, Berkeley, CA 94704
 Tel: 510.981.7410 TDD: 510.981.6903
 Fax: 510.981.7420 Email: Planning@CityofBerkeley.info



I. ZONING PROJECT APPLICATION FORM

Submittal Requirements Checklist – Instructions

1. Complete the checklist below and **sign the bottom of page 3.** (*Owner must also sign, or provide a letter authorizing the applicant to sign on the owner's behalf.*)
2. For each question for which you check “yes”, review the Zoning Project Submittal Requirements to learn more and to provide the item indicated in the right-hand column.
3. **Submit a pdf copy of the entire application, along with the paper application to the Planner at the Permit Service Center, Zoning Counter.**

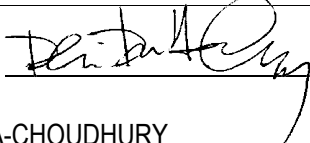
Does the project include:	No	Yes	Handout / Application Requirement
1. Any work requiring an Administrative Use Permit, Use Permit, Variance, or Modification of any these permits?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Required For All Projects
2. Any new structure(s), addition(s), demolition(s), exterior alteration(s), or change(s) of use?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Required For All Projects Involving Construction
3. A new main building, OR a new accessory building/structure or main building addition within 2 feet of a required setback?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Boundary/Topographic Survey
4. More than 50 cubic yards of grading?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Grading Plan
5. A request to waive or reduce required parking?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking Survey
6. (1) a building over three stories in height, (2) a Density Bonus, (3) an FAR over 2.0, (4) over 10,000 sq. ft. of gross floor area; OR any wireless installation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Photo Simulations
7. A new main building or an addition exceeding 14 feet in average height in the 'H' Overlay District?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Section Drawings Story Poles
8. A new main building or an addition exceeding 14 feet in average height on a site adjacent to a residential use?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Shadow Study
9. A new main building (except accessory buildings/structures)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Street Strip Elevation
10. Creation of (1) 5 or more dwelling or live/work units, or (2) additional condominium units resulting in 5 or more condominium units on the site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Housing Affordability Statement Applicant Anti-Discriminatory Housing Policies
11. Under Government Code Section 65915: a. A request for a Density Bonus? b. A request for any concessions or incentives in addition to a Density Bonus?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Housing Affordability Statement Additional Incentives or Concessions Documents
12. Creation of (1) 10 or more dwelling units, (2) 5,000 sq. ft. of floor area, OR (3) 25 or more peak hour vehicle trips (based on ITE trip generation rates)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Traffic Impact Analysis
13. Creation or replacement of 2,500 square feet or more of impervious surface area? (Includes additions and new buildings but not routine maintenance and re-surfacing).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Stormwater Requirements Checklist
14. Any new dwelling unit(s), or addition or renovation of 10,000 sq. ft. or more of non-residential space?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Green Building Checklist Energy Efficiency Analysis (<i>nonresidential mixed-use only</i>)
15. 2,500 sq. ft. or more of new landscape area or 2,500 sq. ft. or more of rehabilitated landscape?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Berkeley Water Efficient and Bay Friendly Landscape Requirements
16. A new building on a site with a history of soil and/or groundwater contamination or within Environmental Management Areas?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Phase I or II Assessment
17. A new building or addition in a liquefaction, landslide, or fault zone shown on the “Environmental Constraints Map”	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Seismic Hazard Investigation
18. Federal funding, either directly or through the City of Berkeley Housing Trust Fund?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Area of Potential Effects (APE) Statement
19. A new business, or a new commercial space with tenant/operator already selected? (Does not include home occupations.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Zoning Use Questionnaire

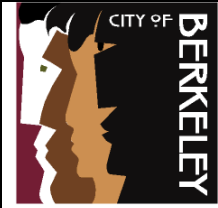


I. ZONING PROJECT APPLICATION FORM

You must disclose whether or not any of the following are true of the project:	No	Yes
<ul style="list-style-type: none"> Over 7,500 square feet of office, retail, restaurant, hotel, lodging, manufacturing, light industrial, research and development, warehouse or storage? If so, Affordable Child Care and Affordable Housing Fees apply. Refer to Council Resolutions #66,618-N.S. & #66,617-N.S. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Any new commercial or industrial building, more than five or more Dwelling Units; or an addition or more than 10,000 square feet. If so, Percent for Public Art on Private Projects Program applies, per BMC Chapter 23C.23. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Project involves the elimination or rehabilitation of any dwelling units, and/or are any of the dwelling units on the property controlled rental units? If so, your application will be referred to the Rent Stabilization Board. No action is required on your part. You may contact them at (510) 981-7368 if you have any questions. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Construction activity within the drip line of a Coast Live Oak tree with circumference over 18" at 4'-6" above ground (or 26" aggregate circumference for multi-trunked trees)? If so, the Moratorium on the removal of Coast Live Oaks Ordinance applies, per BMC Chapter 6.52. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Removal of 25% or more of a main building's exterior walls and roof (including replacement of existing structural members)? If so, the Demolition Ordinance may apply, per BMC Chapter 23C.08. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Smoke Shops or Drug Paraphernalia? 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Cultivation, Distribution, Manufacture or Sale of Cannabis? 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Demolition or substantial change of a building >40 years old? If so, the Demolition Ordinance will apply, per BMC Chapter 23C.08, as well as Section 15300.2 of the CEQA Guidelines. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Construction on a parcel that is within 40' of an open creek or 25' of a culverted creek? If so, the Preservation and Restoration of Natural Watercourses Ordinance applies, per BMC Chapter 17.08 	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Under penalty of perjury, I certify that:
(1) the above information is true and complete to the best of my knowledge, and
(2) the attached paper and electronic copies of this application are the same.
*(*Owner's signature, or signed letter authorizing applicant to apply on owner's behalf, is required for all applications.)*

Applicant Signature:  Owner's Signature: Anna Gold
 Printed: DEVI DUTTA-CHOUDHURY Printed: ANNA HSIEH GOLD
 Date: 5/12/18 Date: 5/14/18



I. ZONING PROJECT APPLICATION FORM

(This page is for staff use only.)

Zoning District(s):

Zoning Section	Description
1. 23____.____.____	UP/AUP to
2. 23____.____.____	UP/AUP to
3. 23____.____.____	UP/AUP to
4. 23____.____.____	UP/AUP to
5. 23____.____.____	UP/AUP to
6. 23____.____.____	UP/AUP to
7. 23____.____.____	UP/AUP to
8. 23____.____.____	UP/AUP to
9. 23____.____.____	UP/AUP to



PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704
Tel: 510.981.7410 TDD: 510.981.6903 Fax: 510.981.7420 Email:
Planning@CityofBerkeley.info

DATE STAMP HERE

ZONING USE QUESTIONNAIRE

Property Address 2422 5TH STREET Permit # _____

Applicant Name DEVI DUTTA ARCHITECTURE Phone # 510-705-1937

Name of Property Owner (if different from applicant) ANNA HSIEH GOLD Phone # 510-691-0757

Proposed Use ACUPUNCTURE OFFICE Previous Use NONE

Describe your business: ACUPUNCTURE SEVICES

Does your business include the sale of: Drug Paraphernalia? Tobacco? Alcohol Medical Marijuana?

What are adjacent uses (sides and rear?) SINGLE & MULTI FAMILY, WAREHOUSE AT REAR

Is this an existing building? Yes No _____

If yes, has a Change of Occupancy Inspection been made by the Building and Safety Division?

Yes _____ No

What changes will be made to the building? REAR EXTERIOR STAIR DEMOLITION

List days and hours of operation: Monday - Thursday: 9AM-4PM Friday: 9AM-4PM

Saturday: 9AM-4PM Sunday: CLOSED

Is the transaction contingent on obtaining a Use Permit? Yes No _____ Explain _____

How many employees will you have (including yourself)? Total 2 Per Shift _____

How many customers do you expect at one time? 2 When will be your busiest hours? 9AM-4PM

Is there an existing parking lot? Yes No _____ Do you share it with any other use? _____

Will you provide parking for customers? Yes No _____ How many spaces? 3 SPACES

Will you provide parking for employees? Yes _____ No How many spaces? _____

Will parking be on the same property? Yes No _____ If not, explain: _____

From what area do you expect the majority of your customers:

Immediate neighborhood _____ Several neighborhoods Passing Traffic _____ City-wide _____ Larger area _____

Will you be selling any alcoholic beverages for off-site consumption? Yes _____ No

If yes, have you applied for an off-sale license from the State Department of Alcoholic Beverage Control?

Yes _____ No _____

Will you be selling beverages in containers subject to California Redemption Value (CRV)? Yes _____ No

ADDRESS: _____ DATE: _____

ESTABLISHMENTS SERVING FOOD OR DRINK

Proposed seating (#) _____ Maximum allowable capacity under Building Code (#) _____

What type of cooking will you feature? _____

How will cooking odors be controlled? _____

What arrangement will be made for recycling? _____

Alcoholic Beverages

Will you serve beer? _____ Wine? _____ Liquor? _____

With meals only? _____ Separately? _____ At a bar? _____

Have you applied for a license from Department of Alcoholic Beverage Control? Yes _____ No _____

Music

Will you provide live entertainment? Yes _____ No _____ Of what type? _____

Will there be live music? _____ Recorded? _____ Amplified at what level? _____

Will sound control be provided? Yes _____ No _____

What are the assurances that sound control will be adequate? _____

When will sound controls be installed? _____

Who is responsible for assuring that the business operates as described above?

[PRINT NAME] ANNA HSIEH GOLD _____

Signature Anna Gold Date 5/14/18



5TH STREET TOWNHOMES AND WELLNESS OFFICES

2422 5TH STREET, BERKELEY, CA 94710

ARCHITECT/APPLICANT

DEVI DUTTA-CHOUDHURY, AIA
DEVI DUTTA ARCHITECTURE
928 CARLETON STREET
BERKELEY, CA 94710
510/705-1937
hello@devidutta.com

OWNER

ANNA & CARL GOLD
2422 5TH STREET
BERKELEY, CA 94710

LANDSCAPE

MANTLE LANDSCAPE
ARCHITECTURE
930 CARLETON STREET
BERKELEY, CA 94710
510-927-3202

TRAFFIC ENGINEER

ABRAMS ASSOCIATES
1875 OLYMPIC BOULEVARD,
SUITE 210
WALNUT CREEK, CA 94596
925-945-0201

PROJECT DESCRIPTION

CONSTRUCTION OF 2 NEW DWELLING UNITS AND 1
ACUPUNCTURE & WELLNESS OFFICE AT REAR YARD.
EXISTING FRONT DUPLEX TO REMAIN.

SHEET LIST ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 PROJECT INFORMATION
- A0.2 AREA DIAGRAMS
- A0.3 SURVEY
- A0.5 VICINITY MAP
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED FIRST FLOOR PLAN
- A1.3 PROPOSED SECOND FLOOR PLAN
- A1.4 PROPOSED THIRD FLOOR PLAN
- A2.1 EAST & NORTH ELEVATIONS
- A2.2 WEST & SOUTH ELEVATIONS
- A3.1 PROPOSED BUILDING SECTIONS
- A5.1 OPEN SPACE DIAGRAM
- A6.1 DETAILS
- A7.1 PERSPECTIVE VIEWS

SHEET LIST LANDSCAPE

- L1.0 SCHEMATIC MATERIAL PLAN
- L2.0 SCHEMATIC PLANTING PLAN
- L2.1 PROPOSED PLANTING PALETTE



A0.0 COVER SHEET
SCALE: 0 4 8 16 32

2422 5TH STREET
Devi Dutta Architecture Inc.

Zoning Submittal
05.06.2019



PROJECT ADDRESS

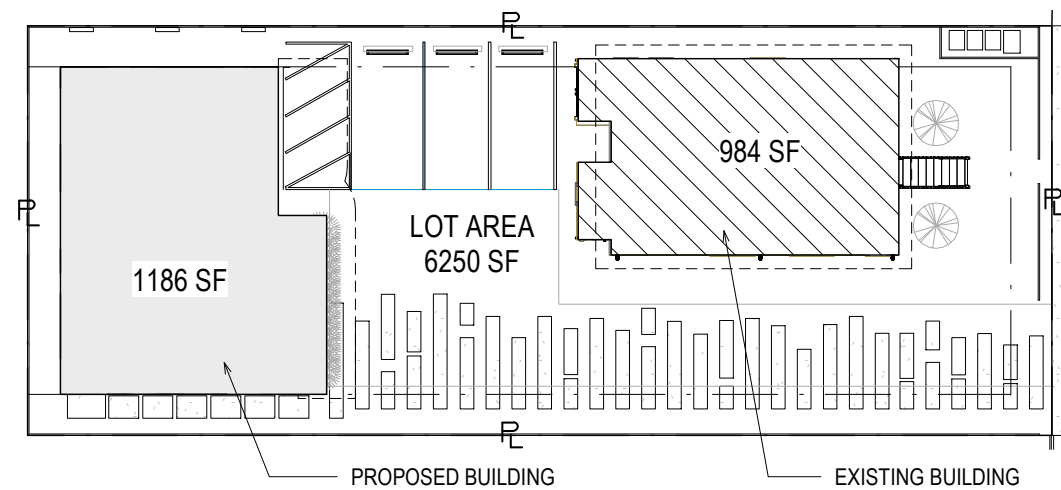
2422 5TH STREET, BERKELEY, CA 74710

ASSESSOR'S PARCEL #:

56-1944-11

ZONING INFORMATION

ZONING DISTRICT: MU-R
FLOOD ZONE: NO
FIRE ZONE: 1
ENV. MGMT AREA: NO
LANDMARKS STRUCTURE OF MERIT: NO



1 LOT COVERAGE DIAGRAM

3/64" = 1'-0"

A0.1

PROJECT INFORMATION

SCALE: 3/64" = 1'-0" 0 4 8 16 32

ZONING DEVELOPMENT STANDARDS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED/PERMITTED</u>
NUMBER OF DWELLING UNITS	2	4	5 MAX
AREAS			
LOT SIZE	125' X 50' = 6250 SF	125' X 50' = 6250 SF	40' WIDTH MIN.
TOTAL GROSS FLOOR AREA	1670 SF	1670 SF + 3136 SF = 4806 SF	
NEW DUPLEX AREA		2170 SF	
MEDICAL OFFICES AREA		967 SF	
FAR	0.27	0.77	1.5
BUILDING FOOTPRINT	984 SF	984 SF + 1186 SF = 2170 SF	
LOT COVERAGE	15.7 %	34.7 %	40% MAX.
IMPERVIOUS SURFACE	2295 SF	2331 SF	
USEABLE OPEN SPACE	3297 SF	723 SF	600 SF MIN.
HEIGHT & STORIES			
AVERAGE	16'-3"	32' - 0"	35' - 0"
MAXIMUM	18' - 1/2"	35' - 0"	35' - 0"
STORIES	2	3	3
SETBACKS			
FRONT:	19'-0"	19' - 0"	5' - 0"
NORTH SIDE	4' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
SOUTH SIDE	22' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
REAR:	67' - 0"	4' - 0"	NONE (ADJACENT TO NON-RESIDENTIAL)
PARKING SPACES			
RESIDENTIAL	1 / UNIT = 2 TANDEM SPACES	(2) PARKING WAIVER	1 / UNIT = 4 REQUIRED
MEDICAL	N/A	(3) JOINT USE PROPOSED	1 / 300 SF = 3 REQUIRED
BIKE PARKING	NONE	3 PROVIDED	1 / 2000 SF NON-RES AREA = 1 REQ

2422 5TH STREET

Devi Dutta Architecture Inc.

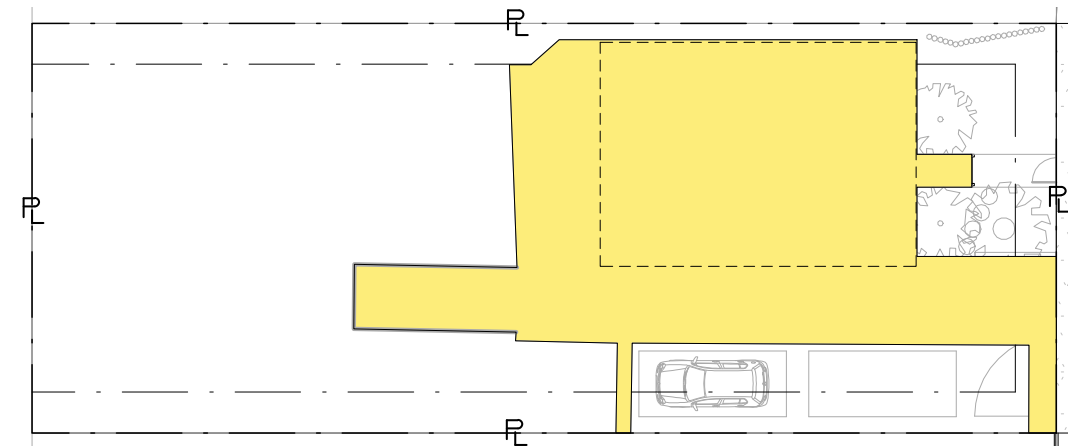
Zoning Submittal

05.06.2019

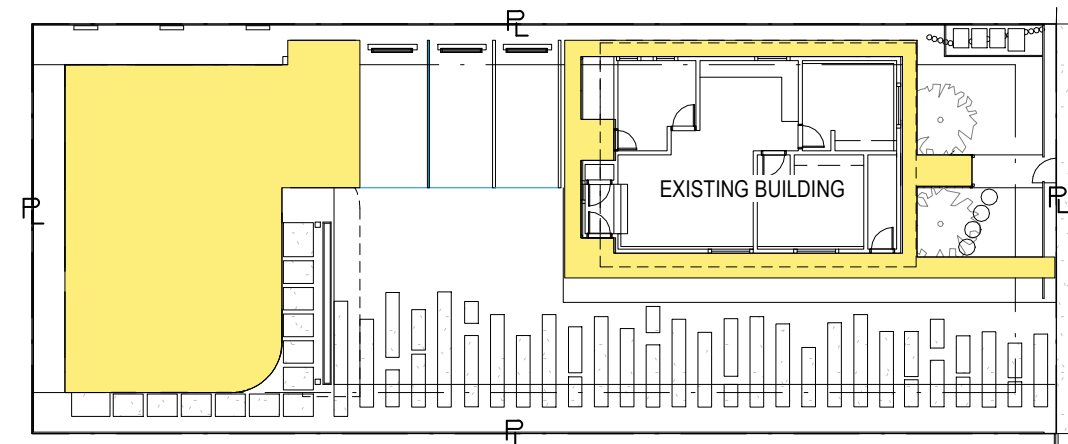


ABBREVIATIONS

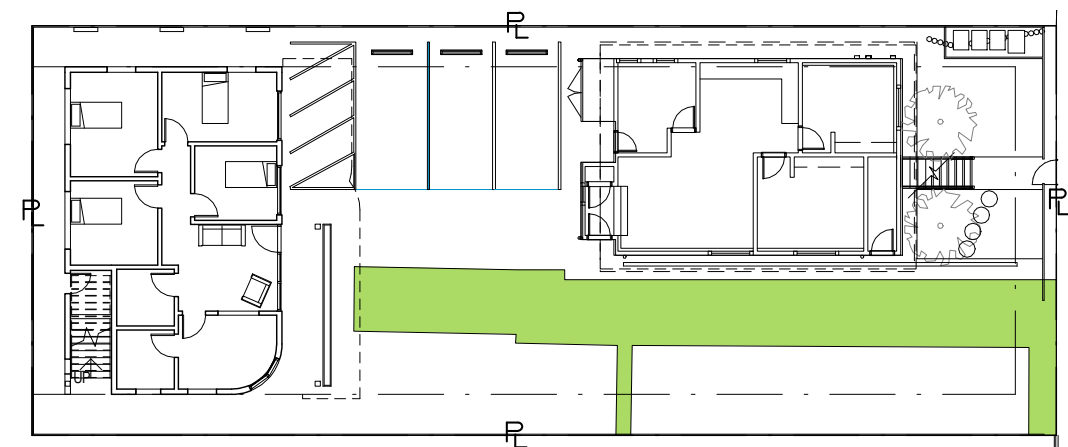
A/C	AIR CONDITIONING	JAN.	JANITOR
ADJ.	ADJACENT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR		
ALUM.	ALUMINUM	L.P.	LOW POINT
ALT.	ALTERNATE		
APPROX.	APPROXIMATELY	MAX	MAXIMUM
ARCH.	ARCHITECTURAL	M.C.	MEDICINE CABINET
A.C.T.	ACOUSTIC CEILING TILE	M.D.	MOTION DETECTOR
		MECH.	MECHANICAL
B.BD	TELEPHONE BACK BOARD	MFR	MANUFACTURER
BLDG.	BUILDING	MIN	MINIMUM
BLKG.	BLOCKING	MTD.	MOUNTED
BOT.	BOTTOM	MTL.	METAL
		(N)	NEW
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	NO.	NUMBER
C.G.	CORNER GUARD	N.T.S.	NOT TO SCALE
CHG.	CHANGE	O.C.	ON CENTER
CLG.	CEILING	OFF.	OFFICE
CLOS.	CLOSET	OPNG.	OPENING
CLR.	CLEAR	OPP.	OPPOSITE
C.M.U.	CONCRETE MASONRY UNIT	O.T.B.	OPEN TO BELOW
COL.	COLUMN		
CONC.	CONCRETE	PR.	PAIR
CONN.	CONNECTION	P-LAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PTD.	PAINTED
CORR.	CORRIDOR	PLWD.	PLYWOOD
C.T.	CERAMIC TILE	P.O.	PRIVATE OFFICE
CTR.	CENTER		
DET.	DETAIL	R	RISER
DIA/O	DIAMETER	R.C.P.	REFLECTED CEILING PLAN
DIM.	DIMENSION	R.D.	ROOF DRAIN
DN.	DOWN	REFR.	REFRIGERATOR
DWG.	DRAWING	REQ.	REQUIRED
DS.	DOWNSPOUT	RM.	ROOM
		R.O.	ROUGH OPENING
(E)	EXISTING	S.C.	SOLID CORE
EA.	EACH	S.D.	STORM DRAIN
EL.	ELEVATION	SAF	SELF-ADHERED FLASHING
ELEC.	ELECTRICAL	STOR.	STORAGE
ELEV.	ELEVATOR	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	SCD	SEE CIVIL DRAWINGS
EXP.	EXPANSION	SED	SEE ELECTRICAL DRAWINGS
EXPOS.	EXPOSED	SLD	SEE LANDSCAPE DRAWINGS
EXT.	EXTERIOR	SMD	SEE MECHANICAL DRAWINGS
		SPD	SEE PLUMBING DRAWINGS
F.D.	FLOOR DRAIN	SSD	SEE STRUCTURAL DRAWINGS
FIN.	FINISH	STRL.	STRUCTURAL
FL.	FLOOR		
FLASH.	FLASHING	T	TREAD
FLUOR.	FLUORESCENT	T.B.D.	TO BE DETERMINED
F.O.F.	FACE OF FINISH	T&G	TONGUE AND GROOVE
F.O.S.	FACE OF STUD	TEL.	TELEPHONE
FPRFP.	FIREPROOF	T.O.	TOP OF
FSD	FIRE SEPARATION DISTANCE	TYP.	TYPICAL
FURR.	FURRING		
		U.O.N.	UNLESS OTHERWISE NOTED
GA.	GAGE	V.I.F.	VERIFY IN FIELD
GALV.	GALVANIZED		
G.C.	GENERAL CONTRACTOR	WD.	WOOD
GL.	GLASS	W.P.	WATERPROOF
GR.	GRADE		WEATHER RESISTANT BARRIER
GYP. BD.	GYPSUM BOARD	WRB	
H.B.	HOSE BIB		
HC	HANDICAPPED		
H.C.	HOLLOW CORE		
HDWR.	HARDWARE		
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
HP	HIGH POINT		
HR.	HOUR		
H.W.	HOT WATER		
INSUL.	INSULATION/INSULATED		
INT.	INTERIOR		



1 EXISTING IMPERVIOUS SURFACE - 2295 SF
3/64" = 1'-0"



2 NEW OR REPLACED IMPERVIOUS SURFACE - 1624 SF
3/64" = 1'-0"



3 NEW IRRIGATED LANDSCAPE AREA - 958 SF
3/64" = 1'-0"

A0.2

AREA DIAGRAMS

SCALE: **3/64" = 1'-0"**



2422 5TH STREET

Devi Dutta Architecture Inc.

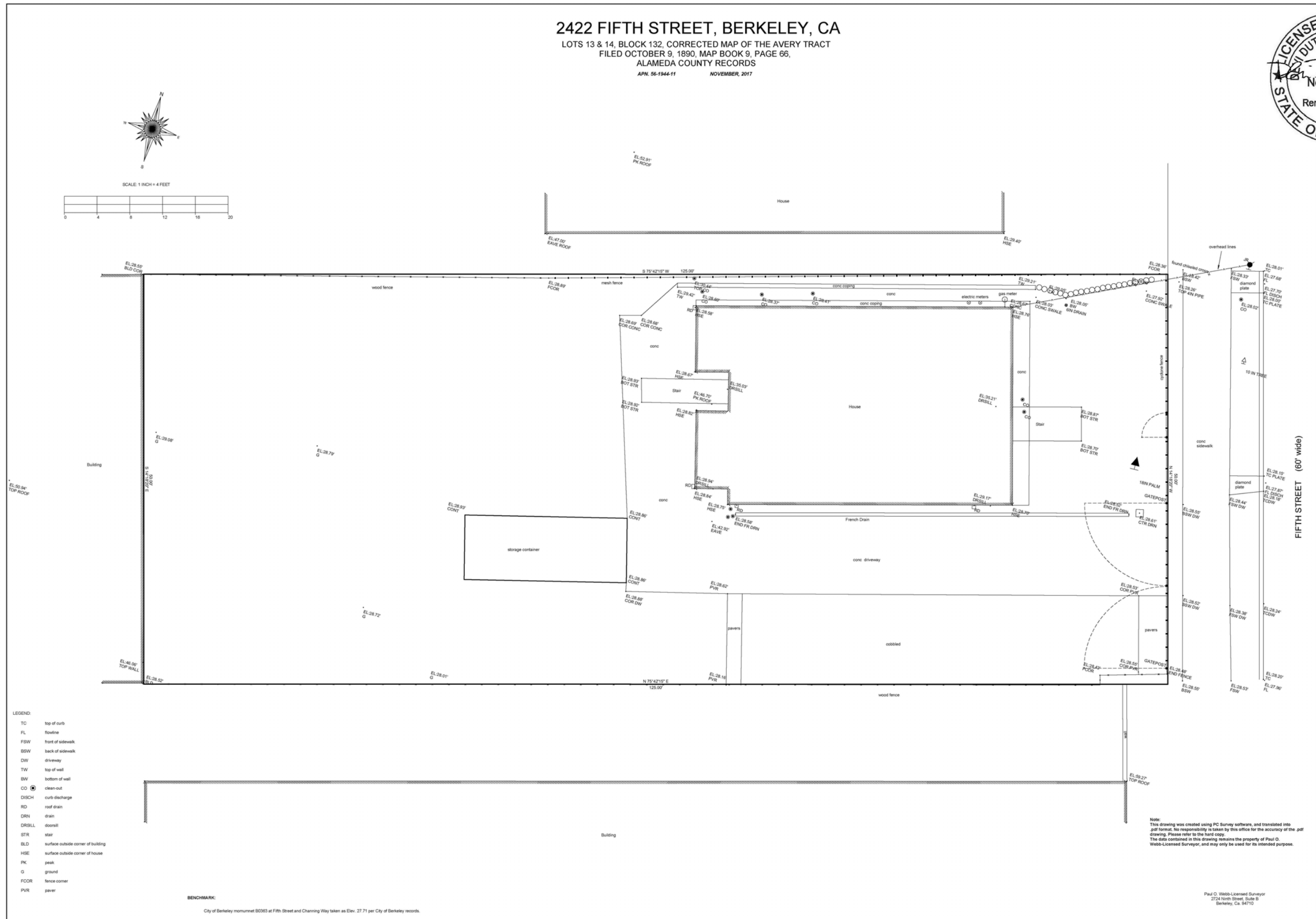
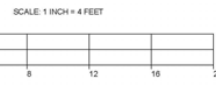
Zoning Submittal

05.06.2019



2422 FIFTH STREET, BERKELEY, CA

LOTS 13 & 14, BLOCK 132, CORRECTED MAP OF THE AVERY TRACT
FILED OCTOBER 9, 1890, MAP BOOK 9, PAGE 66,
ALAMEDA COUNTY RECORDS
APN: 56-1944-11 NOVEMBER, 2017



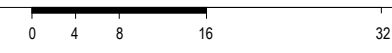
- LEGEND:
- TC top of curb
 - FL flowline
 - FSW front of sidewalk
 - BSW back of sidewalk
 - DW driveway
 - TW top of wall
 - BW bottom of wall
 - CO clean-out
 - DISCH curb discharge
 - RD roof drain
 - DRN drain
 - DRSLL door sill
 - STR stair
 - BLD surface outside corner of building
 - HSE surface outside corner of house
 - PK peak
 - G ground
 - FCOR fence corner
 - PVR paver

BENCHMARK:
City of Berkeley monument B0363 at Fifth Street and Channing Way taken as Elev. 27.71 per City of Berkeley records.

Note:
This drawing was created using PC Survey software, and translated into .pdf format. No responsibility is taken by this office for the accuracy of the .pdf drawing. Please refer to the hard copy.
The data contained in this drawing remains the property of Paul O. Web, Licensed Surveyor, and may only be used for its intended purpose.

Paul O. Web, Licensed Surveyor
2724 North Street, Suite B
Berkeley, CA 94710

A0.3 SURVEY
SCALE:



2422 5TH STREET
Devi Dutta Architecture Inc.

Zoning Submittal
05.06.2019



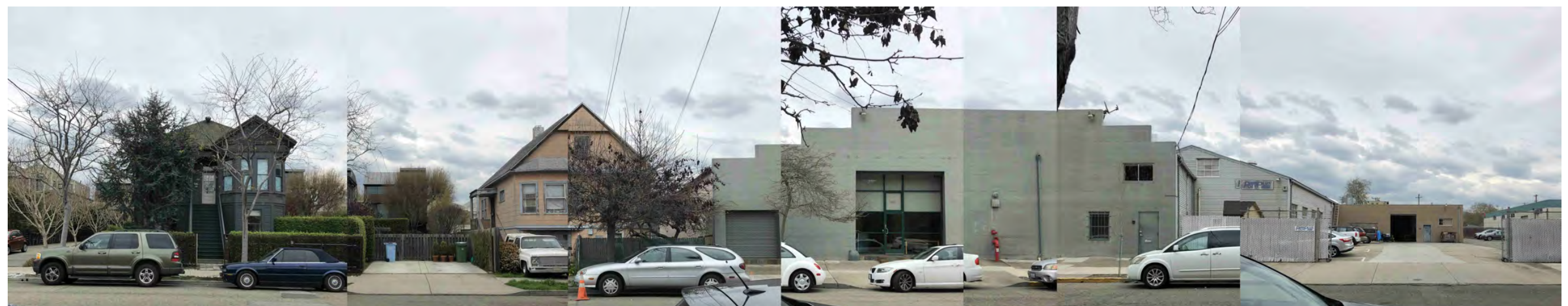
EXISTING WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



PROPOSED WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY

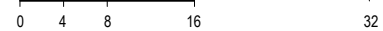


EXISTING EAST VIEW 2422 5TH STREET

A0.4

STREET STRIP

SCALE:

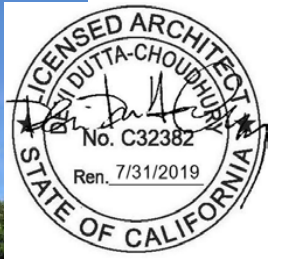


2422 5TH STREET

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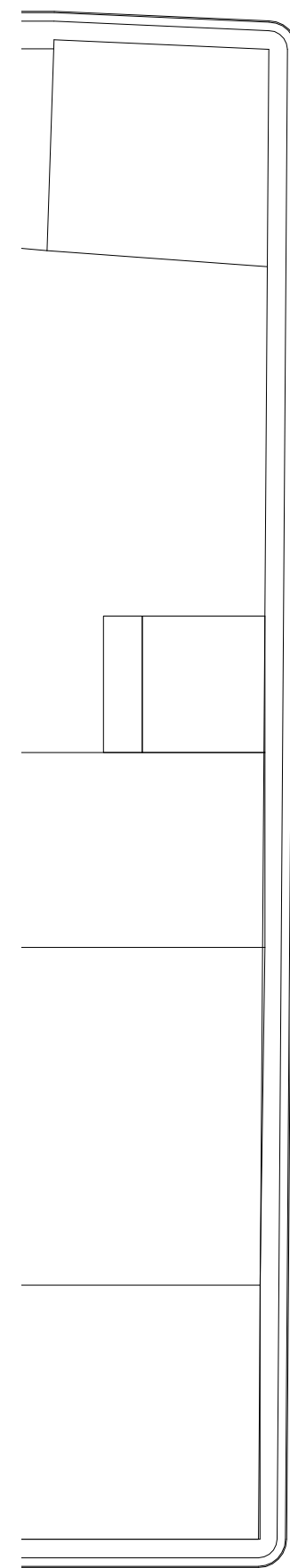
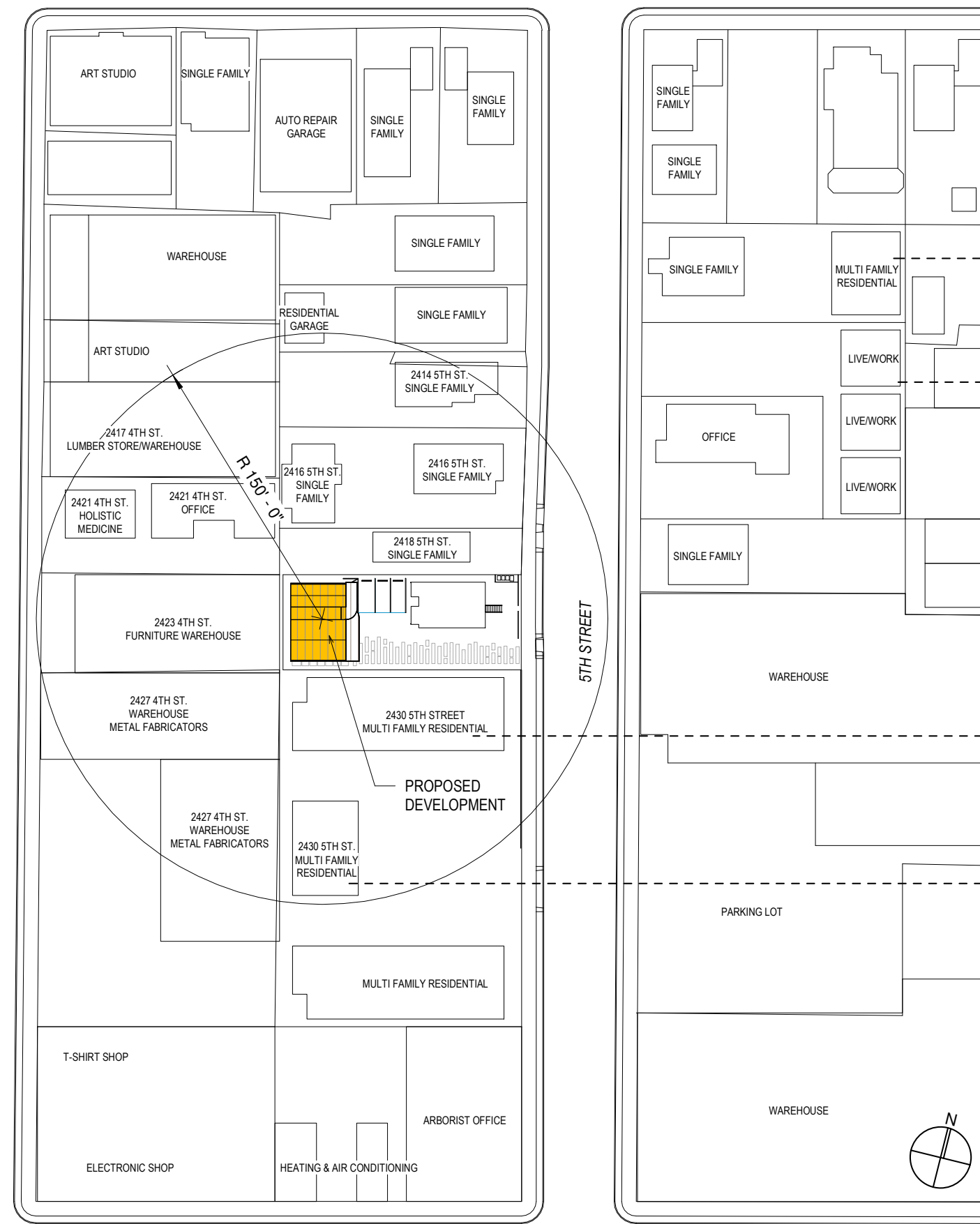


2422 5TH STREET

Zoning Submittal

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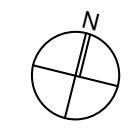
05.06.2019



A0.5

VICINITY MAP

SCALE: 1/64" = 1'-0" 0 4 8 16 32





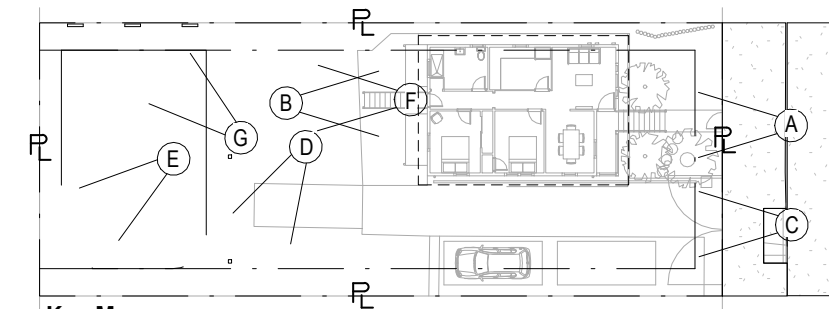
A - EXISTING FRONT OF HOUSE



B - EXISTING BACK OF HOUSE



C - EXISTING DRIVEWAY



1 Key Map
1/32" = 1'-0"



D,E - ADJACENT MULTI-FAMILY BUILDING



F - EXISTING REAR STAIR/YARD



G - REAR YARD NORTH SIDE

A0.6

SITE PHOTOS

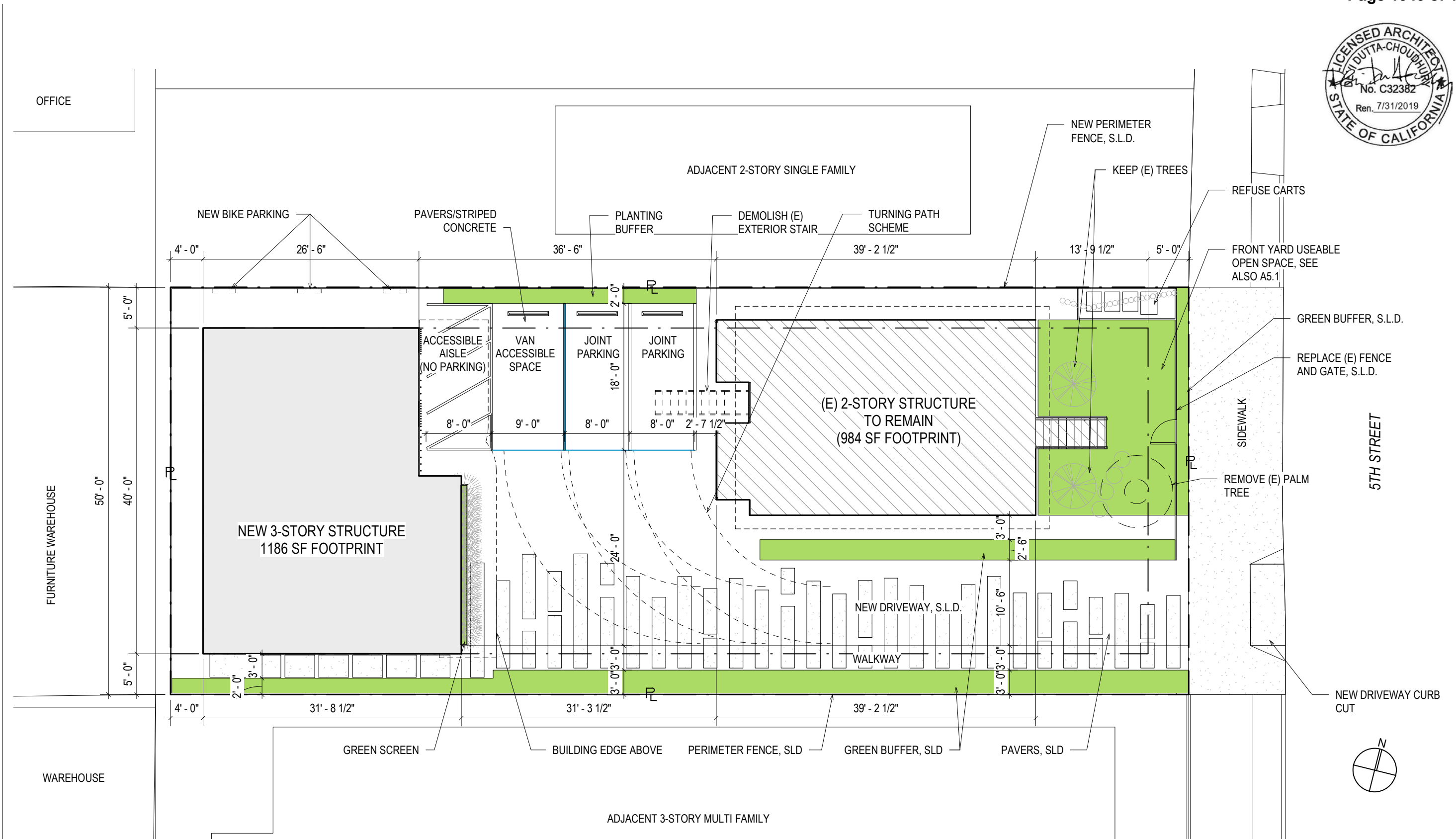
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2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

05.06.2019



A1.1

PROPOSED SITE PLAN

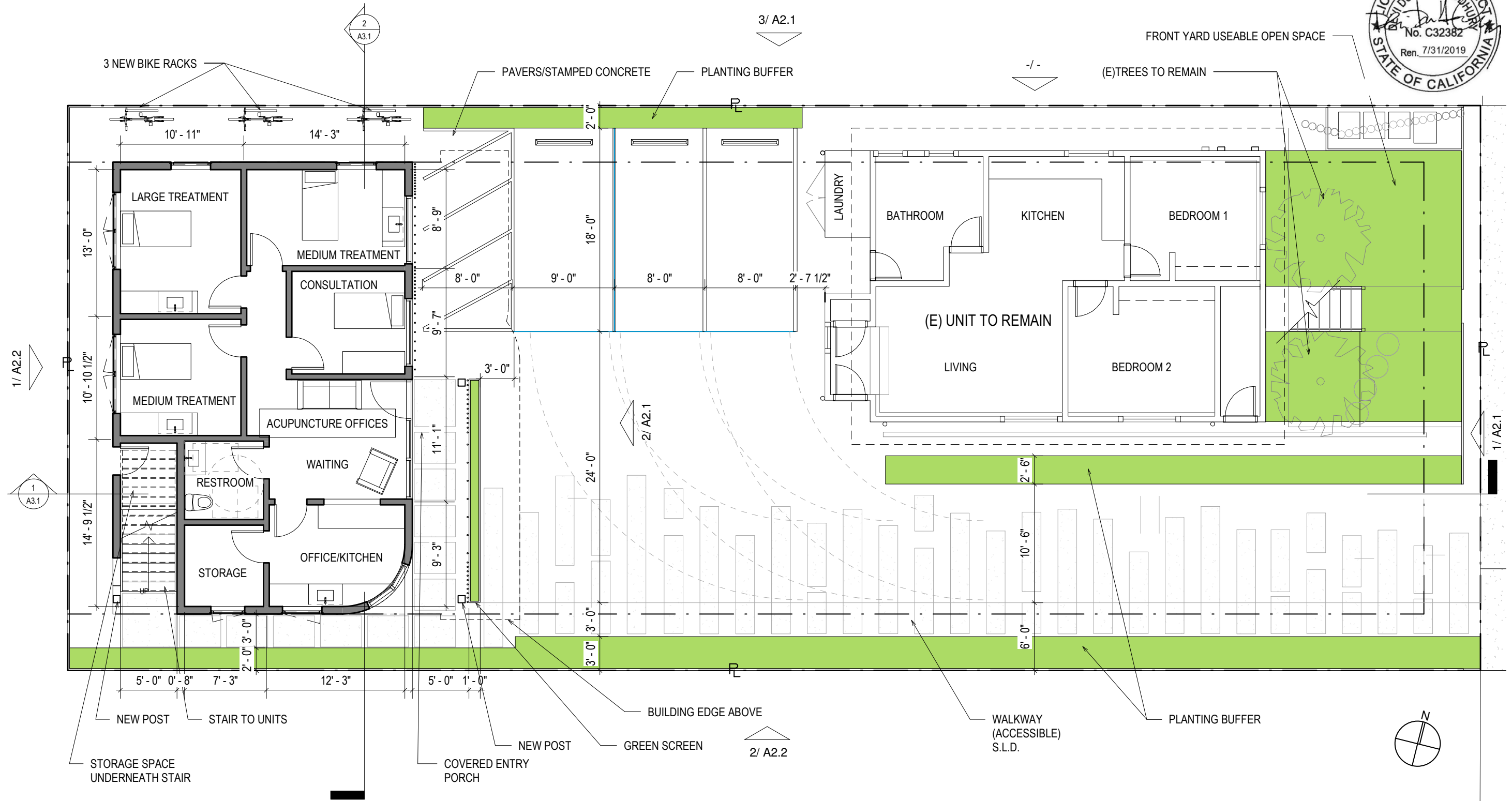
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2422 5TH STREET

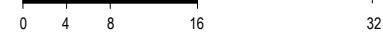
Devi Dutta Architecture Inc.

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05.06.2019



A1.2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

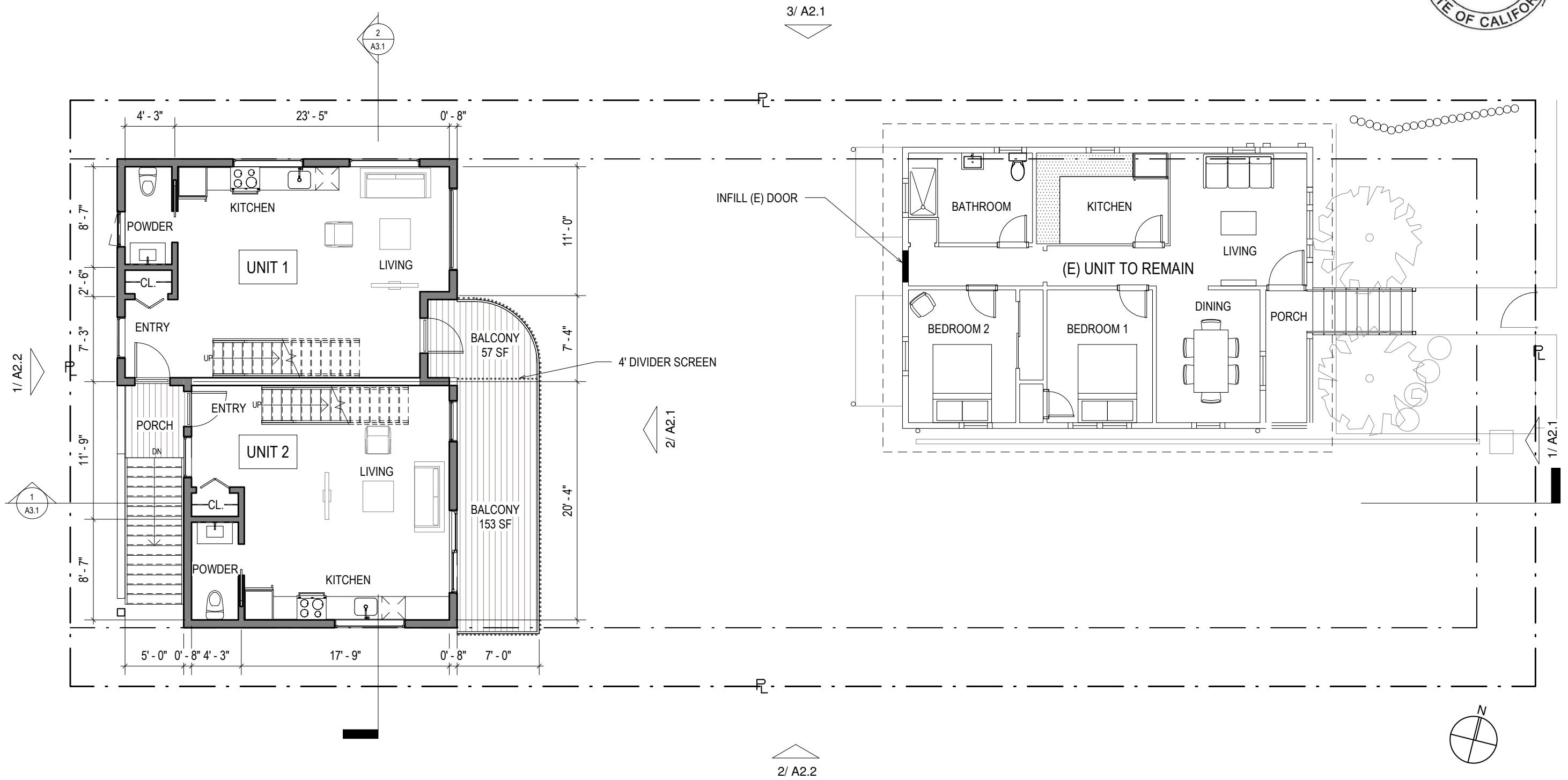


2422 5TH STREET

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05.06.2019



A1.3

PROPOSED SECOND FLOOR PLAN

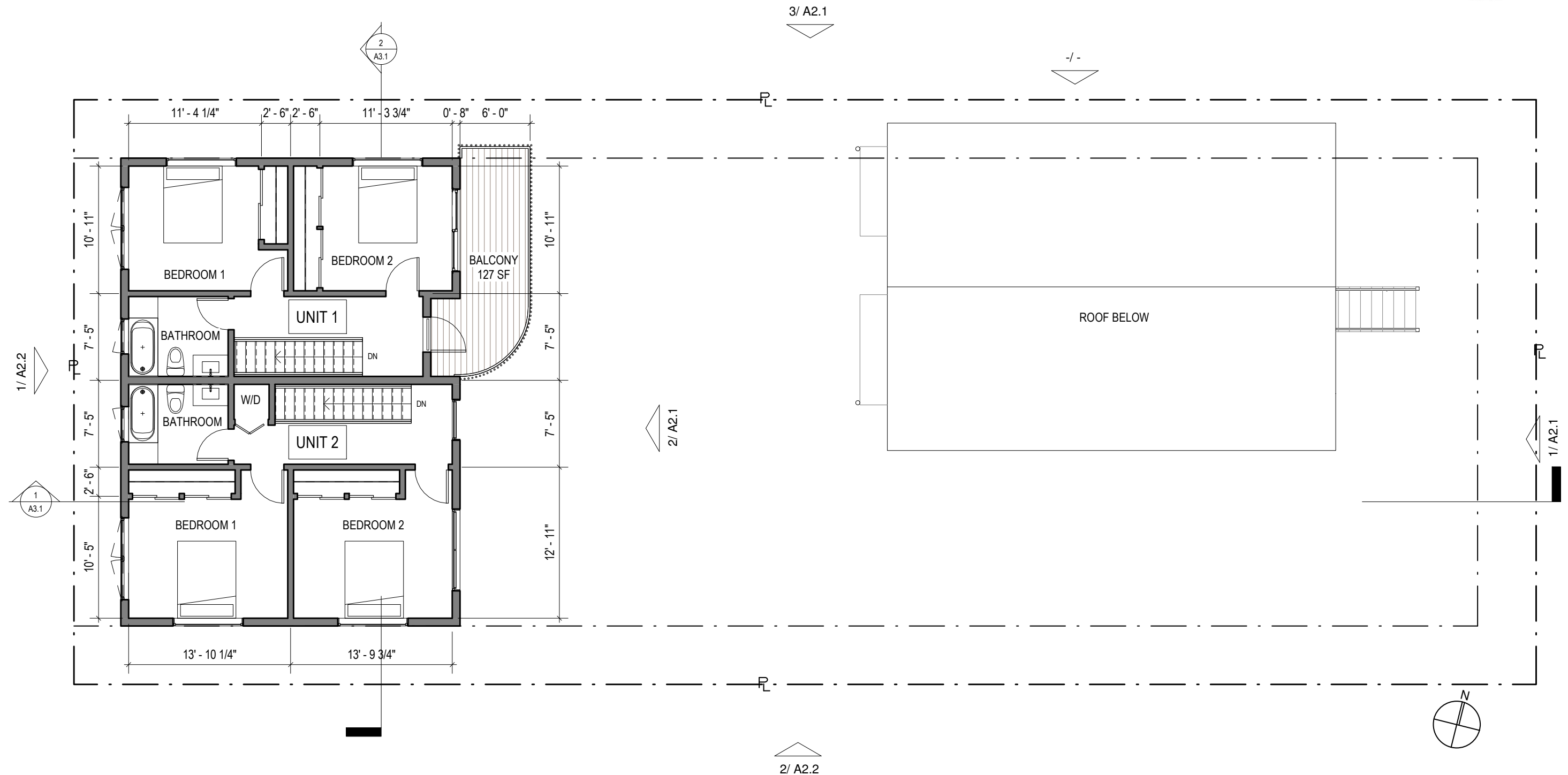
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2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

05.06.2019



A1.4

PROPOSED THIRD FLOOR PLAN

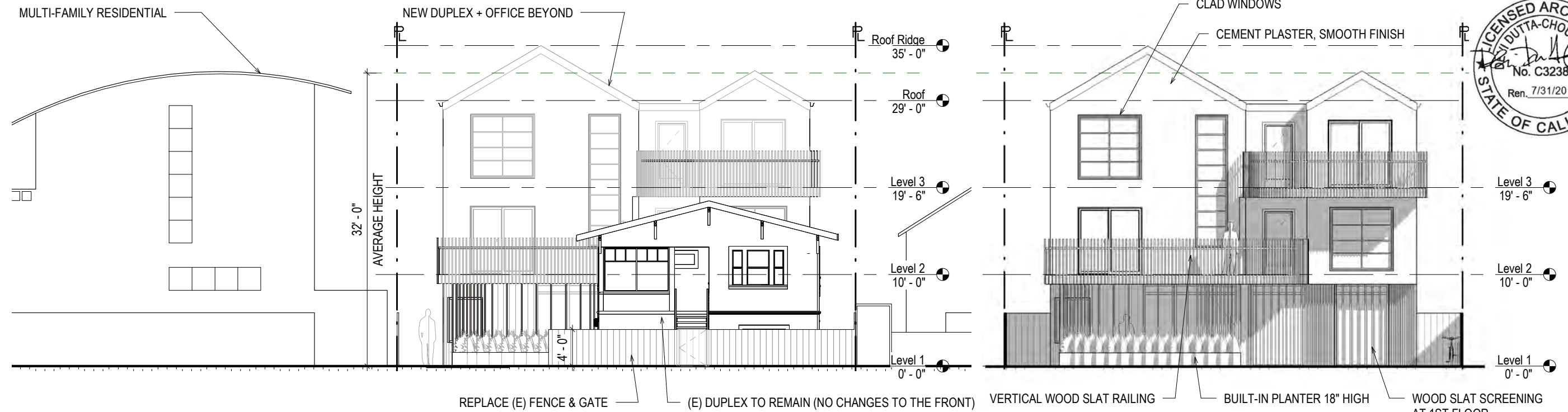
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2422 5TH STREET

Devi Dutta Architecture Inc.

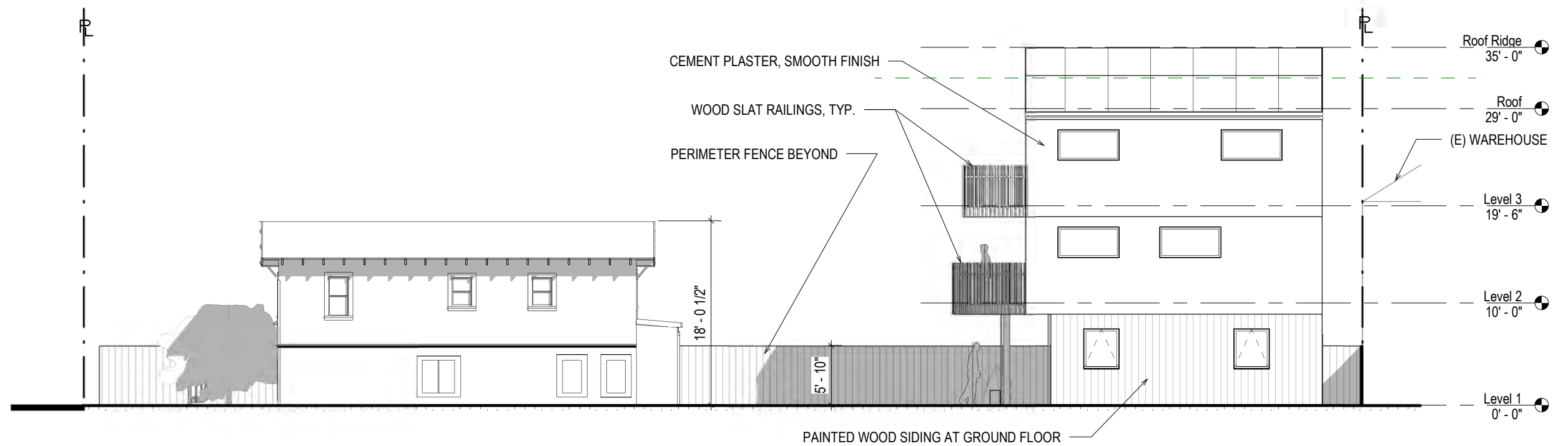
Zoning Submittal

05.06.2019



1 PROPOSED STREET ELEVATION (FRONT)
3/32" = 1'-0"

2 PROPOSED BUILDING EAST ELEVATION (FRONT)
3/32" = 1'-0"



3 PROPOSED NORTH ELEVATION (RIGHT SIDE)
3/32" = 1'-0"

A2.1

EAST & NORTH ELEVATIONS

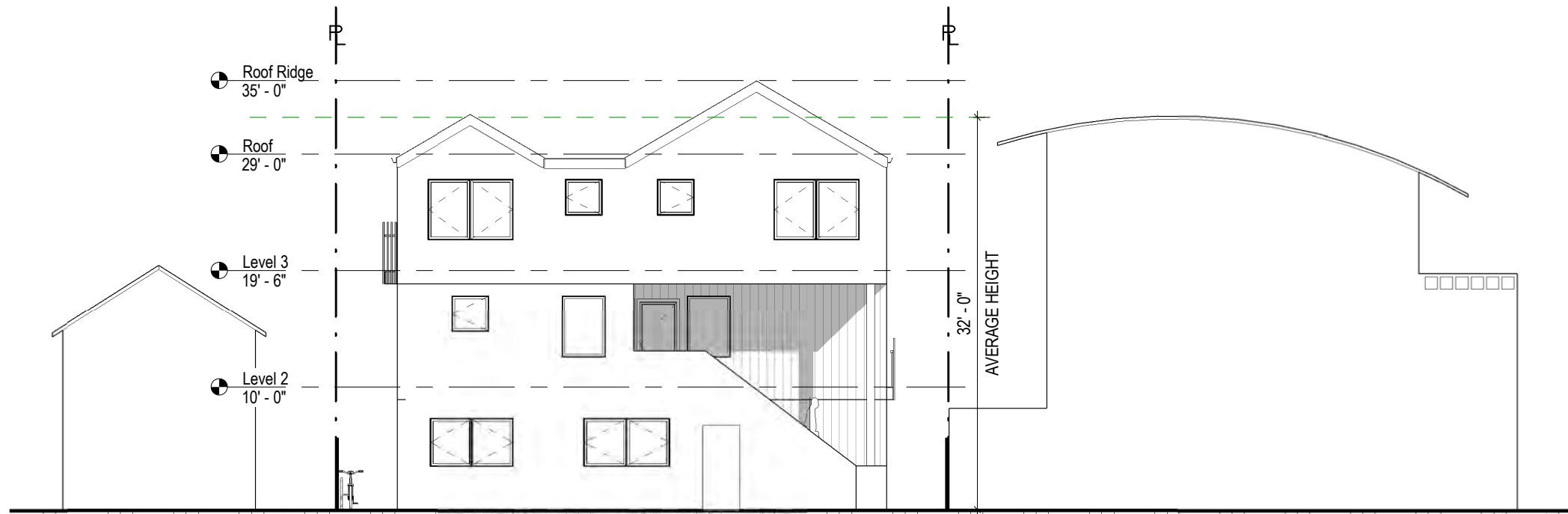
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2422 5TH STREET

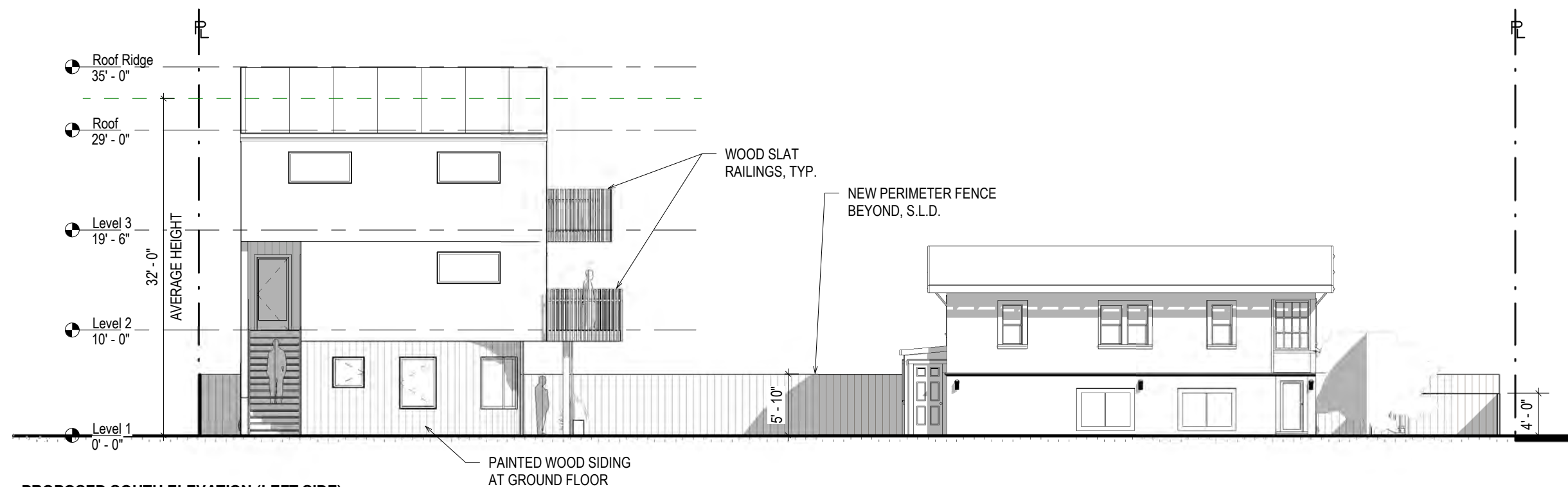
Devi Dutta Architecture Inc.

Zoning Submittal

05.06.2019



1 PROPOSED WEST ELEVATION (BACK)
3/32" = 1'-0"



2 PROPOSED SOUTH ELEVATION (LEFT SIDE)
3/32" = 1'-0"

A2.2

WEST & SOUTH ELEVATIONS

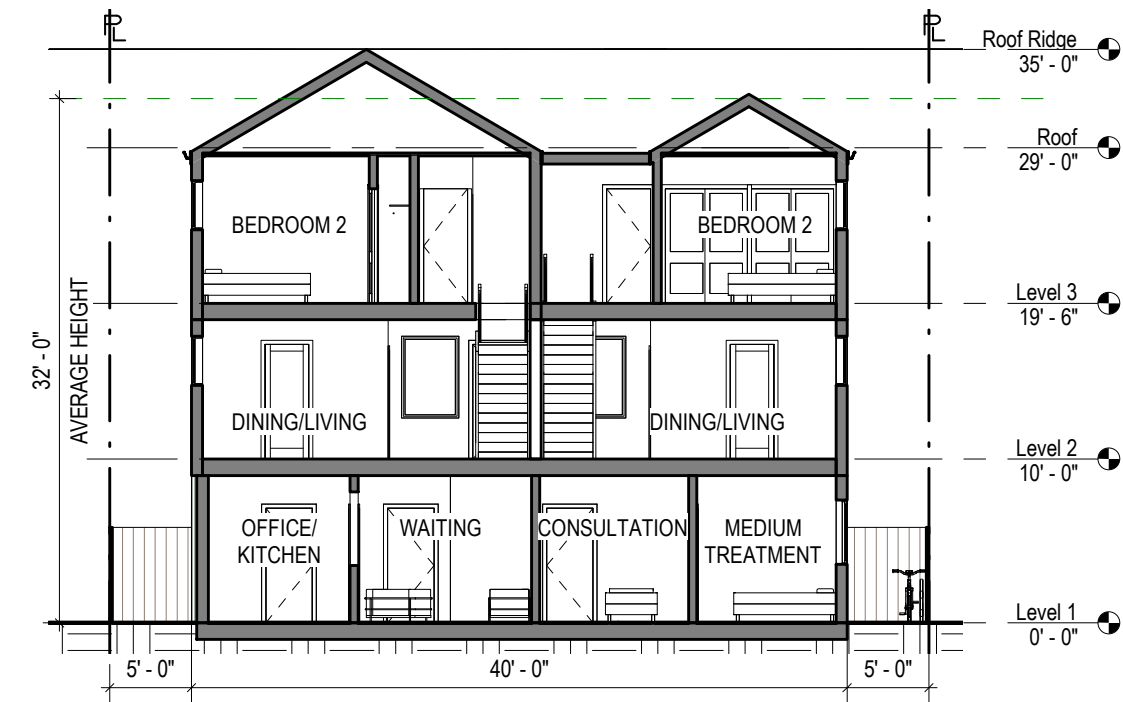
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2422 5TH STREET

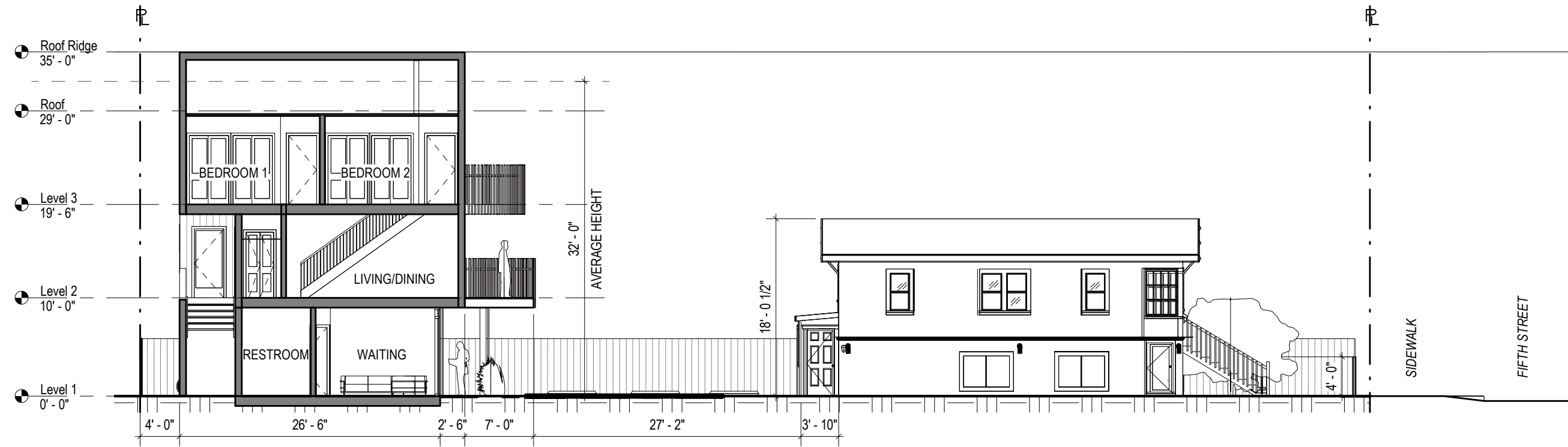
Devi Dutta Architecture Inc.

Zoning Submittal

05.06.2019



2 PROPOSED WEST SECTION
3/32" = 1'-0"



1 PROPOSED NORTH SECTION
3/32" = 1'-0"

A3.1

PROPOSED BUILDING SECTIONS

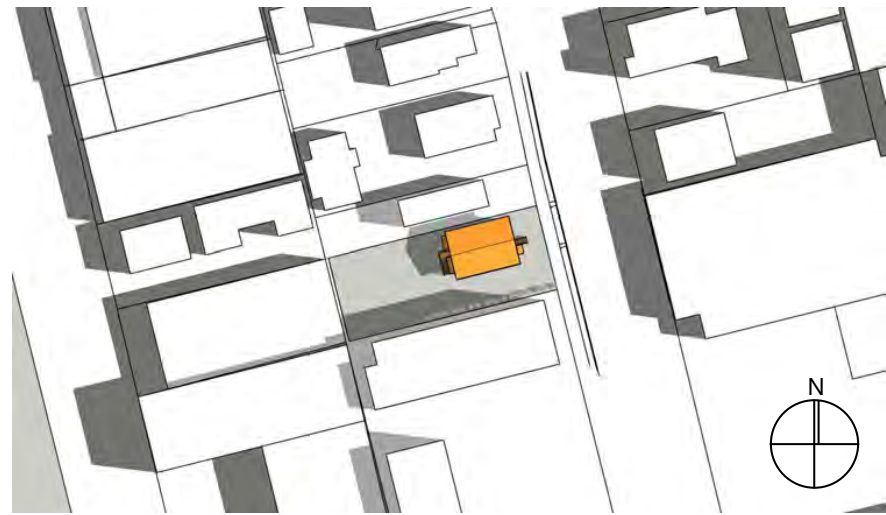
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2422 5TH STREET

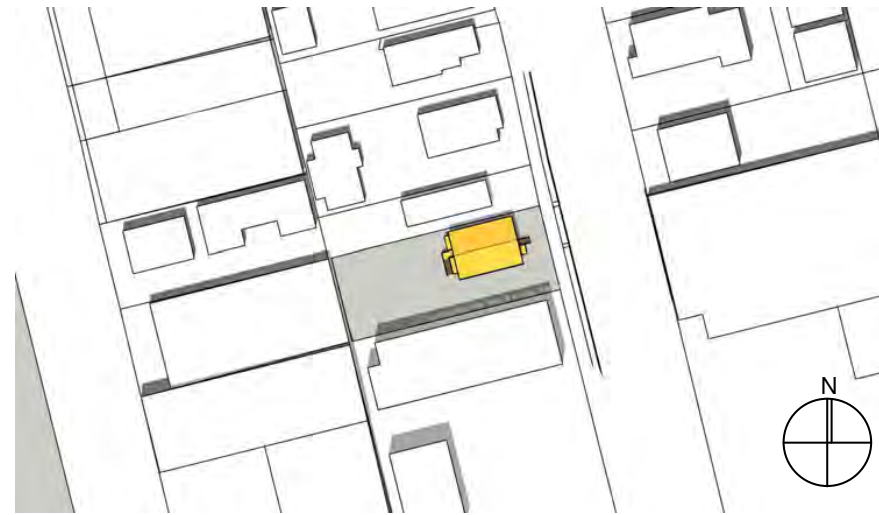
Devi Dutta Architecture Inc.

Zoning Submittal

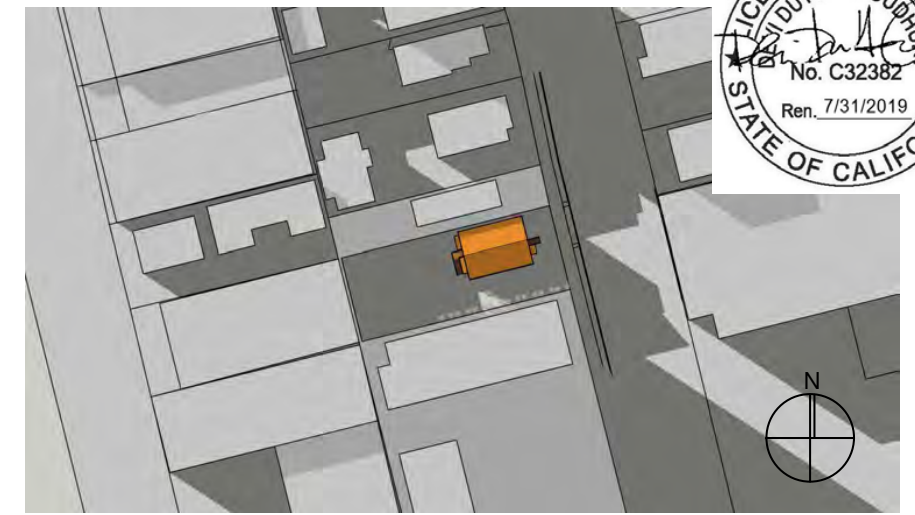
05.06.2019



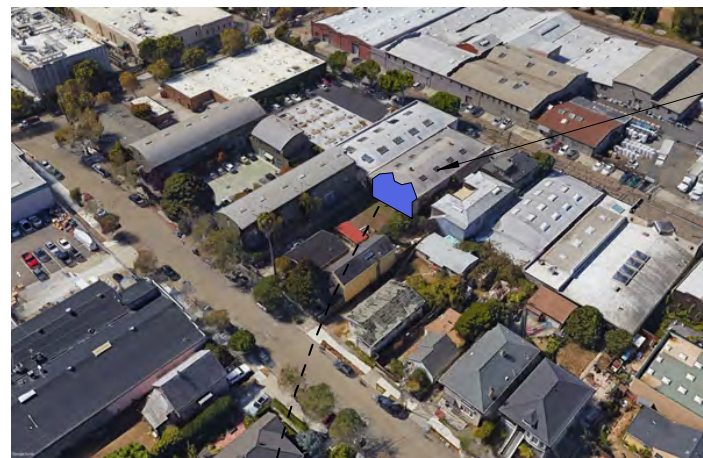
1 EXISTING-JUNE 21 - 2 HR AFTER SUNRISE



2 EXISTING - JUNE 21 - 12.00 PM

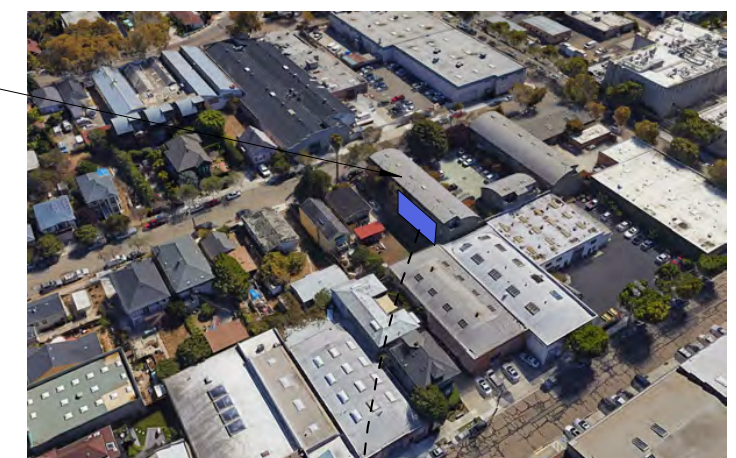


3 EXISTING - JUNE 21 - 2 HR BEFORE SUNSET



2423 4TH STREET - WAREHOUSE

2430 4TH STREET - 3 STORY MULTI-FAMILY
BATHROOM & LIVING (ASSUMED)

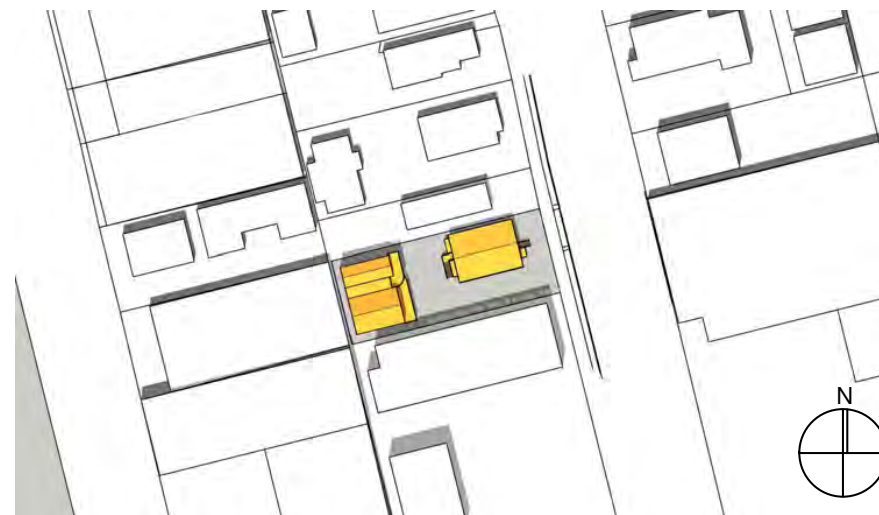


SHADOWS LEGEND

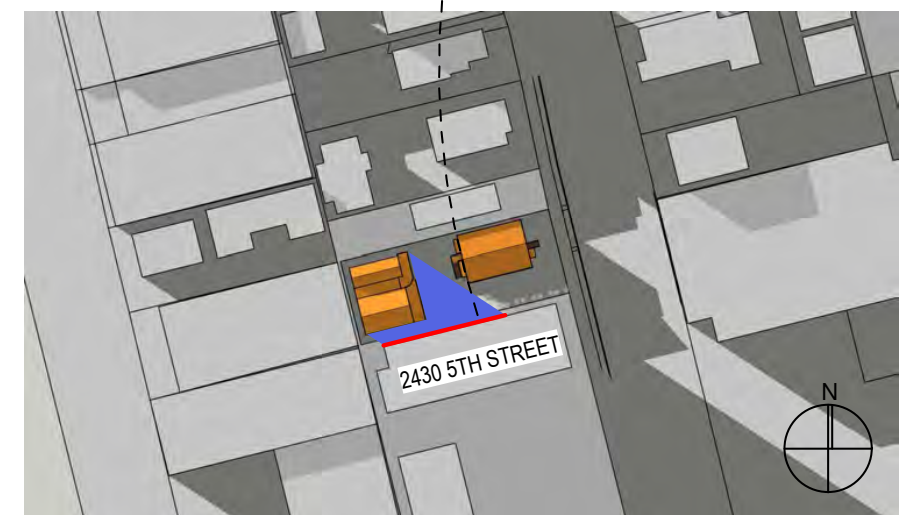
- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - JUNE 21 - 2 HOUR AFTER SUNRISE



5 PROPOSED - JUNE 21 - 12.00 PM



6 PROPOSED - JUNE 21 - 2 HR BEFORE SUNSET

A4.1

SHADOW STUDIES - SUMMER SOLSTICE

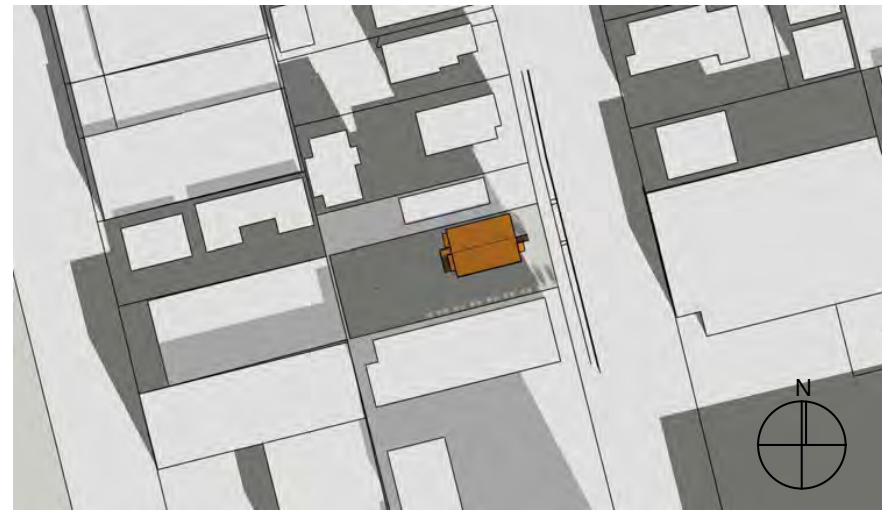
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2422 5TH STREET

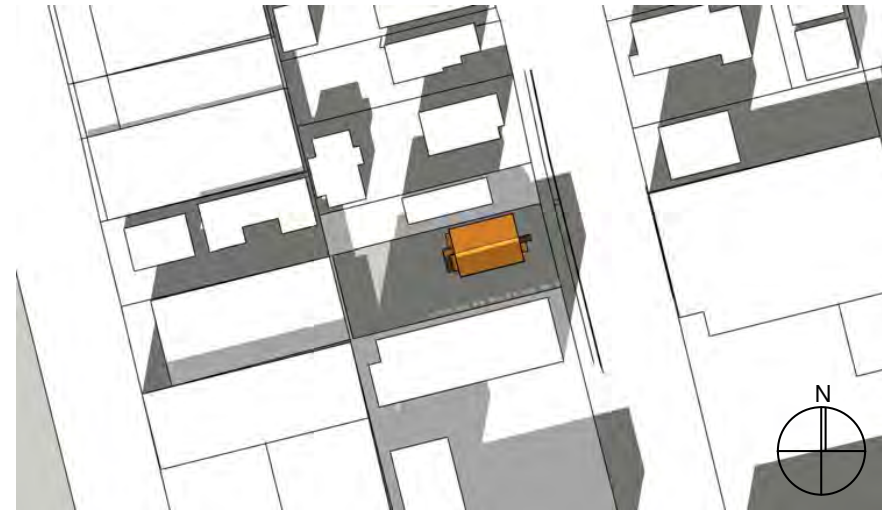
Devi Dutta Architecture Inc.

Zoning Submittal

05.06.2019



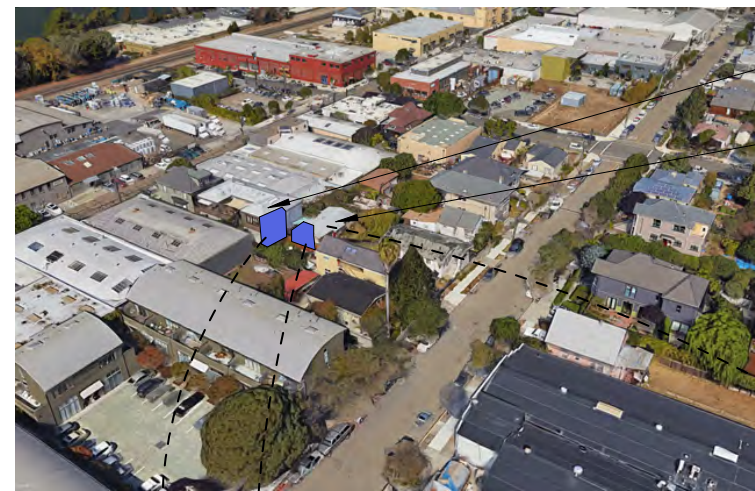
1 EXISTING - DECEMBER 21 - 2 HR AFTER SUNRISE



2 EXISTING - DECEMBER 21 - 12.00 PM



3 EXISTING - DECEMBER 21 - 2 HR BEFORE SUNSET



2421 4TH STREET - OFFICE BUILDING

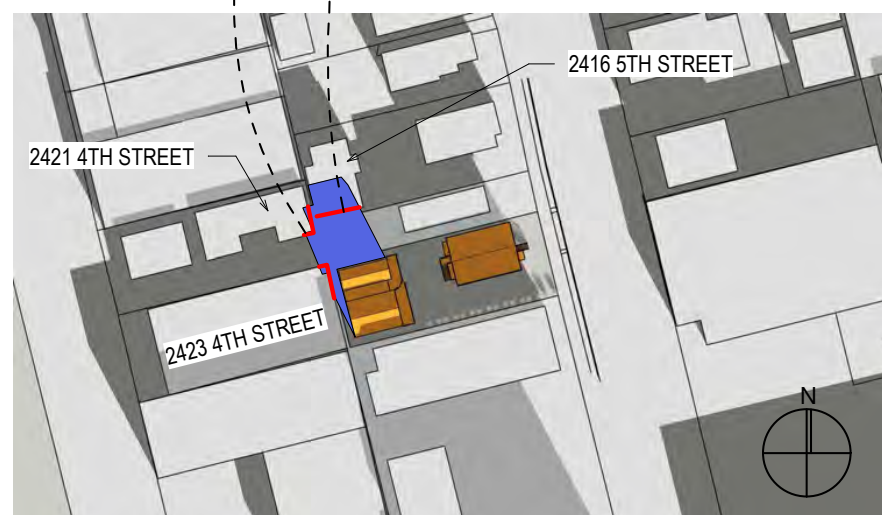
2416 5TH STREET - 1 STORY SINGLE FAMILY

2418 5TH STREET - 2 STORY SINGLE FAMILY - LIVING ROOM (ASSUMED)

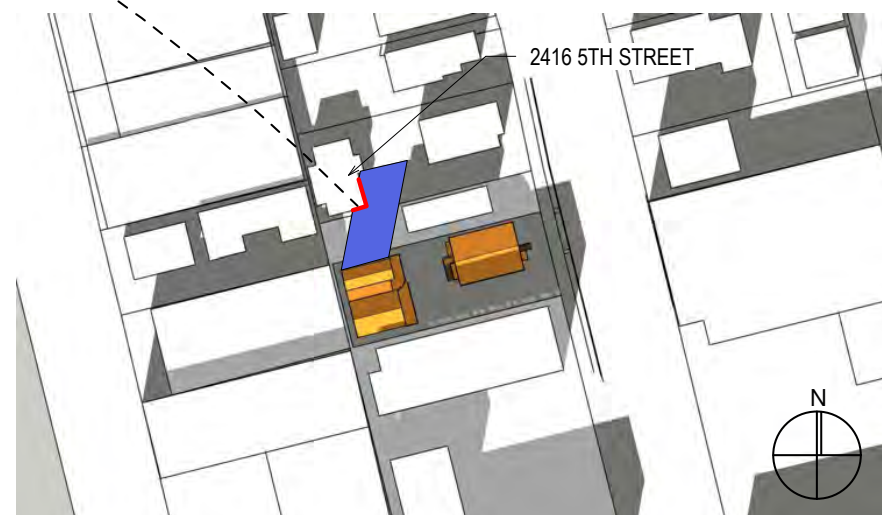
SHADOWS LEGEND

EXISTING SHADOW

NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - DECEMBER 21 - 2 HR AFTER SUNRISE



5 PROPOSED - DECEMBER 21 - 12.00 PM



6 PROPOSED - DECEMBER 21 - 2 HR BEFORE SUNSET

A4.2

SHADOW STUDIES WINTER SOLSTICE

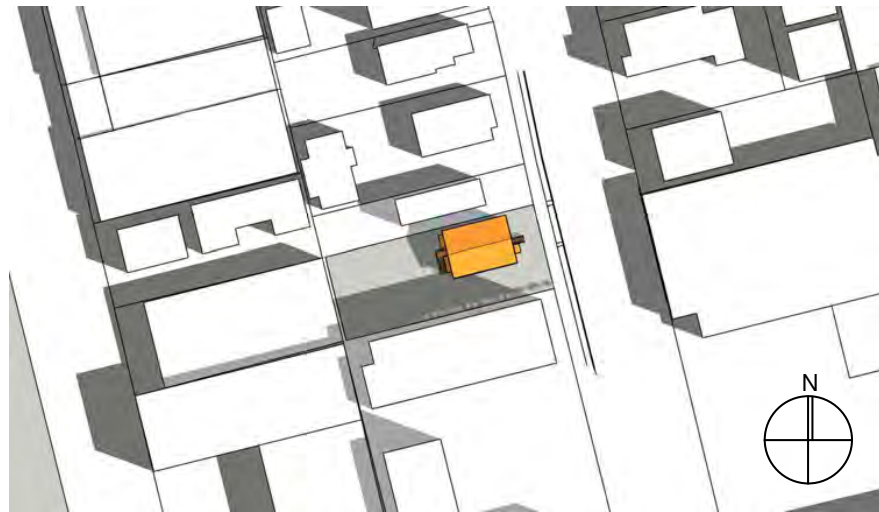
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2422 5TH STREET

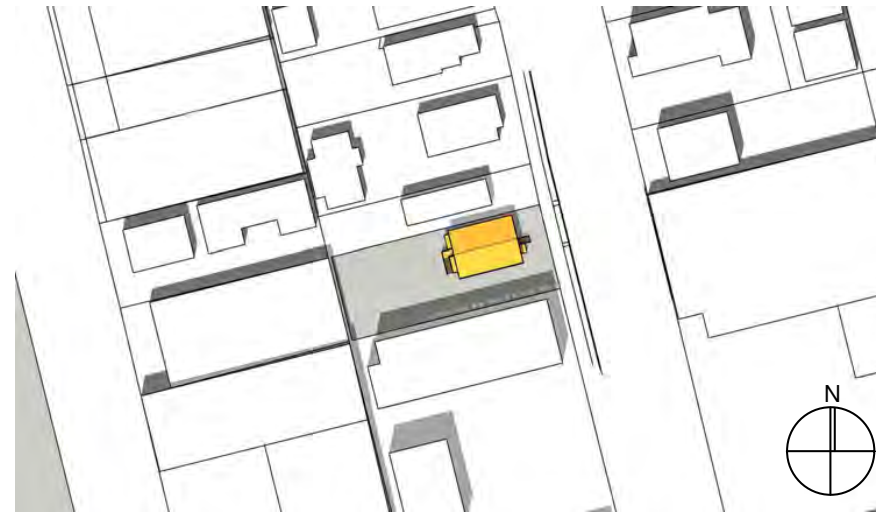
Devi Dutta Architecture Inc.

Zoning Submittal

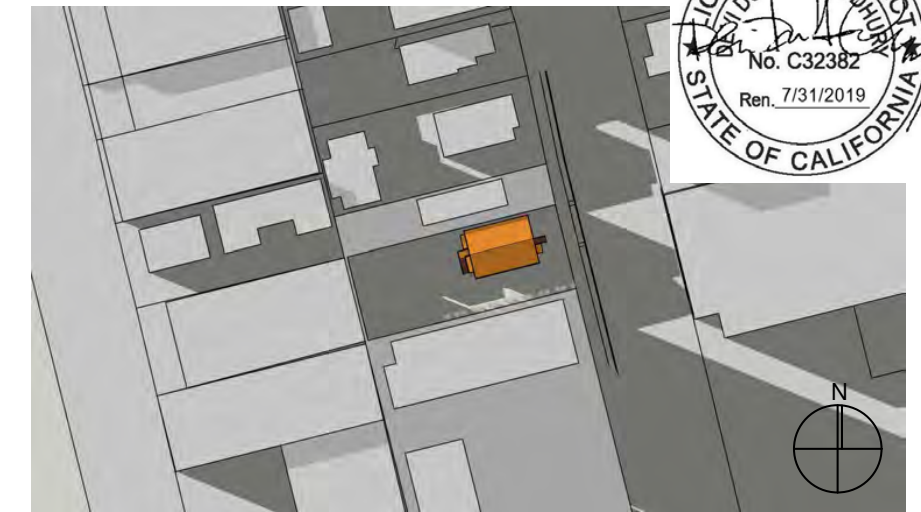
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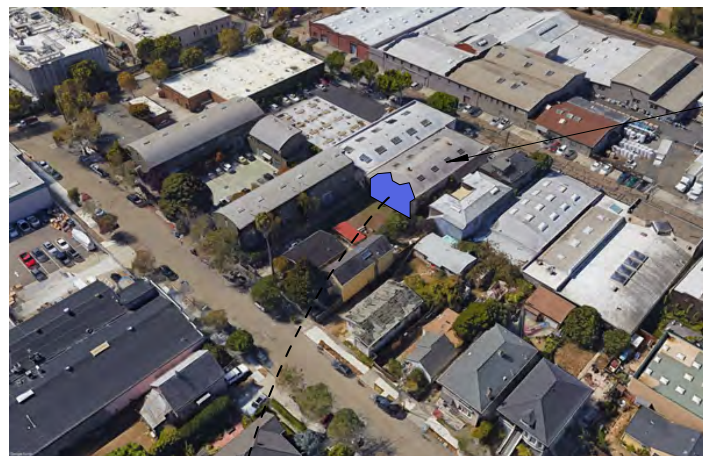
1 EXISTING - MAY 1 - 8.13 AM



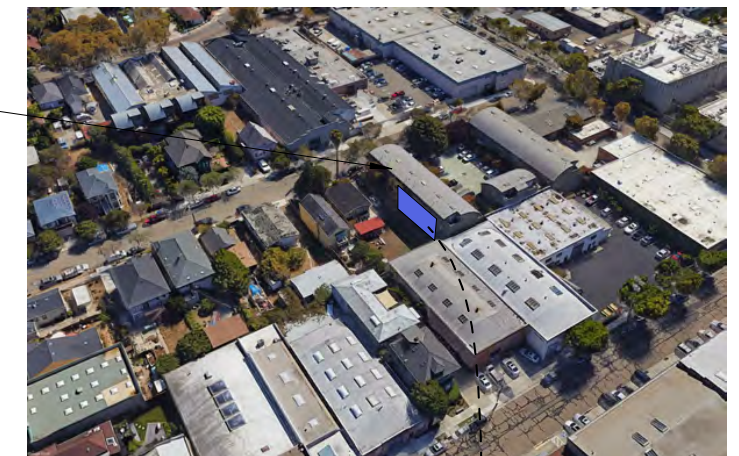
2 EXISTING - MAY 1 - 12.00 PM



3 EXISTING - MAY 1 - 6.00 PM



2423 4TH STREET - WAREHOUSE



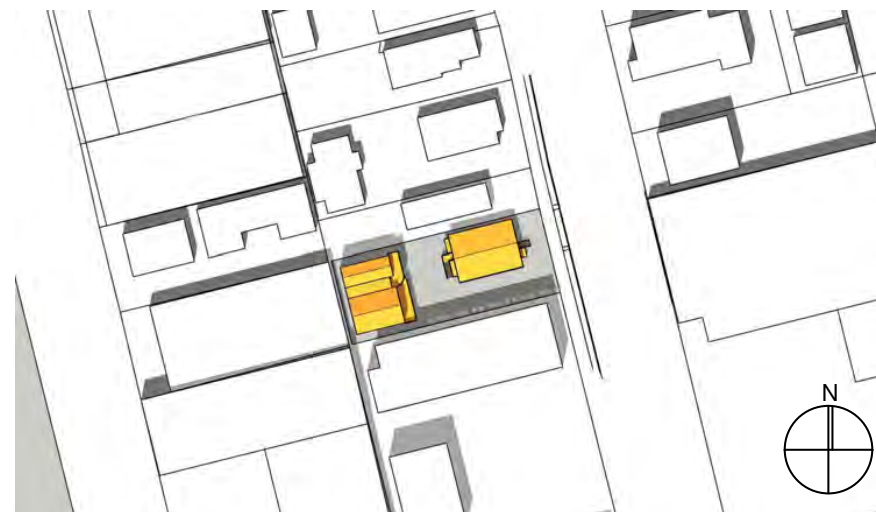
2430 5th STREET
3-STORY MULTI FAMILY -
BATH & LIVING (ASSUMED)

SHADOWS LEGEND

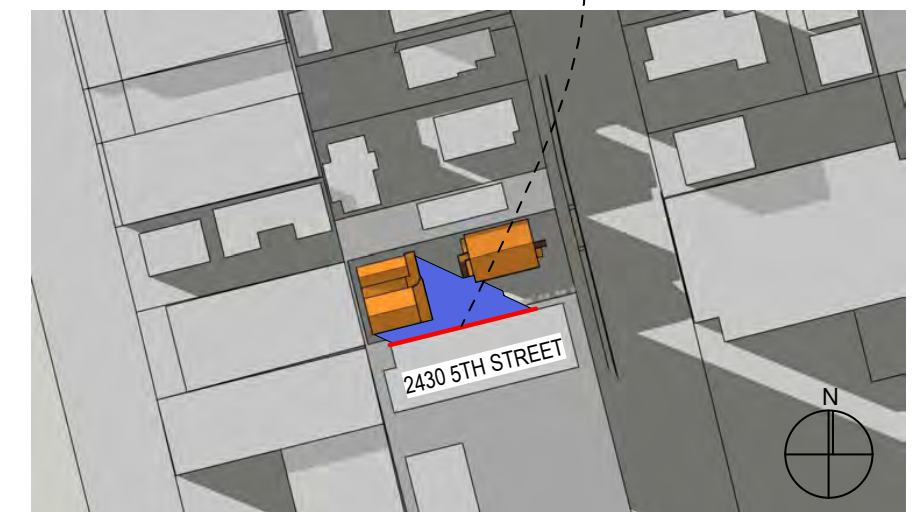
- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - MAY1 - 8.13 AM



5 PROPOSED - MAY 1 - 12.00 PM



6 PROPOSED - MAY1 - 6.00 PM

A4.3

SHADOW STUDIES REVIEW DATE

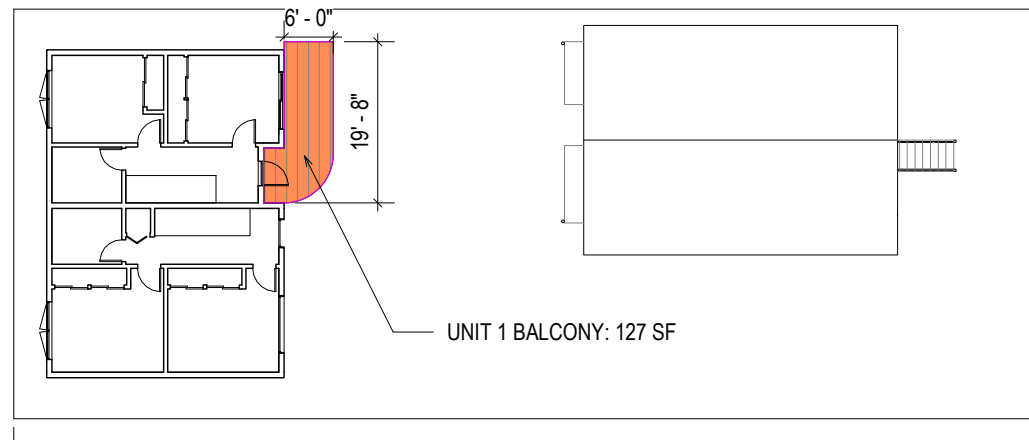
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2422 5TH STREET

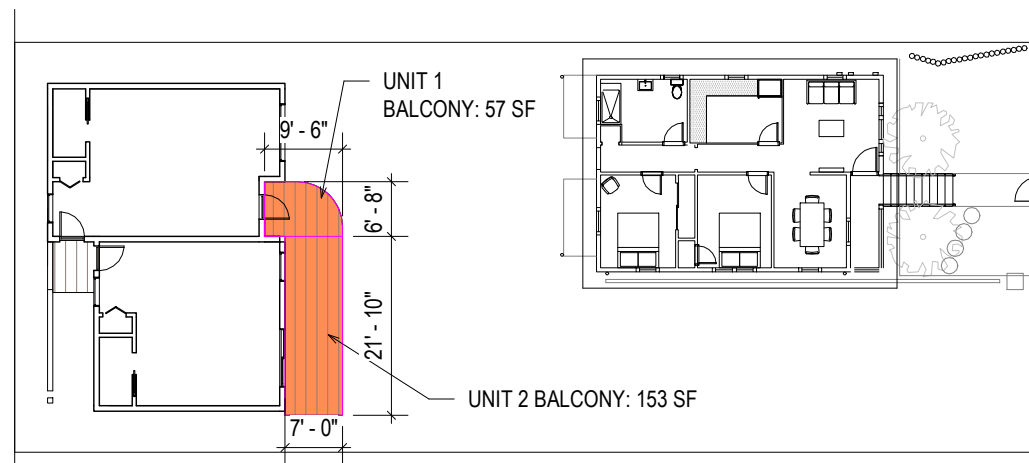
Devi Dutta Architecture Inc.

Zoning Submittal

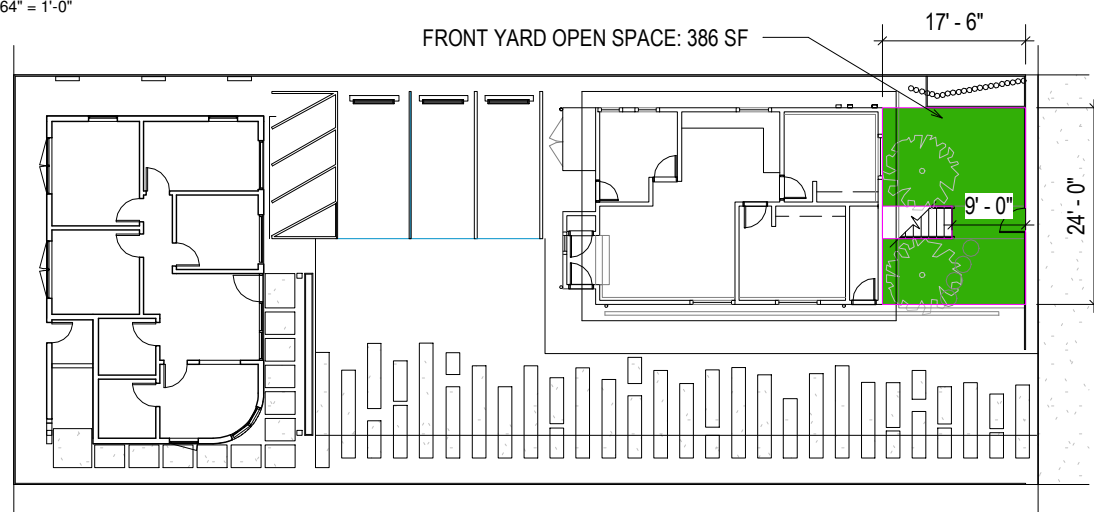
05.06.2019



3 Level 3 - Open Space
3/64" = 1'-0"



2 Level 2 - Open Space
3/64" = 1'-0"



1 Level 1 - Open Space
3/64" = 1'-0"

Ground Floor open space
Balcony

OPEN SPACE AREAS	
Level	Area
Level 1	386 SF
Level 2	210 SF
Level 3	127 SF
TOTAL	723 SF

A5.1

OPEN SPACE DIAGRAM

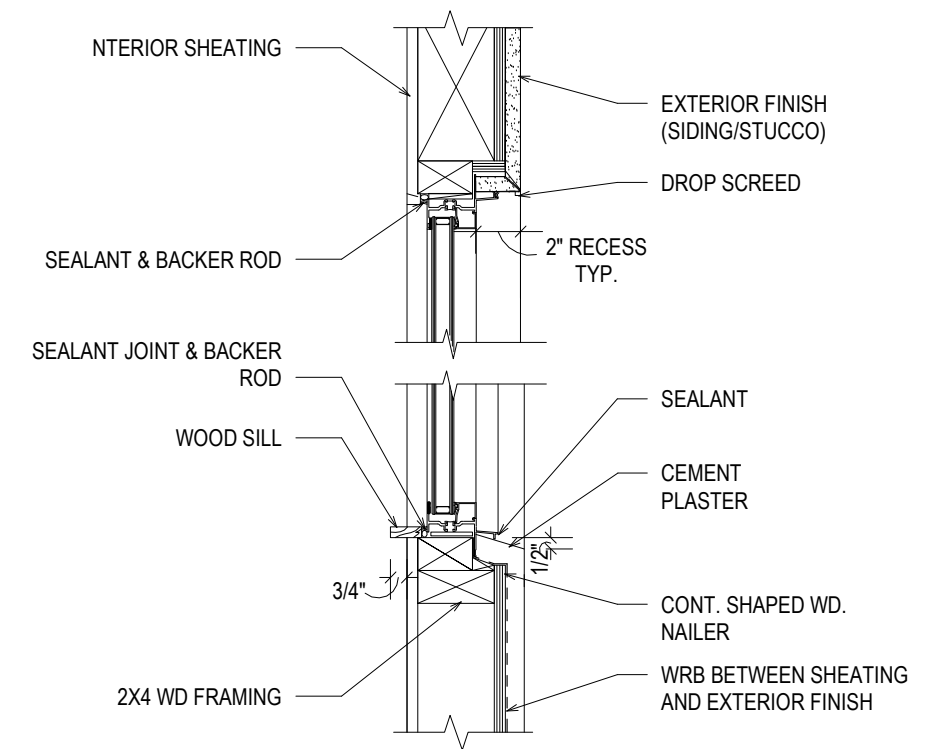
SCALE: 3/64" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

05.06.2019



1 TYPICAL NEW WINDOW DETAIL

1 1/2" = 1'-0"

A6.1 DETAILS

SCALE: 1 1/2" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

05.06.2019



5 SOUTH-WEST PERSPECTIVE



3 ENTRY PERSPECTIVE - LEFT CORNER



2 ENTRY PERSPECTIVE - RIGHT CORNER



4 EAST PERSPECTIVE

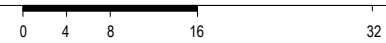


1 EAST ELEVATION

A7.1

PERSPECTIVE VIEWS

SCALE:

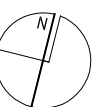
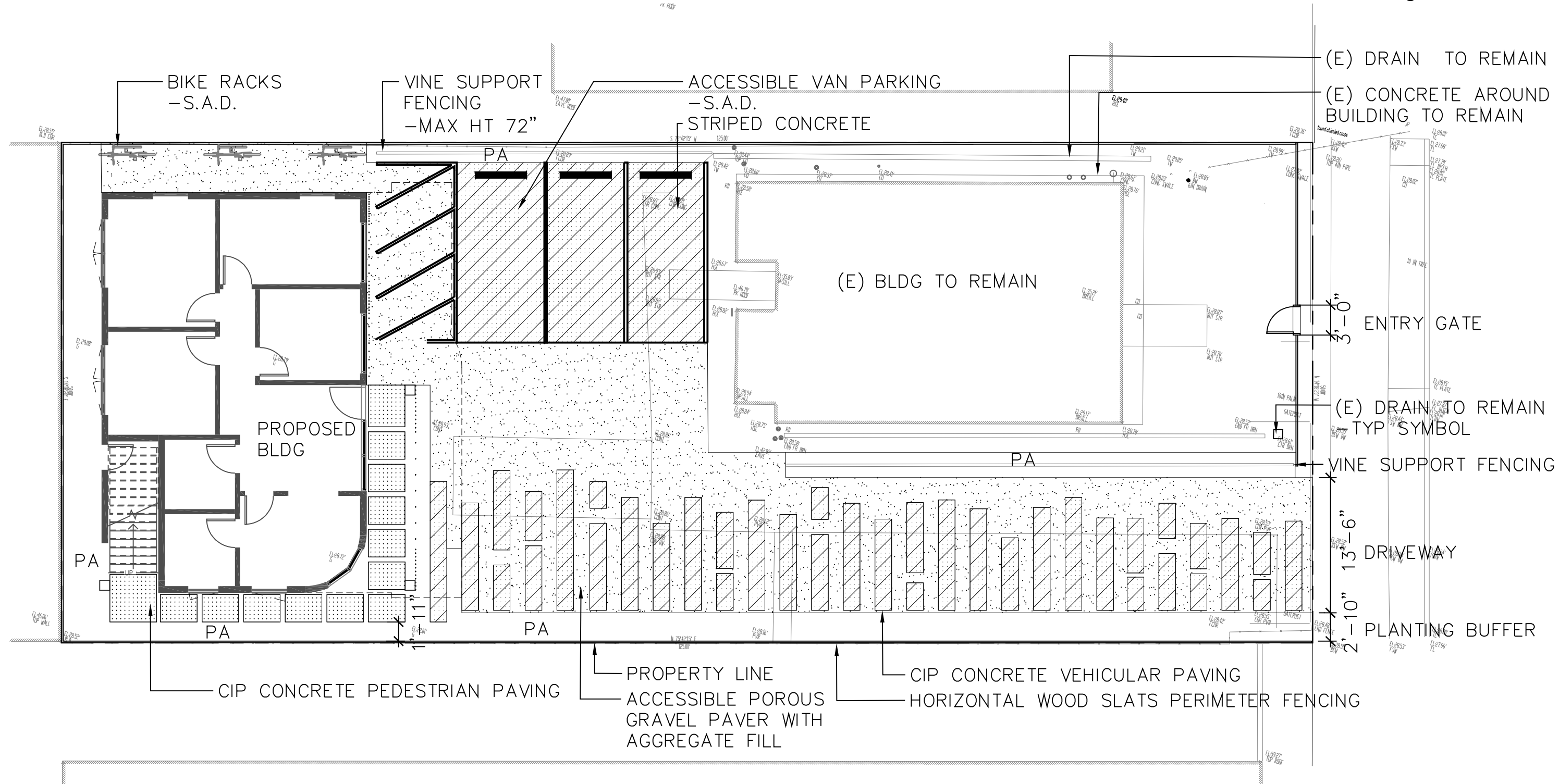


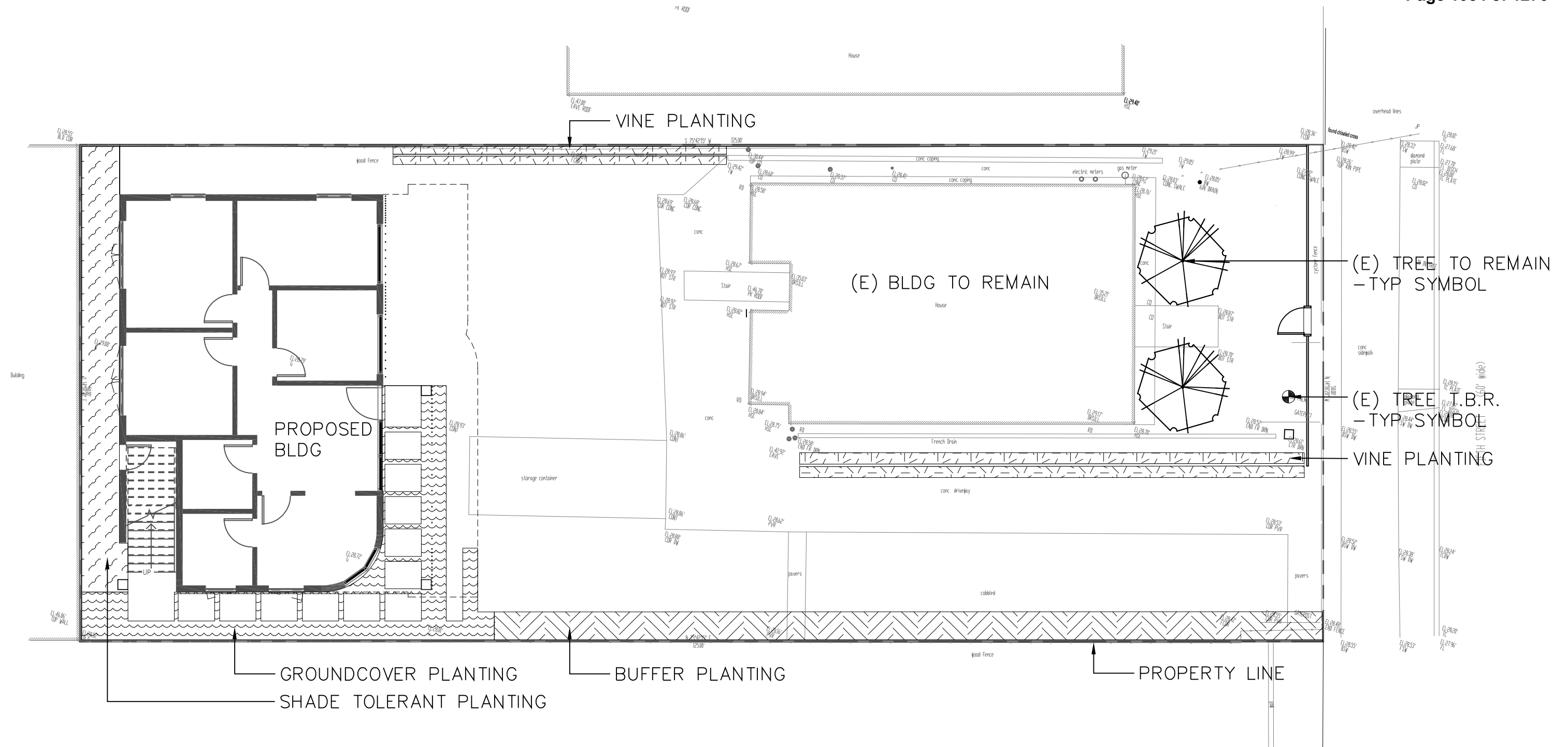
2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

05.06.2019



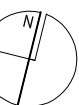


L2.0 SCHEMATIC PLANTING PLAN

SCALE: 1"=10'-0"

2422 5TH STREET
MANTLE LANDSCAPE ARCHITECTURE

ZONING PROGRESS
05.02.2019





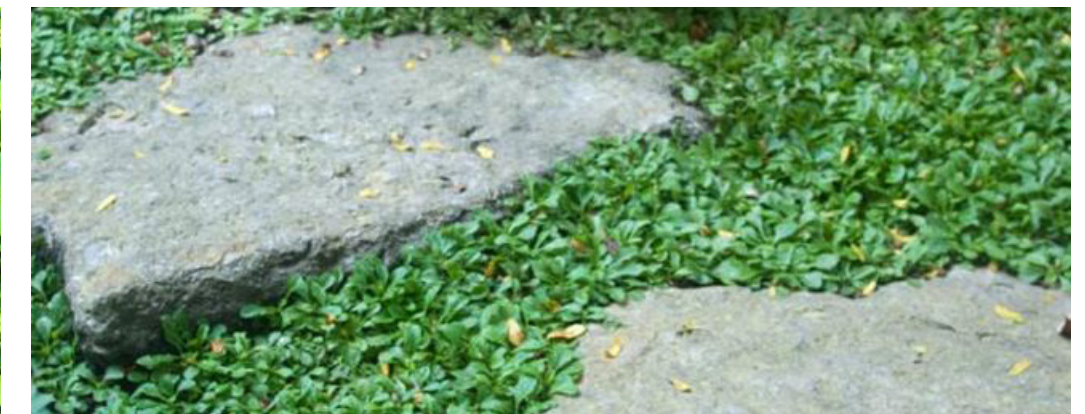
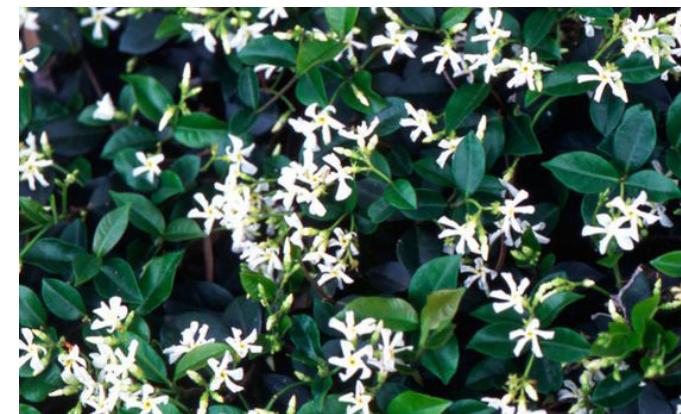
BUFFER PLANTING
Podocarpus macrophyllus



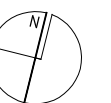
SHADE TOLERANT
Carex dolichostachya, Mahonia 'Soft Caress', *Montia perfoliata*, *Polystichum munitum*

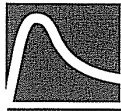


VINE PLANTING
Trachelospermum jasminoides



GROUNDCOVER
Dichondra micrantha, *Mazus Reptans*





COTTON, SHIRES AND ASSOCIATES, INC.
CONSULTING ENGINEERS AND GEOLOGISTS

May 28, 2019
Z5089

TO: Sharon Gong
Senior Planner
CITY OF BERKELEY
1947 Center Street, 2nd floor
Berkeley, California 94704

SUBJECT: **Geotechnical Peer Review - Liquefaction Zone**
RE: Gold, New Three-Story Duplex, Alterations, Medical Office
ZP2018-0049
2422 Fifth Street

At your request, we have completed a geotechnical peer review of the proposed use permit application at the subject property using:

- Geotechnical Investigation (report) prepared by Rockridge Geotechnical, Inc., dated July 23, 2018; and

In addition, we have reviewed pertinent technical maps and reports from our office files.

DISCUSSION

The applicant proposes to alter the existing residence, as well as construct a new structure at the project site. In total, 4 new dwellings and a medical office will be located on the subject property. The proposed project is located within a liquefaction hazard zone as mapped by the California Geological Survey. According to the State's Seismic Hazards Mapping Act, a qualifying project in this zone must be supported by a site-specific geotechnical investigation (report) addressing the mapped hazard.

The purpose of this geotechnical peer review is to determine whether the referenced 2018 geotechnical report is consistent with State criteria for project approval with respect to liquefaction hazards. When site seismic hazards are confirmed to exist, the State requires that a minimum level of mitigation for a project be performed to reduce the risk of ground failure during an earthquake to a level that does not cause the collapse of buildings for human occupancy. Our geotechnical peer review does not include

Northern California Office
330 Village Lane
Los Gatos, CA 95030-7218
(408) 354-5542 • Fax (408) 354-1852

Central California Office
6417 Dogtown Road
San Andreas, CA 95249-9640
(209) 736-4252 • Fax (209) 736-1212

Southern California Office
2804 Camino Dos Rios, Suite 201
Thousand Oaks, CA 91320-1170
(805) 375-1050 • Fax (805) 375-1059

www.cottonshires.com

Sharon Gong
Page 2

May 28, 2019
Z5089

evaluation of detailed construction plans and is not intended to address all geotechnical aspects of proposed project design.

SITE CONDITIONS AND GEOTECHNICAL EVALUATIONS

The Project Geotechnical Consultant (Rockridge Geotechnical) has advanced two Cone Penetration Tests (CPT) to the State required depth of 50 feet below the ground surface. Groundwater was encountered in site CPTs. One hand auger was also advanced to a depth of 6 feet below the ground surface encountering sandy clay (CL). The Consultant completed geotechnical laboratory testing yielding a plasticity index of 25 percent for a sample of sandy clay collected at a depth of approximately 2.5 to 3 feet below the ground surface.

The California Geological Survey (CGS) has mapped the historic high groundwater at depths less than approximately 5 feet below the ground surface at the subject site. As previously mentioned, the site is located within a liquefaction hazard zone of required investigation delineated by the CGS. The project site also appears to be located within the City of Berkeley Environmental Management Area.

CONCLUSIONS AND RECOMMENDATIONS

Based on our review of the referenced report, it appears that the potential for liquefaction has been satisfactorily evaluated by the Project Geotechnical Consultant. We conclude that the subsurface investigation has satisfactorily fulfilled State investigation requirements in the mapped potential liquefaction hazard zone. **The consultant and applicant should consider the benefits of interior grade beams instead of isolated interior footings** given the site's potential for liquefaction and cyclic mobility, and given the presence of potentially expansive soils. We recommend geotechnical approval of the subject land use permit application with the following conditions attached:

1. **Geotechnical Plan Review** - The applicant's geotechnical consultant should review and approve all geotechnical aspects of the final project building and grading plans (i.e., site preparation and grading, site drainage improvements and design parameters for foundations, retaining walls and driveway) to ensure that their recommendations have been properly incorporated.

The results of the plan review should be summarized by the geotechnical consultant in a letter and submitted to the City Engineer for review and approval prior to issuance of building permits.

2. **Geotechnical Construction Inspections** - The geotechnical consultant should inspect, test (as needed), and approve all geotechnical aspects of the project construction. The inspections should include, but not

Sharon Gong
Page 3

May 28, 2019
Z5089

necessarily be limited to: site preparation and grading, site surface and subsurface drainage improvements, and excavations for foundations and retaining walls prior to the placement of steel and concrete.

The results of these inspections and the as-built conditions of the project should be described by the geotechnical consultant in a letter and submitted to the City Engineer for review prior to final (granting of occupancy) project approval.

LIMITATIONS

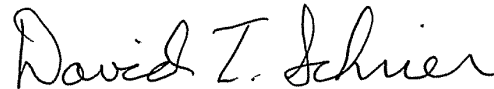
This geotechnical peer review has been performed to provide technical advice to assist the City with its discretionary permit decisions. Our services have been limited to review of the documents previously identified. Our opinions and conclusions are made in accordance with generally accepted principles and practices of the geotechnical profession. This warranty is in lieu of all other warranties, either expressed or implied.

Respectfully submitted,

**COTTON, SHIRES AND ASSOCIATES, INC.
CITY GEOTECHNICAL CONSULTANT**



Ted Sayre
Engineering Geologist
CEG 1795



David T. Schrier
Principal Geotechnical Engineer
GE 2334

DTS:CS:TS

Gong, Sharon

From: Craig Stewart <cstewart@cottonshires.com>
Sent: Tuesday, June 04, 2019 7:59 AM
To: Gong, Sharon
Subject: Re: ZP2018-0049 2422 Fifth Street

Hi Sharon,

No Problem, I can reissue a letter with no mention of alterations to the existing structure if that is desired. Otherwise, we believe our conclusions remain unchanged. We generally found that the Project Geotechnical Consultant appropriately characterized the risk and provided geotechnical recommendations for foundation design that are within the standard of practice for the new 3-story multi-use structure in a hazard zone.

Let me know if a revised letter is necessary, or if this email will suffice, and I will make the changes to the project description,

Craig Stewart
Cotton, Shires & Associates, Inc.,
[Consulting Engineers and Geologists](#)

On Mon, Jun 3, 2019 at 5:16 PM Gong, Sharon <SGong@cityofberkeley.info> wrote:

Hi Craig,

I wanted to double check with you that the project description, which has changed slightly from that in the geotech report, does not affect your peer review. The report describes a new 3-story residential building in the rear, and the raising of the front residential building and conversion of the bottom floor to medical offices. The new description is this:

Project Description: Keep existing front duplex as is (no change to the building). Construct new 3-story building at rear of property containing 2 units and medical office. Waive two residential parking spaces; 3 joint resid/comm on-site parking. Total 4 dwelling units, 1 medical office.

Please let me know if this changes your peer review in any way. I apologize for not making this change in the project description clearer.

Thanks,

Sharon



Planning and Development
Land Use Planning Division

June 4, 2019

Devi Dutta
Devi Dutta Architecture
928 Carleton Street
Berkeley, CA 94710

Sent via email to:
hello@devidutta.com

RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

Dear Ms. Dutta,

Thank you for submitting the materials to support the proposal to construct two dwelling units and medical offices in a new mixed-use building on the rear of a lot.

Application – The application includes the following approval requests:

1. Administrative Use Permit under BMC 23E.28.060 to allow a joint parking agreement to satisfy the off-street parking requirement;
2. Administrative Use Permit under BMC 23E.84.030.A to establish a new medical office space that is 5,000 square feet or less;
3. Use Permit under BMC 23E.84.030.A to establish a mixed-use building;
4. Administrative Use Permit under BMC 23E.84.030.A to create two new dwelling units; and,
5. Use Permit under BMC 23E.84.080.F to waive two residential parking spaces.

Incomplete Items – Staff has also determined that application is incomplete at this time. Please address the following items to continue with the application review:

1. Usable Open Space (UOS). Per BMC 23D.04.050.
 - a. 40% of the UOS must be irrigated landscaped areas. Please show planting and irrigation for these areas.
 - b. Driveways, required walkways or portions thereof or any features that are used for required access to dwelling units cannot be counted toward UOS. Subtract the areas in the front yard open space that fall under this definition. Walkways should be at least 3' wide.
2. Pedestrian Walkway for Multiple Dwellings. Per BMC section 23D.04.070, "All multiple dwellings shall have a walkway for pedestrian access from the public right-of-way to the building. Such walkway shall be unobstructed, separate, distinct and physically protected

from any driveway or off-street parking spaces, by a landscaped strip with a minimum width of two feet". Provide such a walkway on the site plan.

3. Lot Coverage. Lot Coverage is "all the area of a lot, as projected on a horizontal plane, which is enclosed by the exterior walls of buildings or enclosed Accessory Structures; or covered by decks, porches, stairs and/or landings which cover an enclosed space or paved ground area". Include the areas of all balconies which overhang paving below it (i.e. third floor balcony).
4. Application Submittal Requirements. The following required items were missing from the application submittal, and must be submitted for application completeness:
 - a. Neighbor signatures. Because the project description and building design have changed, you must re-circulate the new plan set and obtain signatures from the neighbors for the new proposal.
 - b. Pre-application Poster. Because the project description has changed, you must update the yellow poster on the site, and submit photos of the new poster.
 - c. Tabulation Form. Revise the Tabulation Form in the plan set to reflect any changes made in response to all other comments in this letter.

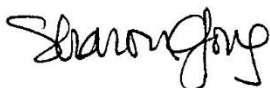
Advisory Comments

5. Department Comments. This application may be routed to other city departments for comments. These comments will be forwarded to you when they are received. Please respond to all department comments, and include revisions and response with your next submittal to Planning. Further revisions to the application may be required based upon your response to these items.

Revised submittal items should be submitted in both paper (**two** 11x17 sets) and electronic form (CD or flash drive), to my attention, to the Permit Service Center at 1947 Center Street, 3rd floor. Please submit responses to **all** requested items at once, and not incrementally. Also, please be aware that if you do not take action on the above items within 60 days, the application may be deemed withdrawn and returned to you.

Should you have questions regarding this letter or your application, please feel free to contact me.

Sincerely,



Sharon Gong
Senior Planner
(510) 981-7429
sgong@cityofberkeley.info



Department of Public Works
Transportation Division

MEMORANDUM

Date: July 9, 2019

To: Sharon Gong, Land Use Planner
Planning and Development

From: Peter Chun, Transportation Engineer

Subject: ZP2018-0108, 2422 Fifth Street

The parking survey memo dated March 21, 2018 was accurately prepared. The midday on street parking as noted in the report is high (84%) from 1 pm to 2 pm.

The survey indicates on street parking would be available on neighboring streets for two (2) parking spaces waiver requested by the development.

The site plan has the following corrections:

1. Sheet A0.1: The joint use is two (2) parking spaces. The plan should include a description of the joint use parking and reference the zoning code that allows for the joint use parking.
2. Sheet A1.1: Show the bike parking. The bike parking should be located in a secured area and/or enclosure.
3. Sheet A1.1: The accessible aisle for a van accessible parking space is by standard on the right side of the disabled parking space. The applicant should confirm if there are exceptions. We can check with the City ADA Specialist.
4. Sheet A1.1: Pavers are not recommended for accessible paths.
5. Sheet A1.1: The property line is a few feet behind the sidewalk per the Engineering Survey. The plan should show the actual property line and the fence must be within the property line.

Please provide a copy of the language for the joint parking agreement that will be applied to the project. As noted above the joint parking agreement should be referenced or included in the project plans.



Planning and Development
Land Use Planning Division

June 4, 2019

Devi Dutta
Devi Dutta Architecture
928 Carleton Street
Berkeley, CA 94710

Sent via email to:
hello@devidutta.com

RE: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street

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3. Use Permit under BMC 23E.84.030.A to establish a mixed-use building;
4. Administrative Use Permit under BMC 23E.84.030.A to create two new dwelling units; and,
5. Use Permit under BMC 23E.84.080.F to waive two residential parking spaces.

Incomplete Items – Staff has also determined that application is incomplete at this time. Please address the following items to continue with the application review:

RESPONSE IN RED

1. Usable Open Space (UOS). Per BMC 23D.04.050.
 - a. 40% of the UOS must be irrigated landscaped areas. Please show planting and irrigation for these areas.
PLEASE SEE 1/A5.1 AND L2.0; FRONT YARD USABLE OPEN SPACE TO BE IRRIGATED AREA, >40%
 - b. Driveways, required walkways or portions thereof or any features that are used for required access to dwelling units cannot be counted toward UOS. Subtract the areas in the front yard open space that fall under this definition. Walkways should be at least 3' wide.
ACCESS PATH TO EXISTING HOUSE SUBTRACTED FROM USABLE OPEN SPACE, PLEASE SEE SHEET 1/A5.1
2. Pedestrian Walkway for Multiple Dwellings. Per BMC section 23D.04.070, "All multiple

dwellings shall have a walkway for pedestrian access from the public right-of-way to the building. Such walkway shall be unobstructed, separate, distinct and physically protected from any driveway or off-street parking spaces, by a landscaped strip with a minimum width of two feet". Provide such a walkway on the site plan.

2' WIDE LANDSCAPED STRIP ADDED IN PLAN, PLEASE SEE SHEETS A1.1 AND A1.2

3. Lot Coverage. Lot Coverage is "all the area of a lot, as projected on a horizontal plane, which is enclosed by the exterior walls of buildings or enclosed Accessory Structures; or covered by decks, porches, stairs and/or landings which cover an enclosed space or paved ground area". Include the areas of all balconies which overhang paving below it (i.e. third floor balcony).
ALL BALCONY AND BUILDING OVERHANGS WERE ADDED TO THE FOOTPRINT AREA. PLEASE SEE SHEET A1.1 AND A0.1
4. Application Submittal Requirements. The following required items were missing from the application submittal, and must be submitted for application completeness:
 - a. Neighbor signatures. Because the project description and building design have changed, you must re-circulate the new plan set and obtain signatures from the neighbors for the new proposal
NEIGHBOR'S SIGNATURE SHEET INCLUDED IN THE RE SUBMITTAL SET
 - b. Pre-application Poster. Because the project description has changed, you must update the yellow poster on the site, and submit photos of the new poster.
POSTER PICTURE INCLUDED IN THE RESUBMITTAL SET
 - c. Tabulation Form. Revise the Tabulation Form in the plan set to reflect any changes made in response to all other comments in this letter.
TAB FORM REVISED

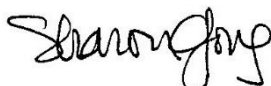
Advisory Comments

5. Department Comments. This application may be routed to other city departments for comments. These comments will be forwarded to you when they are received. Please respond to all department comments, and include revisions and response with your next submittal to Planning. Further revisions to the application may be required based upon your response to these items.

Revised submittal items should be submitted in both paper (**two** 11x17 sets) and electronic form (CD or flash drive), to my attention, to the Permit Service Center at 1947 Center Street, 3rd floor. Please submit responses to **all** requested items at once, and not incrementally. Also, please be aware that if you do not take action on the above items within 60 days, the application may be deemed withdrawn and returned to you.

Should you have questions regarding this letter or your application, please feel free to contact me.

Sincerely,



Sharon Gong
Senior Planner
(510) 981-7429

sgong@cityofberkeley.info

Applicant Statement

2422-5th Street is located in southwest Berkeley in the MU-R Mixed-Use Residential District. The stated purpose of this zoning district is to “combine residential, live/work, light industrial, arts and crafts and other compatible uses, and strengthen residential concentrations which exist within the District.” The existing property at 2422-5th Street consists of a craftsman style duplex structure with an upper unit with access from a front stair, and a lower unit with access from the left side yard. There is a large vacant rear yard. To the north is a single family home. To the south is a large live/work, multi-unit development with a long 3-story wall along its north side, along the south side of the subject property. To the west is a furniture warehouse, located in the MULI district. The rest of the neighborhood is similarly mixed, with warehouses and businesses mixed with residential and live/work uses.

The owner, Anna Gold, is an established acupuncture and wellness practitioner with a focus in fertility. Her current medical offices are in downtown San Francisco, and she would like to move some of her business to this Berkeley location, which is allowed by the MU-R zoning. She would have limited office hours at this location. She and her young family live in the area.

The owner intends to keep the existing duplex as residential rentals, subject to the city’s current rent control ordinances, and add the new Acupuncture and Wellness offices in the rear yard, with 2 new residential units above. This new rear structure will consist of a 3-story building with the wellness offices at ground floor and 2 residences on the upper floors, with access from the south side of the lot. The (2) 2-bedroom units are acoustically separated from each other, allowing privacy to tenants, and each of them will have a large deck to the east side, which will provide required useable open space. The main windows for the new building face east and west, with smaller windows to the north and south, to maintain privacy from the neighboring residences. Windows are placed to avoid alignment with any adjacent openings.

3 parking spaces will be provided along the north side of the lot between the 2 buildings, screened by a 2’ wide planting buffer along the fence. It will provide 3 required parking spaces for the medical offices, and through a joint-use parking agreement, provide 2 spaces for the residences. We request a parking waiver for 2 residential parking spaces, which is supported by a traffic study conducted by an independent traffic engineer. 2 bike racks will also be installed in the side yard, on the north side of the property, and additional bike parking can be accommodated in the units. The parking layout was extensively reviewed with Peter Chun, the city traffic engineer, and complies with the requirements of the city. While we initially proposed additional tandem parking on-site, this was rejected by the city engineer. The project meets all of the other development standards for the MU-R zoning, including density, setbacks, FAR, height, lot coverage and open space.

The driveway will be constructed with permeable paving, which would allow the space to also be used for recreation. A planting buffer will separate the driveway from the accessible walk

path along the south side of the property, which leads to the rear building entries. Adjacent to the new building, a planting buffer is planned along the property line to screen the new walkway to the rear yard.

We proposed many alternate layouts for this project before landing on this design. We initially proposed converting the existing upper unit of the duplex into the acupuncture offices, but after reviewing this with the Rent board, this was not deemed the best path forward to protect existing older stock housing. Providing accessibility to the existing home would also be more challenging, requiring a lift or elevator. We also looked at alternate layouts for the new building, including parking in a garage, with an "L" shaped building along the north and west. This created a bigger building that would have greater impacts on the neighbors, so we felt the compact design of the current proposal with open parking provides the best project for the neighborhood.

The new building design follows traditional design principles of gabled roofs and bay windows that echo some of the neighboring structures, and also has more modern features such as cement plaster, wood slat screening system and railings, and large windows. The palette is neutral and simple, consisting of white & mint-grey cement plaster and painted wood siding. The medical offices will be accessed through a screened covered porch, both from the walkway and from the parking, to allow for more privacy and weather protection.

This is a low-impact project that fits in well with the neighborhood character and typology.

5TH STREET TOWNHOMES AND WELLNESS OFFICES - Neighborhood Meeting

June 18, 2019 – 6:30pm – 8:00pm
Ground Floor of DDA, 928 Carleton Street,
Berkeley, CA 94710

You are invited to an open house to hear about the project, which proposes to add two new dwelling units and 1 acupuncture & wellness office at rear yard. Existing front duplex to remain. Members of the design team will be in attendance to present the project and to try to answer any questions that you may have.



If you have any questions about the project please call Devi Dutta Architecture
510.705.1937



PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704
Tel: 510.981.7410 TDD: 510.981.6903 Fax: 510.981.7420 Email: Planning@CityofBerkeley.info

TABULATION FORM

Project Address: 2422 5TH STREET Date: 6/21/2019
 Applicant's Name: DEVI DUTTA ARCHITECTURE
 Zoning District MIXED USE RESIDENTIAL (MUR)

Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units, Parking Spaces & Bedrooms			
Number of Dwelling Units (#)	2	4 + OFFICE	$\frac{1\text{DU}}{1250} = \frac{6250}{1250} = 5$ ALLOWABLE UNITS
Number of Parking Spaces (#)	2	3 MEDICAL, 2 JOINT USE, 2 WAIVER	1/UNIT 1/300 SF MED
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)	4	8	-
Yards and Height			
Front Yard Setback (Feet)	19'	19'	5'
Side Yard Setbacks: (facing property)	Left: (Feet)	5'	10% OF LOT WIDTH= 5'
	Right: (Feet)	5'	10% OF LOT WIDTH=5'
Rear Yard Setback (Feet)	67'	4'	NONE ADJACENT TO NON RES.
Building Height* (# Stories)	2	3	3
Average* (Feet)	16'-3"	32'	-
Maximum* (Feet)	18'-1/2"	35'	35'
Areas			
Lot Area (Square-Feet)	6250	6250	40' WIDTH MIN.
Gross Floor Area* (Square-Feet)			
Total Area Covered by All Floors	1670	4806	-
Building Footprint* (Square-Feet)	984 (INCL STAIRS)	2420	-
Total of All Structures			
Lot Coverage* (%) (Footprint/Lot Area)	15.7%	$\frac{2420}{6250} / \%8.7$	<40%
Useable Open Space* (Square-Feet)	3297 SF	687 SF	150 / UNIT = 600 SF
Floor Area Ratio* Non-Residential only (Except ES-R)	N/A	0.77	1.5

*See Definitions – Zoning Ordinance Title 23F.

Revised: 05/15

SIGN-IN SHEET
2422-5TH STREET NEIGHBORHOOD MEETING
6/18/19

NAME	ADDRESS	EMAIL
	Berkeley, CA 94704	
Samuel Moor	2430-5 th St. E	camoor2003@yahoo.com
Rowena Carlson	2130 5 th St. Studio 6	rmcarlson5@yahoo.com
Robb Walker	2430 5 th St Studio 6	robbmw@icloud.com
Lupe R. Lee	" " , Unit C	lupe.lee@yahoo.com
Gabrielle Romain	2422 5 th St, B	gabrielle.romain@gmail.com
Bala Ramesh	"	rbkran@gmail.com
Ryan Cummings	806 Channing Way	ryan@buenoluna.com

Devi Dutta ARCHITECTURE Inc.
928 Carleton Street
Berkeley, CA 94710



DEVI DUTTA ARCHITECTURE
928 CARLETON ST
BERKELEY CA, 94710

Summary of neighborhood meeting regarding 2422-5th Street.

Held on 6/18/19, 6:30pm

At 928 Carleton Street (architect's offices) which is located a few blocks from the project site.

Devi Dutta Architecture sent out over 150 meeting notices based on the neighbor addresses provided by our project planner. The meeting was hosted by the owners of the property, Anna & Carl Gold, and the architect Devi Dutta-Choudhury. Seven (7) neighbors attended the meeting, (4) of whom lived in the multi-unit live/work loft building just south of the property at 2430-5th Street. Two (2) of the residents, Robb Walker & Rowena Carlson, said they would not be affected by the project directly, but said they were able to provide us with drawings of their building. Robb suggested that we turn the building towards the north property line so the building would be further away from theirs, or hire our own parking consultant to push back against the city's traffic engineer requirements for the parking dimensions. One of the residents Carol Moore, at Unit E of the adjacent building, was concerned about the impacts to her view. She currently looks over the backyard of the project site. (She bought her unit last fall, and the project yellow sign was already up, and was disclosed by her realtor.) She brought photos of her current views from the garden, kitchen and loft of her 3-story unit. Another tenant of the same building who came did not express any concerns since his unit was further east on the site than Carol's. The current tenants of the rent-controlled apartments that are being maintained at the project site also came to the meeting. They were generally positive about the project, but wanted more information about the timeline for construction so they could plan accordingly.

After the meeting, Robb Walker sent us drawings of the adjacent building, which we used to fill out more information on our drawings. The adjacent building is 3-stories tall, and has a continuous wall from the west property line to the east line at 5th street. It casts a shadow on the project site for most of the day. The building is about 17 feet away from the proposed new building. Our shadow studies show that at the summer solstice, when the sun is further north than the rest of the year, there is a new shadow cast on the building to the south in the late afternoon/evening, but does not show additional shadow impacts other times of the year. We were also able to overlay the window layout of the proposed building against the adjacent building. After reviewing this overlay, we adjusted windows on the south side of our building so we did not align with the neighbor's building. We've added the floor plans and sections of the adjacent building to our plans to show the relationships, and we show a perspective view of what it would look like from the existing windows towards our site. Note that these units also have a large lofted space with large windows and natural light on the other side of the units.

After the meeting we received a couple of phone calls about the project. One was from another neighbor at 2430-5th street who has his business at the site, but does not currently live there. We called him back and left a message. We also received another phone call from someone in the neighborhood concerned about parking. He said he will provide a letter with his specific concerns.

The neighboring tenants who had concerns about impacts also asked if they would be able to buy the new units in the proposed building, but the owners intend to keep all units on site as rentals.



5TH STREET TOWNHOMES AND WELLNESS OFFICES

2422 5TH STREET, BERKELEY, CA 94710

ARCHITECT/APPLICANT

DEVI DUTTA-CHOUDHURY, AIA
DEVI DUTTA ARCHITECTURE
928 CARLETON STREET
BERKELEY, CA 94710
510/705-1937
hello@devidutta.com

OWNER

ANNA & CARL GOLD
2422 5TH STREET
BERKELEY, CA 94710

LANDSCAPE

MANTLE LANDSCAPE
ARCHITECTURE
930 CARLETON STREET
BERKELEY, CA 94710
510-927-3202

TRAFFIC ENGINEER

ABRAMS ASSOCIATES
1875 OLYMPIC BOULEVARD,
SUITE 210
WALNUT CREEK, CA 94596
925-945-0201

PROJECT DESCRIPTION

CONSTRUCTION OF 2 NEW DWELLING UNITS AND 1 ACUPUNCTURE & WELLNESS OFFICE AT REAR YARD. EXISTING FRONT DUPLEX TO REMAIN.

SHEET LIST ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 PROJECT INFORMATION
- A0.2 AREA DIAGRAMS
- A0.3 SURVEY
- A0.4 STREET STRIP
- A0.5 VICINITY MAP
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED FIRST FLOOR PLAN
- A1.3 PROPOSED SECOND FLOOR PLAN
- A1.4 PROPOSED THIRD FLOOR PLAN
- A2.1 EAST & NORTH ELEVATIONS
- A2.2 WEST & SOUTH ELEVATIONS
- A3.1 PROPOSED BUILDING SECTIONS
- A3.2 PROPOSED BUILDING SECTIONS
- A5.1 OPEN SPACE DIAGRAM
- A6.1 DETAILS
- A7.1 PERSPECTIVE VIEWS

SHEET LIST LANDSCAPE

- L1.0 SCHEMATIC MATERIAL PLAN
- L2.0 SCHEMATIC PLANTING PLAN
- L2.1 PROPOSED PLANTING PALETTE



A0.0 COVER SHEET
SCALE: 0 4 8 16 32

2422 5TH STREET
Devi Dutta Architecture Inc.

Zoning Submittal
06.21.2019



PROJECT ADDRESS

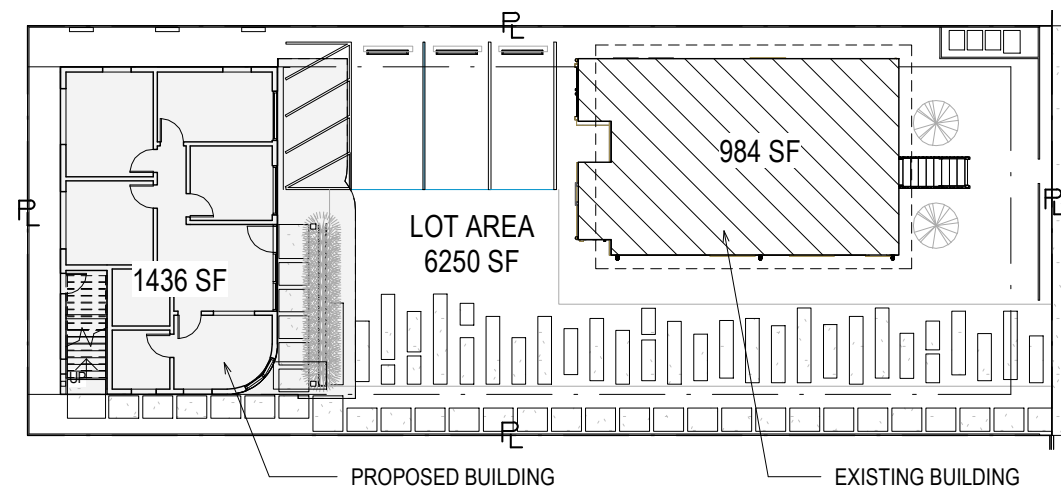
2422 5TH STREET, BERKELEY, CA 74710

ASSESSOR'S PARCEL #:

56-1944-11

ZONING INFORMATION

ZONING DISTRICT: MU-R
 FLOOD ZONE: NO
 FIRE ZONE: 1
 ENV. MGMT AREA: NO
 LANDMARKS STRUCTURE OF MERIT: NO



1 LOT COVERAGE DIAGRAM

3/64" = 1'-0"

A0.1

PROJECT INFORMATION

SCALE: 3/64" = 1'-0" 0 4 8 16 32

ZONING DEVELOPMENT STANDARDS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED/PERMITTED</u>
NUMBER OF DWELLING UNITS	2	4	5 MAX
AREAS			
LOT SIZE	125' X 50' = 6250 SF	125' X 50' = 6250 SF	40' WIDTH MIN.
TOTAL GROSS FLOOR AREA	1670 SF	1670 SF + 3136 SF = 4806 SF	
NEW DUPLEX AREA		2170 SF	
MEDICAL OFFICES AREA		967 SF	
FAR	0.27	0.77	1.5
BUILDING FOOTPRINT	984 SF	984 SF + 1436 SF = 2420 SF	
LOT COVERAGE	15.7 %	38.7 %	40% MAX.
IMPERVIOUS SURFACE	2295 SF	2331 SF	
USEABLE OPEN SPACE	3297 SF	687 SF	600 SF MIN.
HEIGHT & STORIES			
AVERAGE	16'-3"	32' - 0"	35' - 0"
MAXIMUM	18' - 1/2"	35' - 0"	35' - 0"
STORIES	2	3	3
SETBACKS			
FRONT:	19'-0"	19' - 0"	5' - 0"
NORTH SIDE	4' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
SOUTH SIDE	22' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
REAR:	67' - 0"	4' - 0"	NONE (ADJACENT TO NON-RESIDENTIAL)
PARKING SPACES			
RESIDENTIAL	1 / UNIT = 2 TANDEM SPACES	(2) PARKING WAIVER	1 / UNIT = 4 REQUIRED
MEDICAL	N/A	(3) JOINT USE PROPOSED	1 / 300 SF = 3 REQUIRED
BIKE PARKING	NONE	3 PROVIDED	1 / 2000 SF NON-RES AREA = 1 REQ

2422 5TH STREET

Devi Dutta Architecture Inc.

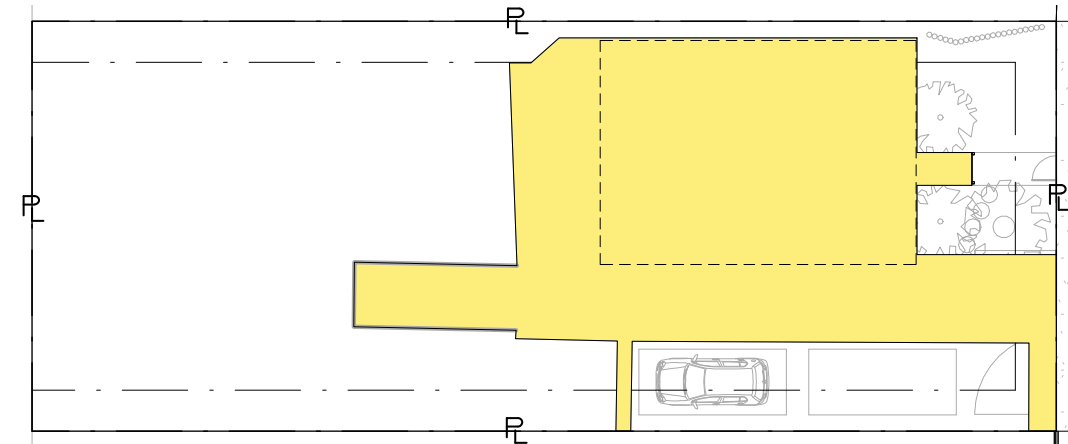
Zoning Submittal

06.21.2019

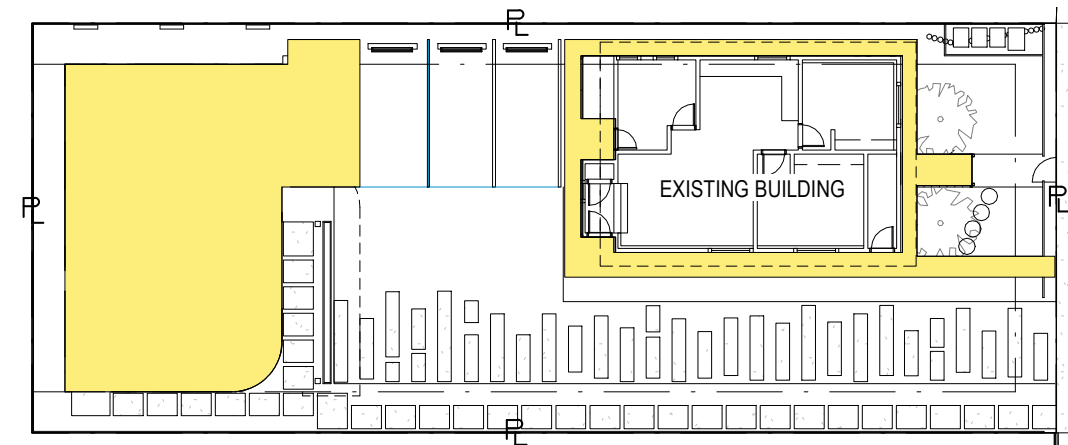


ABBREVIATIONS

A/C	AIR CONDITIONING	JAN.	JANITOR
ADJ.	ADJACENT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR		
ALUM.	ALUMINUM	L.P.	LOW POINT
ALT.	ALTERNATE		
APPROX.	APPROXIMATELY	MAX	MAXIMUM
ARCH.	ARCHITECTURAL	M.C.	MEDICINE CABINET
A.C.T.	ACOUSTIC CEILING TILE	M.D.	MOTION DETECTOR
		MECH.	MECHANICAL
B.BD	TELEPHONE BACK BOARD	MFR	MANUFACTURER
BLDG.	BUILDING	MIN	MINIMUM
BLKG.	BLOCKING	MTD.	MOUNTED
BOT.	BOTTOM	MTL.	METAL
		(N)	NEW
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	NO.	NUMBER
C.G.	CORNER GUARD	N.T.S.	NOT TO SCALE
CHG.	CHANGE	O.C.	ON CENTER
CLG.	CEILING	OFF.	OFFICE
CLOS.	CLOSET	OPNG.	OPENING
CLR.	CLEAR	OPP.	OPPOSITE
C.M.U.	CONCRETE MASONRY UNIT	O.T.B.	OPEN TO BELOW
COL.	COLUMN		
CONC.	CONCRETE	PR.	PAIR
CONN.	CONNECTION	P-LAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PTD.	PAINTED
CORR.	CORRIDOR	PLWD.	PLYWOOD
C.T.	CERAMIC TILE	P.O.	PRIVATE OFFICE
CTR.	CENTER		
DET.	DETAIL	R	RISER
DIA/O	DIAMETER	R.C.P.	REFLECTED CEILING PLAN
DIM.	DIMENSION	R.D.	ROOF DRAIN
DN.	DOWN	REFR.	REFRIGERATOR
DWG.	DRAWING	REQ.	REQUIRED
DS.	DOWNSPOUT	RM.	ROOM
		R.O.	ROUGH OPENING
(E)	EXISTING	S.C.	SOLID CORE
EA	EACH	S.D.	STORM DRAIN
EL	ELEVATION	SAF	SELF-ADHERED FLASHING
ELEC.	ELECTRICAL	STOR.	STORAGE
ELEV.	ELEVATOR	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	SCD	SEE CIVIL DRAWINGS
EXP.	EXPANSION	SED	SEE ELECTRICAL DRAWINGS
EXPOS.	EXPOSED	SLD	SEE LANDSCAPE DRAWINGS
EXT.	EXTERIOR	SMD	SEE MECHANICAL DRAWINGS
		SPD	SEE PLUMBING DRAWINGS
F.D.	FLOOR DRAIN	SSD	SEE STRUCTURAL DRAWINGS
FIN.	FINISH	STRL.	STRUCTURAL
FL	FLOOR		
FLASH.	FLASHING	T	TREAD
FLUOR.	FLUORESCENT	T.B.D.	TO BE DETERMINED
F.O.F.	FACE OF FINISH	T&G	TONGUE AND GROOVE
F.O.S.	FACE OF STUD	TEL.	TELEPHONE
FPRFP.	FIREPROOF	T.O.	TOP OF
FSD	FIRE SEPARATION DISTANCE	TYP.	TYPICAL
FURR.	FURRING		
		U.O.N.	UNLESS OTHERWISE NOTED
GA.	GAGE	V.I.F.	VERIFY IN FIELD
GALV.	GALVANIZED		
G.C.	GENERAL CONTRACTOR	WD.	WOOD
GL	GLASS	W.P.	WATERPROOF
GR.	GRADE		WEATHER RESISTANT BARRIER
GYP. BD.	GYPSUM BOARD	WRB	
H.B.	HOSE BIB		
HC	HANDICAPPED		
H.C.	HOLLOW CORE		
HDWR.	HARDWARE		
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
HP	HIGH POINT		
HR.	HOUR		
H.W.	HOT WATER		
INSUL.	INSULATION/INSULATED		
INT.	INTERIOR		



1 EXISTING IMPERVIOUS SURFACE - 2295 SF
3/64" = 1'-0"



2 NEW OR REPLACED IMPERVIOUS SURFACE - 1624 SF
3/64" = 1'-0"

A0.2

AREA DIAGRAMS

SCALE: **3/64" = 1'-0"**



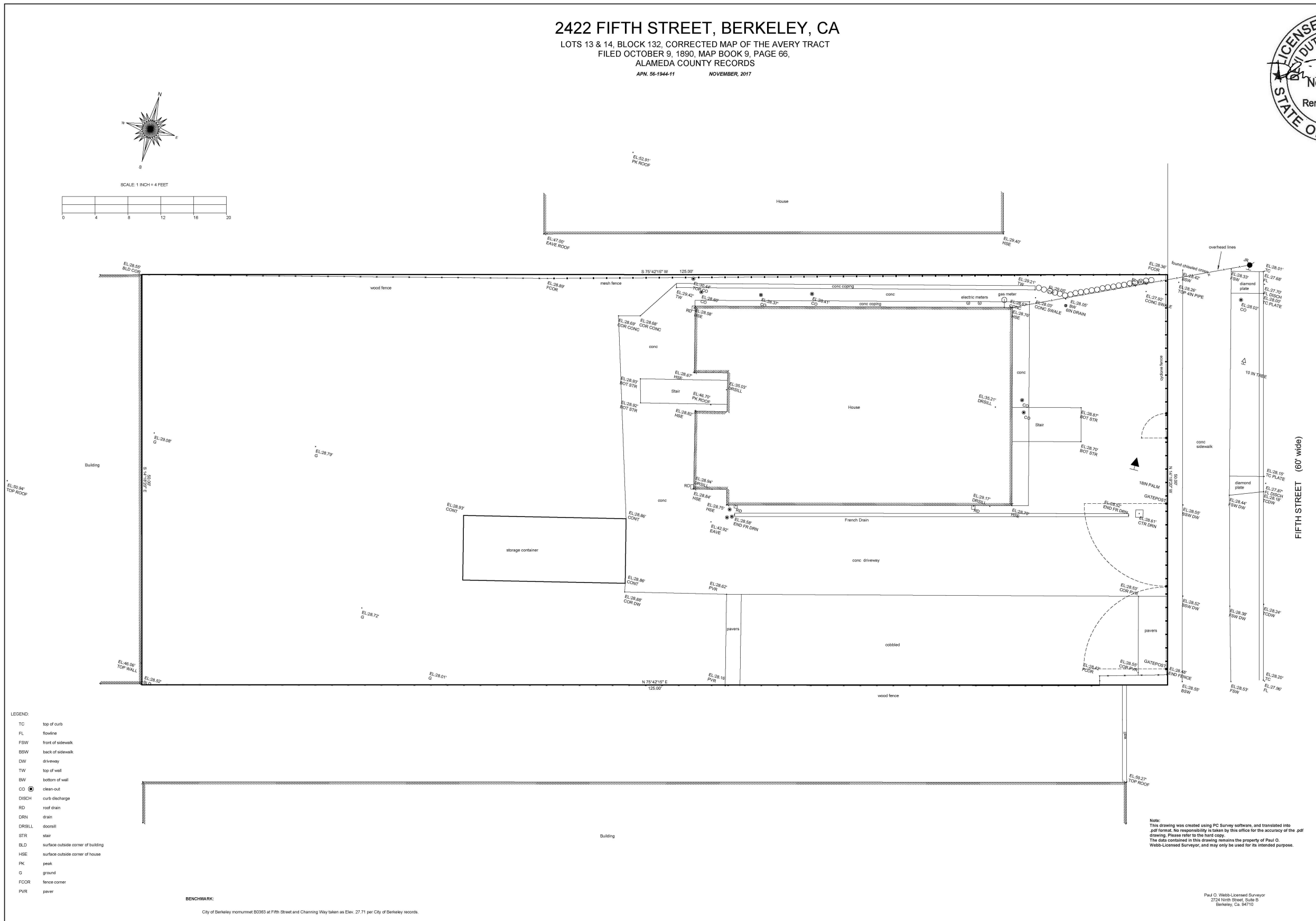
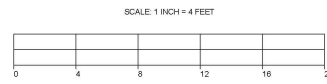
2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

06.21.2019

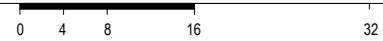
2422 FIFTH STREET, BERKELEY, CA
LOTS 13 & 14, BLOCK 132, CORRECTED MAP OF THE AVERY TRACT
FILED OCTOBER 9, 1890, MAP BOOK 9, PAGE 66,
ALAMEDA COUNTY RECORDS
APN. 56-1944-11 NOVEMBER, 2017



0.3

SURVEY

SCALE:

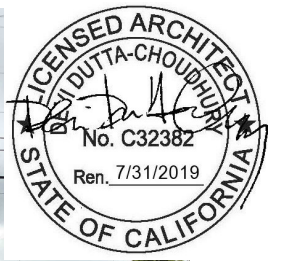


2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

06.21.2019



EXISTING WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



PROPOSED WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



EXISTING EAST VIEW 2422 5TH STREET

A0.4

STREET STRIP

SCALE:

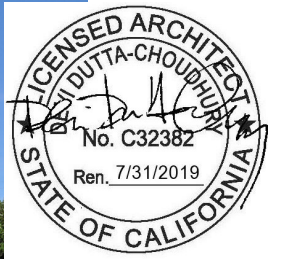


2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

06.21.2019

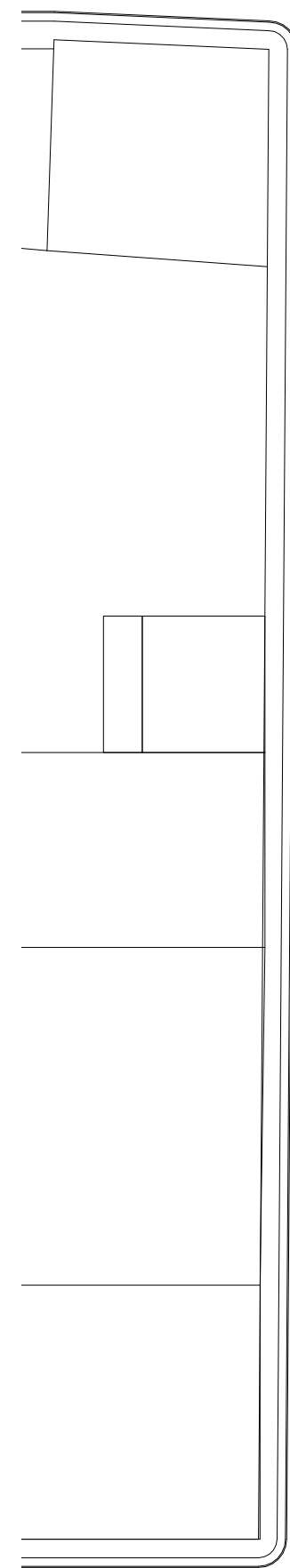
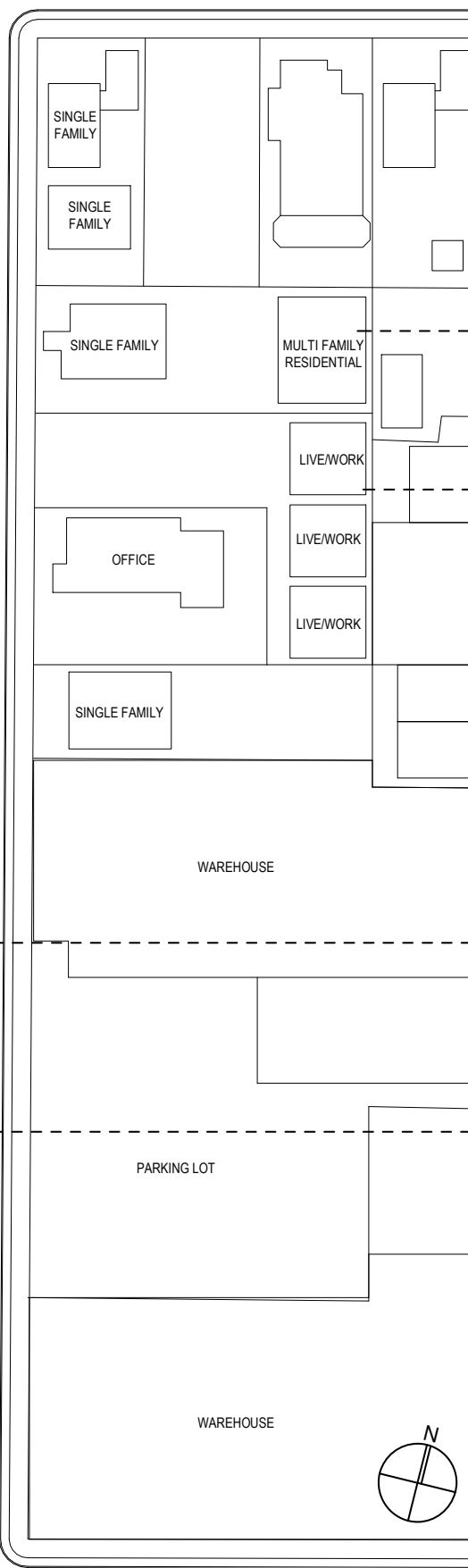
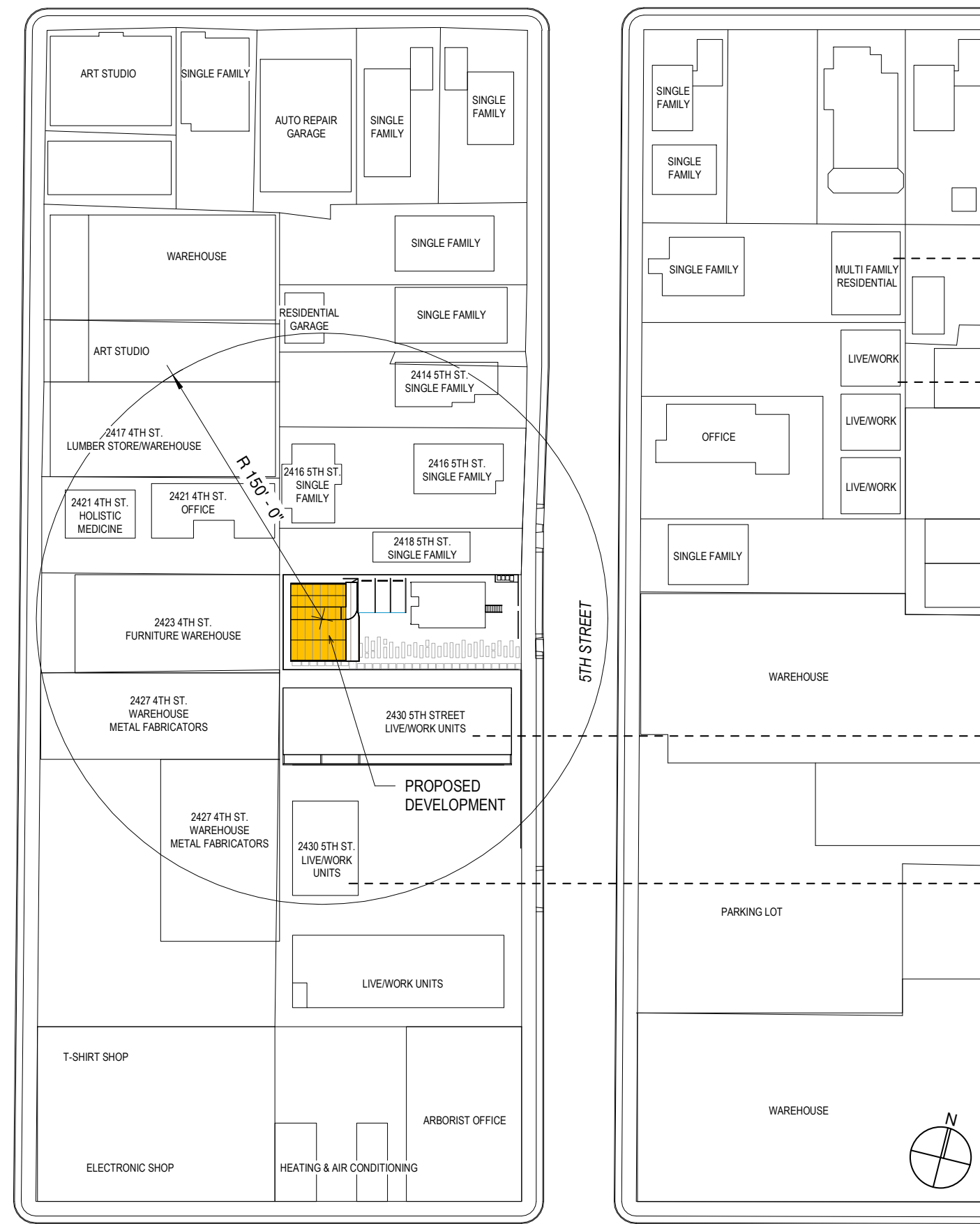


2422 5TH STREET

Zoning Submittal

Devi Dutta Architecture Inc.

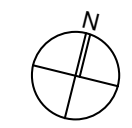
06.21.2019

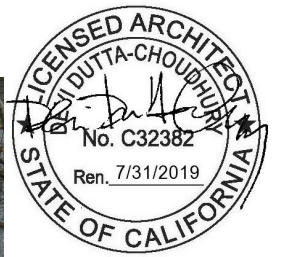


A0.5

VICINITY MAP

SCALE: 1/64" = 1'-0" 0 4 8 16 32





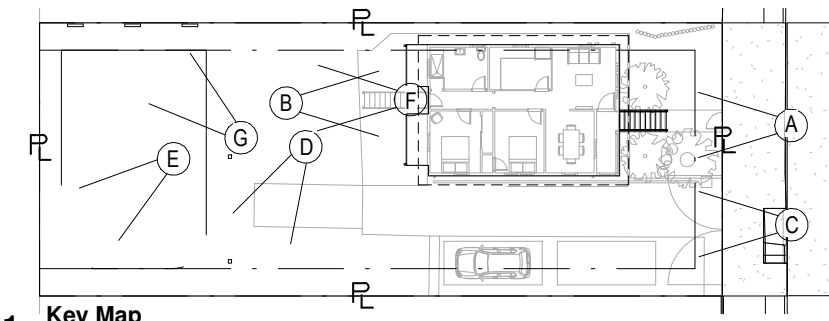
A - EXISTING FRONT OF HOUSE



B - EXISTING BACK OF HOUSE



C - EXISTING DRIVEWAY



1 Key Map
1/32" = 1'-0"



D,E - ADJACENT MULTI-FAMILY BUILDING



F - EXISTING REAR STAIR/YARD



G - REAR YARD NORTH SIDE

A0.6

SITE PHOTOS

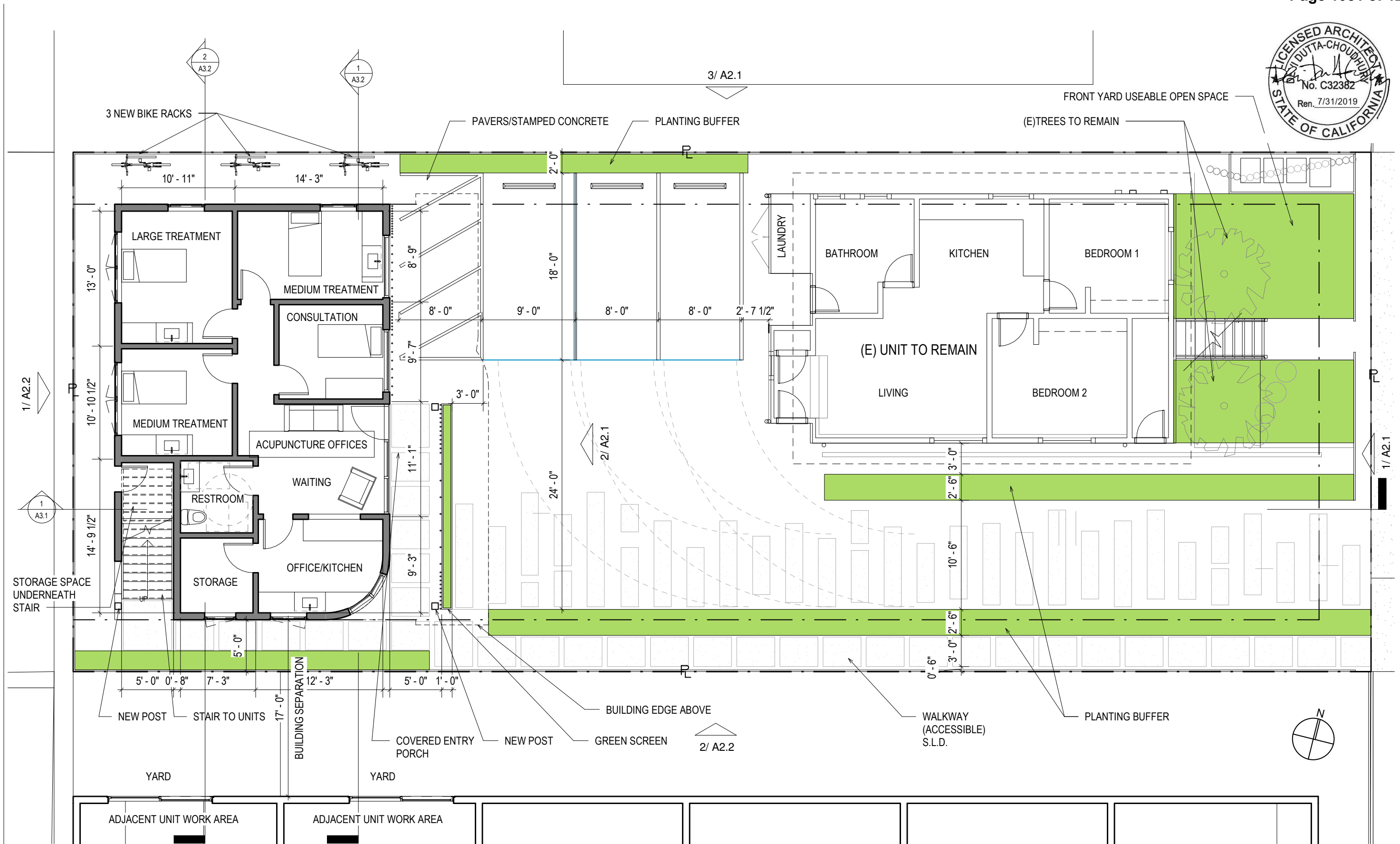
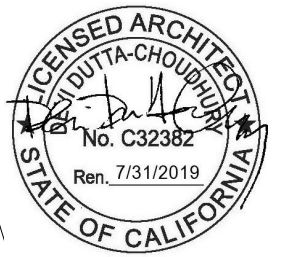
SCALE: 1/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

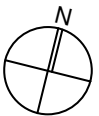
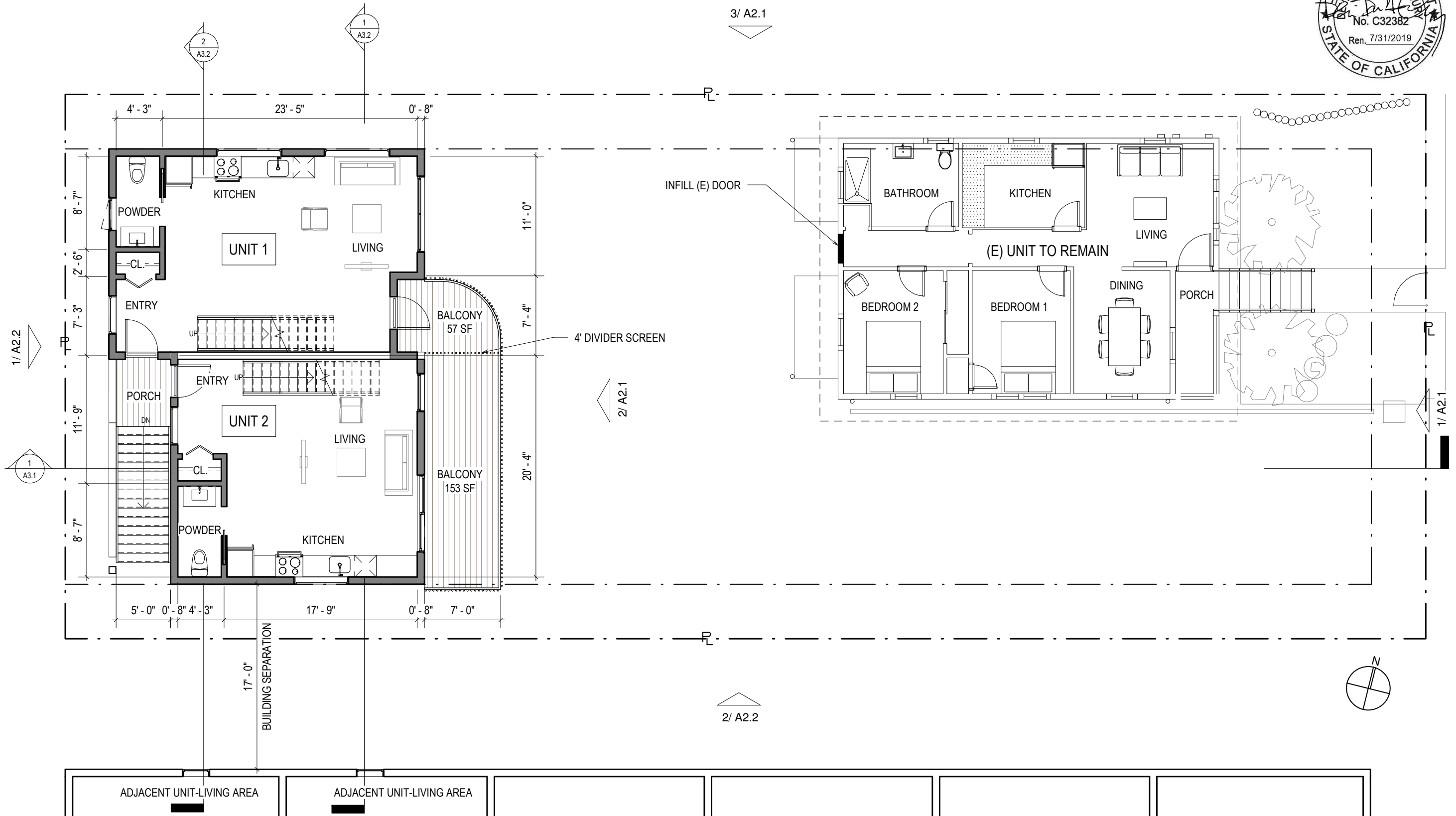
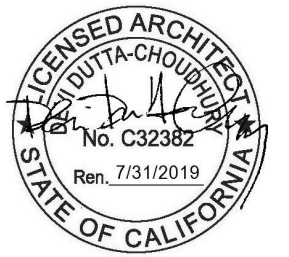
Zoning Submittal

06.21.2019



A1.2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"





A1.3

PROPOSED SECOND FLOOR PLAN

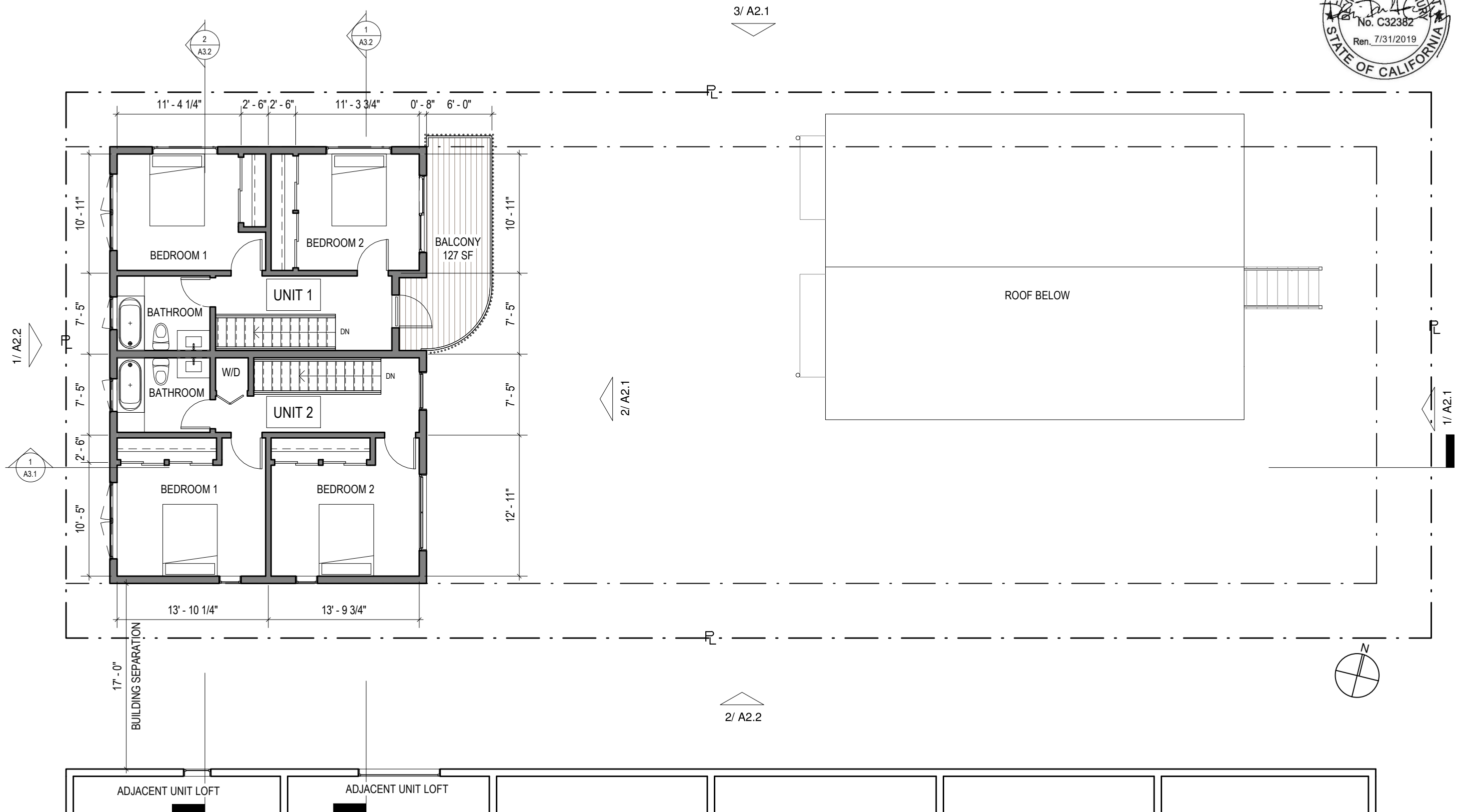
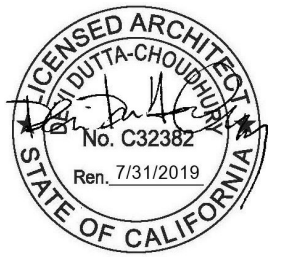
SCALE: 1/8" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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A1.4

PROPOSED THIRD FLOOR PLAN

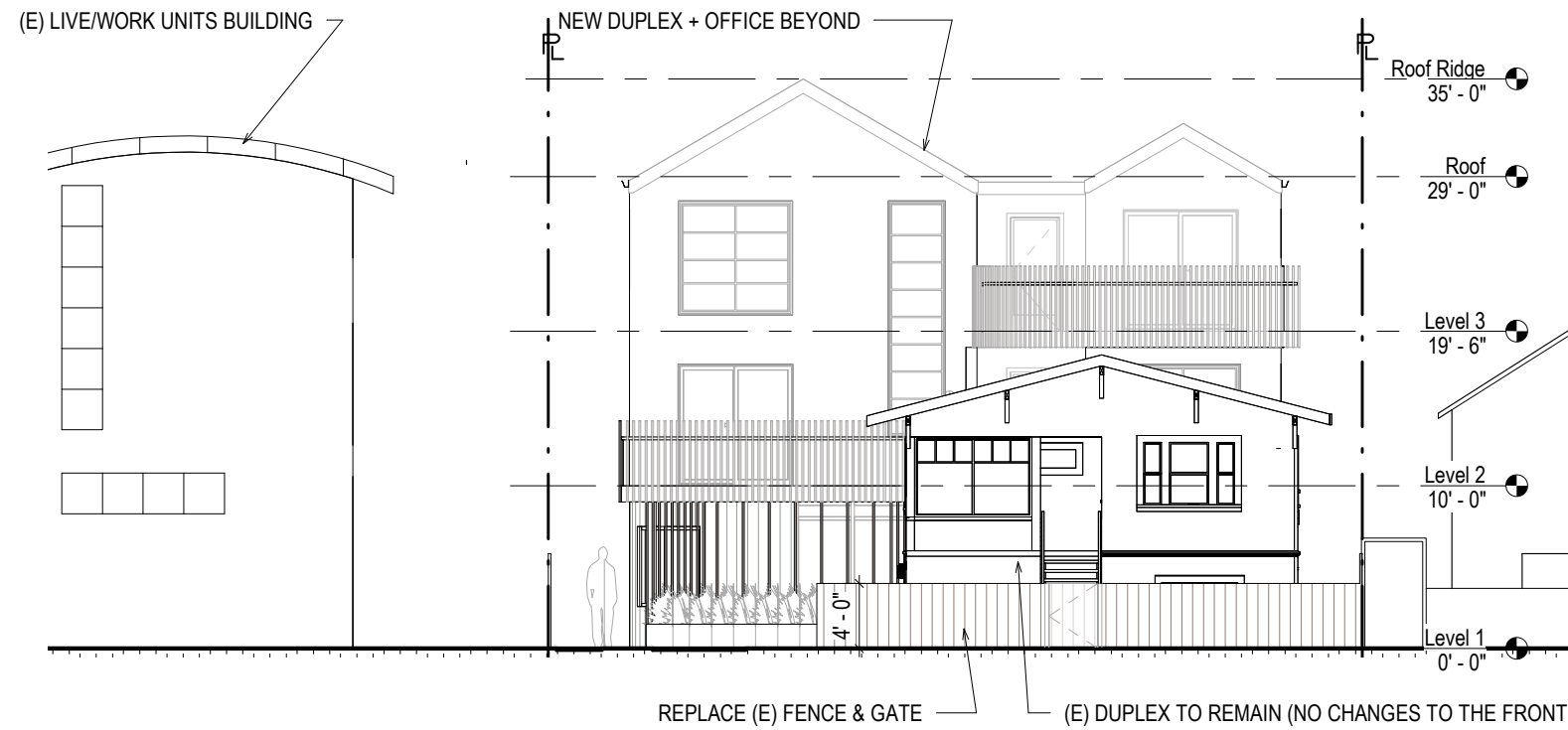
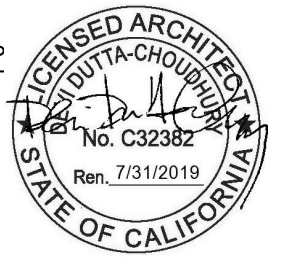
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2422 5TH STREET

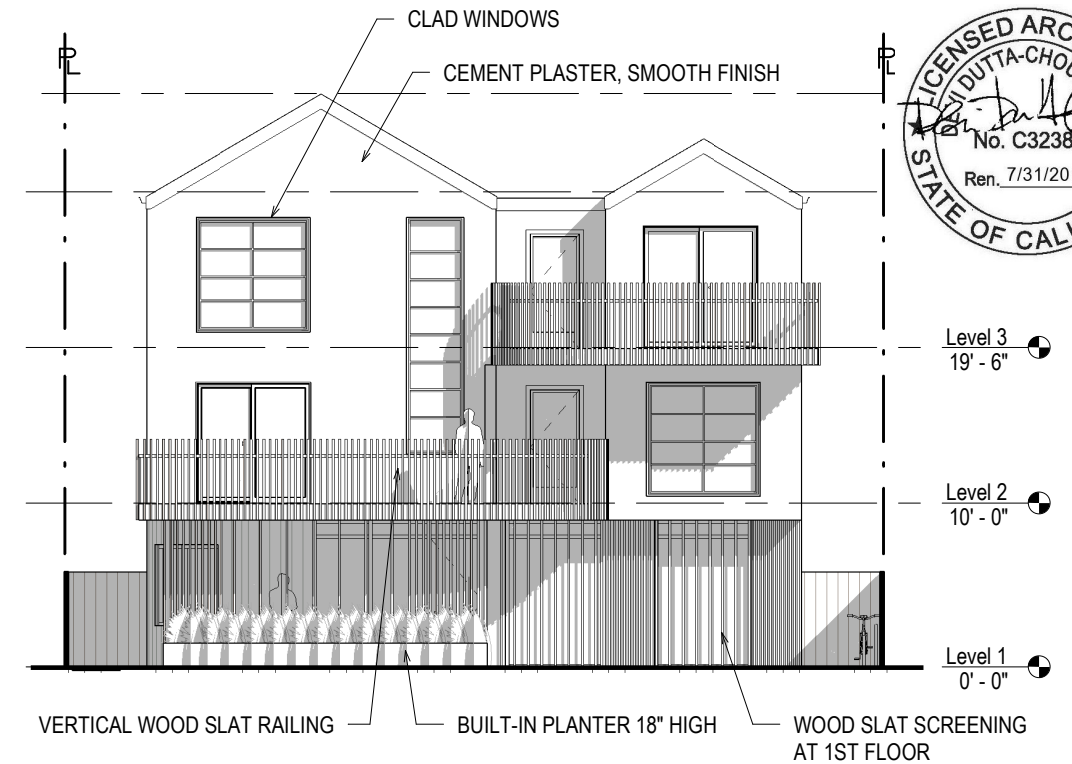
Devi Dutta Architecture Inc.

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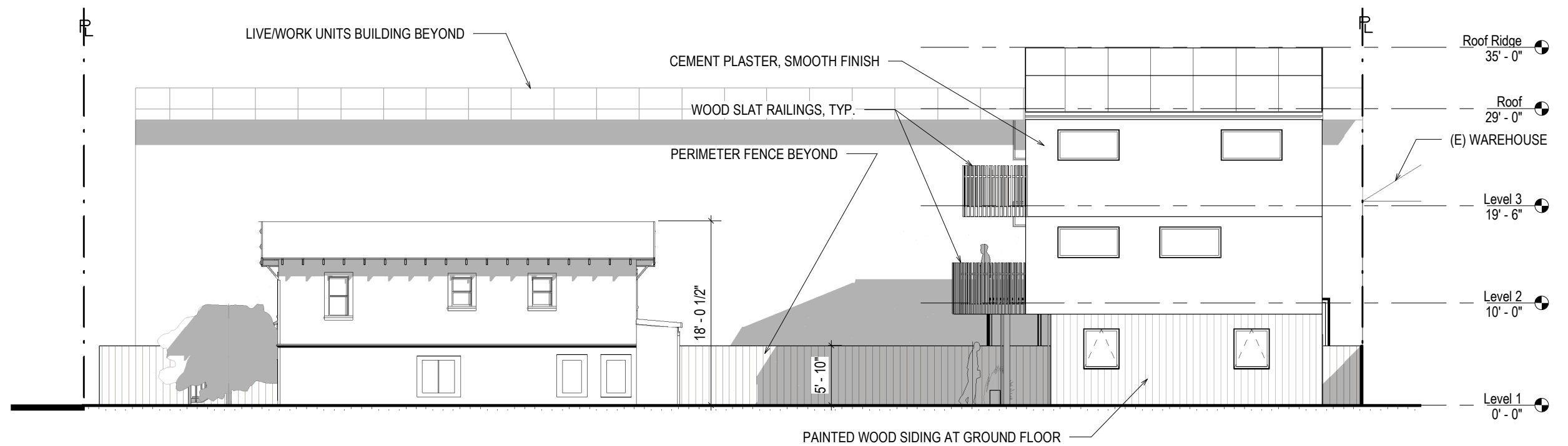
06.21.2019



1 PROPOSED STREET ELEVATION (FRONT)
3/32" = 1'-0"



2 PROPOSED BUILDING EAST ELEVATION (FRONT)
3/32" = 1'-0"



3 PROPOSED NORTH ELEVATION (RIGHT SIDE)
3/32" = 1'-0"

A2.1

EAST & NORTH ELEVATIONS

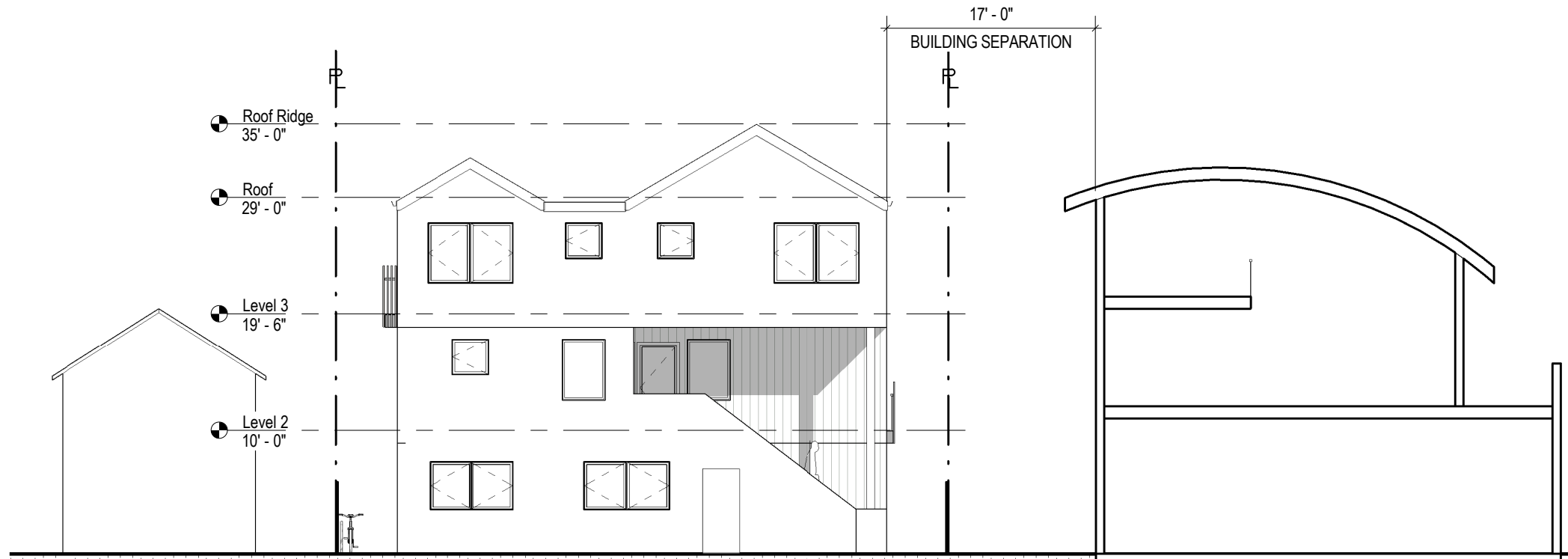
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2422 5TH STREET

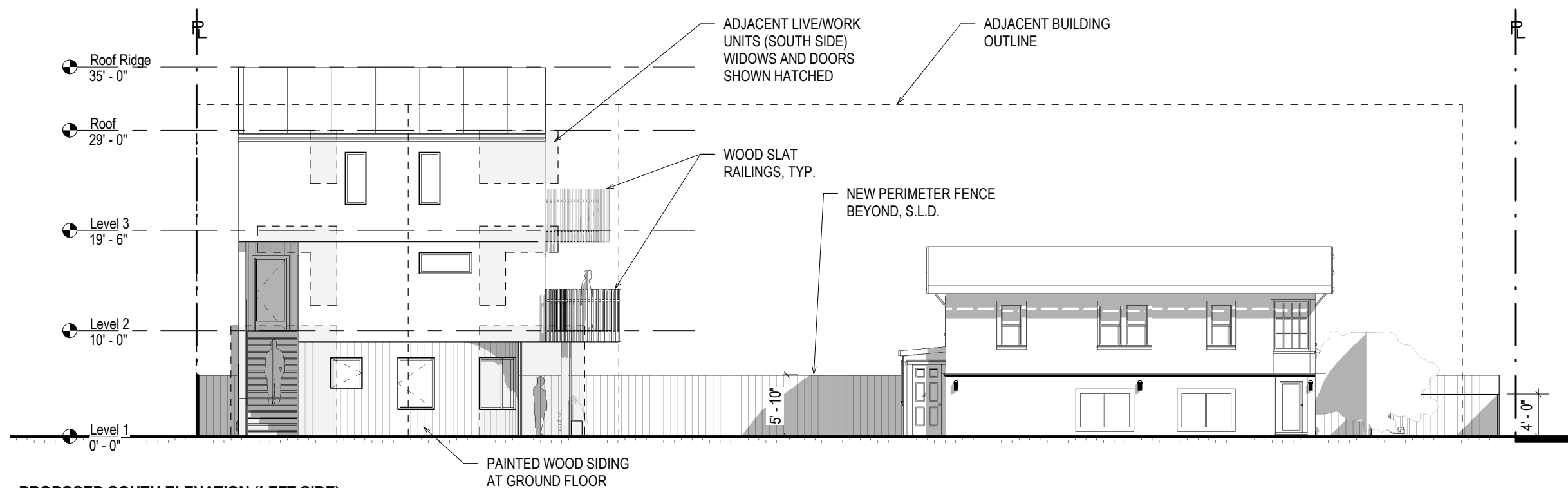
Devi Dutta Architecture Inc.

Zoning Submittal

06.21.2019



1 PROPOSED WEST ELEVATION (BACK)
3/32" = 1'-0"



2 PROPOSED SOUTH ELEVATION (LEFT SIDE)
3/32" = 1'-0"

A2.2

WEST & SOUTH ELEVATIONS

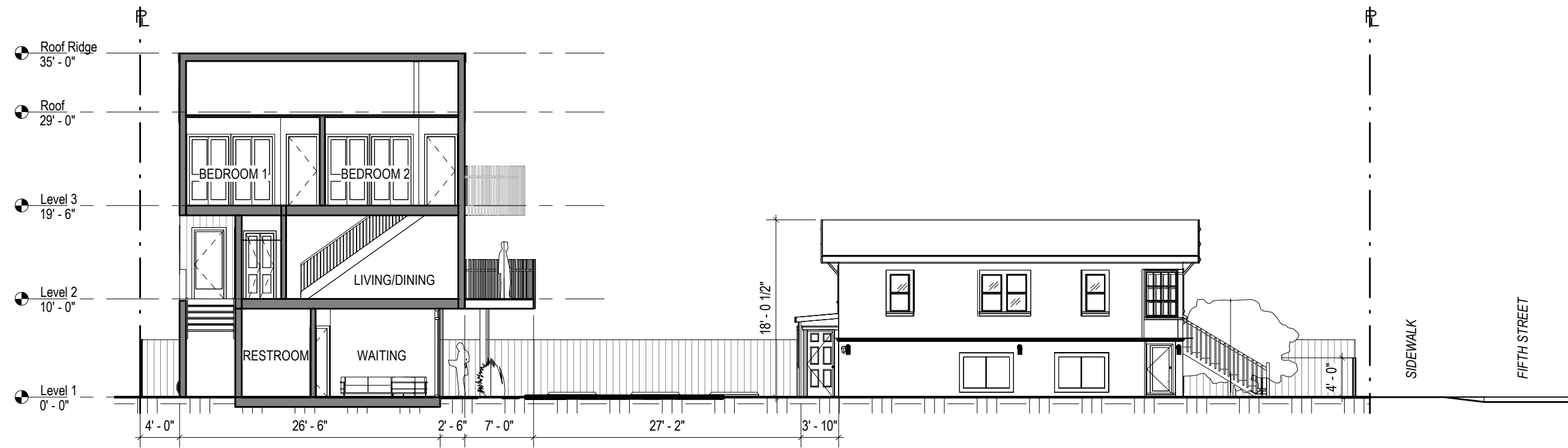
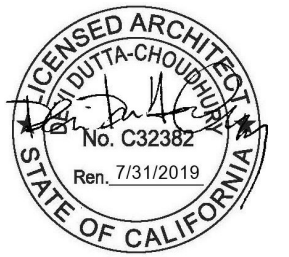
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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Zoning Submittal

06.21.2019



1 PROPOSED NORTH SECTION
3/32" = 1'-0"

A3.1

PROPOSED BUILDING SECTIONS

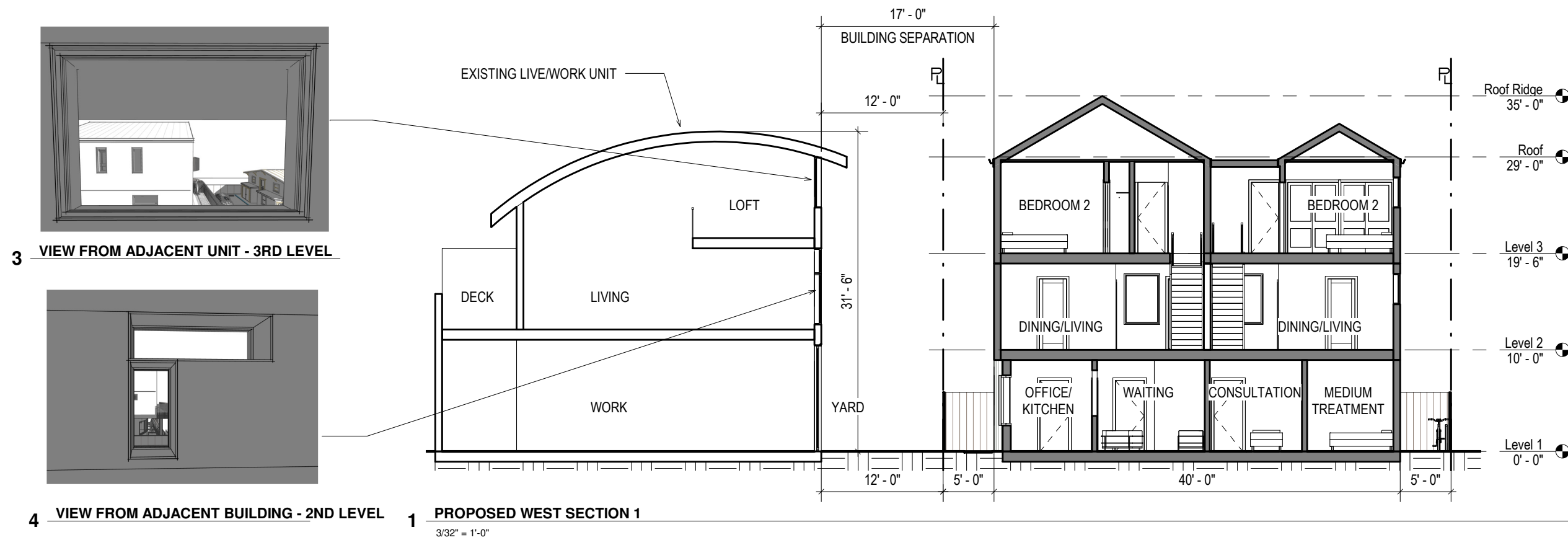
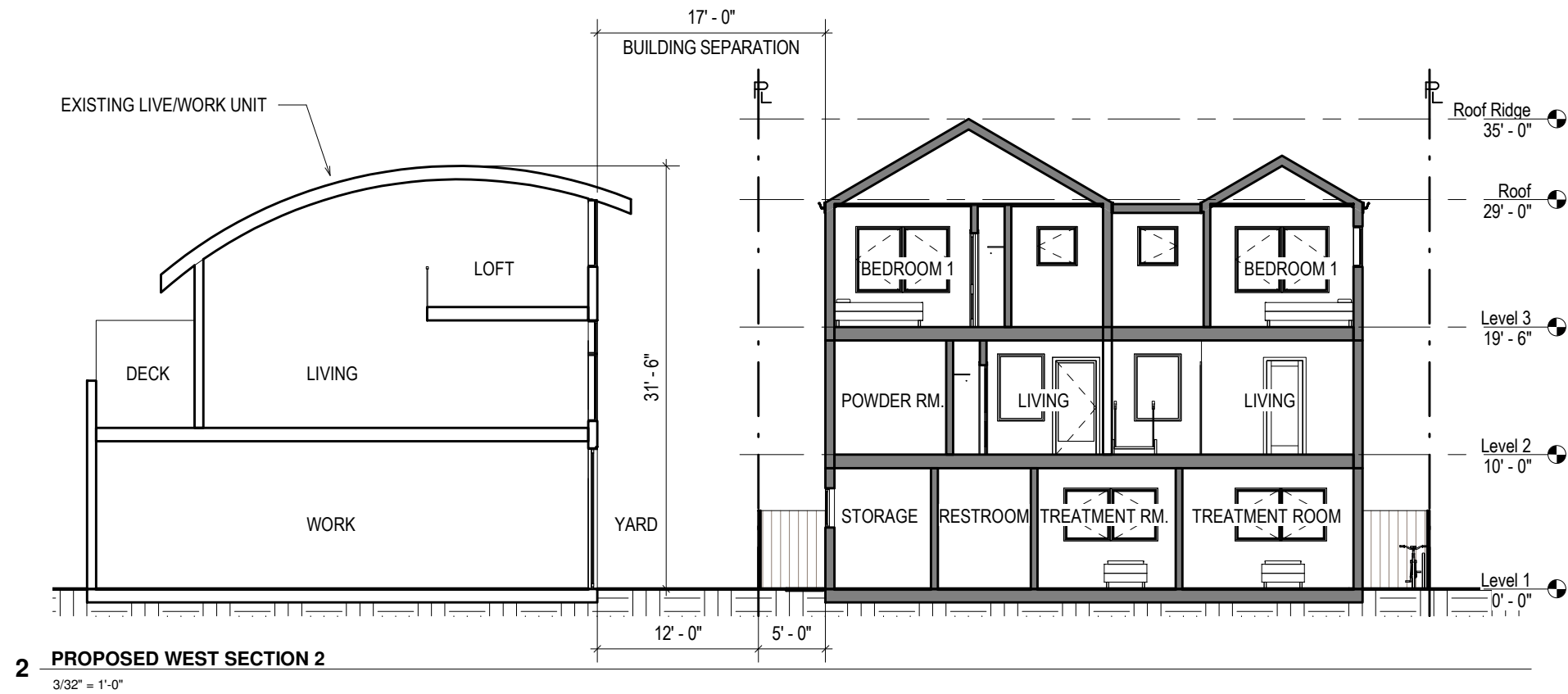
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2422 5TH STREET

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A3.2

PROPOSED BUILDING SECTIONS

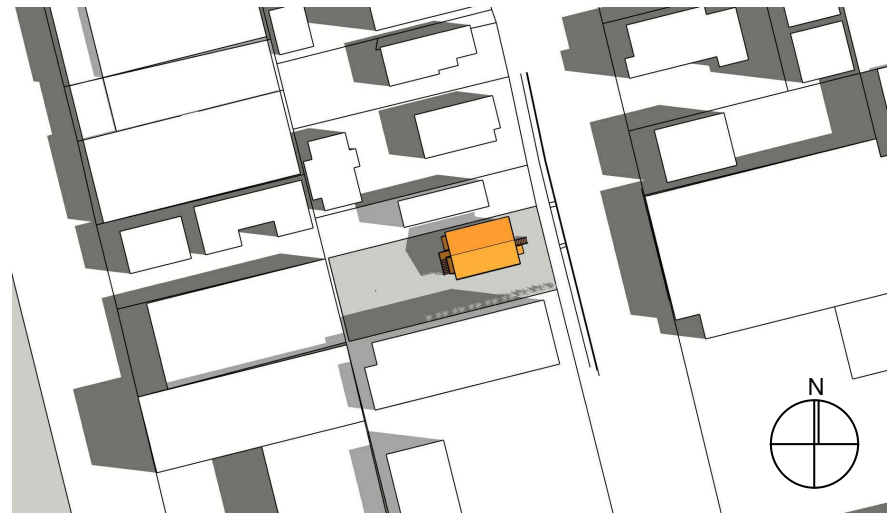
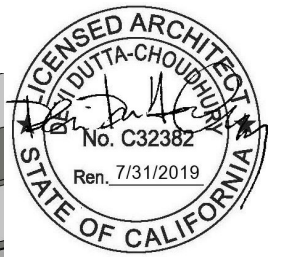
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2422 5TH STREET

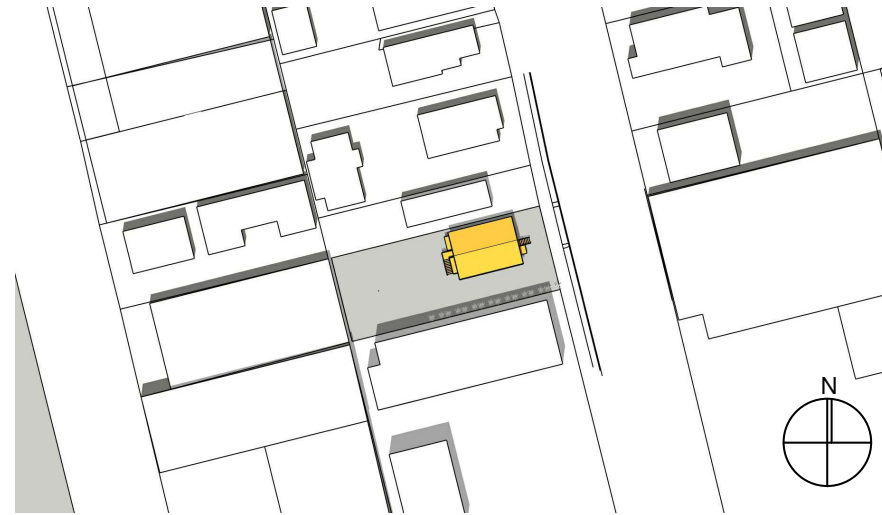
Devi Dutta Architecture Inc.

Zoning Submittal

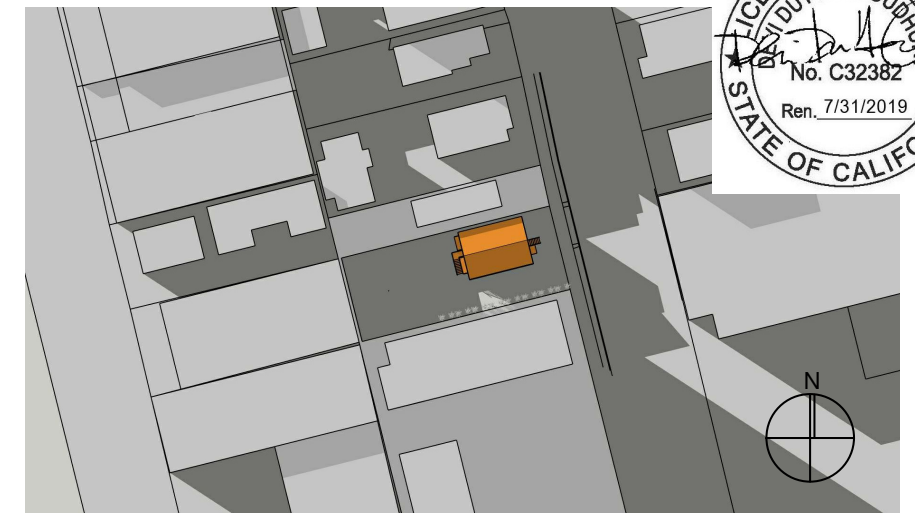
06.21.2019



1 EXISTING-JUNE 21 - 2 HR AFTER SUNRISE



2 EXISTING - JUNE 21 - 12.00 PM



3 EXISTING - JUNE 21 - 2 HR BEFORE SUNSET

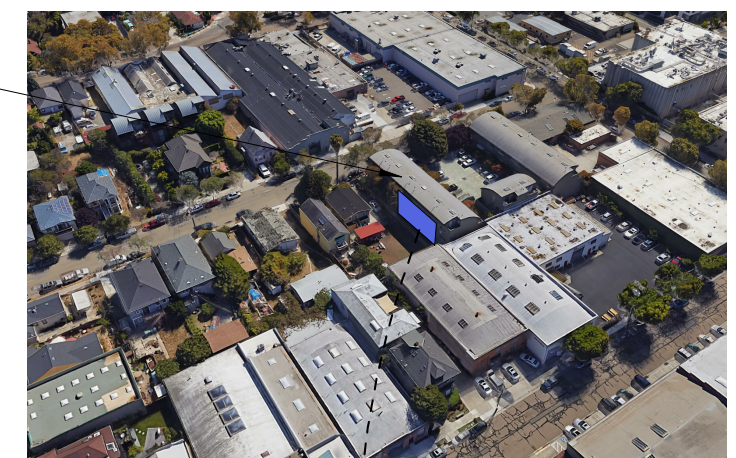


2423 4TH STREET - WAREHOUSE

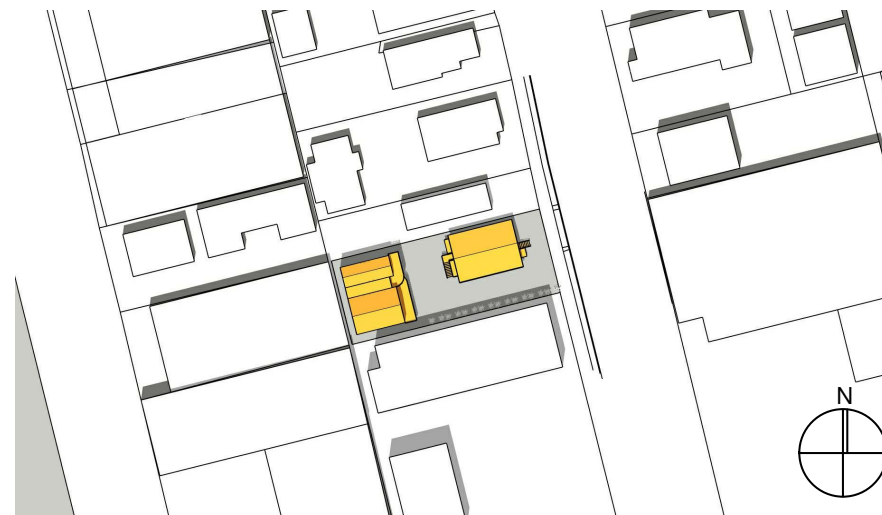
2430 4TH STREET - 3 STORY MULTI-FAMILY
BATHROOM & LIVING (ASSUMED)

SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - JUNE 21 - 2 HOUR AFTER SUNRISE



5 PROPOSED - JUNE 21 - 12.00 PM

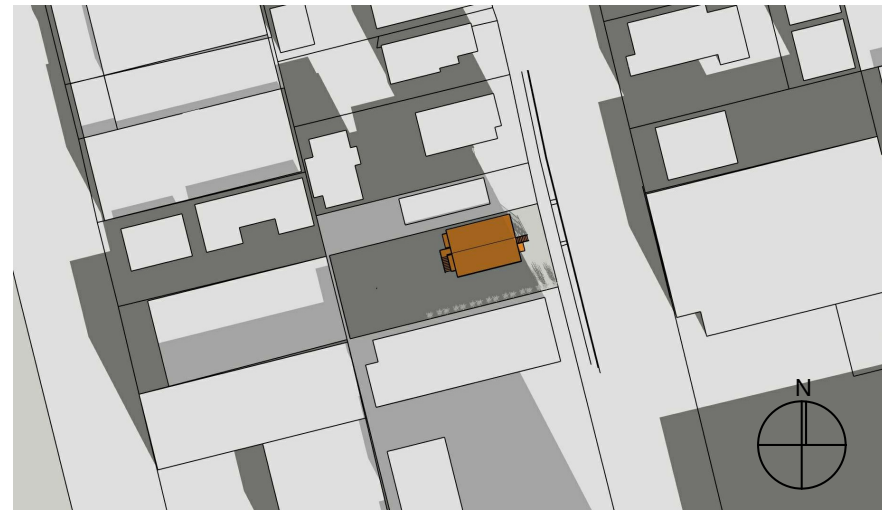
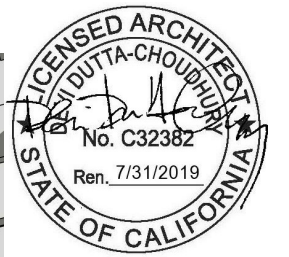


6 PROPOSED - JUNE 21 - 2 HR BEFORE SUNSET

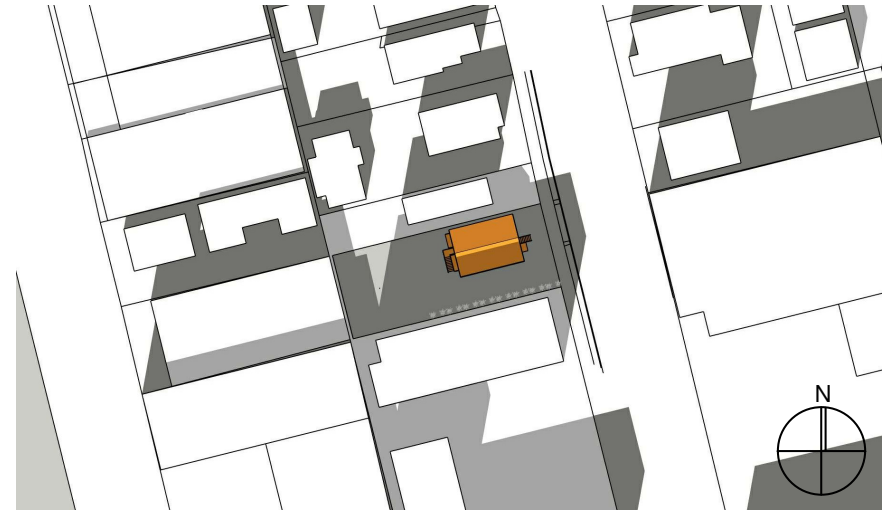
A4.1 SHADOW STUDIES - SUMMER SOLSTICE

SCALE: As indicated

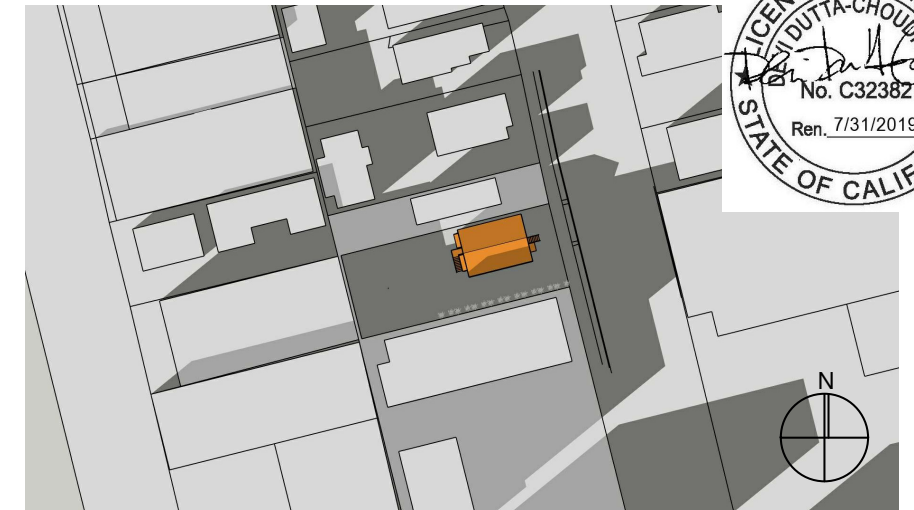
0 4 8 16 32



1 EXISTING - DECEMBER 21 - 2 HR AFTER SUNRISE



2 EXISTING - DECEMBER 21 - 12.00 PM



3 EXISTING - DECEMBER 21 - 2 HR BEFORE SUNSET



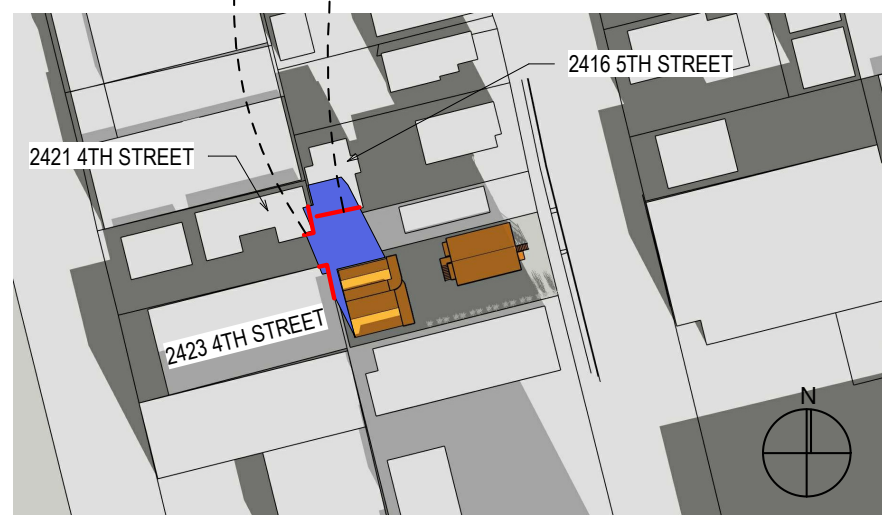
2421 4TH STREET - OFFICE BUILDING

2416 5TH STREET - 1 STORY SINGLE FAMILY

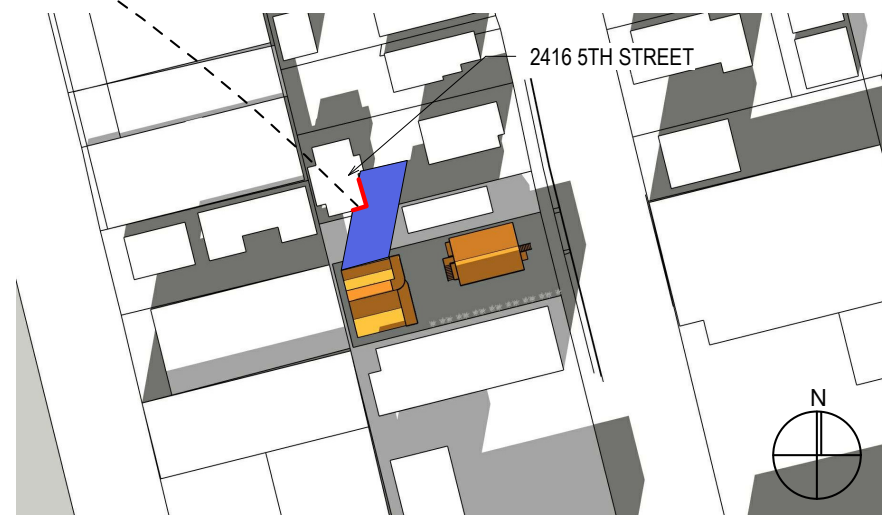
2418 5TH STREET - 2 STORY SINGLE FAMILY - LIVING ROOM (ASSUMED)

SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - DECEMBER 21 - 2 HR AFTER SUNRISE



5 PROPOSED - DECEMBER 21 - 12.00 PM



6 PROPOSED - DECEMBER 21 - 2 HR BEFORE SUNSET

A4.2

SHADOW STUDIES WINTER SOLSTICE

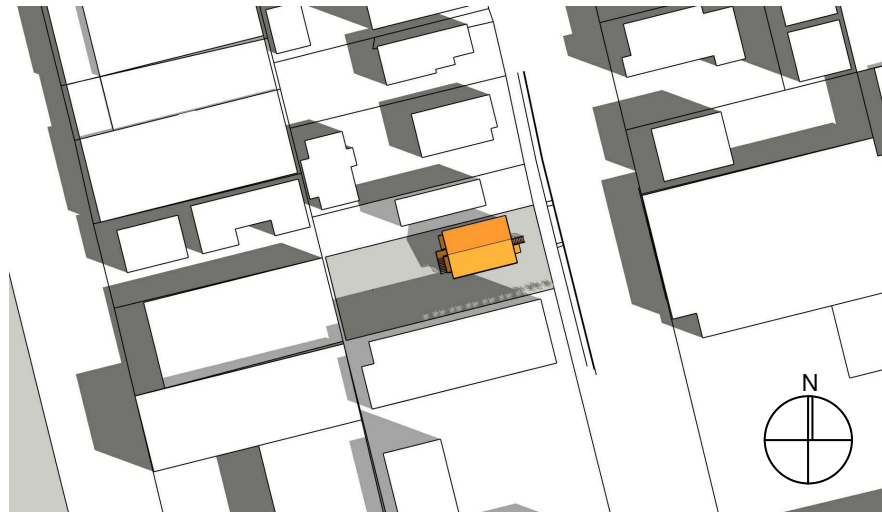
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2422 5TH STREET

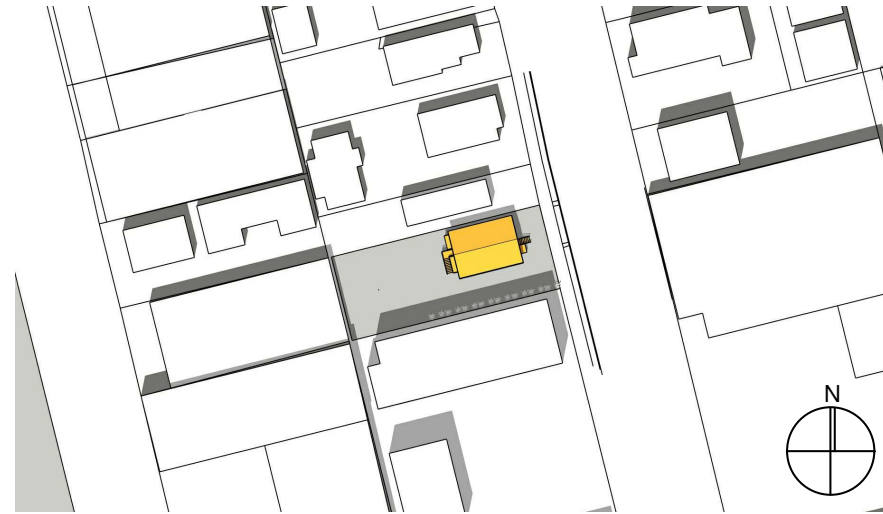
Devi Dutta Architecture Inc.

Zoning Submittal

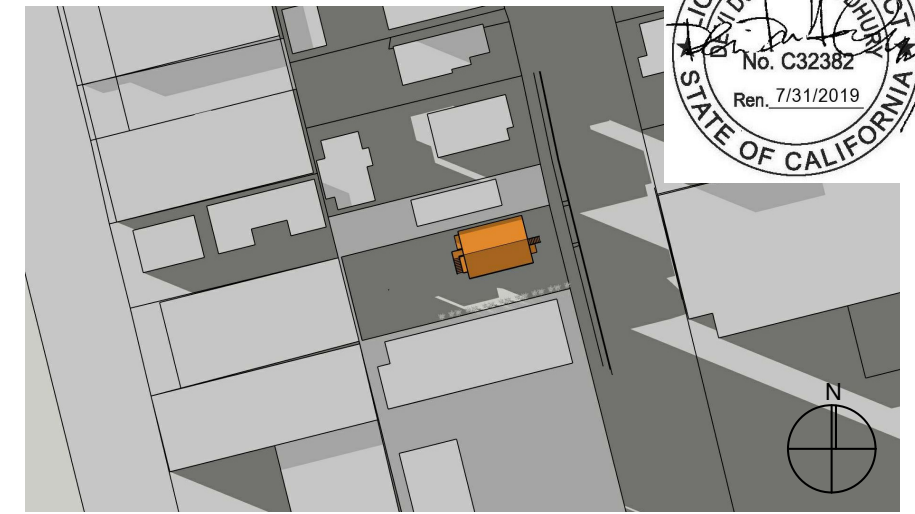
06.21.2019



1 EXISTING - MAY 1 - 8.13 AM



2 EXISTING - MAY 1 - 12.00 PM



3 EXISTING - MAY 1 - 6.00 PM



2423 4TH STREET - WAREHOUSE

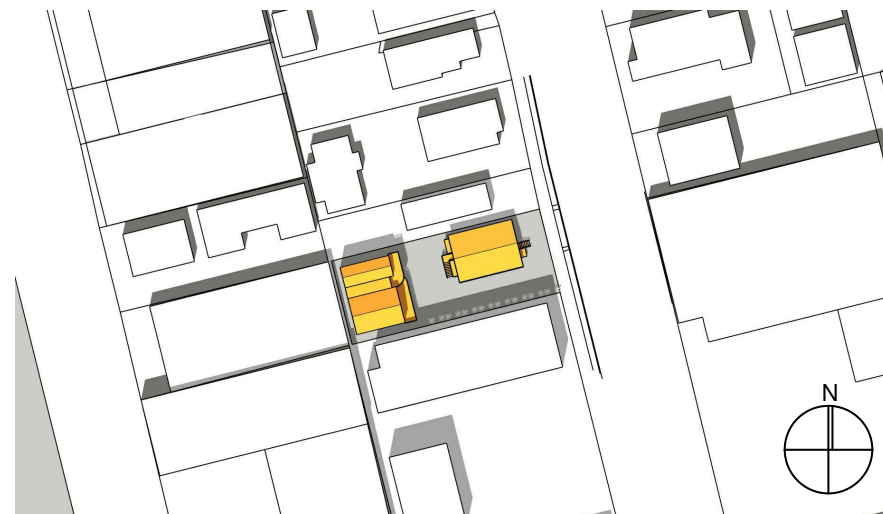
2430 5th STREET
3-STORY MULTI FAMILY -
BATH & LIVING (ASSUMED)

SHADOWS LEGEND

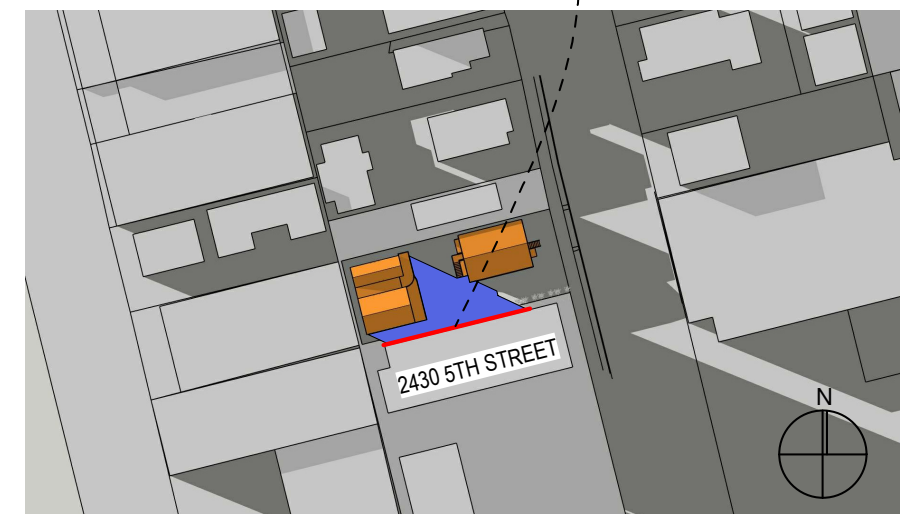
- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - MAY1 - 8.13 AM



5 PROPOSED - MAY 1 - 12.00 PM



6 PROPOSED - MAY1 - 6.00 PM

A4.3

SHADOW STUDIES REVIEW DATE

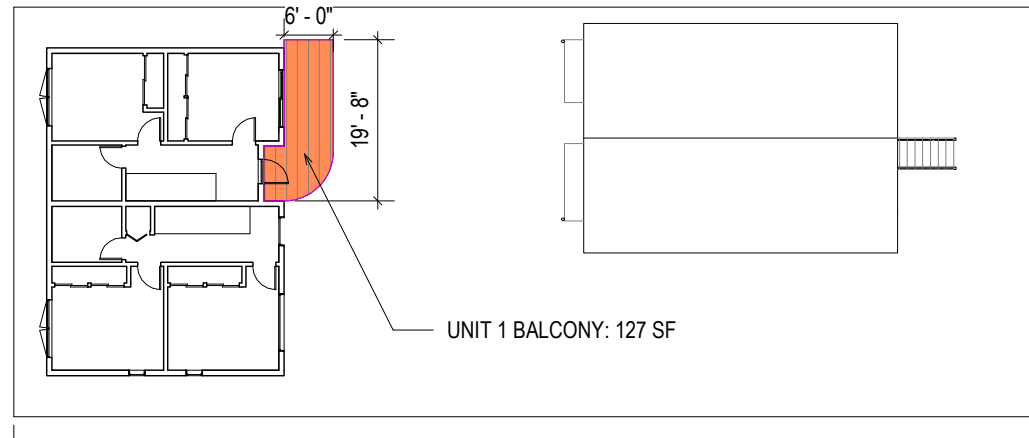
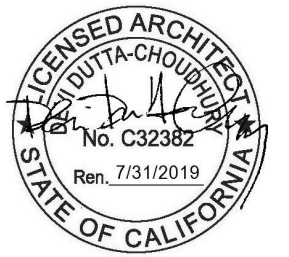
SCALE: As indicated 0 4 8 16 32

2422 5TH STREET

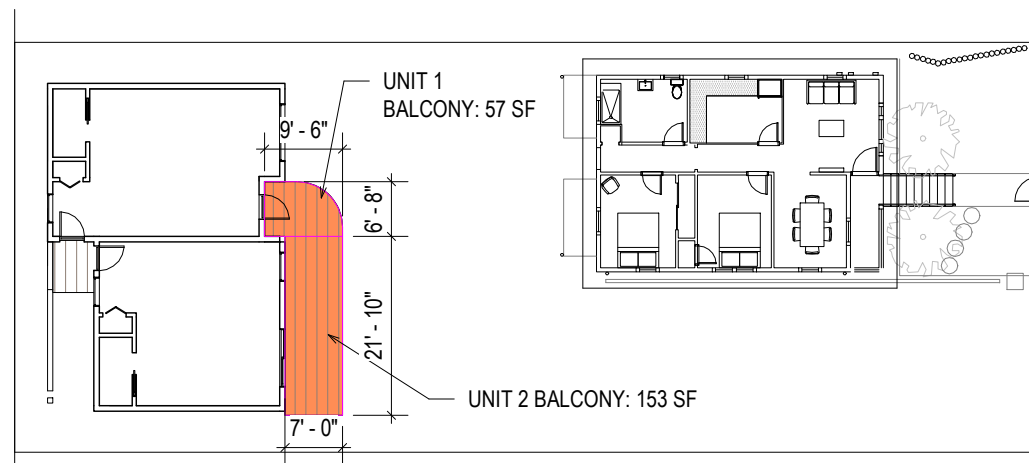
Devi Dutta Architecture Inc.

Zoning Submittal

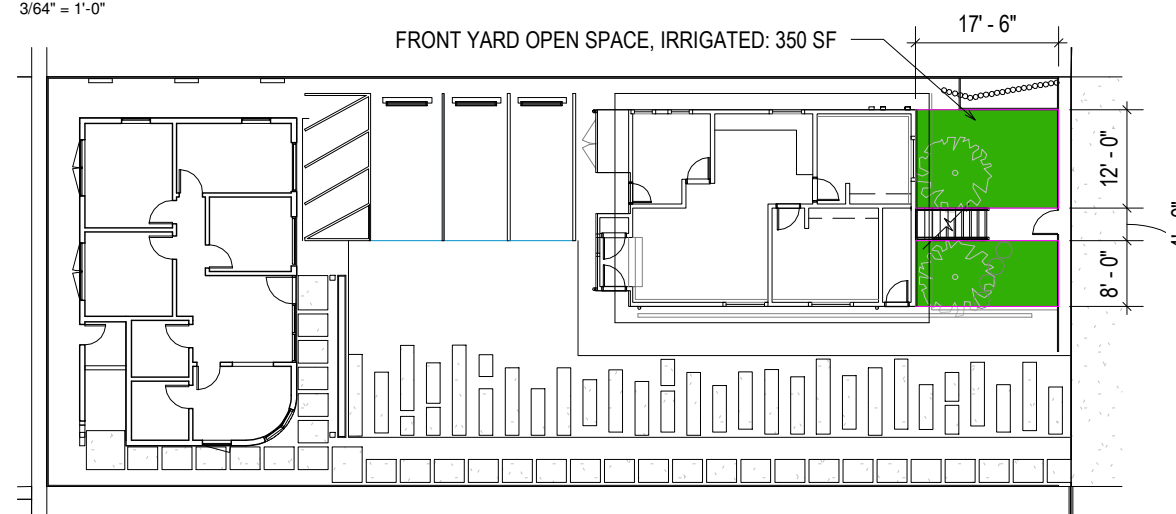
06.21.2019



3 Level 3 - Open Space
3/64" = 1'-0"



2 Level 2 - Open Space
3/64" = 1'-0"



1 Level 1 - Open Space
3/64" = 1'-0"

Ground Floor open space
Balcony

OPEN SPACE AREAS	
Level	Area
Level 1	350 SF
Level 2	210 SF
Level 3	127 SF
TOTAL	687 SF

A5.1

OPEN SPACE DIAGRAM

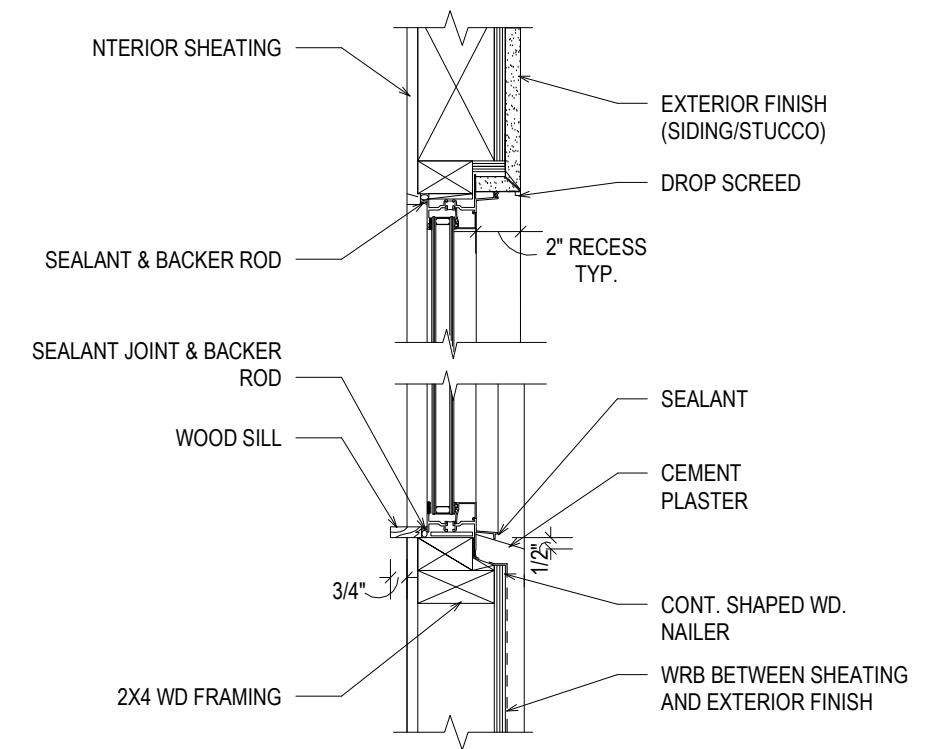
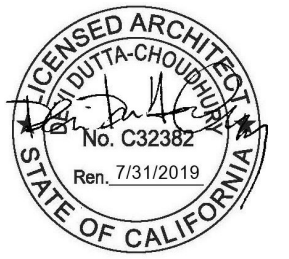
SCALE: 3/64" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

06.21.2019



1 TYPICAL NEW WINDOW DETAIL

1 1/2" = 1'-0"

A6.1 DETAILS

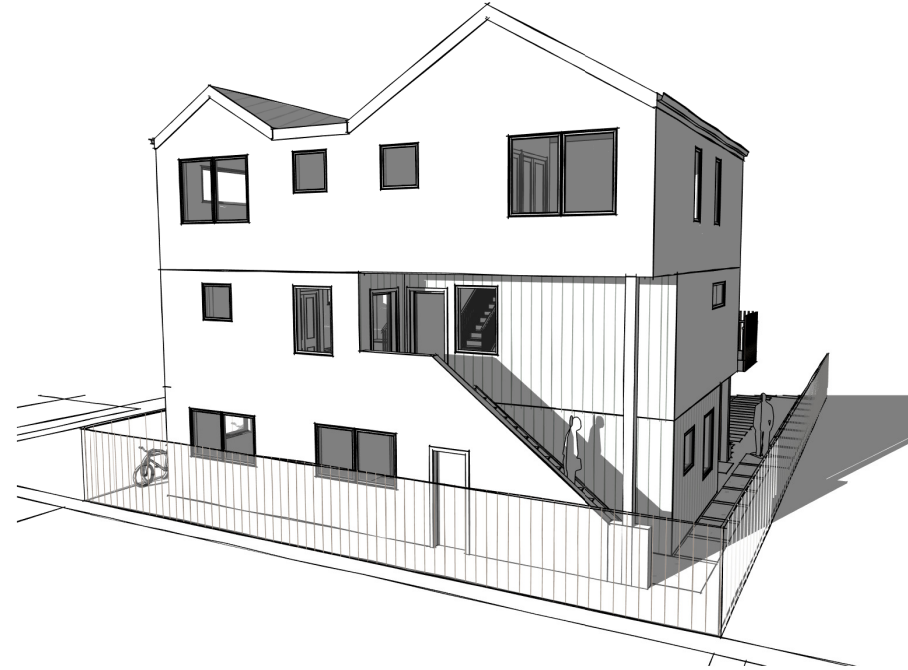
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2422 5TH STREET

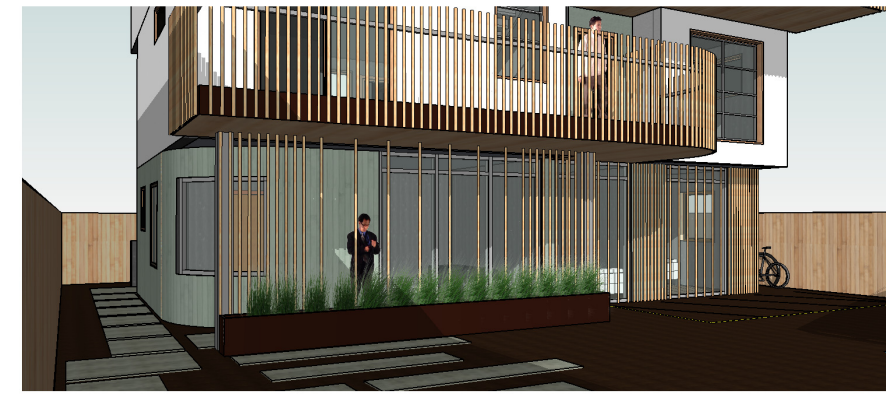
Devi Dutta Architecture Inc.

Zoning Submittal

06.21.2019



5 SOUTH-WEST PERSPECTIVE



3 ENTRY PERSPECTIVE - LEFT CORNER



2 ENTRY PERSPECTIVE - RIGHT CORNER



4 EAST PERSPECTIVE

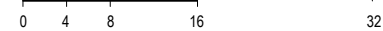


1 EAST ELEVATION

A7.1

PERSPECTIVE VIEWS

SCALE:

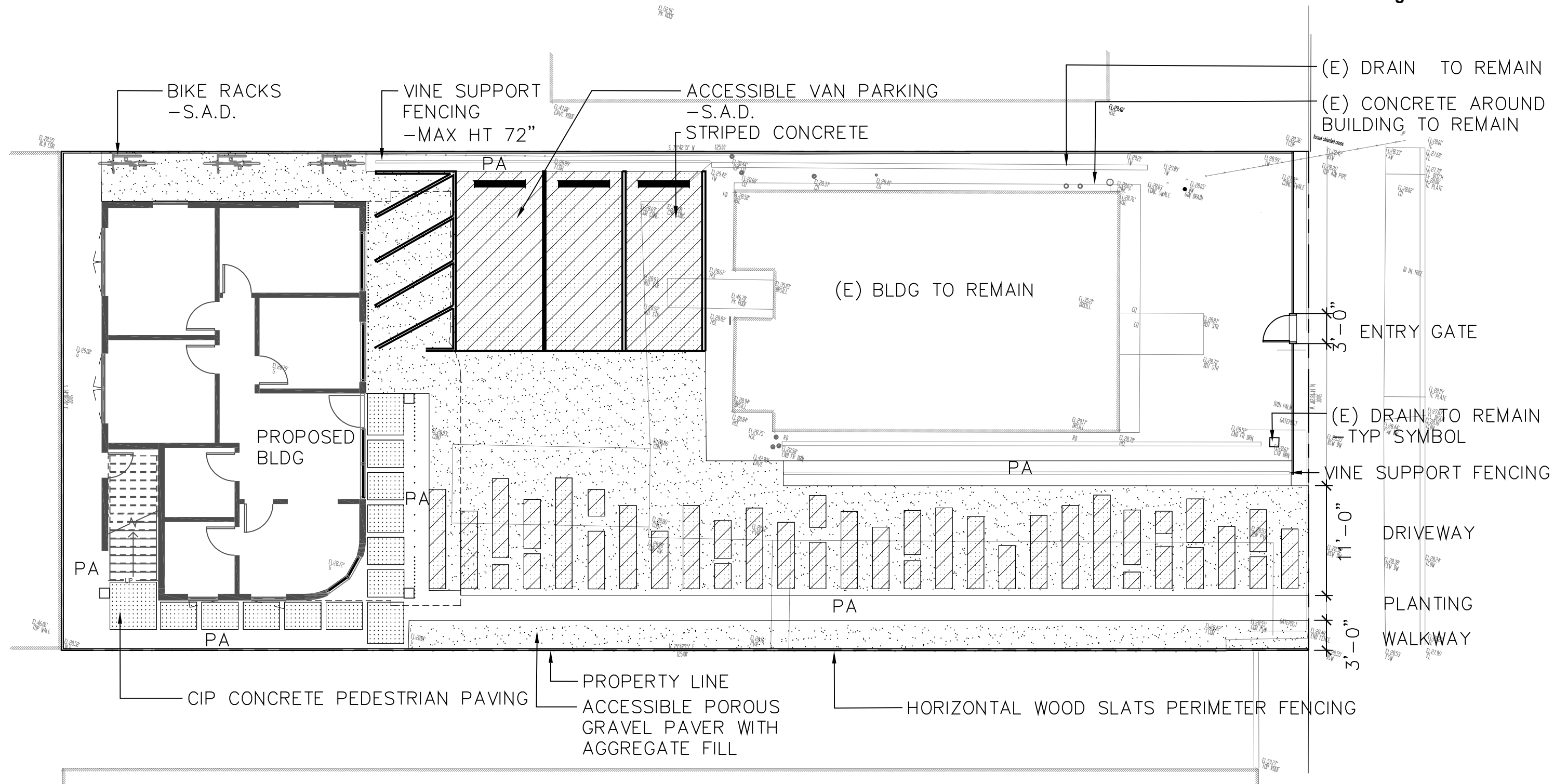


2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

06.21.2019



L1.0

SCHEMATIC MATERIALS PLAN

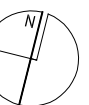
SCALE: 1"=10'-0"

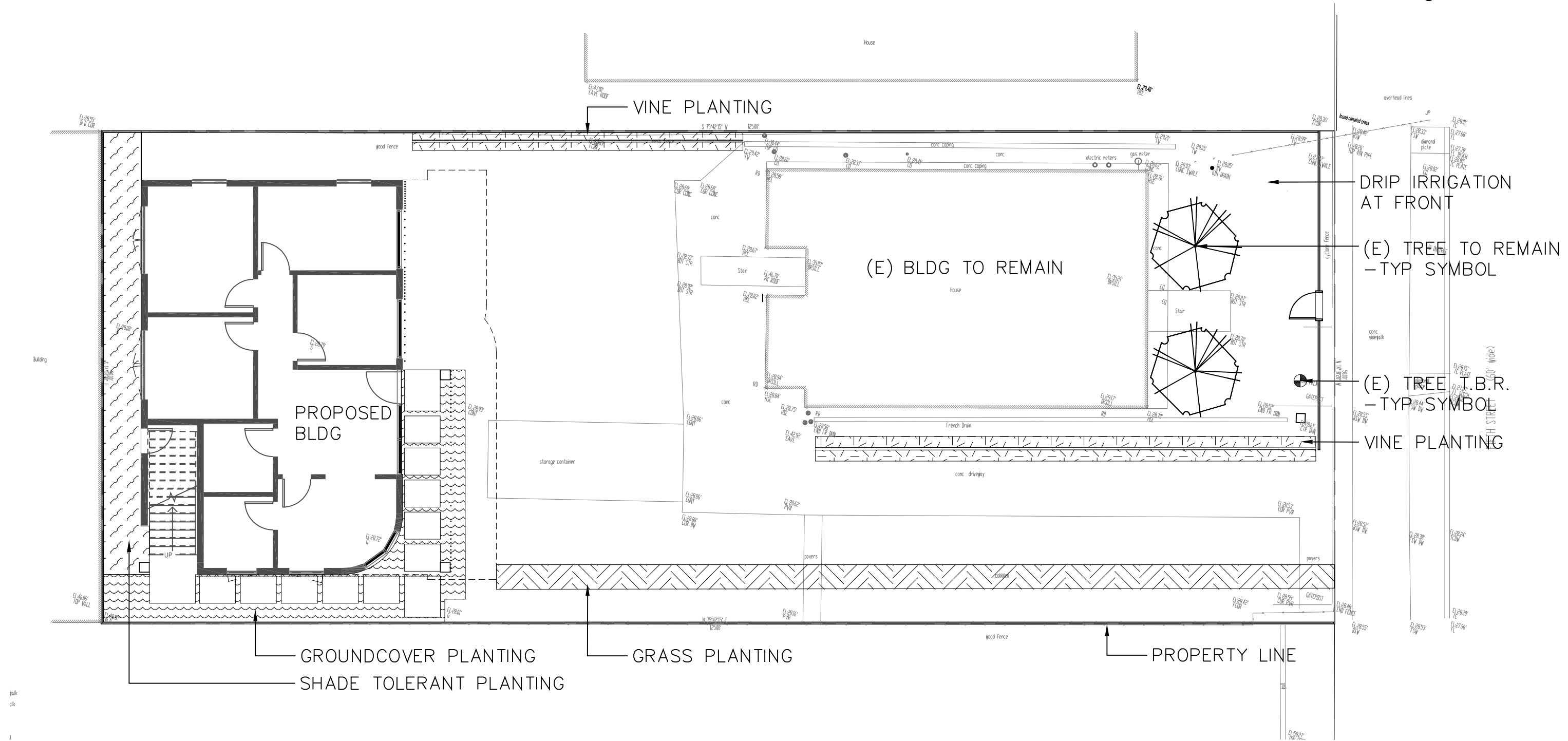
2422 5TH STREET

MANTLE LANDSCAPE ARCHITECTURE

ZONING PROGRESS

06.19.2019





L2.0

SCHEMATIC PLANTING PLAN

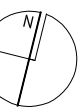
SCALE: 1"=10'-0"

2422 5TH STREET

MANTLE LANDSCAPE ARCHITECTURE

ZONING PROGRESS

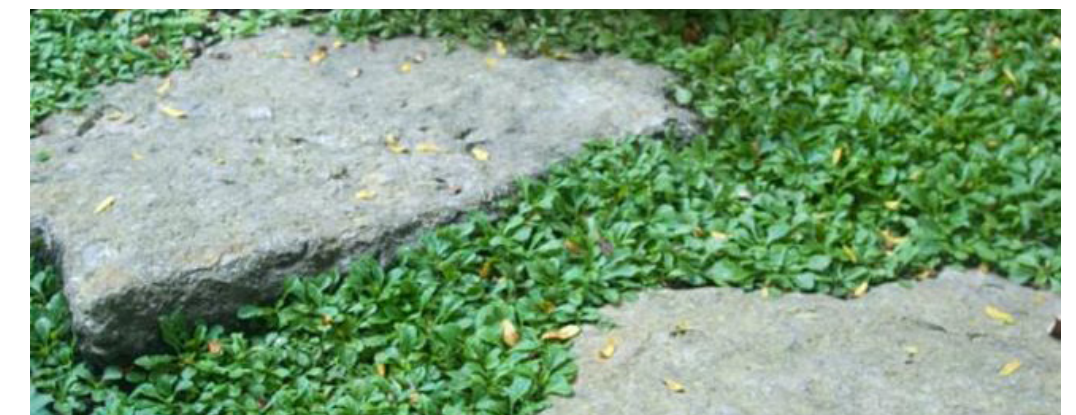
06.19.2019





GRASS PLANTING
Carex divulsa + Pennisetum alopecuroides

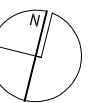
SHADE TOLERANT
Carex dolichostachya, Mahonia 'Soft Caress', Montia perfoliata, Polystichum munitum



VINE PLANTING

GROUNDCOVER

L2.1 PROPOSED PLANTING PALETTE



Gong, Sharon

From: Gong, Sharon
Sent: Monday, July 29, 2019 11:14 AM
To: 'Devi Dutta-Choudhury'
Subject: Application for Use Permit ZP#2018-0108 for 2422 Fifth Street
Attachments: 5th 2422 ZP2018-0108 19-07.pdf; 2019-05-28_Geotech Peer Review_2422 Fifth Street.pdf; 2019-06-04_Geotech Peer Review Supplemental_1923 Ninth Street.pdf

Hi Devi,

Thank you for the revised plans and neighborhood meeting materials. This almost complete, but for a couple of remaining items:

1. Now that you've subtracted out the front walkway, the 8'x17.5' area no longer qualifies as UOS and you don't have enough for the front units – need 300 SF total. Please adjust to meet the requirement.
2. Peter has a few comments (attached). Most are not critical until building permit, but please address #1 and 5 for the UP. The rest I'll leave it to you to address now or later.

Also, I'm attaching the geotech report peer review for your reference.

Thanks,

Sharon

Sharon Gong

Senior Planner, Land Use Planning Division
Planning and Development Department
City of Berkeley

2422-5th Street

RESPONSE TO TRAFFIC ENGINEER COMMENTS:

1. Sheet A0.1: The joint use is two (2) parking spaces. The plan should include a description of the joint use parking and reference the zoning code that allows for the joint use parking.

RESPONSE:

A joint use parking agreement is proposed for 2422-5th Street. Three (3) spaces are required for the proposed acupuncture and wellness offices (classified as medical use by the zoning code), and four (4) spaces are required for the residences (one per unit). The owner of the project conducted two traffic studies to determine available street parking, and results support a parking waiver for 2 residential spaces. For the 2 remaining required spaces for the residences, we propose joint use of the medical spaces per the following required findings:

23D.12.060 Joint Use of Off-street Parking Spaces

A. The Zoning Officer may approve an AUP to allow a Joint Use Parking Agreement to satisfy off-street parking space requirements, if all of the following findings are made:

1. The off-street parking spaces designated for joint use are located within 800 feet of the use to be served; and

FINDING: the proposed joint-use parking is located on the project site, adjacent to the uses served.

2. The times demanded for these parking spaces will not conflict substantially between the use offering the spaces and the use to be served; and

FINDING: the residences and medical use support different peak use times. The medical office will be open on a limited 3- or 4- weekday schedule from 9am-4pm. The residences could have use of the parking for the remainder of the day. Typically, apartment residents leave for work during the open hours of the offices. The accessible parking space will be reserved for accessible use at all hours.

3. The off-street parking spaces designated for joint use are not otherwise committed to satisfying the parking requirements for some other use at similar times.

FINDING: these off-street spaces are not committed to other parking requirements in addition those described here.

2. Sheet A1.1: Show the bike parking. The bike parking should be located in a secured area and/or enclosure.

RESPONSE: Bike parking is shown on the plans. Existing bike parking at storage under front porch, and new bike parking at rear/side setback behind gate.

3. Sheet A1.1: The accessible aisle for a van accessible parking space is by standard on the right side of the disabled parking space. The applicant should confirm if there are

exceptions. We can check with the City ADA Specialist.

RESPONSE: per our reading of the code, access aisle should be located “adjacent” to accessible parking stall, and should provide direct access to accessible path to the uses served. Since access to the medical office is located at the west side of the property, the most direct access to the office from the parking space is on the west side.

4. Sheet A1.1: Pavers are not recommended for accessible paths.

RESPONSE: For the accessible walkway, landscape designer specified accessible porous gravel paver with aggregate fill, please see L1.0. These will be installed flush with accessible surface.

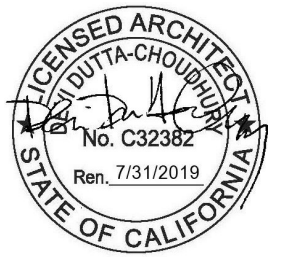
5. Sheet A1.1: The property line is a few feet behind the sidewalk per the Engineering Survey. The plan should show the actual property line and the fence must be within the property line.

RESPONSE: fence is located on property line, with existing planting to remain at ROW. Site plan clarified.

Please provide a copy of the language for the joint parking agreement that will be applied to the project. As noted above the joint parking agreement should be referenced or included in the project plans.

RESPONSE: joint parking noted in the plans. Language & findings included above, and will be included in lease agreements with tenants, and shown on signage at each parking space with text similar to:

“PARKING FOR OFFICE USE BETWEEN THE HOURS OF 10AM – 4PM, M-F. RESIDENT PARKING ALL OTHER TIMES.” (hours and days of operation TBD).



5TH STREET TOWNHOMES AND WELLNESS OFFICES

2422 5TH STREET, BERKELEY, CA 94710

ARCHITECT/APPLICANT

DEVI DUTTA-CHOUDHURY, AIA
DEVI DUTTA ARCHITECTURE
928 CARLETON STREET
BERKELEY, CA 94710
510/705-1937
hello@devidutta.com

OWNER

ANNA & CARL GOLD
2422 5TH STREET
BERKELEY, CA 94710

LANDSCAPE

MANTLE LANDSCAPE
ARCHITECTURE
930 CARLETON STREET
BERKELEY, CA 94710
510-927-3202

TRAFFIC ENGINEER

ABRAMS ASSOCIATES
1875 OLYMPIC BOULEVARD,
SUITE 210
WALNUT CREEK, CA 94596
925-945-0201

PROJECT DESCRIPTION

CONSTRUCTION OF 2 NEW DWELLING UNITS AND 1 ACUPUNCTURE & WELLNESS OFFICE AT REAR YARD. EXISTING FRONT DUPLEX TO REMAIN.

SHEET LIST ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 PROJECT INFORMATION
- A0.2 AREA DIAGRAMS
- A0.3 SURVEY
- A0.4 STREET STRIP
- A0.5 VICINITY MAP
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED FIRST FLOOR PLAN
- A1.3 PROPOSED SECOND FLOOR PLAN
- A1.4 PROPOSED THIRD FLOOR PLAN
- A2.1 EAST & NORTH ELEVATIONS
- A2.2 WEST & SOUTH ELEVATIONS
- A3.1 PROPOSED BUILDING SECTIONS
- A3.2 PROPOSED BUILDING SECTIONS
- A5.1 OPEN SPACE DIAGRAM
- A6.1 DETAILS
- A7.1 PERSPECTIVE VIEWS

SHEET LIST LANDSCAPE

- L1.0 SCHEMATIC MATERIAL PLAN
- L2.0 SCHEMATIC PLANTING PLAN
- L2.1 PROPOSED PLANTING PALETTE



A0.0 COVER SHEET

SCALE:



2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

08.14.2019



PROJECT ADDRESS

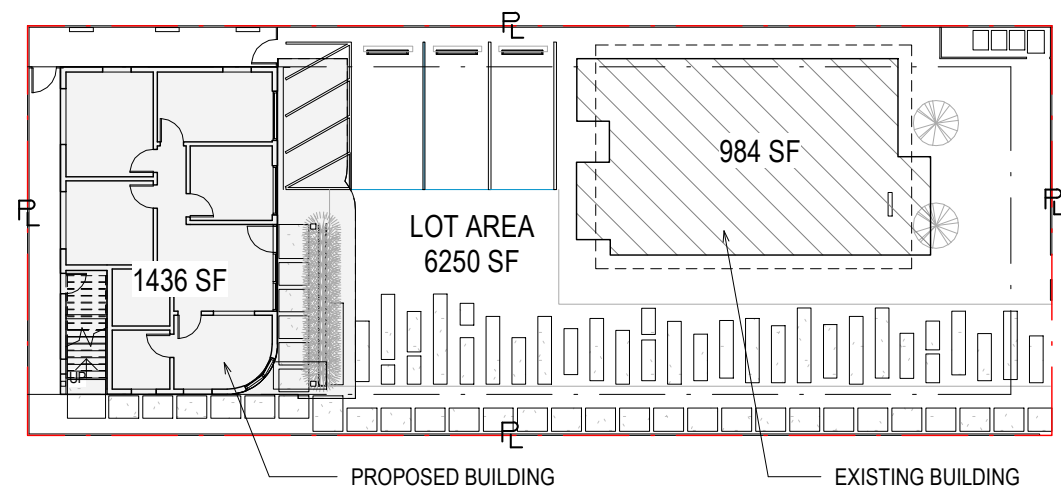
2422 5TH STREET, BERKELEY, CA 74710

ASSESSOR'S PARCEL #:

56-1944-11

ZONING INFORMATION

ZONING DISTRICT: MU-R
 FLOOD ZONE: NO
 FIRE ZONE: 1
 ENV. MGMT AREA: NO
 LANDMARKS STRUCTURE OF MERIT: NO



1 LOT COVERAGE DIAGRAM

3/64" = 1'-0"

A0.1

PROJECT INFORMATION

SCALE: 3/64" = 1'-0" 0 4 8 16 32

ZONING DEVELOPMENT STANDARDS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED/PERMITTED</u>
NUMBER OF DWELLING UNITS	2	4	5 MAX
AREAS			
LOT SIZE	125' X 50' = 6250 SF	125' X 50' = 6250 SF	40' WIDTH MIN.
TOTAL GROSS FLOOR AREA	1670 SF	1670 SF + 3136 SF = 4806 SF	
NEW DUPLEX AREA		2170 SF	
MEDICAL OFFICES AREA		967 SF	
FAR	0.27	0.77	1.5
BUILDING FOOTPRINT	984 SF	984 SF + 1436 SF = 2420 SF	
LOT COVERAGE	15.7 %	38.7 %	40% MAX.
IMPERVIOUS SURFACE	2295 SF	2331 SF	
USEABLE OPEN SPACE	3297 SF	645 SF	600 SF MIN.
HEIGHT & STORIES			
AVERAGE	16'-3"	32' - 0"	35' - 0"
MAXIMUM	18' - 1/2"	35' - 0"	35' - 0"
STORIES	2	3	3
SETBACKS			
FRONT:	19'-0"	14' - 9 1/2"	5' - 0"
NORTH SIDE	4' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
SOUTH SIDE	22' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
REAR:	67' - 0"	4' - 0"	NONE (ADJACENT TO NON-RESIDENTIAL)
PARKING SPACES			
RESIDENTIAL*:	1 / UNIT = 2 TANDEM SPACES	(2) PROVIDED VIA JOINT USE PARKING PER BMC 23D.12.060	1 / UNIT = 4 REQUIRED
MEDICAL:	N/A	(3) PROVIDED	1 / 300 SF = 3 REQUIRED
BIKE PARKING:	1	(3) RESIDENTIAL, (1) COMMERCIAL	1 / 2000 SF NON-RES AREA = 1 REQ

*(2) PARKING WAIVER

2422 5TH STREET

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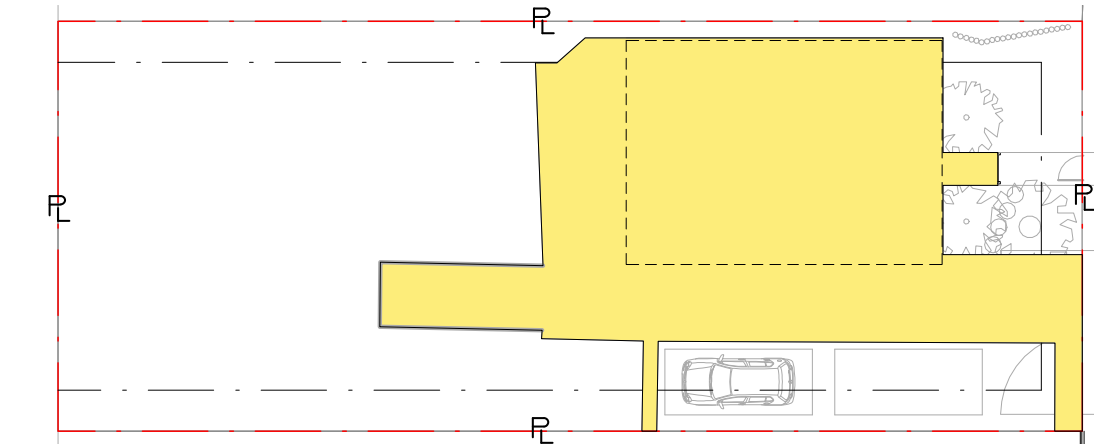
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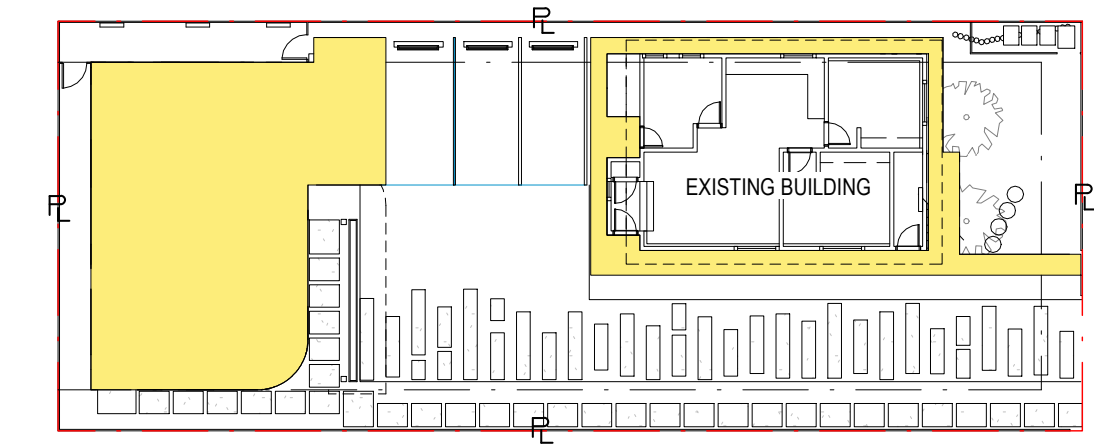


ABBREVIATIONS

A/C	AIR CONDITIONING	JAN.	JANITOR
ADJ.	ADJACENT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR		
ALUM.	ALUMINUM	L.P.	LOW POINT
ALT.	ALTERNATE		
APPROX.	APPROXIMATELY	MAX	MAXIMUM
ARCH.	ARCHITECTURAL	M.C.	MEDICINE CABINET
A.C.T.	ACOUSTIC CEILING TILE	M.D.	MOTION DETECTOR
		MECH.	MECHANICAL
B.BD	TELEPHONE BACK BOARD	MFR	MANUFACTURER
BLDG.	BUILDING	MIN	MINIMUM
BLKG.	BLOCKING	MTD.	MOUNTED
BOT.	BOTTOM	MTL.	METAL
		(N)	NEW
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	NO.	NUMBER
C.G.	CORNER GUARD	N.T.S.	NOT TO SCALE
CHG.	CHANGE	O.C.	ON CENTER
CLG.	CEILING	OFF.	OFFICE
CLOS.	CLOSET	OPNG.	OPENING
CLR.	CLEAR	OPP.	OPPOSITE
C.M.U.	CONCRETE MASONRY UNIT	O.T.B.	OPEN TO BELOW
COL.	COLUMN		
CONC.	CONCRETE	PR.	PAIR
CONN.	CONNECTION	P-LAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PTD.	PAINTED
CORR.	CORRIDOR	PLWD.	PLYWOOD
C.T.	CERAMIC TILE	P.O.	PRIVATE OFFICE
CTR.	CENTER		
DET.	DETAIL	R	RISER
DIA/O	DIAMETER	R.C.P.	REFLECTED CEILING PLAN
DIM.	DIMENSION	R.D.	ROOF DRAIN
DN.	DOWN	REFR.	REFRIGERATOR
DWG.	DRAWING	REQ.	REQUIRED
DS.	DOWNSPOUT	RM.	ROOM
		R.O.	ROUGH OPENING
(E)	EXISTING	S.C.	SOLID CORE
EA	EACH	S.D.	STORM DRAIN
EL	ELEVATION	SAF	SELF-ADHERED FLASHING
ELEC.	ELECTRICAL	STOR.	STORAGE
ELEV.	ELEVATOR	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	SCD	SEE CIVIL DRAWINGS
EXP.	EXPANSION	SED	SEE ELECTRICAL DRAWINGS
EXPOS.	EXPOSED	SLD	SEE LANDSCAPE DRAWINGS
EXT.	EXTERIOR	SMD	SEE MECHANICAL DRAWINGS
		SPD	SEE PLUMBING DRAWINGS
F.D.	FLOOR DRAIN	SSD	SEE STRUCTURAL DRAWINGS
FIN.	FINISH	STRL.	STRUCTURAL
FL	FLOOR		
FLASH.	FLASHING	T	TREAD
FLUOR.	FLUORESCENT	T.B.D.	TO BE DETERMINED
F.O.F.	FACE OF FINISH	T&G	TONGUE AND GROOVE
F.O.S.	FACE OF STUD	TEL.	TELEPHONE
FPRFP.	FIREPROOF	T.O.	TOP OF
FSD	FIRE SEPARATION DISTANCE	TYP.	TYPICAL
FURR.	FURRING		
		U.O.N.	UNLESS OTHERWISE NOTED
GA.	GAGE	V.I.F.	VERIFY IN FIELD
GALV.	GALVANIZED		
G.C.	GENERAL CONTRACTOR	WD.	WOOD
GL	GLASS	W.P.	WATERPROOF
GR.	GRADE		WEATHER RESISTANT BARRIER
GYP. BD.	GYPSUM BOARD		
		WRB	
H.B.	HOSE BIB		
HC	HANDICAPPED		
H.C.	HOLLOW CORE		
HDWR.	HARDWARE		
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
HP	HIGH POINT		
HR.	HOUR		
H.W.	HOT WATER		
INSUL.	INSULATION/INSULATED		
INT.	INTERIOR		



1 EXISTING IMPERVIOUS SURFACE - 2295 SF
3/64" = 1'-0"



2 NEW OR REPLACED IMPERVIOUS SURFACE - 1622 SF
3/64" = 1'-0"

A0.2

AREA DIAGRAMS

SCALE: **3/64" = 1'-0"**



2422 5TH STREET

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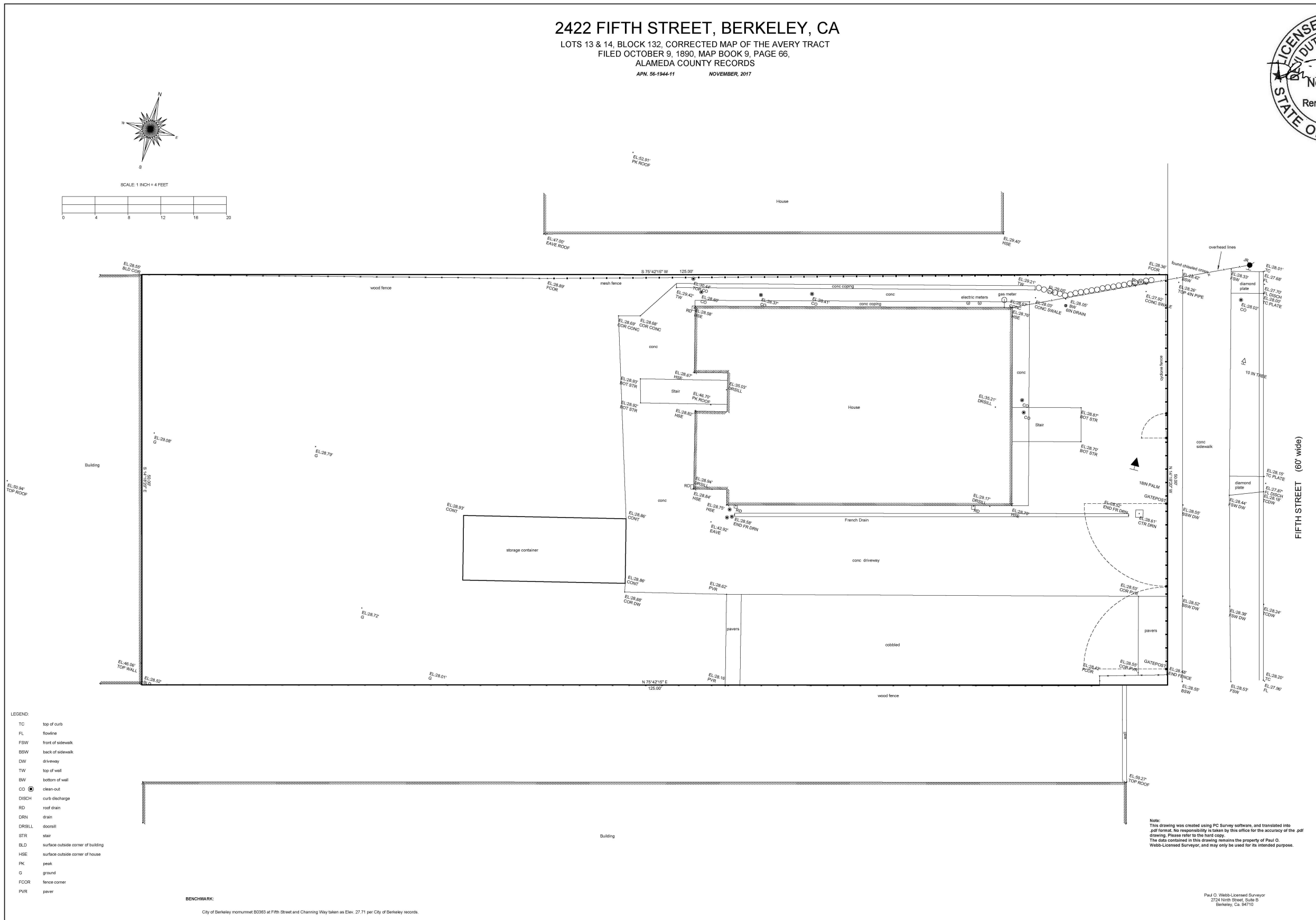
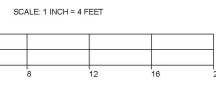
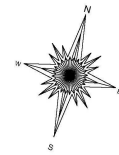
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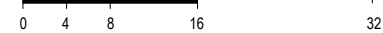


2422 FIFTH STREET, BERKELEY, CA

LOTS 13 & 14, BLOCK 132, CORRECTED MAP OF THE AVERY TRACT
FILED OCTOBER 9, 1890, MAP BOOK 9, PAGE 66,
ALAMEDA COUNTY RECORDS
APN. 56-1944-11 NOVEMBER, 2017

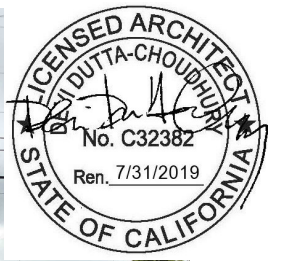


A0.3 SURVEY
SCALE:



2422 5TH STREET
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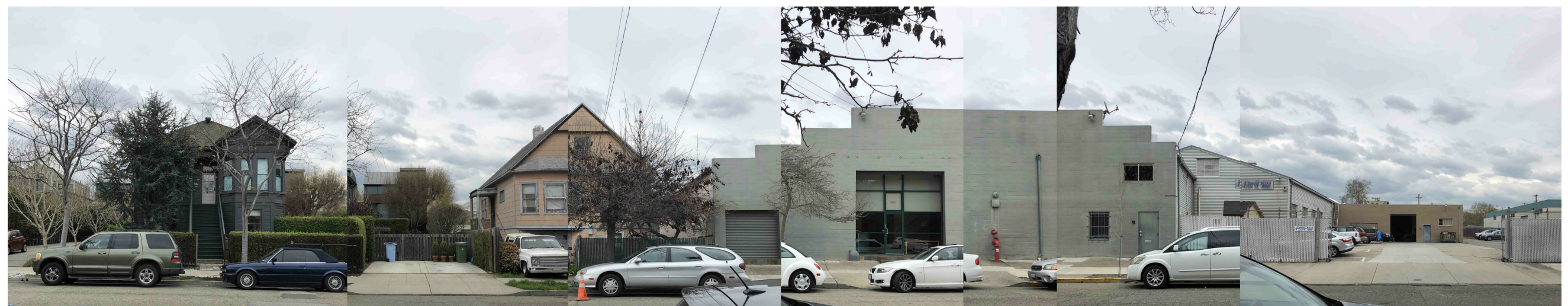
EXISTING WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



PROPOSED WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY

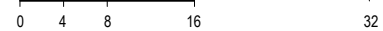


EXISTING EAST VIEW 2422 5TH STREET

A0.4

STREET STRIP

SCALE:

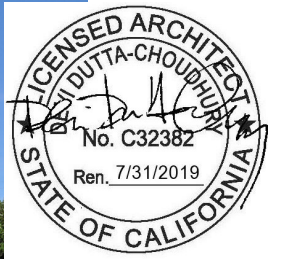


2422 5TH STREET

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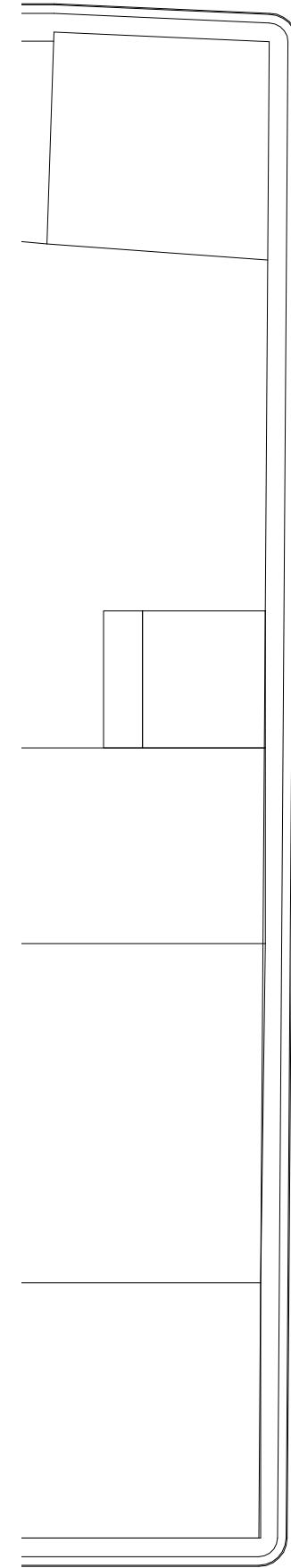
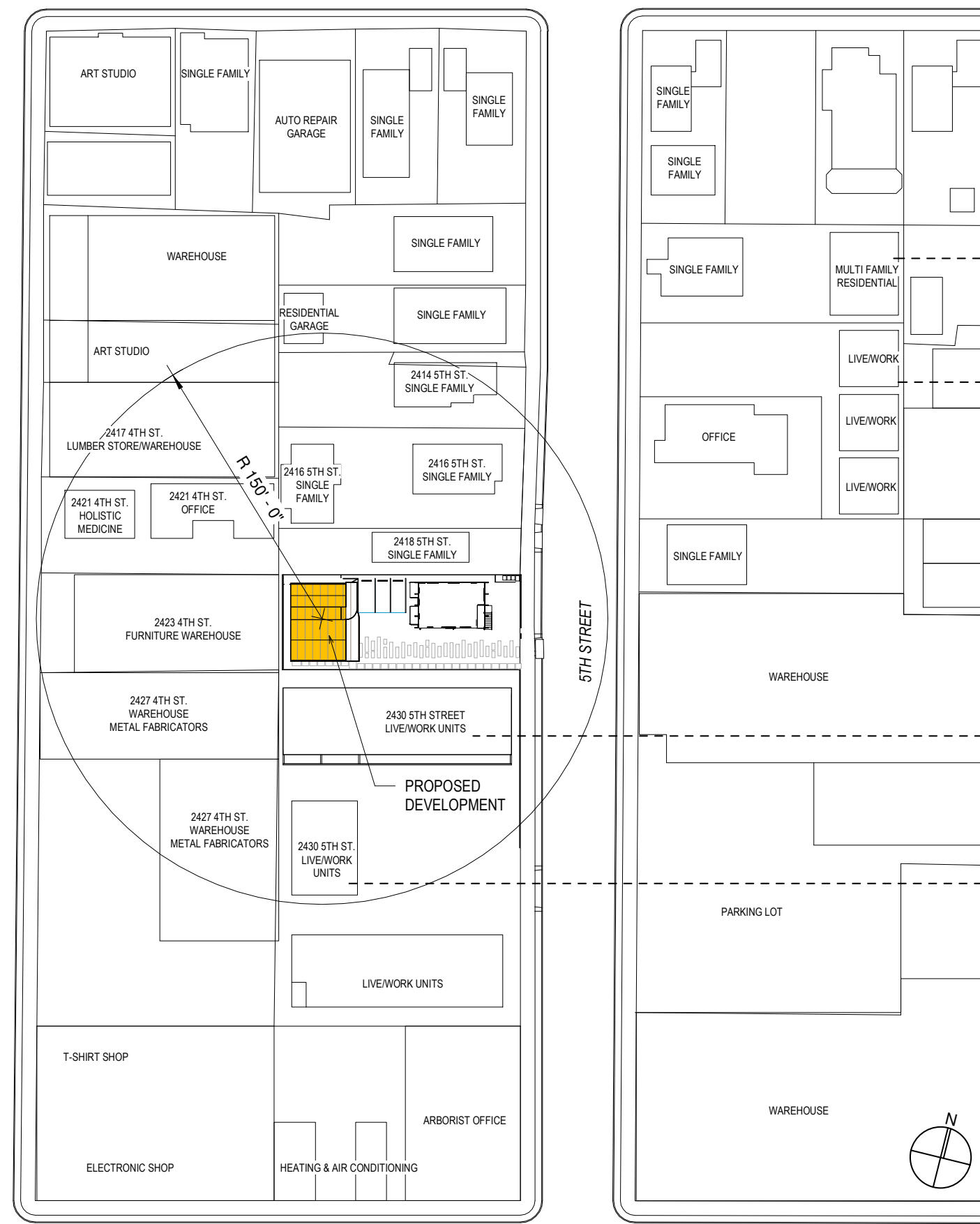


2422 5TH STREET

Devi Dutta Architecture Inc.

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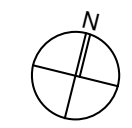
08.14.2019

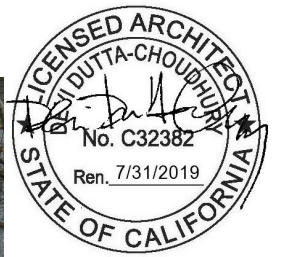


A0.5

VICINITY MAP

SCALE: 1/64" = 1'-0" 0 4 8 16 32





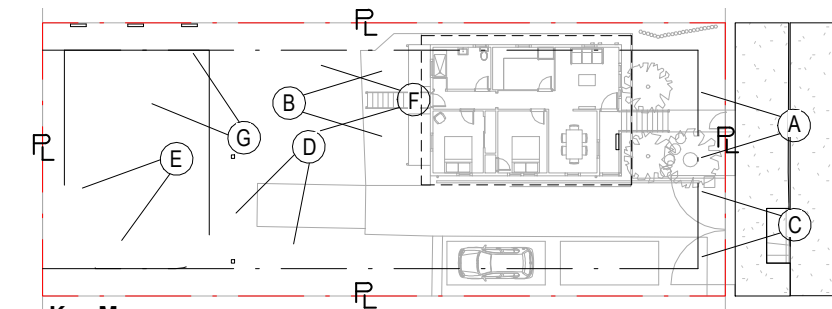
A - EXISTING FRONT OF HOUSE



B - EXISTING BACK OF HOUSE



C - EXISTING DRIVEWAY



1 Key Map
1/32" = 1'-0"



D,E - ADJACENT MULTI-FAMILY BUILDING



F - EXISTING REAR STAIR/YARD



G - REAR YARD NORTH SIDE

A0.6

SITE PHOTOS

SCALE: 1/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

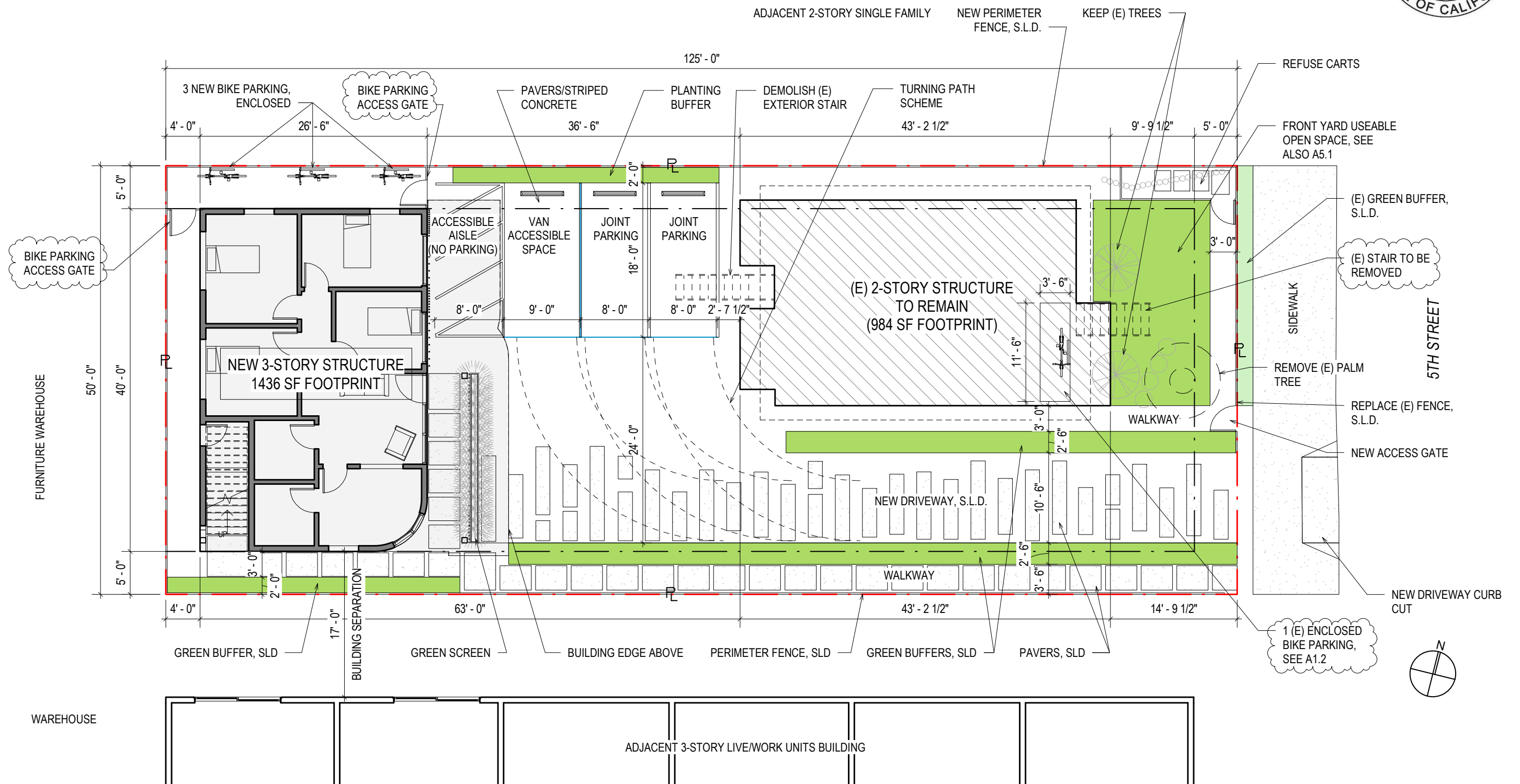
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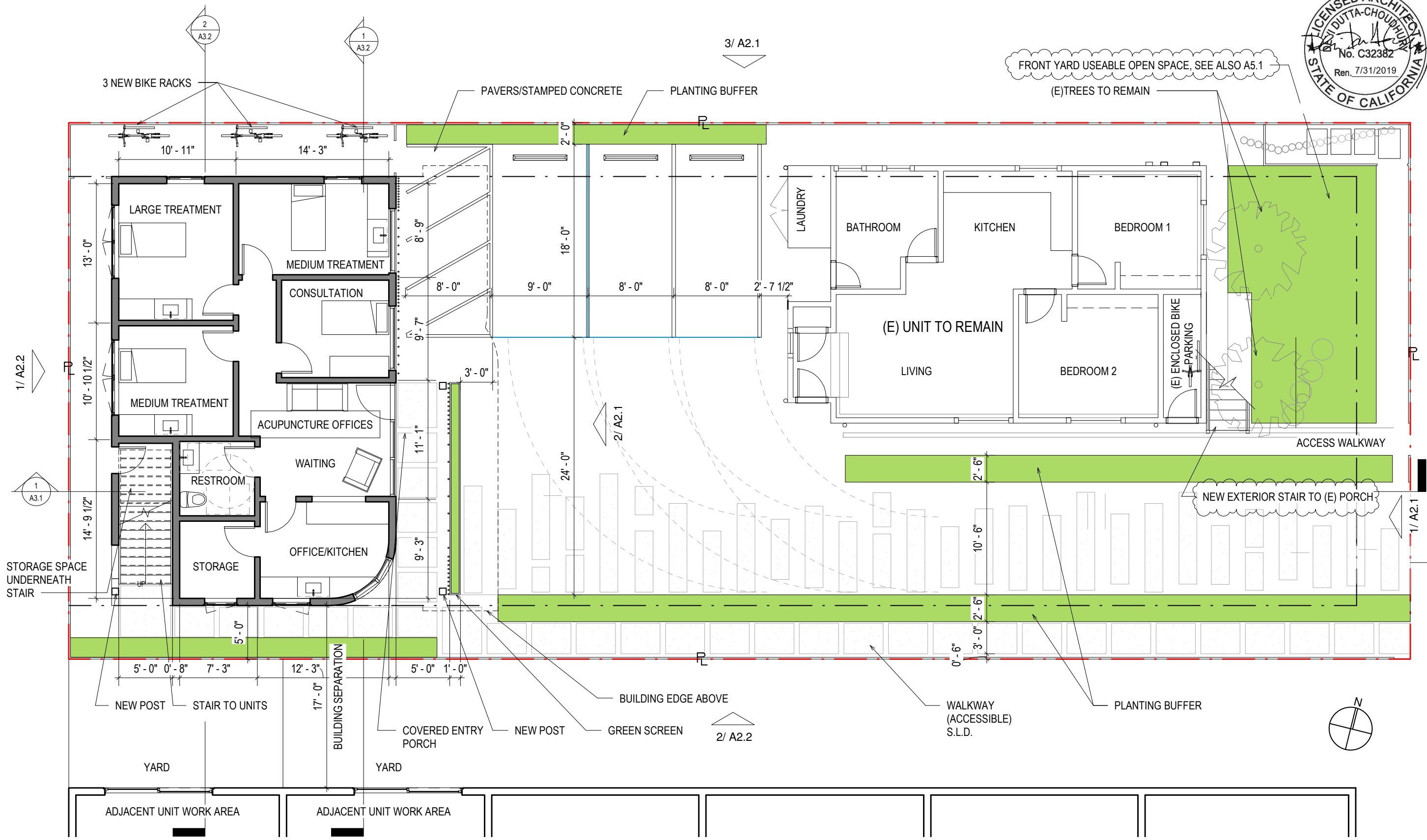
OFFICE



A1.1 PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"



FRONT YARD USEABLE OPEN SPACE, SEE ALSO A5.1
(E) TREES TO REMAIN



A1.2

PROPOSED FIRST FLOOR PLAN

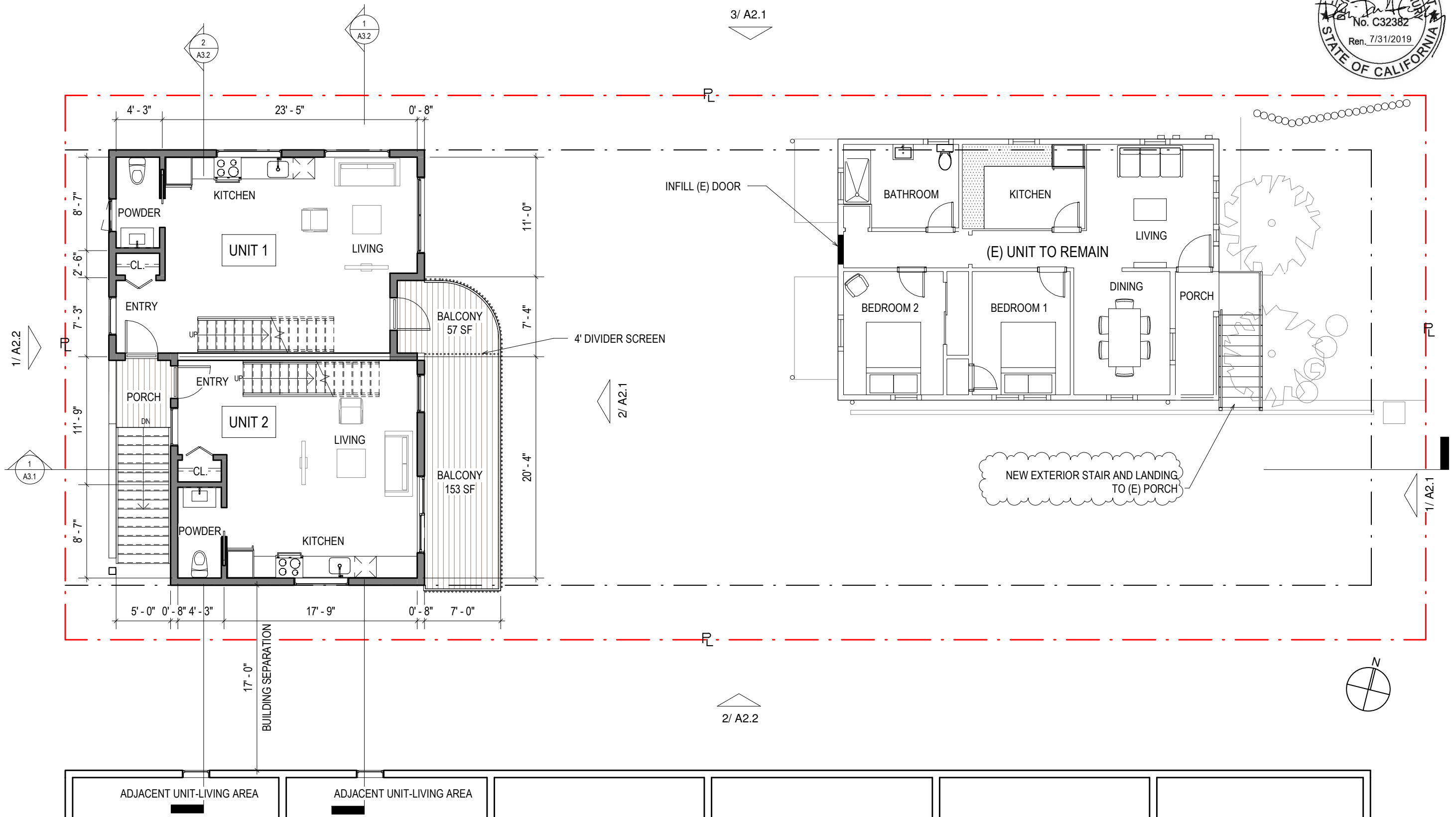
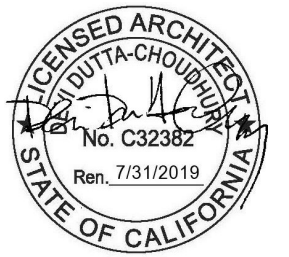
SCALE: 1/8" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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A1.3

PROPOSED SECOND FLOOR PLAN

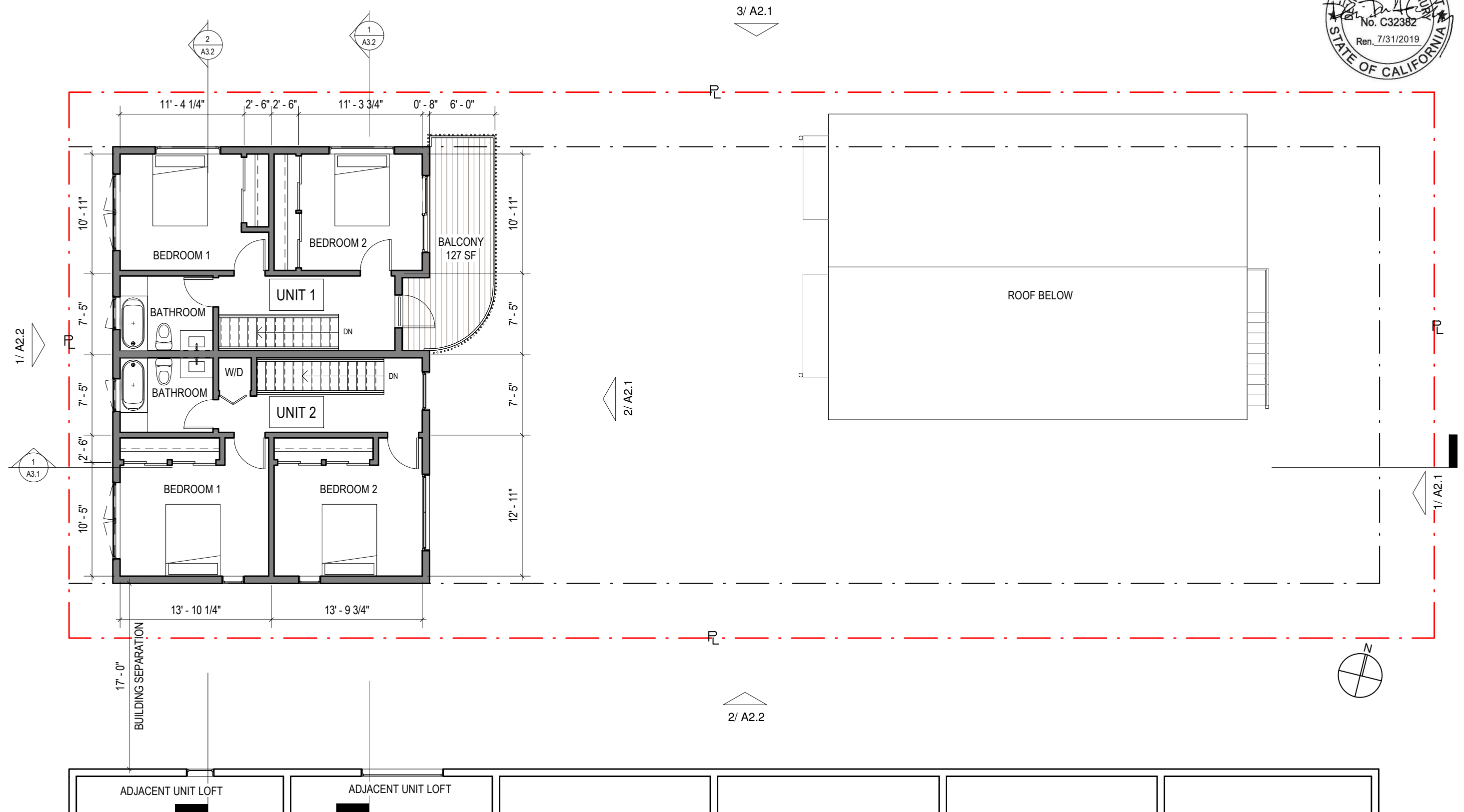
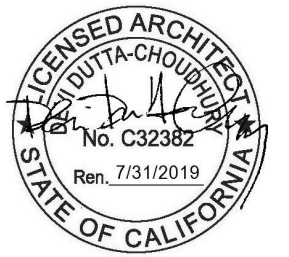
SCALE: 1/8" = 1'-0"

2422 5TH STREET

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A1.4

PROPOSED THIRD FLOOR PLAN

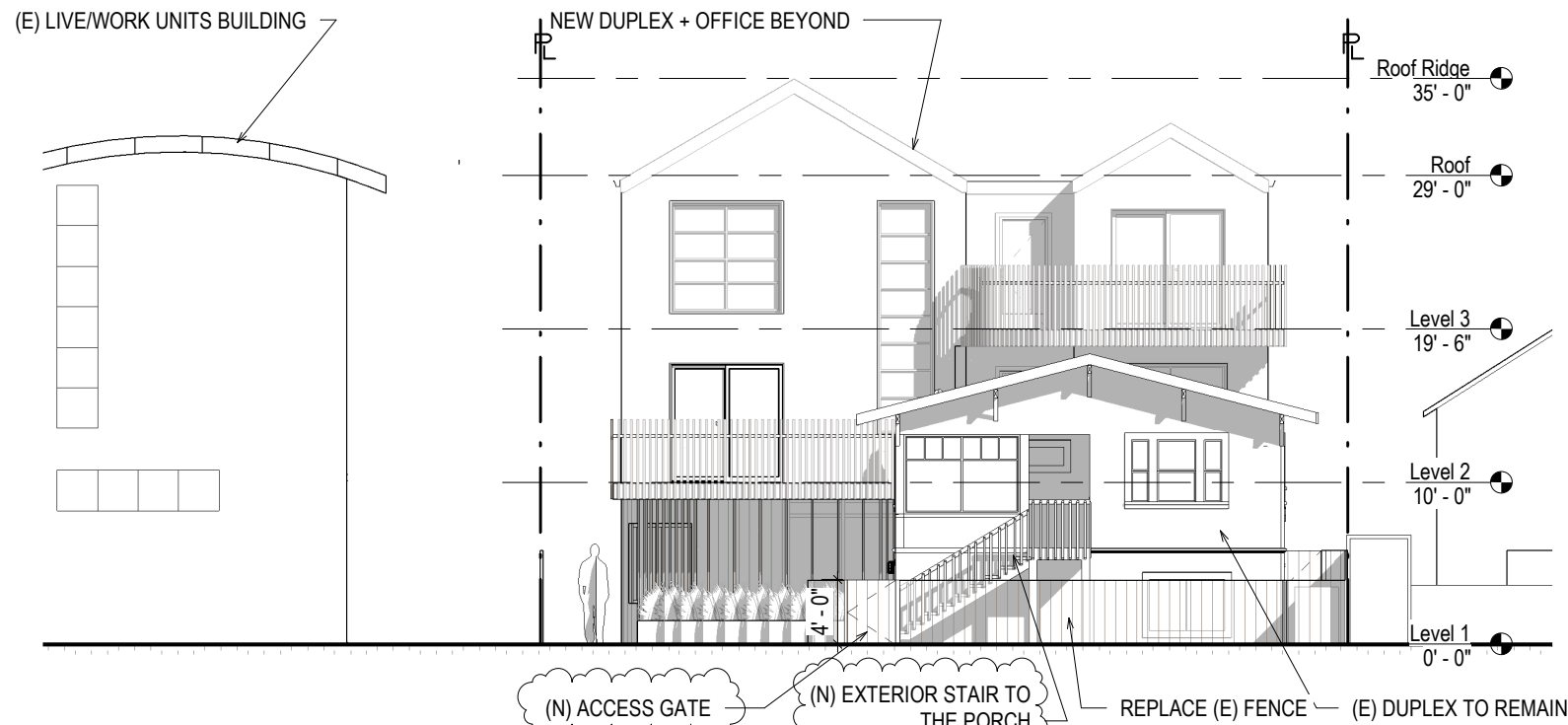
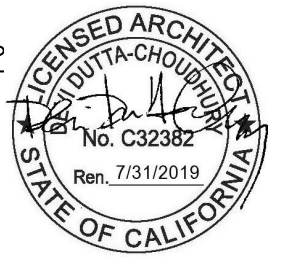
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2422 5TH STREET

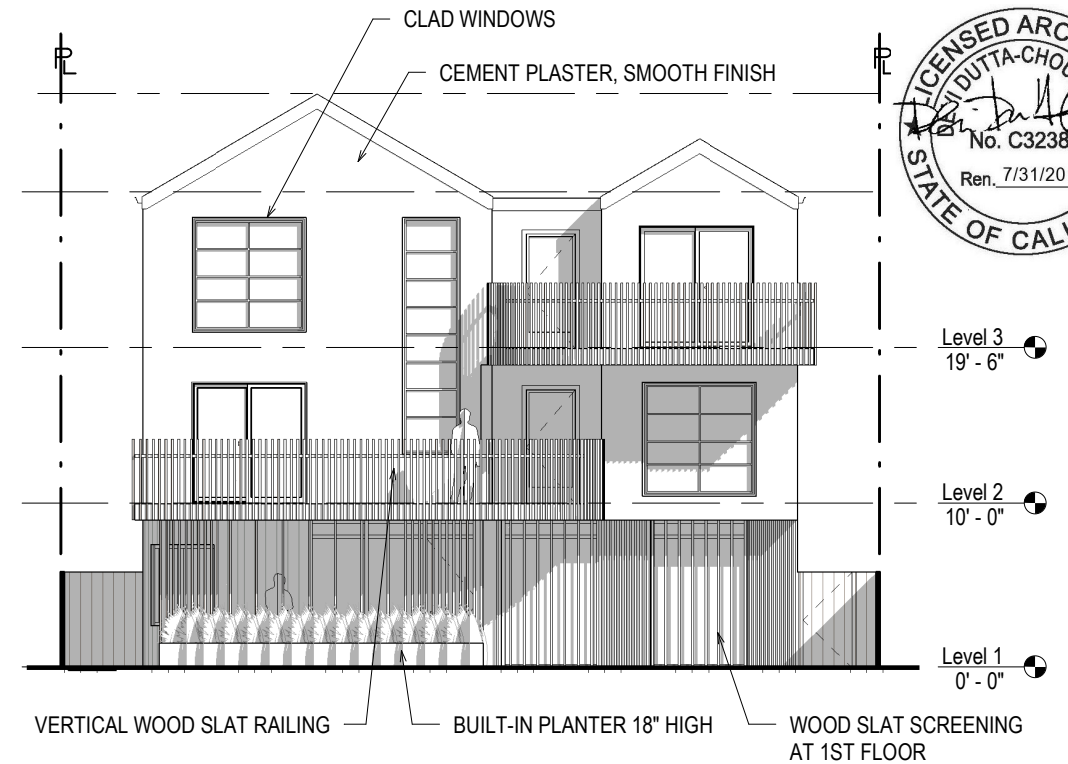
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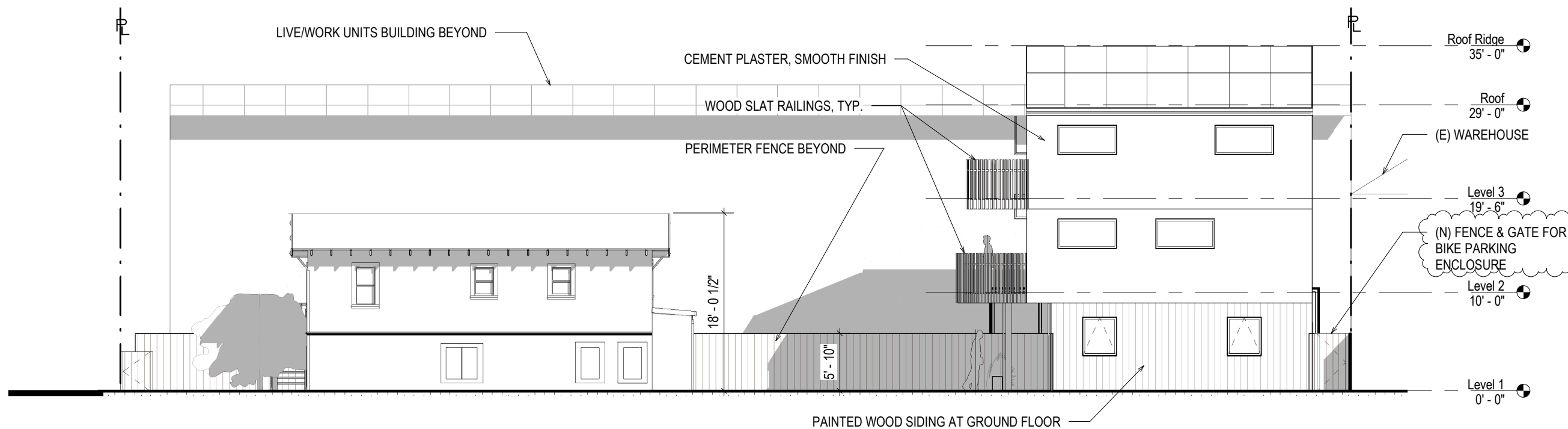
08.14.2019



1 PROPOSED STREET ELEVATION (FRONT)
3/32" = 1'-0"



2 PROPOSED BUILDING EAST ELEVATION (FRONT)
3/32" = 1'-0"



3 PROPOSED NORTH ELEVATION (RIGHT SIDE)
3/32" = 1'-0"

A2.1

EAST & NORTH ELEVATIONS

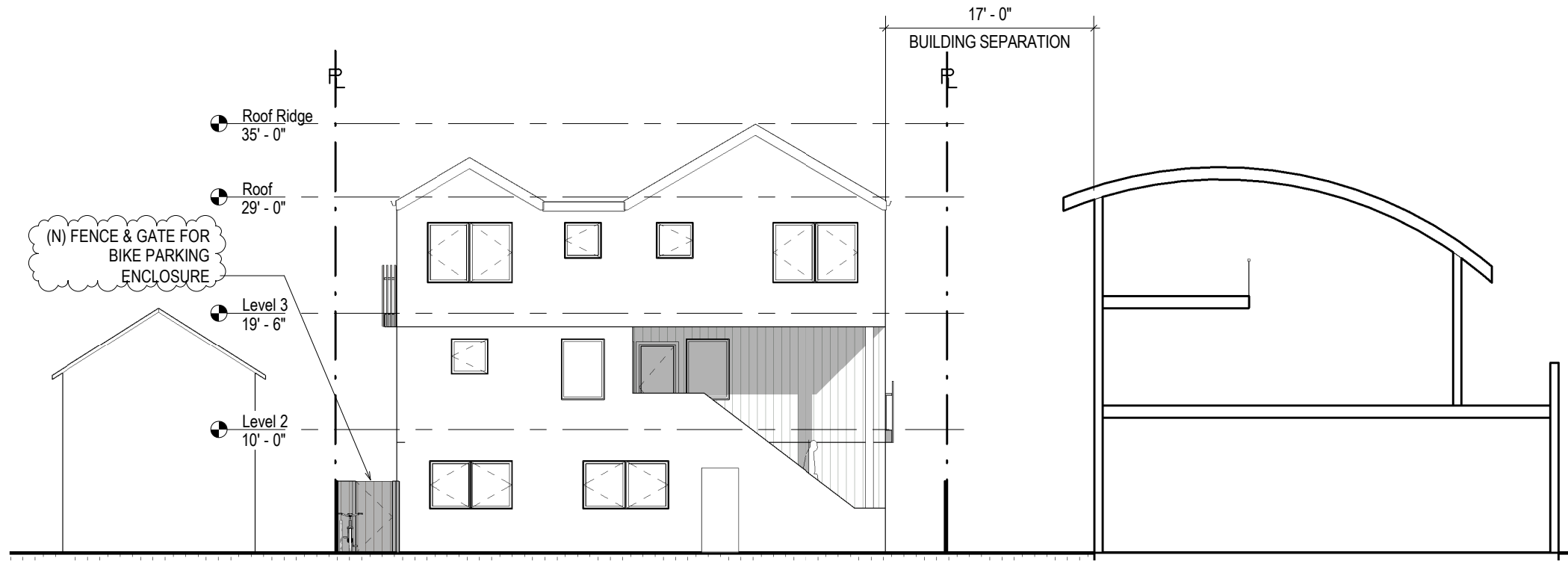
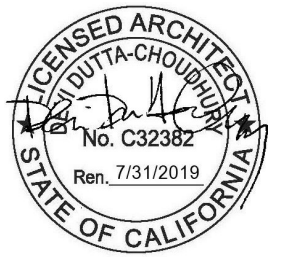
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

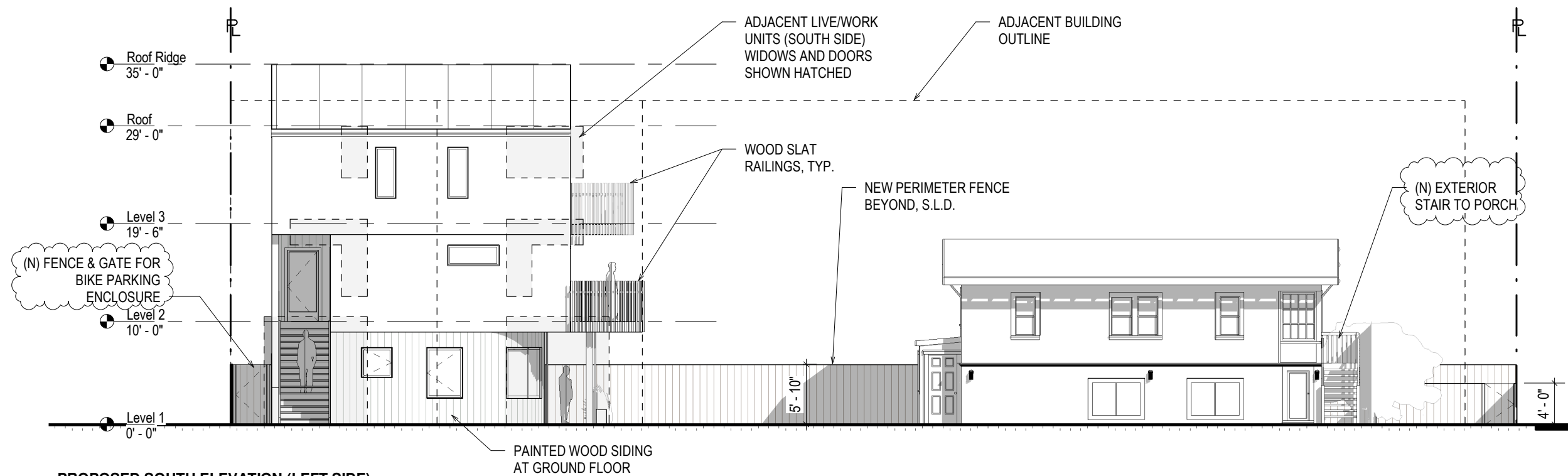
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1 PROPOSED WEST ELEVATION (BACK)
3/32" = 1'-0"



2 PROPOSED SOUTH ELEVATION (LEFT SIDE)
3/32" = 1'-0"

A2.2

WEST & SOUTH ELEVATIONS

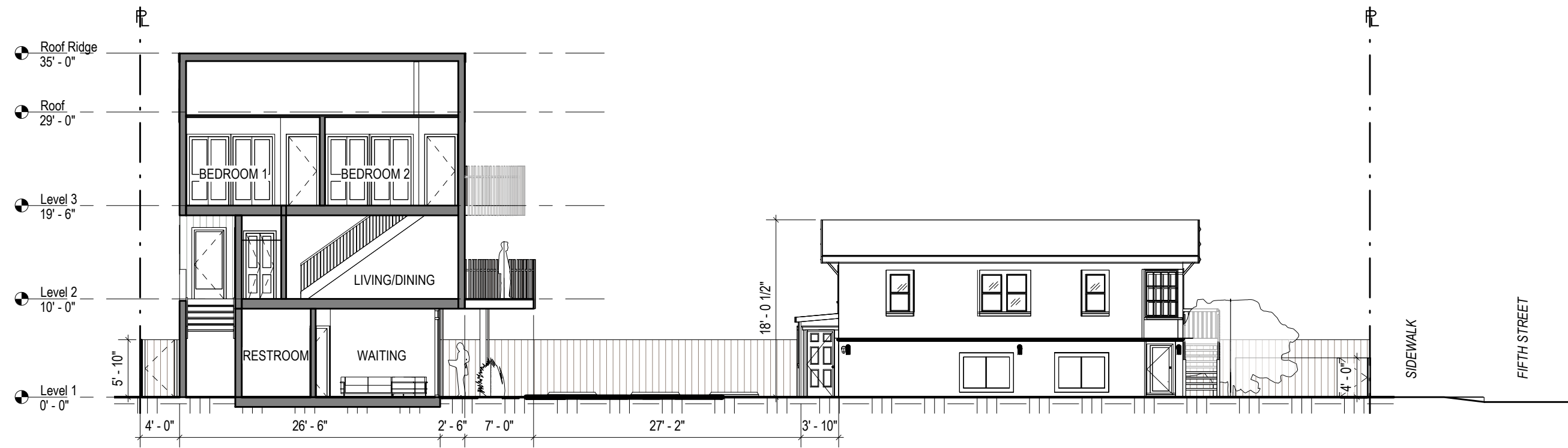
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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1 PROPOSED NORTH SECTION
3/32" = 1'-0"

A3.1

PROPOSED BUILDING SECTIONS

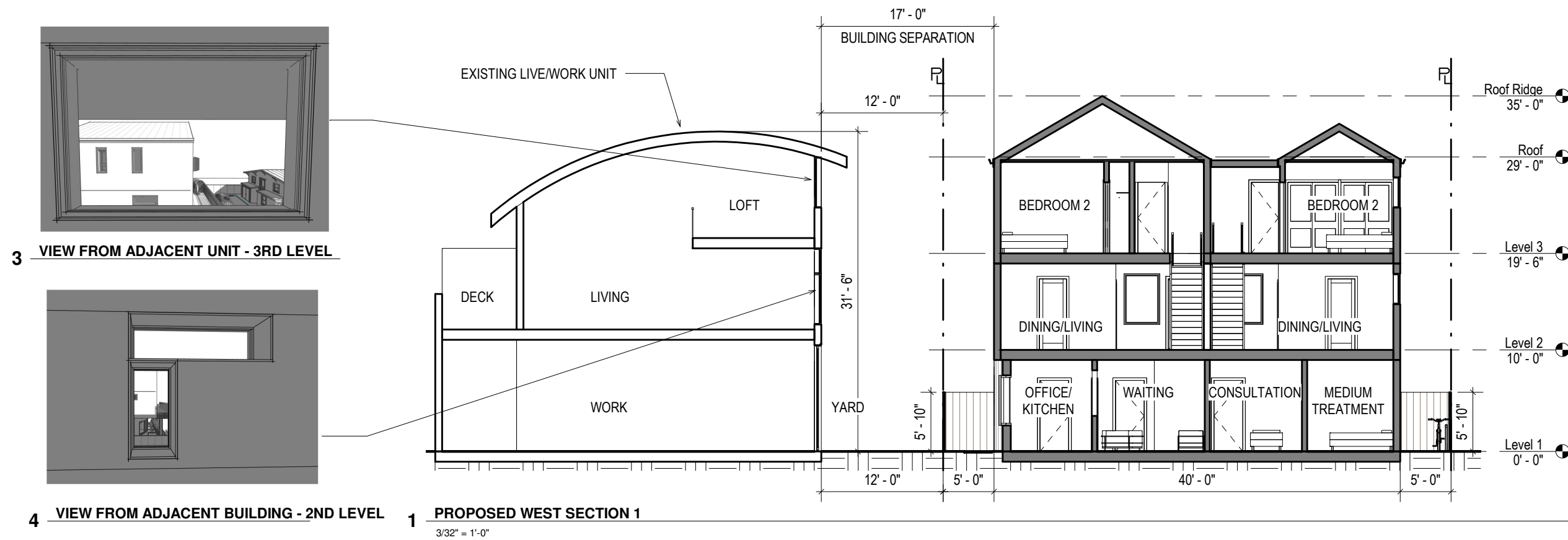
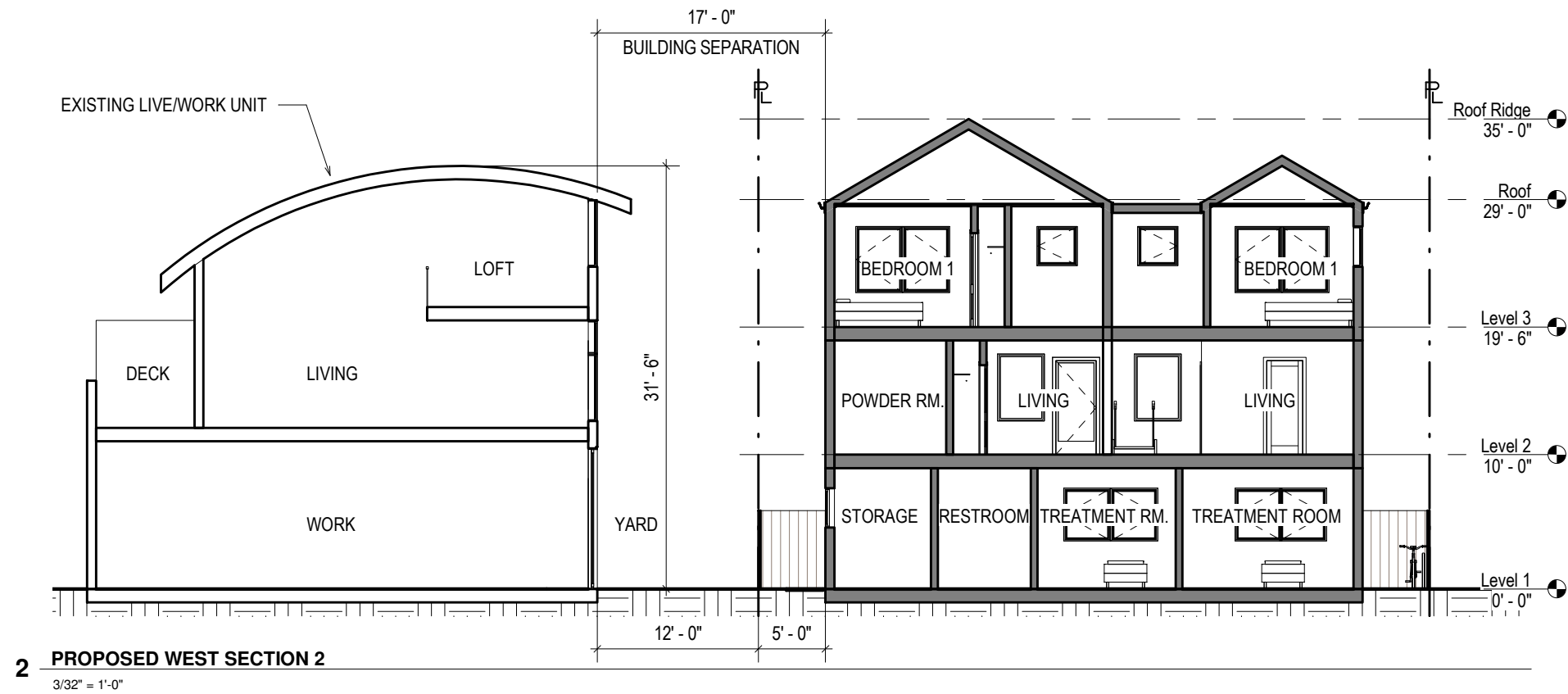
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A3.2

PROPOSED BUILDING SECTIONS

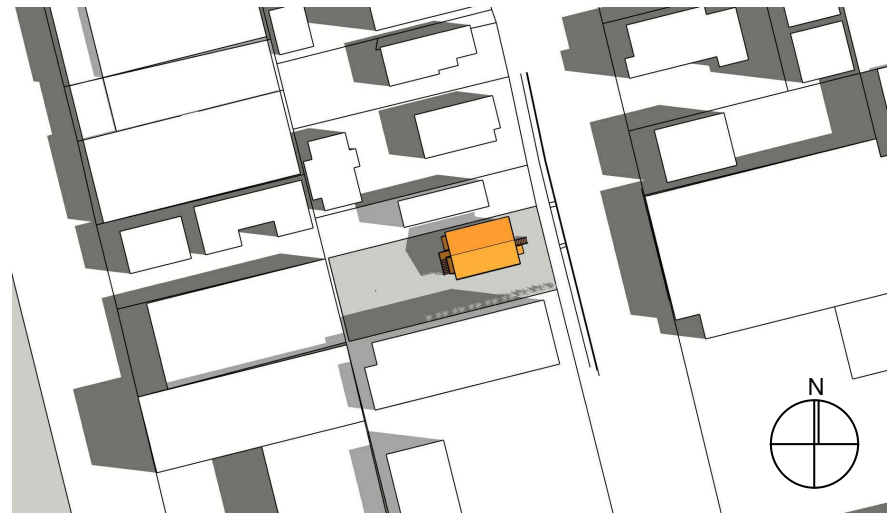
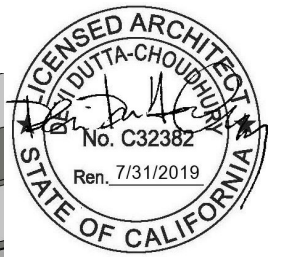
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2422 5TH STREET

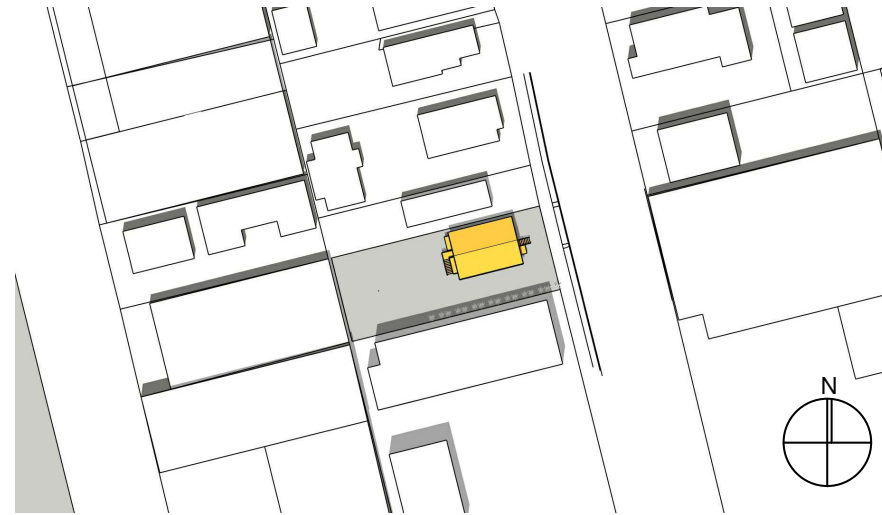
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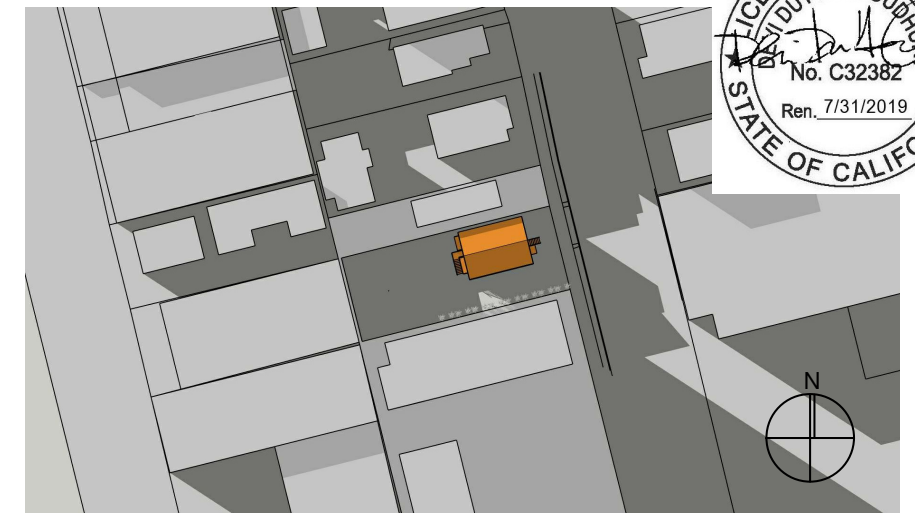
08.14.2019



1 EXISTING-JUNE 21 - 2 HR AFTER SUNRISE



2 EXISTING - JUNE 21 - 12.00 PM



3 EXISTING - JUNE 21 - 2 HR BEFORE SUNSET

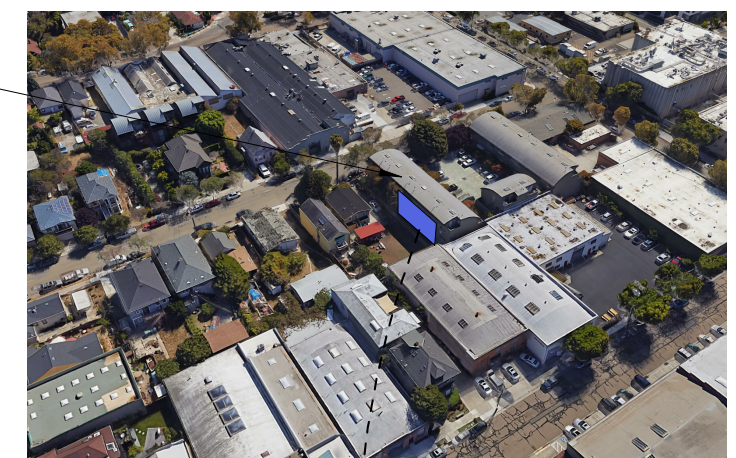


2423 4TH STREET - WAREHOUSE

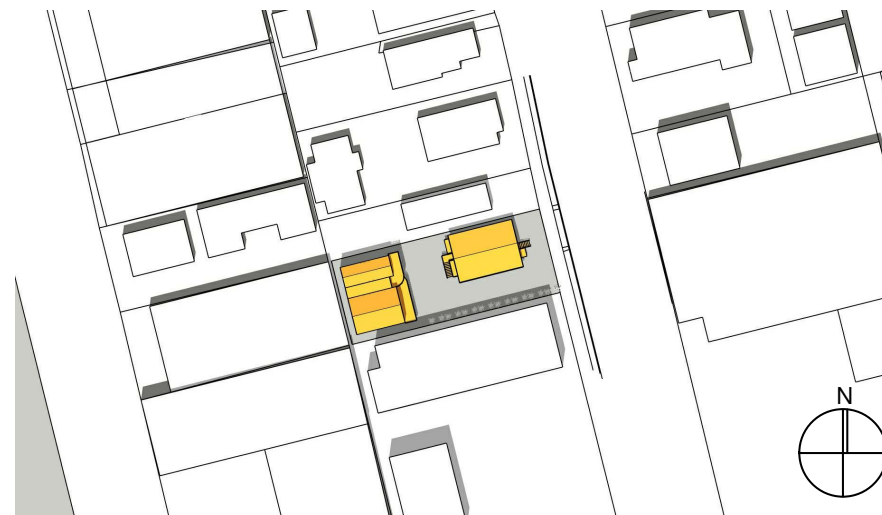
2430 4TH STREET - 3 STORY MULTI-FAMILY
BATHROOM & LIVING (ASSUMED)

SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - JUNE 21 - 2 HOUR AFTER SUNRISE



5 PROPOSED - JUNE 21 - 12.00 PM

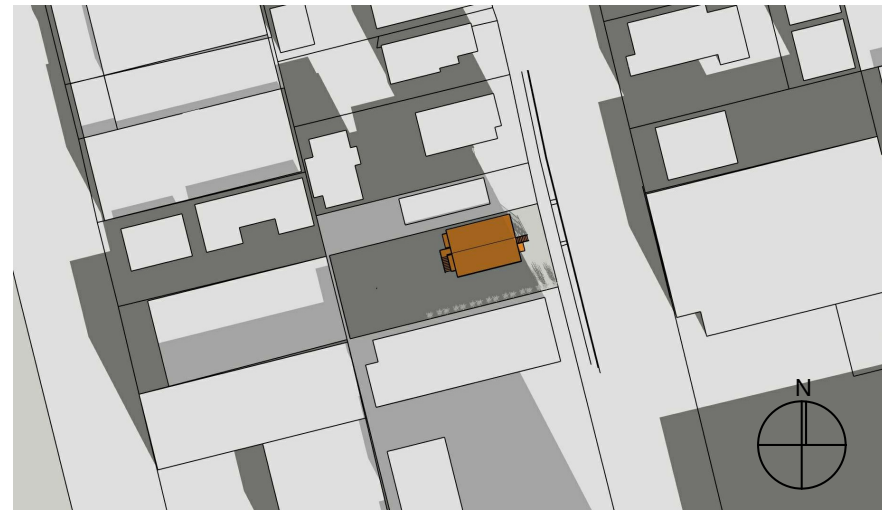
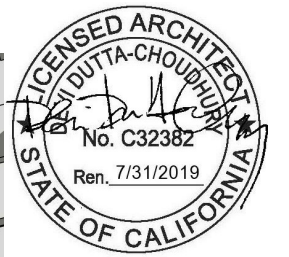


6 PROPOSED - JUNE 21 - 2 HR BEFORE SUNSET

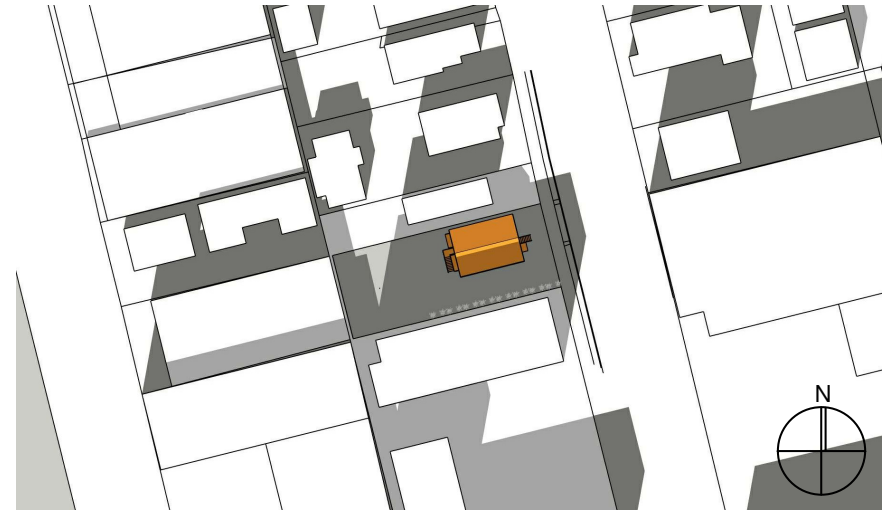
A4.1 SHADOW STUDIES - SUMMER SOLSTICE

SCALE: As indicated

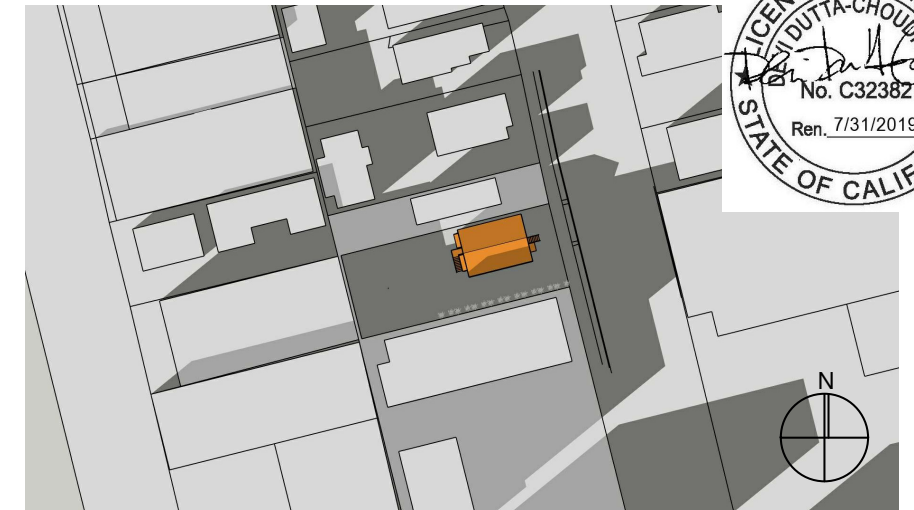
0 4 8 16 32



1 EXISTING - DECEMBER 21 - 2 HR AFTER SUNRISE



2 EXISTING - DECEMBER 21 - 12.00 PM



3 EXISTING - DECEMBER 21 - 2 HR BEFORE SUNSET



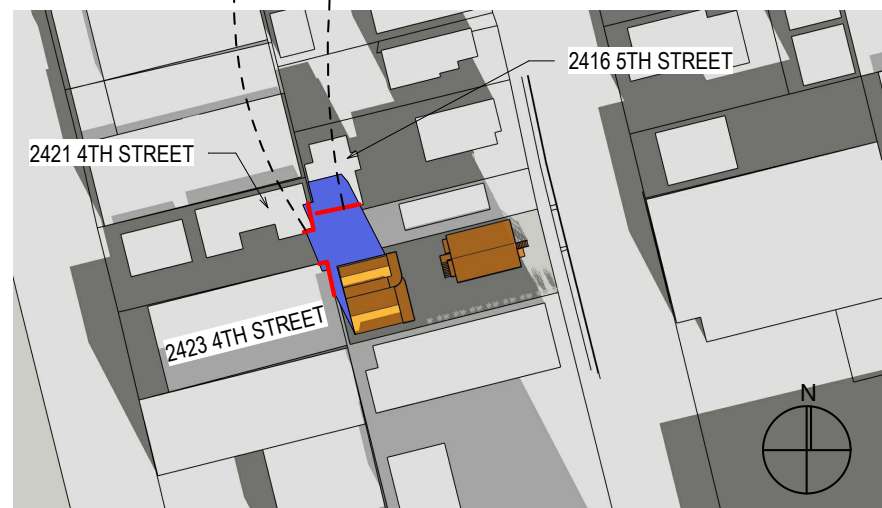
2421 4TH STREET - OFFICE BUILDING

2416 5TH STREET - 1 STORY SINGLE FAMILY

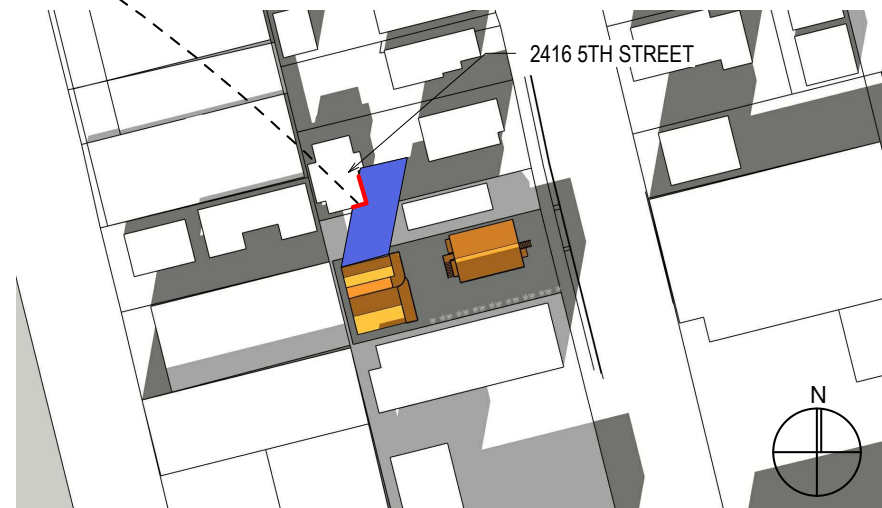
2418 5TH STREET - 2 STORY SINGLE FAMILY - LIVING ROOM (ASSUMED)

SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - DECEMBER 21 - 2 HR AFTER SUNRISE



5 PROPOSED - DECEMBER 21 - 12.00 PM



6 PROPOSED - DECEMBER 21 - 2 HR BEFORE SUNSET

A4.2

SHADOW STUDIES WINTER SOLSTICE

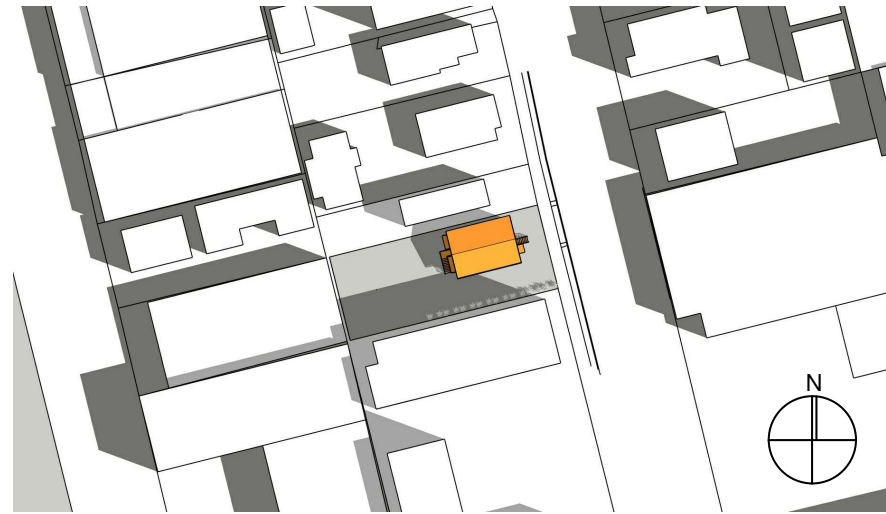
SCALE: As indicated 0 4 8 16 32

2422 5TH STREET

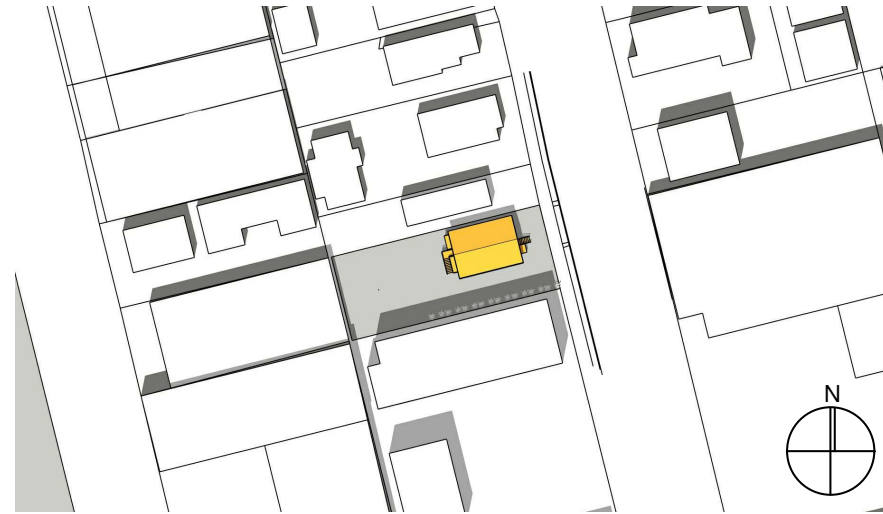
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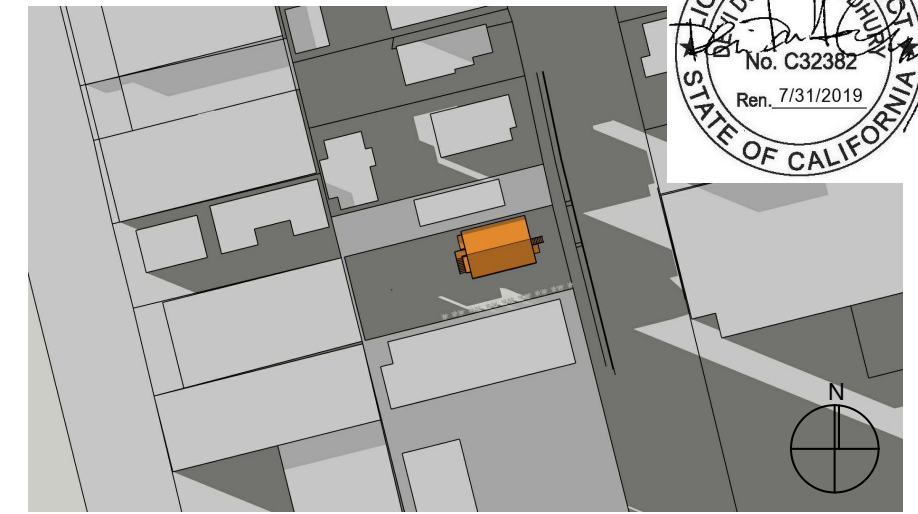
08.14.2019



1 EXISTING - MAY 1 - 8.13 AM



2 EXISTING - MAY 1 - 12.00 PM



3 EXISTING - MAY 1 - 6.00 PM



2423 4TH STREET - WAREHOUSE

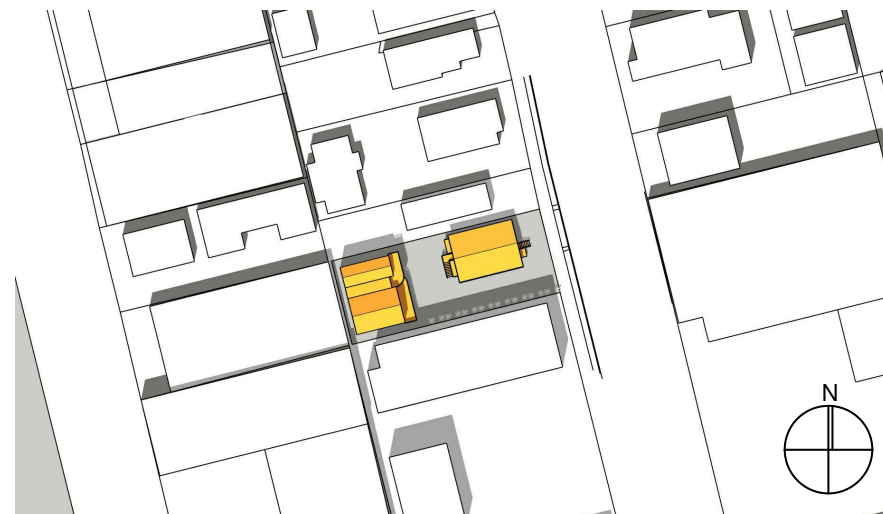
2430 5th STREET
3-STORY MULTI FAMILY -
BATH & LIVING (ASSUMED)

SHADOWS LEGEND

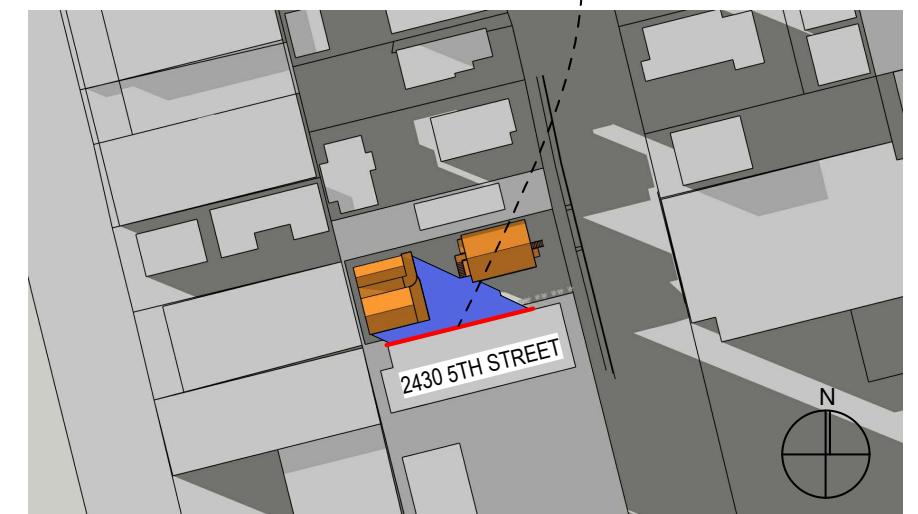
- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - MAY1 - 8.13 AM



5 PROPOSED - MAY 1 - 12.00 PM



6 PROPOSED - MAY1 - 6.00 PM

A4.3

SHADOW STUDIES REVIEW DATE

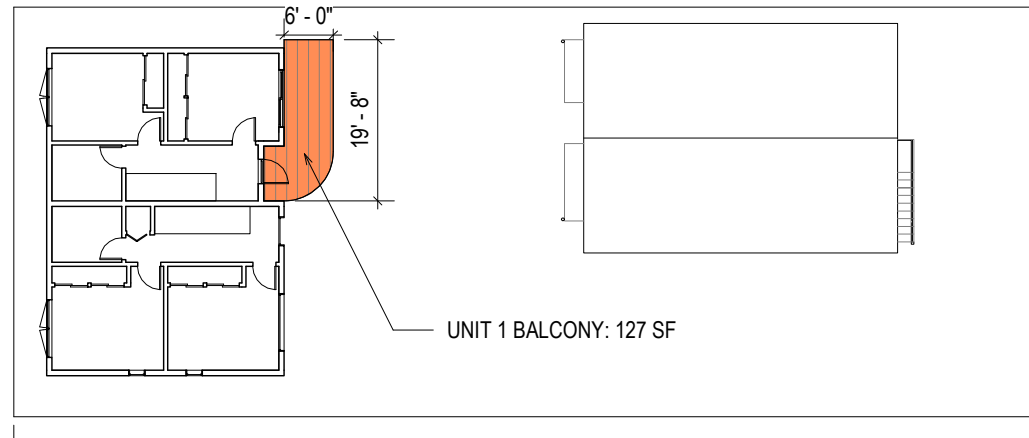
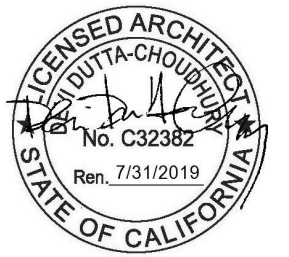
SCALE: As indicated 0 4 8 16 32

2422 5TH STREET

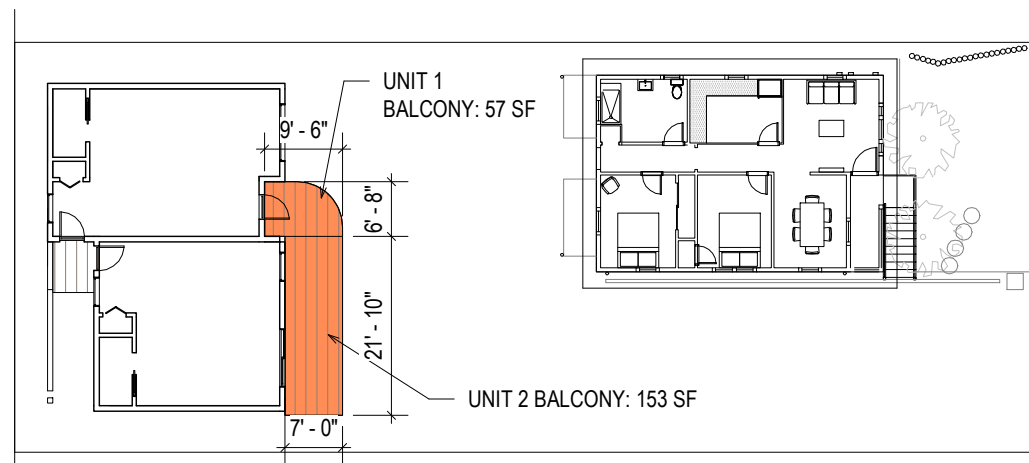
Devi Dutta Architecture Inc.

Zoning Submittal

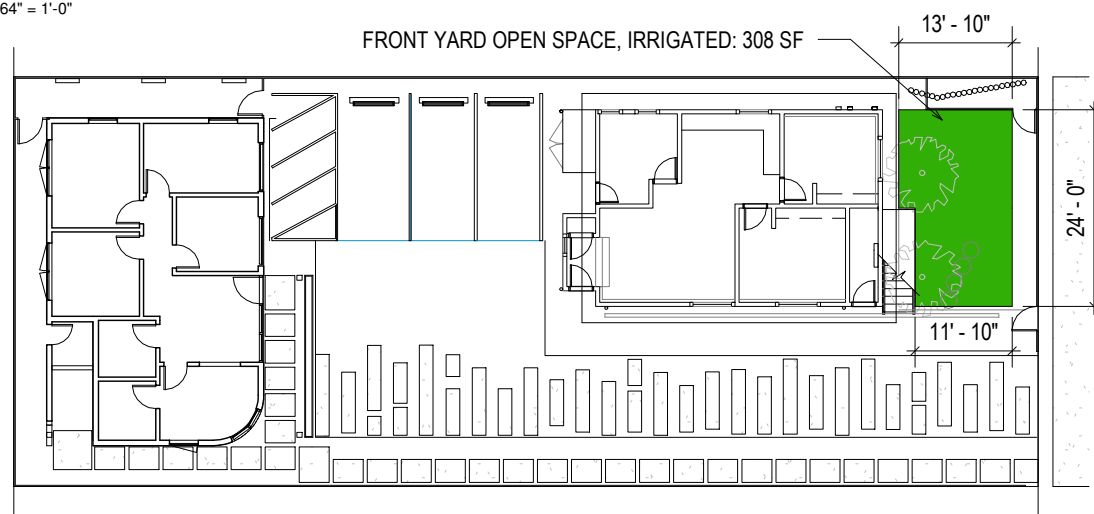
08.14.2019



3 Level 3 - Open Space
3/64" = 1'-0"



2 Level 2 - Open Space
3/64" = 1'-0"



1 Level 1 - Open Space
3/64" = 1'-0"

Ground Floor open space
Balcony

OPEN SPACE AREAS	
Level	Area
Level 1	308 SF
Level 2	210 SF
Level 3	127 SF
TOTAL	645 SF

A5.1

OPEN SPACE DIAGRAM

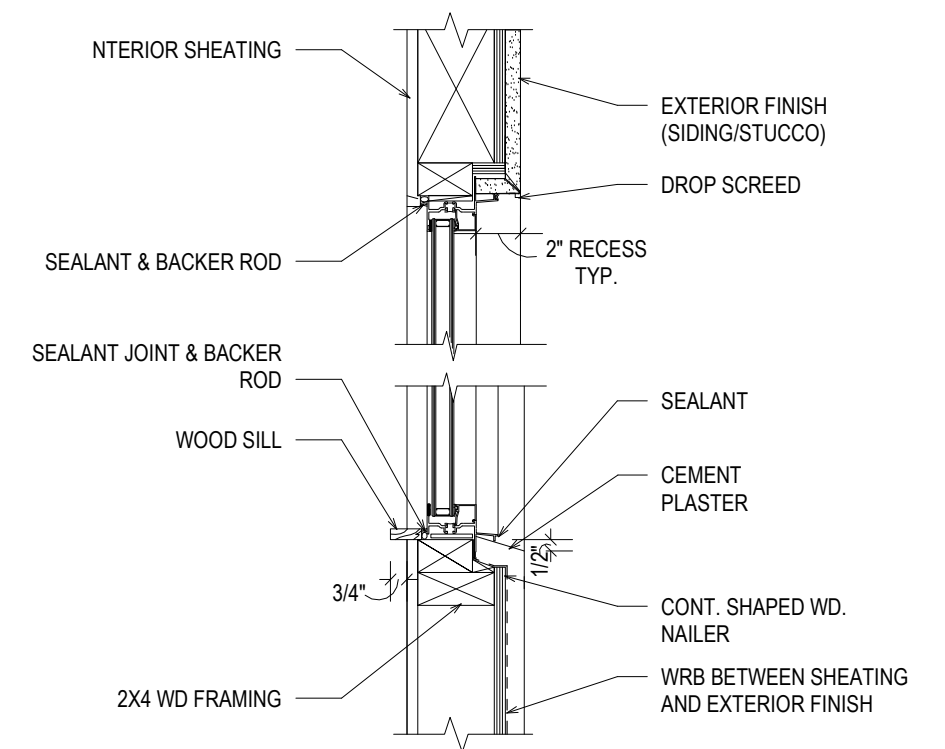
SCALE: 3/64" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

08.14.2019



1 TYPICAL NEW WINDOW DETAIL
1 1/2" = 1'-0"

A6.1 DETAILS

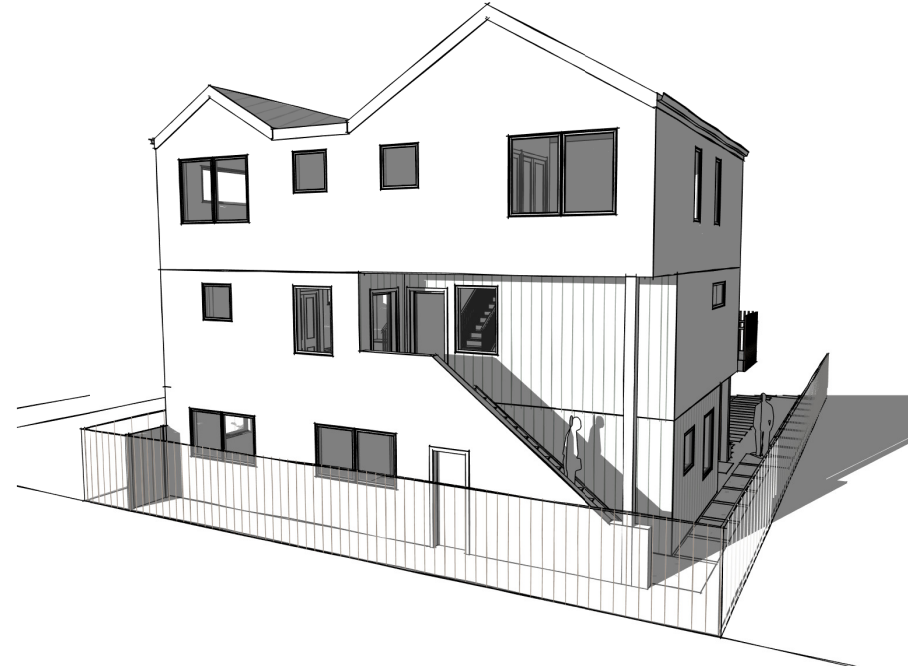
SCALE: 1 1/2" = 1'-0" 0 4 8 16 32

2422 5TH STREET

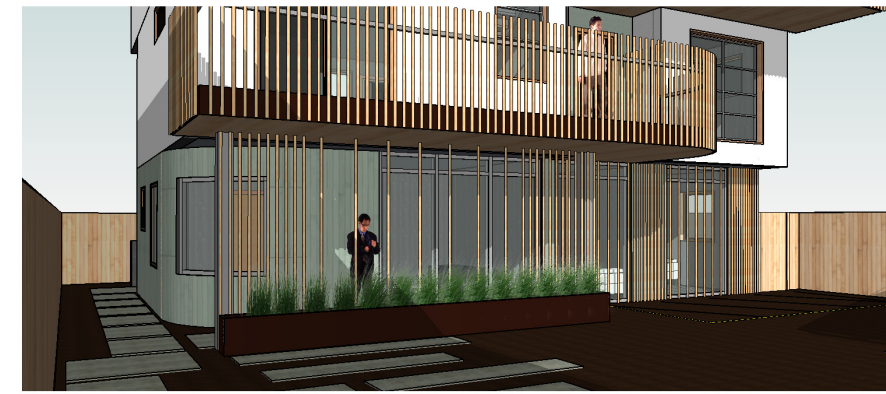
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5 SOUTH-WEST PERSPECTIVE



3 ENTRY PERSPECTIVE - LEFT CORNER



2 ENTRY PERSPECTIVE - RIGHT CORNER



4 EAST PERSPECTIVE

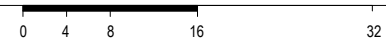


1 EAST ELEVATION

A7.1

PERSPECTIVE VIEWS

SCALE:



2422 5TH STREET

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08.14.2019

Received
AUG 22 2019
Land Use Planning

2422-5th Street

RESPONSE TO TRAFFIC ENGINEER COMMENTS – 2019/08/22:

1. Sheet A0.1: The joint use is two (2) parking spaces. The plan should include a description of the joint use parking and reference the zoning code that allows for the joint use parking.

RESPONSE:

A joint use parking agreement is proposed for 2422-5th Street. Three (3) spaces are required for the proposed acupuncture and wellness offices (classified as medical use by the zoning code), and four (4) spaces are required for the residences (one per unit). The owner of the project conducted two traffic studies to determine available street parking, and results support a parking waiver for 2 residential spaces. For the 2 remaining required spaces for the residences, we propose joint use of the medical spaces per the following required findings:

23D.12.060 Joint Use of Off-street Parking Spaces

A. The Zoning Officer may approve an AUP to allow a Joint Use Parking Agreement to satisfy off-street parking space requirements, if all of the following findings are made:

1. The off-street parking spaces designated for joint use are located within 800 feet of the use to be served; and

FINDING: the proposed joint-use parking is located on the project site, adjacent to the uses served.

2. The times demanded for these parking spaces will not conflict substantially between the use offering the spaces and the use to be served; and

FINDING: the residences and medical use support different peak use times. The medical office will be open on a limited 3- or 4- weekday schedule from 9am-4pm. The residences could have use of the parking for the remainder of the day. Typically, apartment residents leave for work during the open hours of the offices. The accessible parking space will be reserved for accessible use at all hours.

3. The off-street parking spaces designated for joint use are not otherwise committed to satisfying the parking requirements for some other use at similar times.

FINDING: these off-street spaces are not committed to other parking requirements in addition those described here.

2. Sheet A1.1: Show the bike parking. The bike parking should be located in a secured area and/or enclosure.

RESPONSE: Bike parking is shown on the plans. Existing bike parking at storage under front porch, and new bike parking at rear/side setback behind gate.

3. Sheet A1.1: The accessible aisle for a van accessible parking space is by standard on the right side of the disabled parking space. The applicant should confirm if there are

exceptions. We can check with the City ADA Specialist.

RESPONSE: per our reading of the code, access aisle should be located “adjacent” to accessible parking stall, and should provide direct access to accessible path to the uses served. Since access to the medical office is located at the west side of the property, the most direct access to the office from the parking space is on the west side.

4. Sheet A1.1: Pavers are not recommended for accessible paths.

RESPONSE: For the accessible walkway, landscape designer specified accessible porous gravel paver with aggregate fill, please see L1.0. These will be installed flush with accessible surface.

5. Sheet A1.1: The property line is a few feet behind the sidewalk per the Engineering Survey. The plan should show the actual property line and the fence must be within the property line.

RESPONSE: fence is located on property line, with existing planting to remain at ROW. Site plan clarified.

Please provide a copy of the language for the joint parking agreement that will be applied to the project. As noted above the joint parking agreement should be referenced or included in the project plans.

RESPONSE: joint parking noted in the plans. Language & findings included above, and will be included in lease agreements with tenants, and shown on signage at each parking space with text similar to:

“PARKING FOR OFFICE USE BETWEEN THE HOURS OF 10AM – 4PM, M-F. RESIDENT PARKING ALL OTHER TIMES.” (hours and days of operation TBD).



PLANNING & DEVELOPMENT

Land Use Planning, 1947 Center Street, Berkeley, CA 94704
Tel: 510.981.7410 TDD: 510.981.6903 Fax: 510.981.7420 Email: Planning@CityofBerkeley.info

TABULATION FORM

Project Address: 2422 5TH STREET Date: 8/14/2019
 Applicant's Name: DEVI DUTTA ARCHITECTURE
 Zoning District MIXED USE RESIDENTIAL (MUR)

Please print in ink the following numerical information for your Administrative Use Permit, Use Permit, or Variance application:

	<i>Existing</i>	<i>Proposed</i>	<i>Permitted/ Required</i>
Units, Parking Spaces & Bedrooms			
Number of Dwelling Units (#)	2	4 + OFFICE	$\frac{1\text{DU}}{1250} = \frac{6250}{1250} = 5$ ALLOWABLE UNITS
Number of Parking Spaces (#)	2	3 MEDICAL, 2 JOINT USE, 2 WAIVER	1/UNIT 1/300 SF MED
Number of Bedrooms (#) (R-1, R-1A, R-2, R-2A, and R-3 only)	4	8	-
Yards and Height			
Front Yard Setback (Feet)	19'	14'-9 1/2"	5'
Side Yard Setbacks: (facing property)			
Left: (Feet)	22'	5'	10% OF LOT WIDTH= 5'
Right: (Feet)	4'	5'	10% OF LOT WIDTH=5'
Rear Yard Setback (Feet)	67'	4'	NONE ADJACENT TO NON RES.
Building Height* (# Stories)	2	3	3
Average* (Feet)	16'-3"	32'	-
Maximum* (Feet)	18'-1/2"	35'	35'
Areas			
Lot Area (Square-Feet)	6250	6250	40' WIDTH MIN.
Gross Floor Area* (Square-Feet)			
Total Area Covered by All Floors	1670	4806	-
Building Footprint* (Square-Feet)	984 (INCL STAIRS)	2420	-
Total of All Structures			
Lot Coverage* (%) (Footprint/Lot Area)	15.7%	$\frac{2420}{6250} / \%8.7$	<40%
Useable Open Space* (Square-Feet)	3297 SF	645 SF	150 / UNIT = 600 SF
Floor Area Ratio* Non-Residential only (Except ES-R)	N/A	0.77	1.5

*See Definitions – Zoning Ordinance Title 23F.

Revised: 05/15



5TH STREET TOWNHOMES AND WELLNESS OFFICES

2422 5TH STREET, BERKELEY, CA 94710

ARCHITECT/APPLICANT

DEVI DUTTA-CHOUDHURY, AIA
DEVI DUTTA ARCHITECTURE
928 CARLETON STREET
BERKELEY, CA 94710
510/705-1937
hello@devidutta.com

OWNER

ANNA & CARL GOLD
2422 5TH STREET
BERKELEY, CA 94710

LANDSCAPE

MANTLE LANDSCAPE
ARCHITECTURE
930 CARLETON STREET
BERKELEY, CA 94710
510-927-3202

TRAFFIC ENGINEER

ABRAMS ASSOCIATES
1875 OLYMPIC BOULEVARD,
SUITE 210
WALNUT CREEK, CA 94596
925-945-0201

PROJECT DESCRIPTION

CONSTRUCTION OF 2 NEW DWELLING UNITS AND 1 ACUPUNCTURE & WELLNESS OFFICE AT REAR YARD. EXISTING FRONT DUPLEX TO REMAIN.

SHEET LIST ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 PROJECT INFORMATION
- A0.2 AREA DIAGRAMS
- A0.3 SURVEY
- A0.4 STREET STRIP
- A0.5 VICINITY MAP
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED FIRST FLOOR PLAN
- A1.3 PROPOSED SECOND FLOOR PLAN
- A1.4 PROPOSED THIRD FLOOR PLAN
- A2.1 EAST & NORTH ELEVATIONS
- A2.2 WEST & SOUTH ELEVATIONS
- A3.1 PROPOSED BUILDING SECTIONS
- A3.2 PROPOSED BUILDING SECTIONS
- A5.1 OPEN SPACE DIAGRAM
- A6.1 DETAILS
- A7.1 PERSPECTIVE VIEWS

SHEET LIST LANDSCAPE

- L1.0 SCHEMATIC MATERIAL PLAN
- L2.0 SCHEMATIC PLANTING PLAN
- L2.1 PROPOSED PLANTING PALETTE



A0.0 COVER SHEET
SCALE:

2422 5TH STREET
Devi Dutta Architecture Inc.

Zoning Submittal
08.21.2019



PROJECT ADDRESS

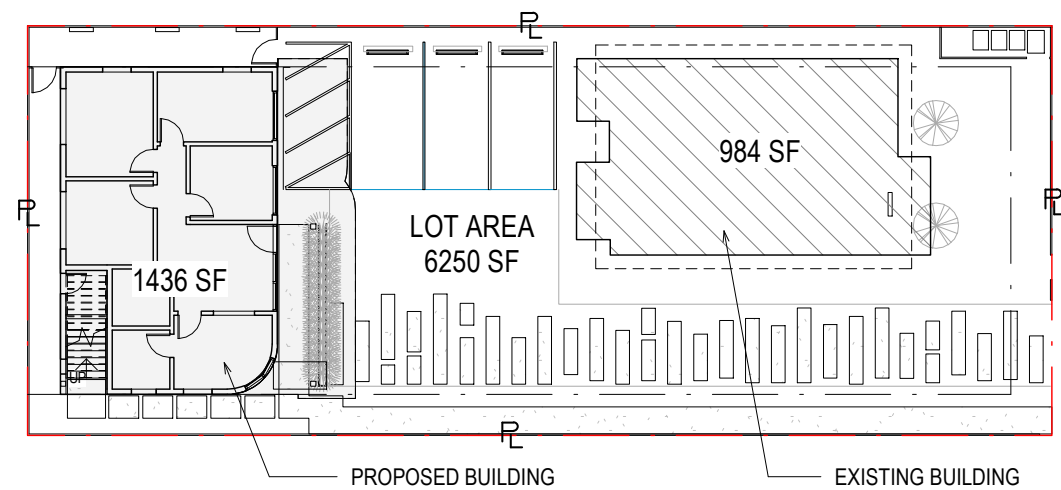
2422 5TH STREET, BERKELEY, CA 74710

ASSESSOR'S PARCEL #:

56-1944-11

ZONING INFORMATION

ZONING DISTRICT: MU-R
 FLOOD ZONE: NO
 FIRE ZONE: 1
 ENV. MGMT AREA: NO
 LANDMARKS STRUCTURE OF MERIT: NO



1 LOT COVERAGE DIAGRAM

3/64" = 1'-0"

A0.1 PROJECT INFORMATION

SCALE: 3/64" = 1'-0" 0 4 8 16 32

ZONING DEVELOPMENT STANDARDS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED/PERMITTED</u>
NUMBER OF DWELLING UNITS	2	4	5 MAX
AREAS			
LOT SIZE	125' X 50' = 6250 SF	125' X 50' = 6250 SF	40' WIDTH MIN.
TOTAL GROSS FLOOR AREA	1670 SF	1670 SF + 3136 SF = 4806 SF	
NEW DUPLEX AREA		2170 SF	
MEDICAL OFFICES AREA		967 SF	
FAR	0.27	0.77	1.5
BUILDING FOOTPRINT	984 SF	984 SF + 1436 SF = 2420 SF	
LOT COVERAGE	15.7 %	38.7 %	40% MAX.
IMPERVIOUS SURFACE	2295 SF	2331 SF	
USEABLE OPEN SPACE	3297 SF	645 SF	600 SF MIN.
HEIGHT & STORIES			
AVERAGE	16'-3"	32' - 0"	35' - 0"
MAXIMUM	18' - 1/2"	35' - 0"	35' - 0"
STORIES	2	3	3
SETBACKS			
FRONT:	19'-0"	14' - 9 1/2"	5' - 0"
NORTH SIDE	4' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
SOUTH SIDE	22' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
REAR:	67' - 0"	4' - 0"	NONE (ADJACENT TO NON-RESIDENTIAL)
PARKING SPACES			
RESIDENTIAL*:	1 / UNIT = 2 TANDEM SPACES	(2) PROVIDED VIA JOINT USE PARKING PER BMC 23D.12.060	1 / UNIT = 4 REQUIRED
MEDICAL:	N/A	(3) PROVIDED	1 / 300 SF = 3 REQUIRED
BIKE PARKING:	1	(3) RESIDENTIAL, (1) COMMERCIAL	1 / 2000 SF NON-RES AREA = 1 REQ

*(2) PARKING WAIVER

2422 5TH STREET

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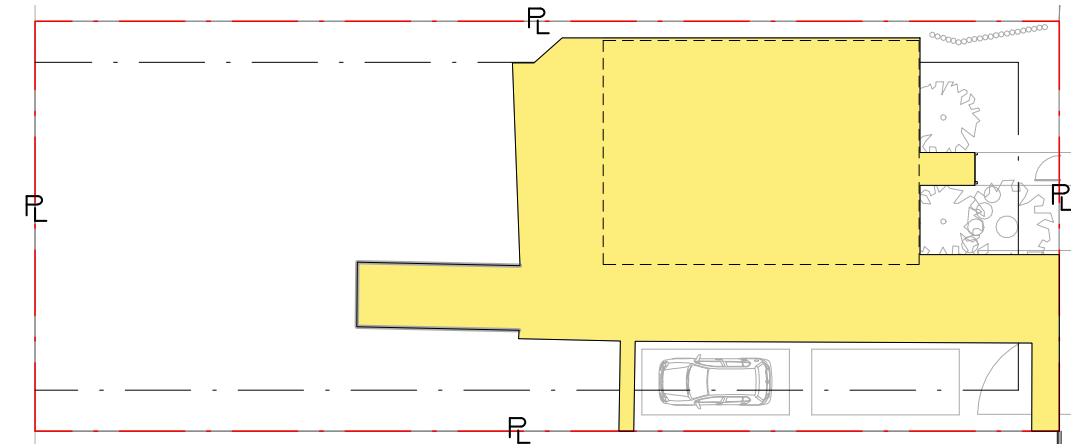
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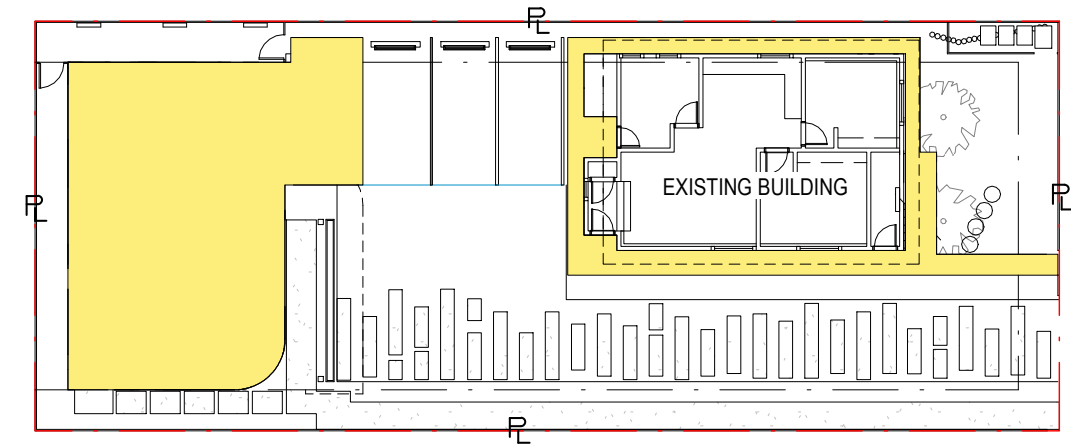


ABBREVIATIONS

A/C	AIR CONDITIONING	JAN.	JANITOR
ADJ.	ADJACENT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR		
ALUM.	ALUMINUM	L.P.	LOW POINT
ALT.	ALTERNATE		
APPROX.	APPROXIMATELY	MAX	MAXIMUM
ARCH.	ARCHITECTURAL	M.C.	MEDICINE CABINET
A.C.T.	ACOUSTIC CEILING TILE	M.D.	MOTION DETECTOR
		MECH.	MECHANICAL
B.BD	TELEPHONE BACK BOARD	MFR	MANUFACTURER
BLDG.	BUILDING	MIN	MINIMUM
BLKG.	BLOCKING	MTD.	MOUNTED
BOT.	BOTTOM	MTL.	METAL
		(N)	NEW
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	NO.	NUMBER
C.G.	CORNER GUARD	N.T.S.	NOT TO SCALE
CHG.	CHANGE	O.C.	ON CENTER
CLG.	CEILING	OFF.	OFFICE
CLOS.	CLOSET	OPNG.	OPENING
CLR.	CLEAR	OPP.	OPPOSITE
C.M.U.	CONCRETE MASONRY UNIT	O.T.B.	OPEN TO BELOW
COL.	COLUMN		
CONC.	CONCRETE	PR.	PAIR
CONN.	CONNECTION	P-LAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PTD.	PAINTED
CORR.	CORRIDOR	PLWD.	PLYWOOD
C.T.	CERAMIC TILE	P.O.	PRIVATE OFFICE
CTR.	CENTER		
DET.	DETAIL	R	RISER
DIA/O	DIAMETER	R.C.P.	REFLECTED CEILING PLAN
DIM.	DIMENSION	R.D.	ROOF DRAIN
DN.	DOWN	REFR.	REFRIGERATOR
DWG.	DRAWING	REQ.	REQUIRED
DS.	DOWNSPOUT	RM.	ROOM
		R.O.	ROUGH OPENING
(E)	EXISTING	S.C.	SOLID CORE
EA.	EACH	S.D.	STORM DRAIN
EL.	ELEVATION	SAF	SELF-ADHERED FLASHING
ELEC.	ELECTRICAL	STOR.	STORAGE
ELEV.	ELEVATOR	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	SCD	SEE CIVIL DRAWINGS
EXP.	EXPANSION	SED	SEE ELECTRICAL DRAWINGS
EXPOS.	EXPOSED	SLD	SEE LANDSCAPE DRAWINGS
EXT.	EXTERIOR	SMD	SEE MECHANICAL DRAWINGS
		SPD	SEE PLUMBING DRAWINGS
F.D.	FLOOR DRAIN	SSD	SEE STRUCTURAL DRAWINGS
FIN.	FINISH	STRL.	STRUCTURAL
FL.	FLOOR		
FLASH.	FLASHING	T	TREAD
FLUOR.	FLUORESCENT	T.B.D.	TO BE DETERMINED
F.O.F.	FACE OF FINISH	T&G	TONGUE AND GROOVE
F.O.S.	FACE OF STUD	TEL.	TELEPHONE
FPRFP.	FIREPROOF	T.O.	TOP OF
FSD	FIRE SEPARATION DISTANCE	TYP.	TYPICAL
FURR.	FURRING		
		U.O.N.	UNLESS OTHERWISE NOTED
GA.	GAGE	V.I.F.	VERIFY IN FIELD
GALV.	GALVANIZED		
G.C.	GENERAL CONTRACTOR	WD.	WOOD
GL.	GLASS	W.P.	WATERPROOF
GR.	GRADE		WEATHER RESISTANT BARRIER
GYP. BD.	GYPSUM BOARD	WRB	
H.B.	HOSE BIB		
HC	HANDICAPPED		
H.C.	HOLLOW CORE		
HDWR.	HARDWARE		
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
HP	HIGH POINT		
HR.	HOUR		
H.W.	HOT WATER		
INSUL.	INSULATION/INSULATED		
INT.	INTERIOR		



1 EXISTING IMPERVIOUS SURFACE - 2295 SF
3/64" = 1'-0"

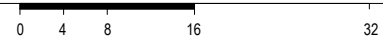


2 NEW OR REPLACED IMPERVIOUS SURFACE - 1622 SF
3/64" = 1'-0"

A0.2

AREA DIAGRAMS

SCALE: **3/64" = 1'-0"**



2422 5TH STREET

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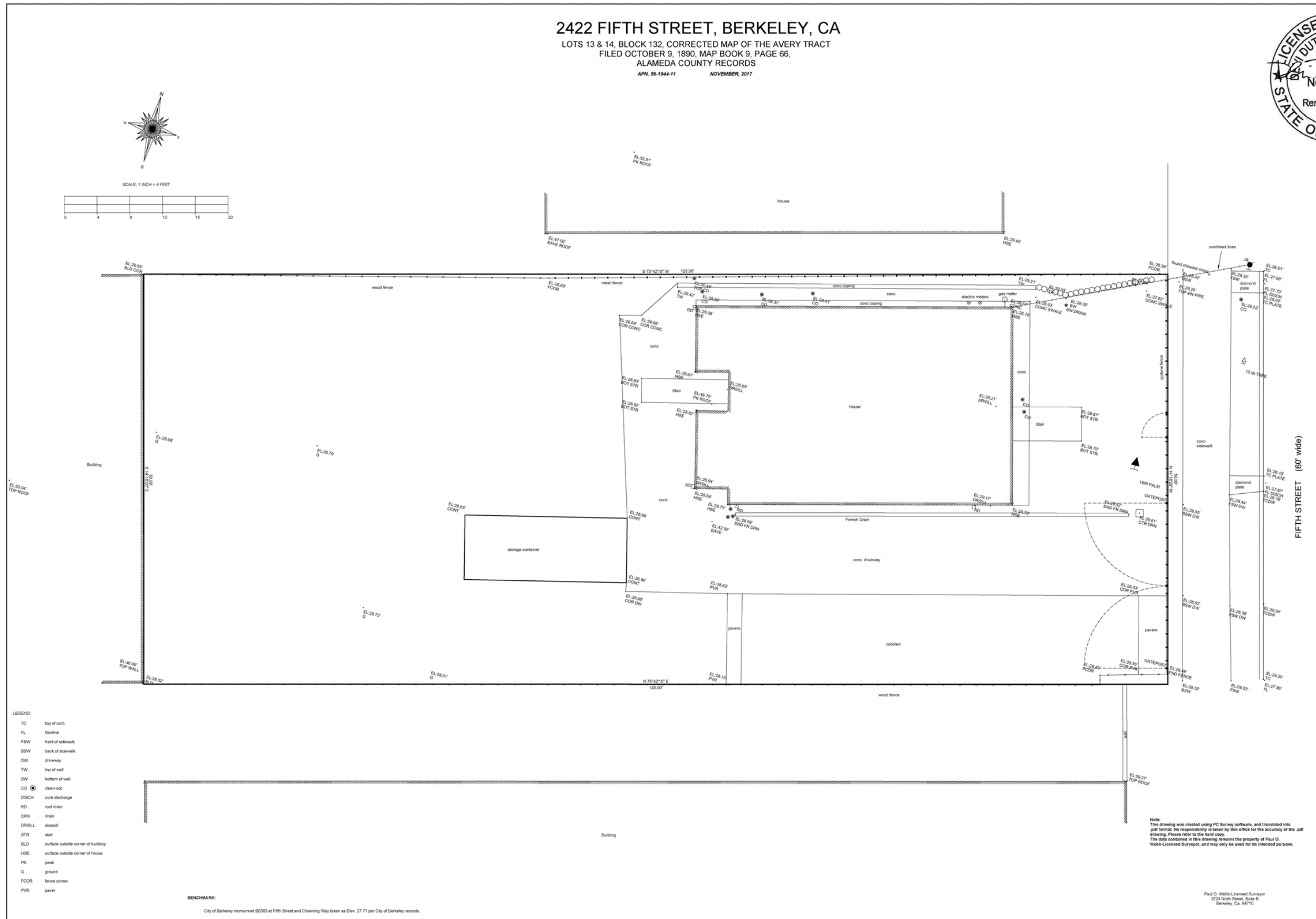
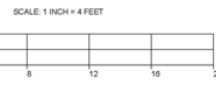
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2422 FIFTH STREET, BERKELEY, CA

LOTS 13 & 14, BLOCK 132, CORRECTED MAP OF THE AVERY TRACT
FILED OCTOBER 9, 1890, MAP BOOK 9, PAGE 66,
ALAMEDA COUNTY RECORDS
APN: 56-1944-11 NOVEMBER, 2017



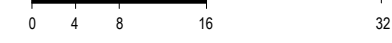
- LEGEND:
- TC top of curb
 - FL flowline
 - FSW front of sidewalk
 - BSW back of sidewalk
 - DW driveway
 - TW top of wall
 - BW bottom of wall
 - CO clean-out
 - DISCH curb discharge
 - RD roof drain
 - DRN drain
 - DRSLL door sill
 - STR stair
 - BLD surface outside corner of building
 - HSE surface outside corner of house
 - PK peak
 - G ground
 - FCOR fence corner
 - PVR paver

BENCHMARK:
City of Berkeley monument B0363 at Fifth Street and Channing Way taken as Elev. 27.71 per City of Berkeley records.

Note:
This drawing was created using PC Survey software, and translated into .pdf format. No responsibility is taken by this office for the accuracy of the .pdf drawing. Please refer to the hard copy.
The data contained in this drawing remains the property of Paul O. Web, Licensed Surveyor, and may only be used for its intended purpose.

Paul O. Web, Licensed Surveyor
2724 North Street, Suite B
Berkeley, CA 94710

A0.3 SURVEY
SCALE:



2422 5TH STREET
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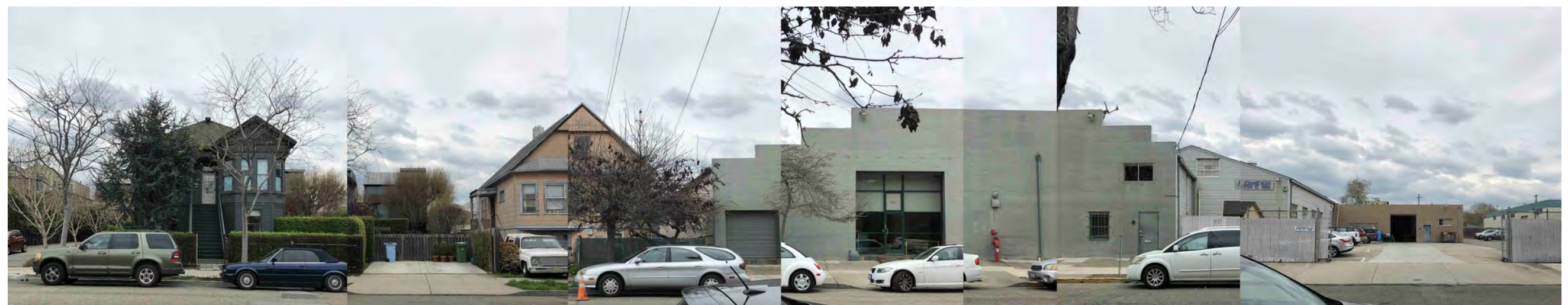
EXISTING WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



PROPOSED WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY

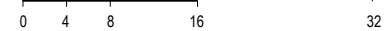


EXISTING EAST VIEW 2422 5TH STREET

A0.4

STREET STRIP

SCALE:

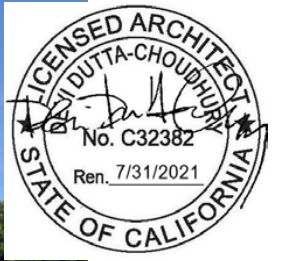


2422 5TH STREET

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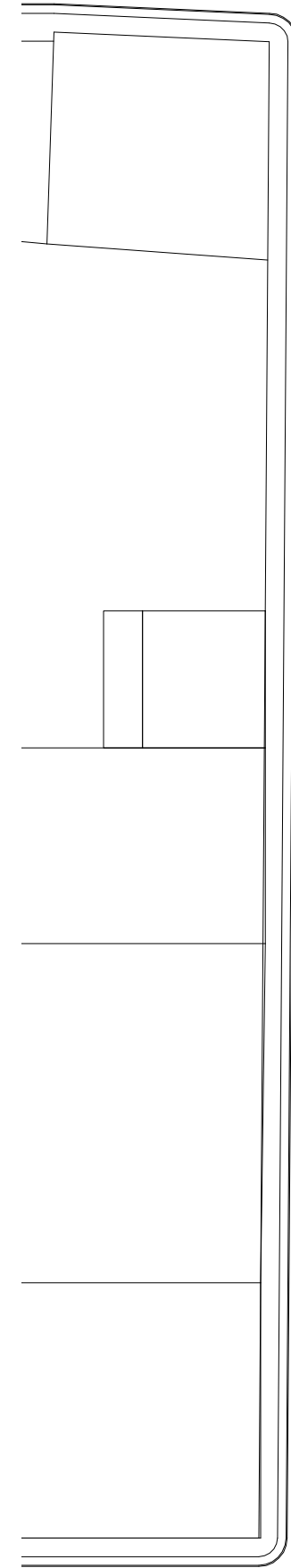
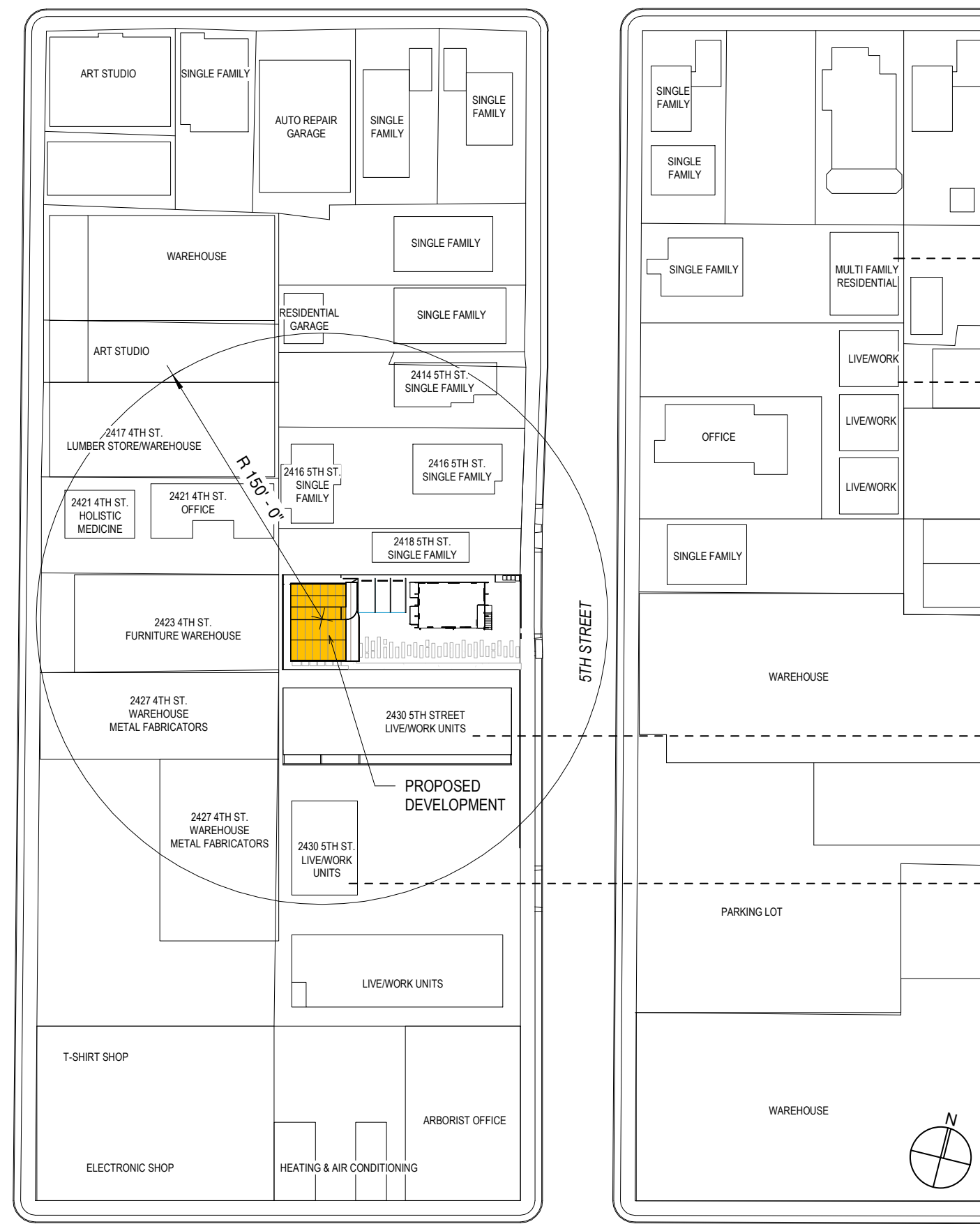


2422 5TH STREET

Zoning Submittal

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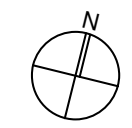
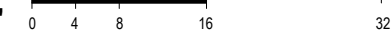
08.21.2019



A0.5

VICINITY MAP

SCALE: 1/64" = 1'-0"





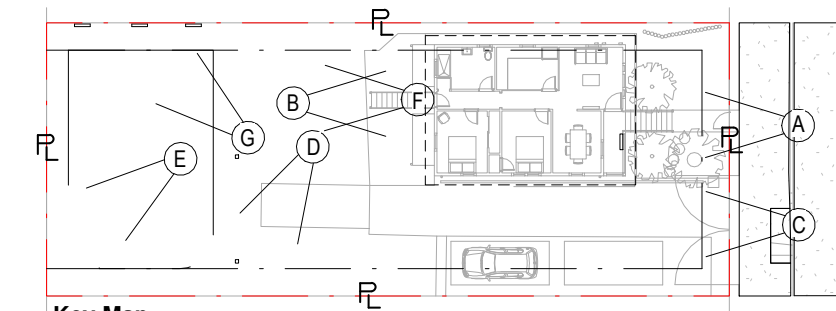
A - EXISTING FRONT OF HOUSE



B - EXISTING BACK OF HOUSE



C - EXISTING DRIVEWAY



1 Key Map
1/32" = 1'-0"



D,E - ADJACENT MULTI-FAMILY BUILDING



F - EXISTING REAR STAIR/YARD



G - REAR YARD NORTH SIDE

A0.6

SITE PHOTOS

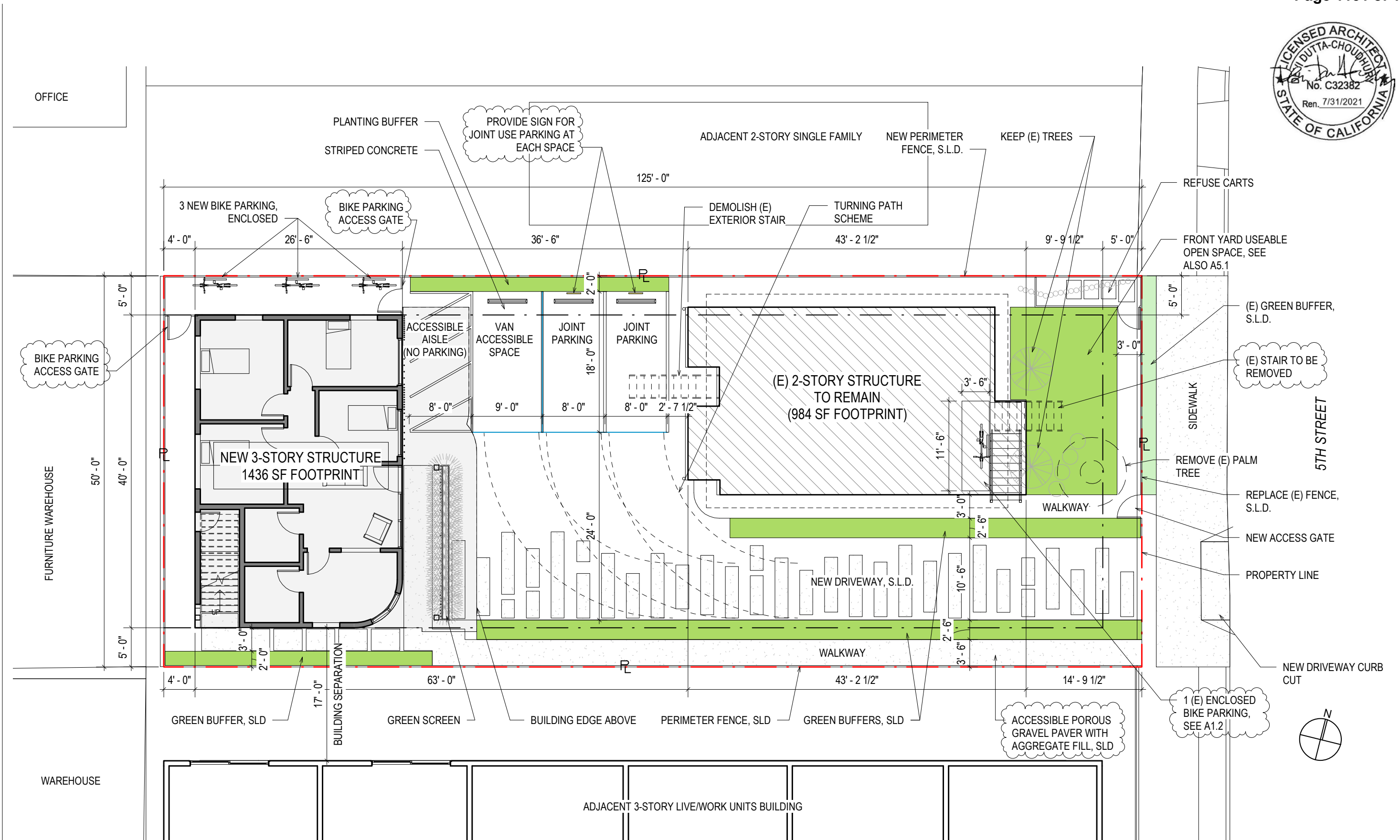
SCALE: 1/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

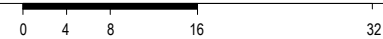
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A1.1 PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"



2422 5TH STREET

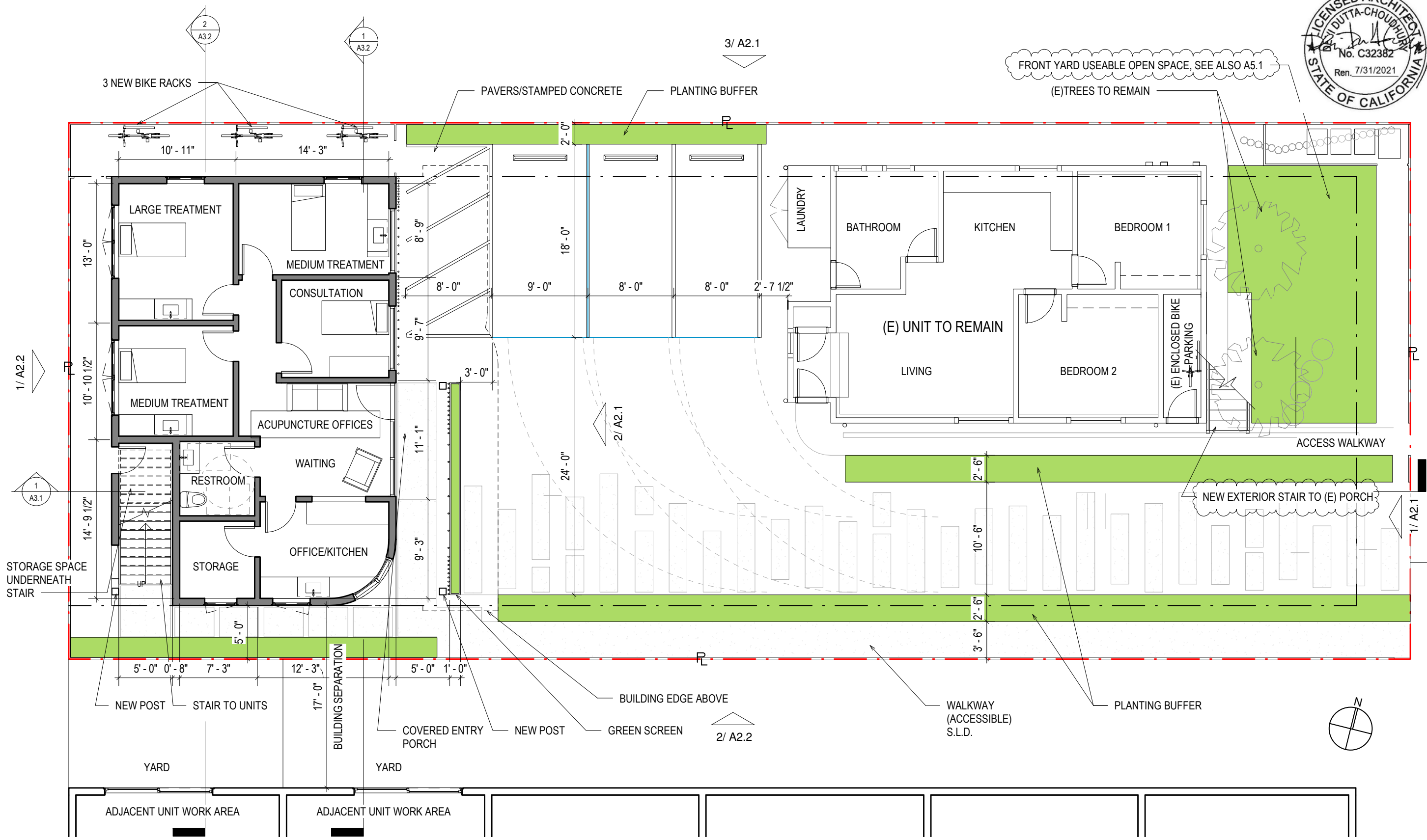
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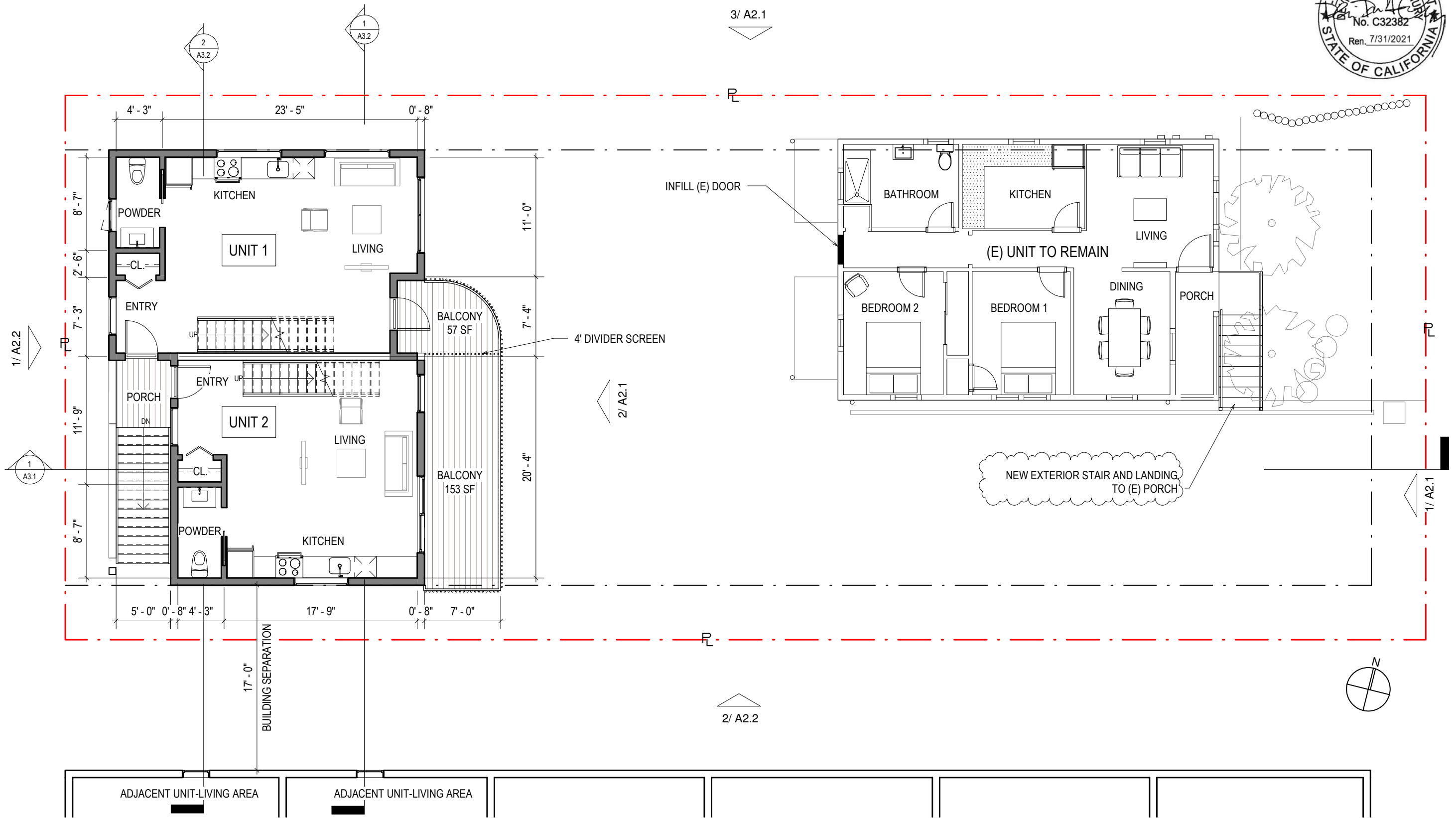
08.21.2019



FRONT YARD USEABLE OPEN SPACE, SEE ALSO A5.1
(E) TREES TO REMAIN



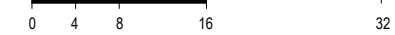
A1.2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
0 4 8 16 32



A1.3

PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

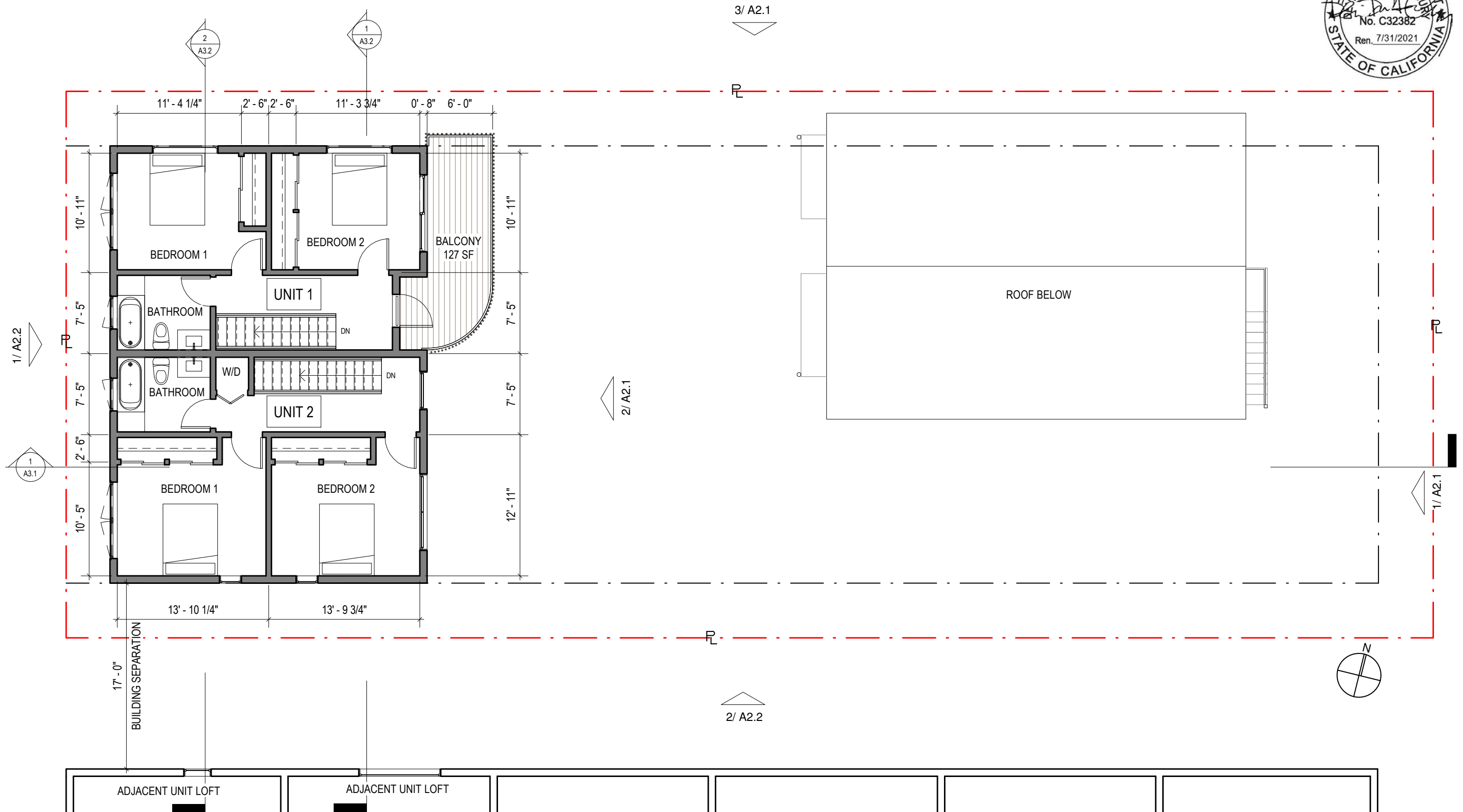


2422 5TH STREET

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A1.4

PROPOSED THIRD FLOOR PLAN

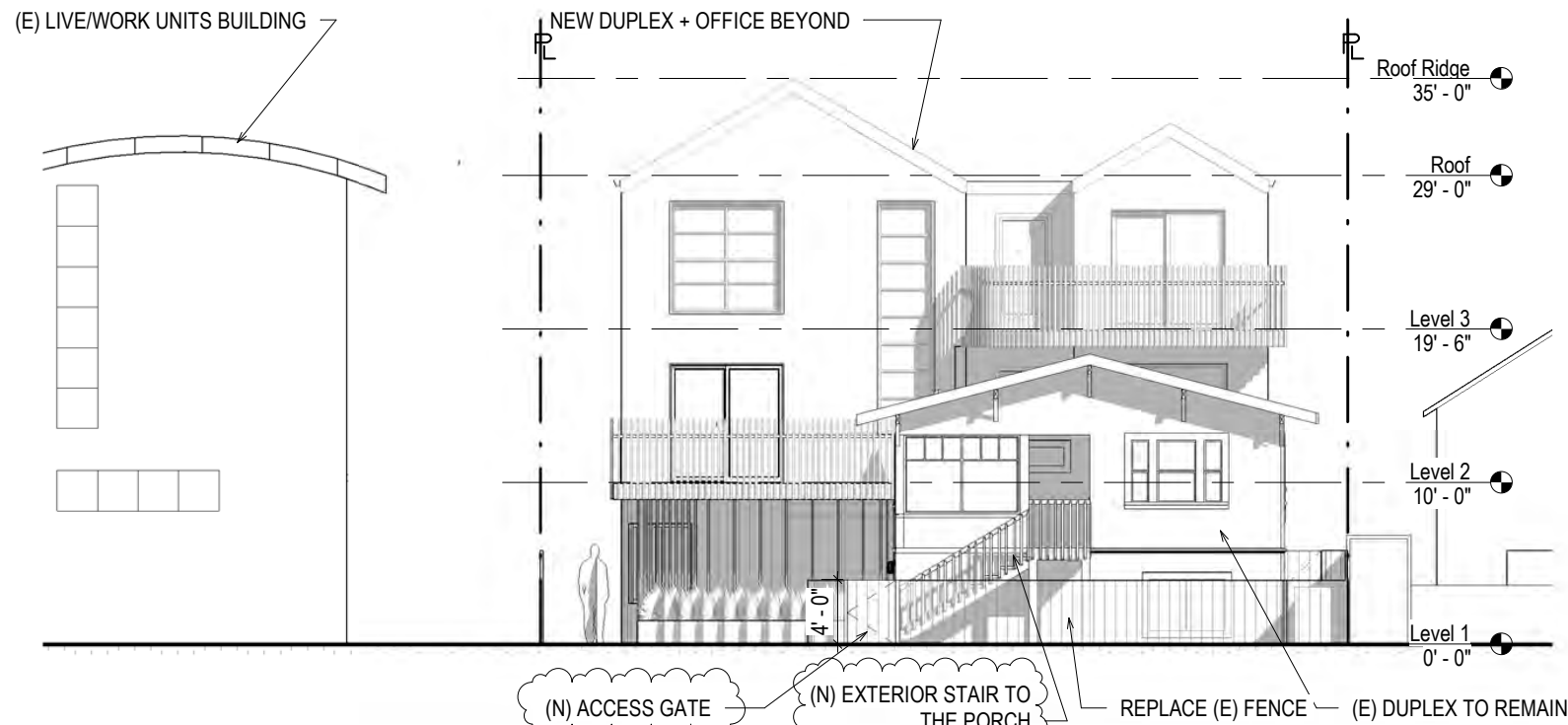
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2422 5TH STREET

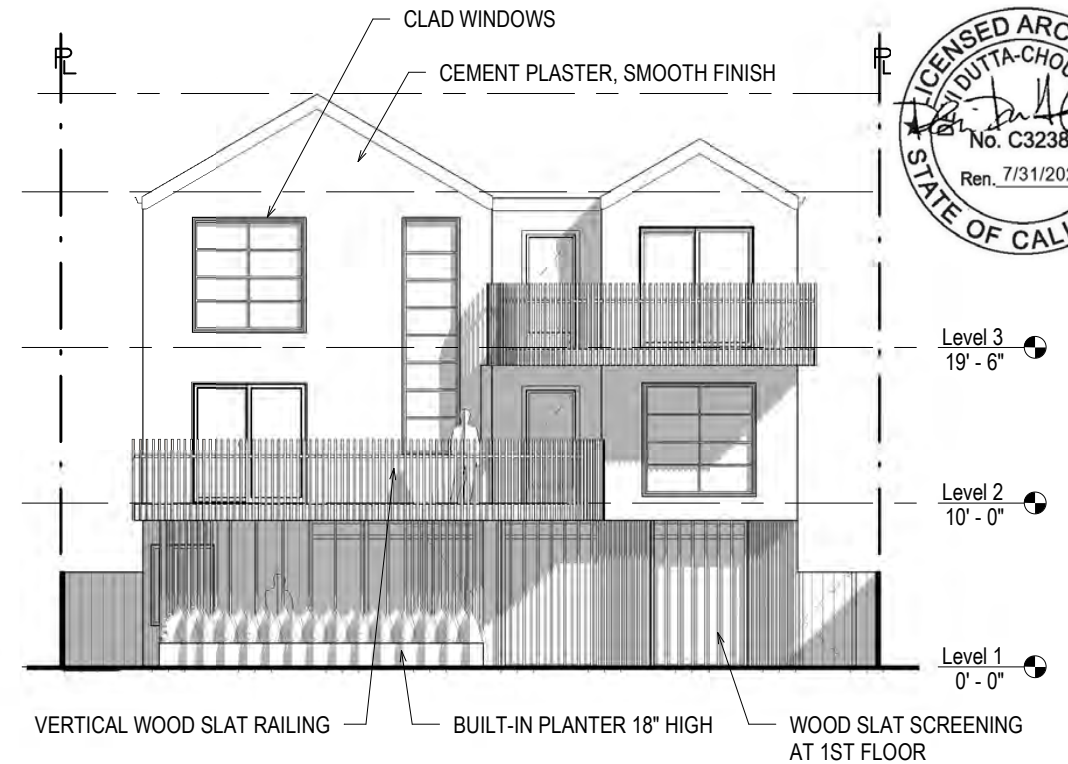
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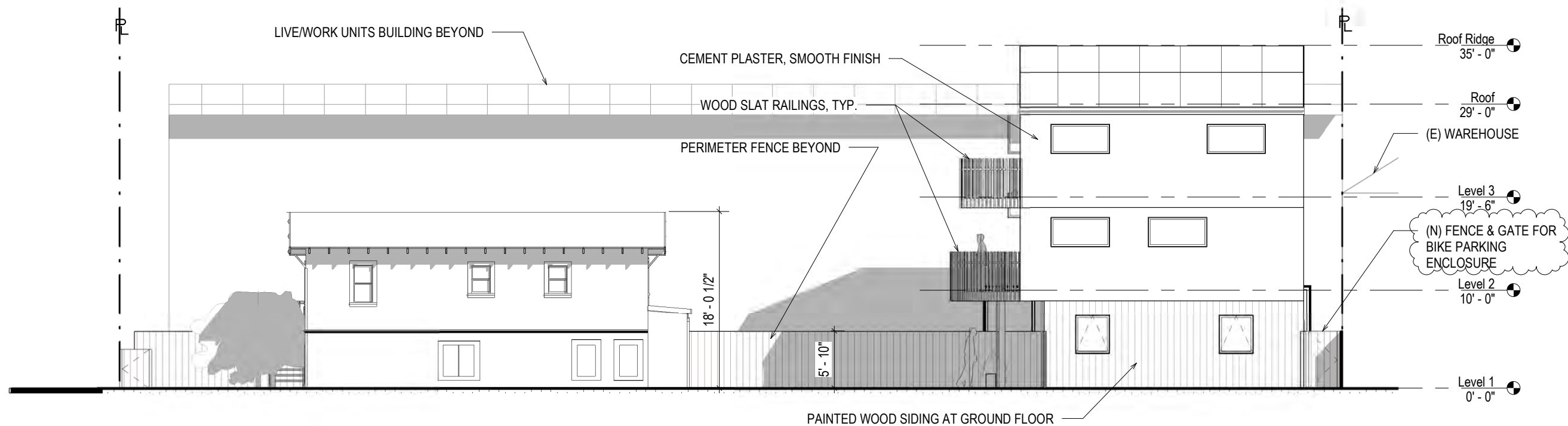
08.21.2019



1 PROPOSED STREET ELEVATION (FRONT)
3/32" = 1'-0"



2 PROPOSED BUILDING EAST ELEVATION (FRONT)
3/32" = 1'-0"



3 PROPOSED NORTH ELEVATION (RIGHT SIDE)
3/32" = 1'-0"

A2.1

EAST & NORTH ELEVATIONS

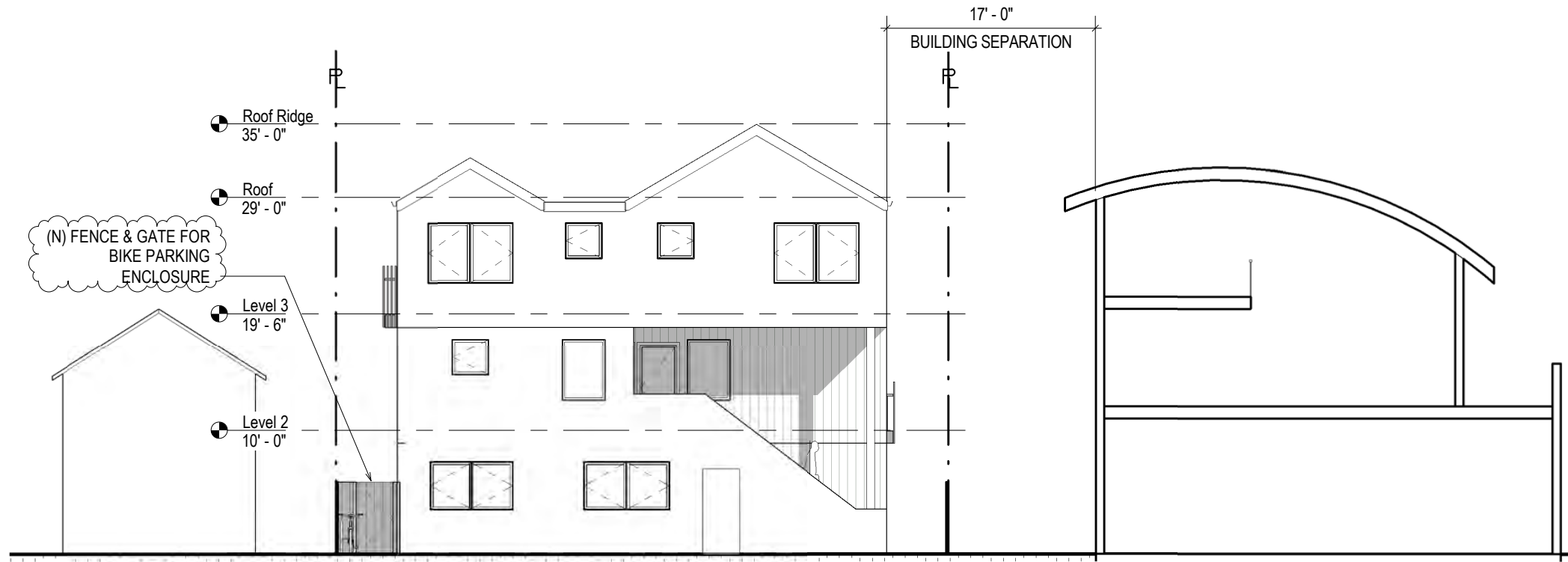
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

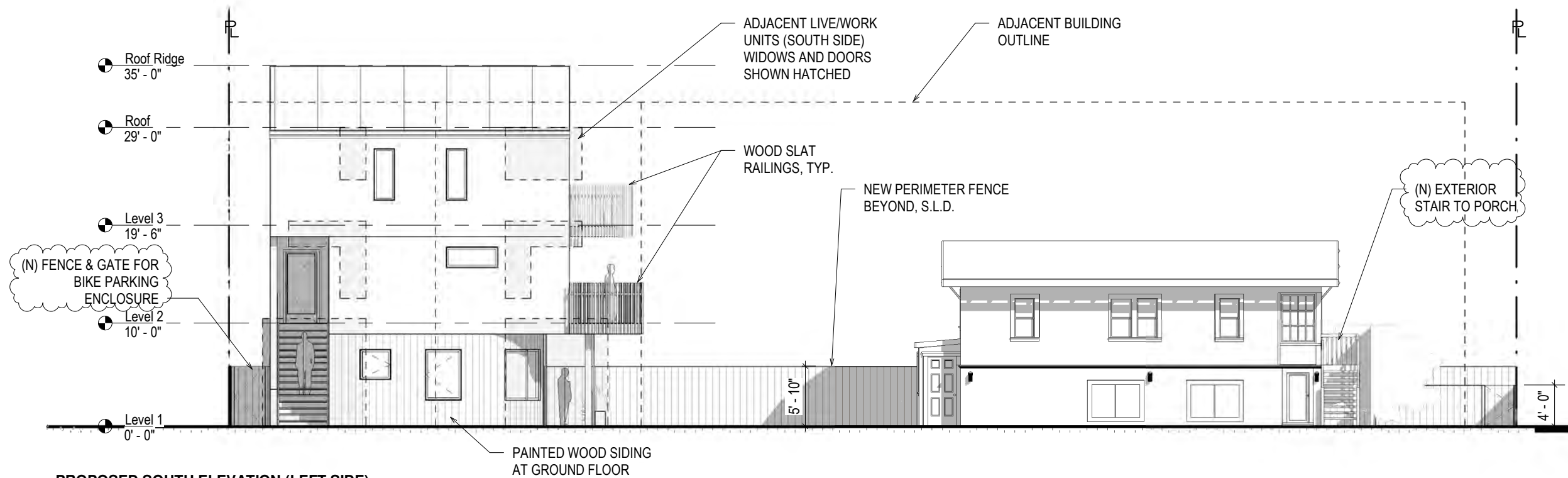
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1 PROPOSED WEST ELEVATION (BACK)
3/32" = 1'-0"



2 PROPOSED SOUTH ELEVATION (LEFT SIDE)
3/32" = 1'-0"

A2.2

WEST & SOUTH ELEVATIONS

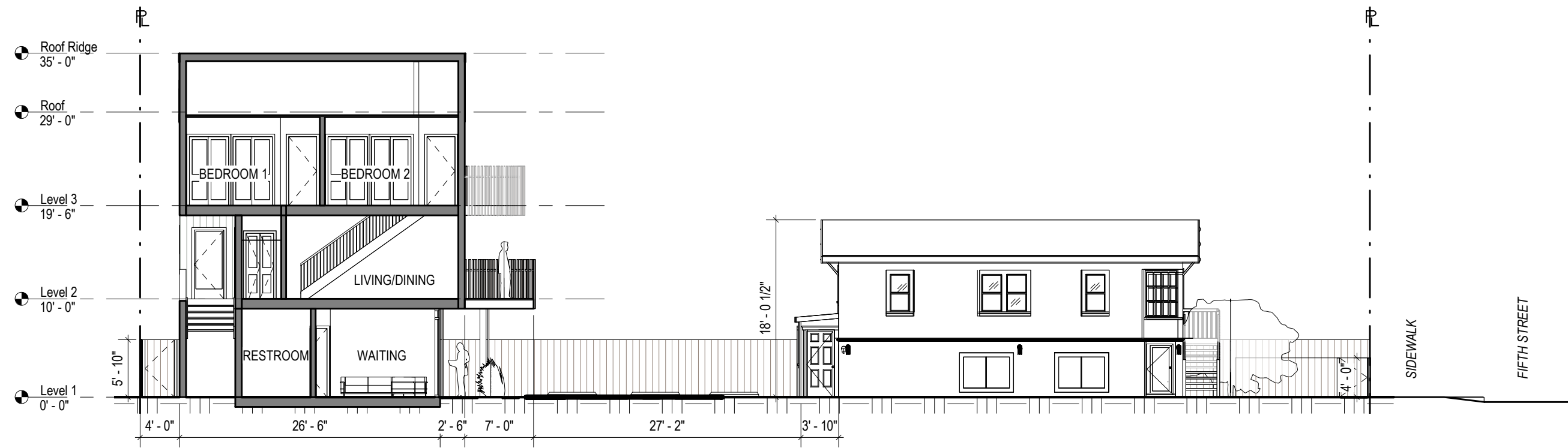
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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1 PROPOSED NORTH SECTION
3/32" = 1'-0"

A3.1

PROPOSED BUILDING SECTIONS

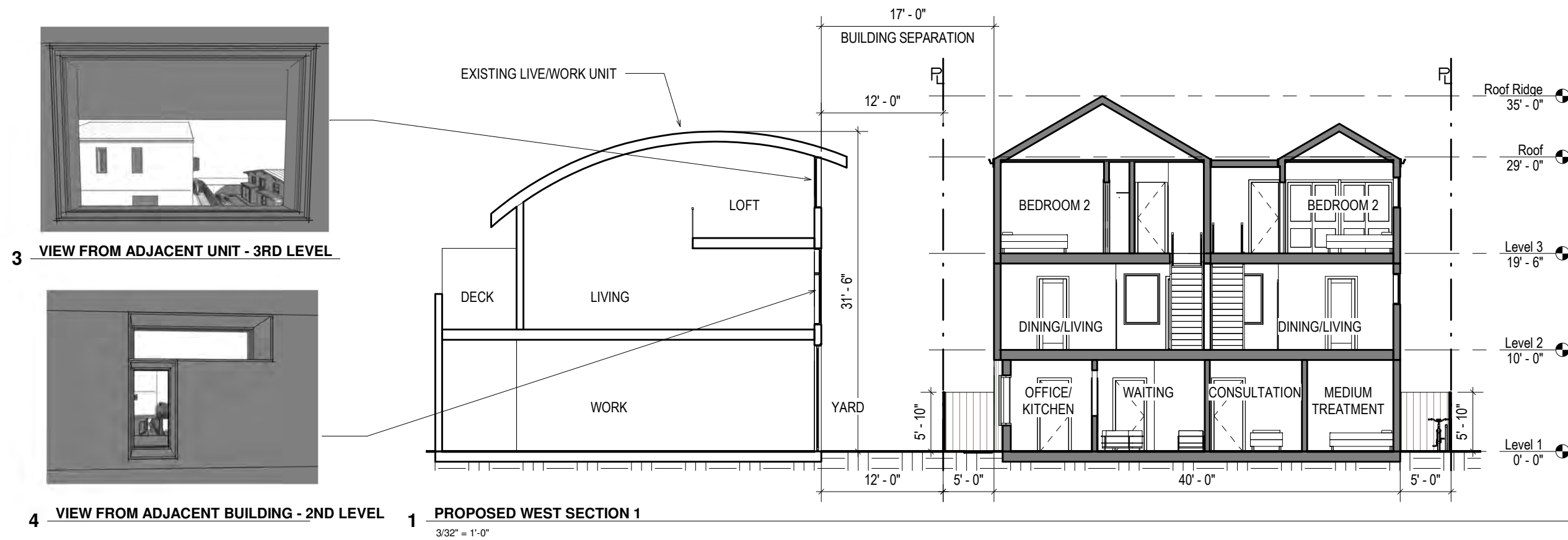
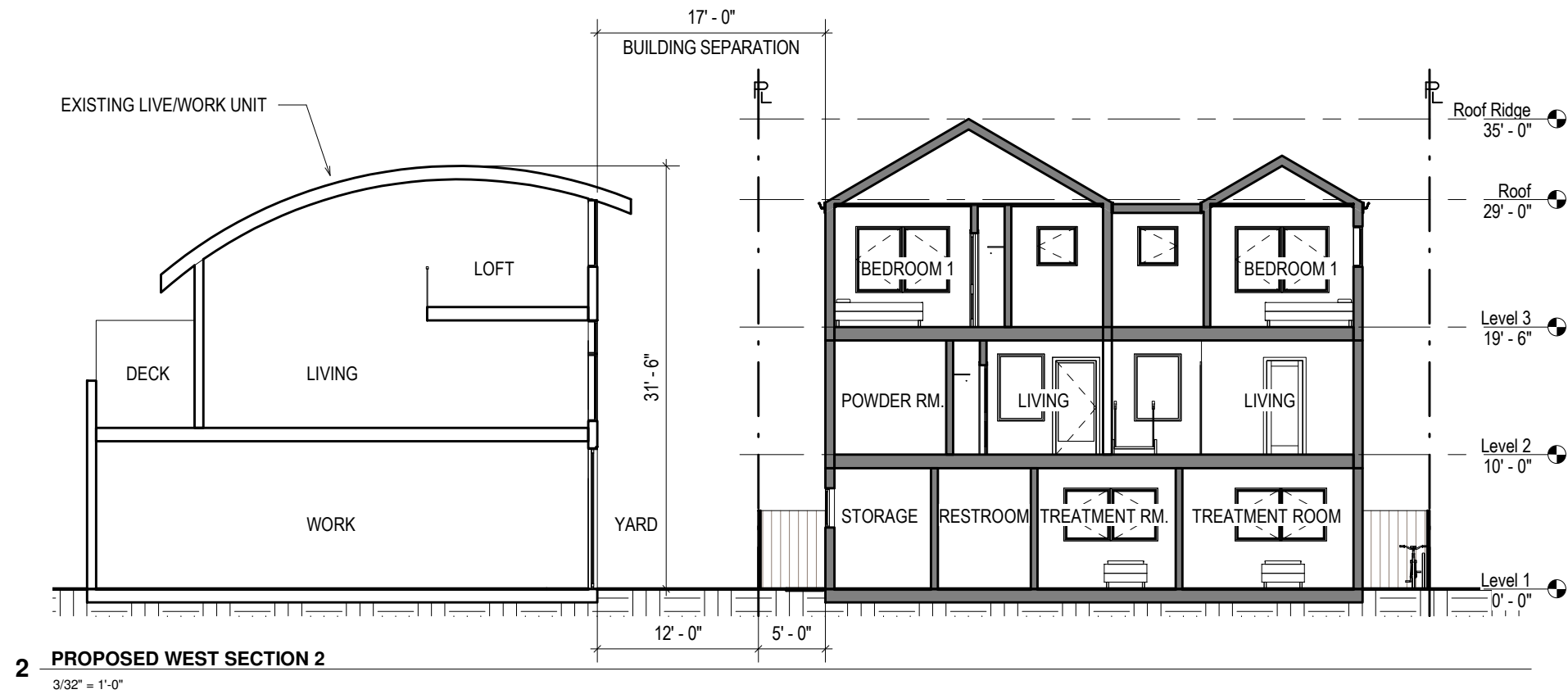
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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A3.2

PROPOSED BUILDING SECTIONS

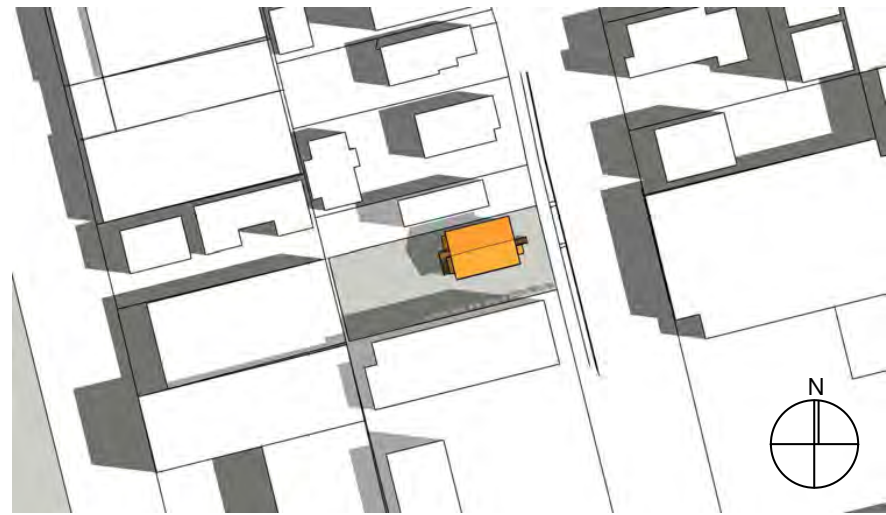
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2422 5TH STREET

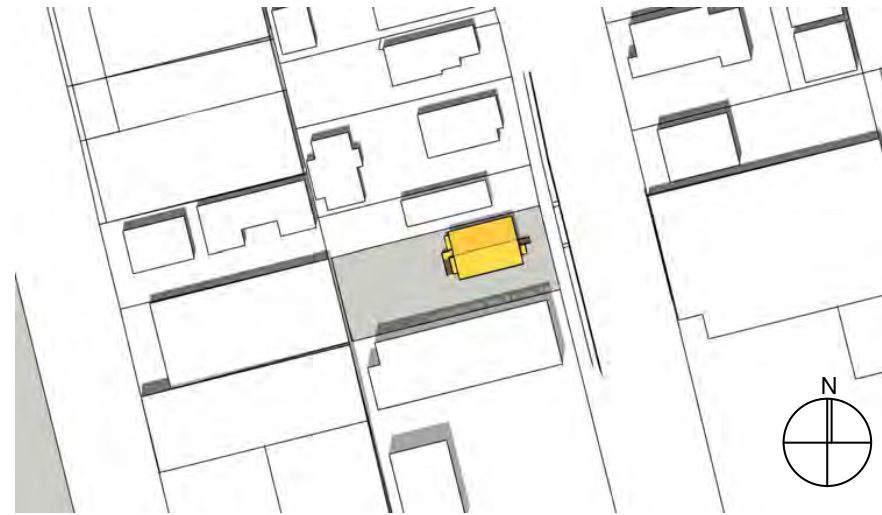
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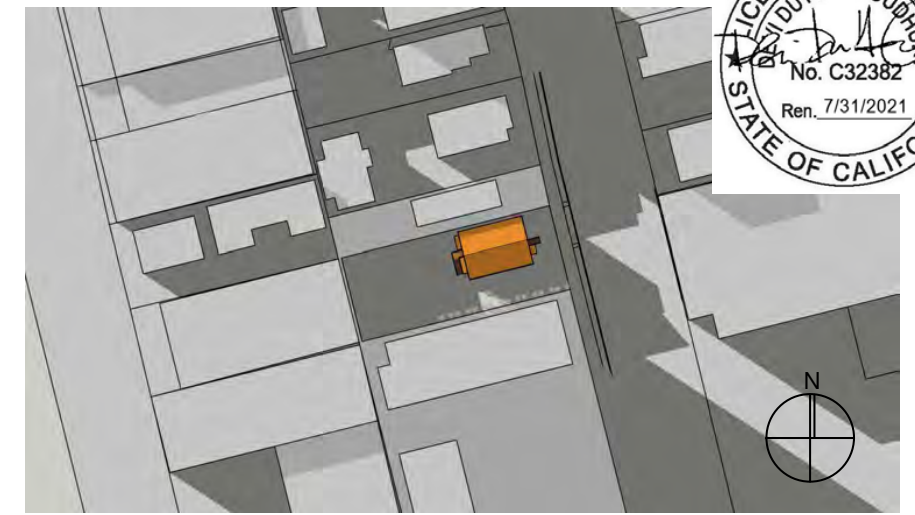
08.21.2019



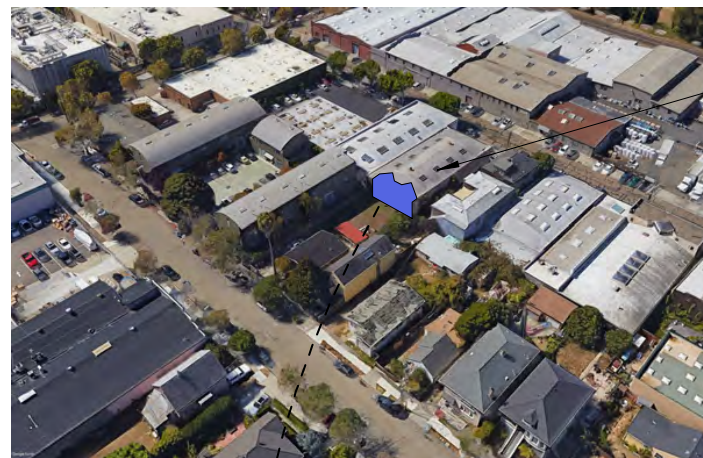
1 EXISTING-JUNE 21 - 2 HR AFTER SUNRISE



2 EXISTING - JUNE 21 - 12.00 PM

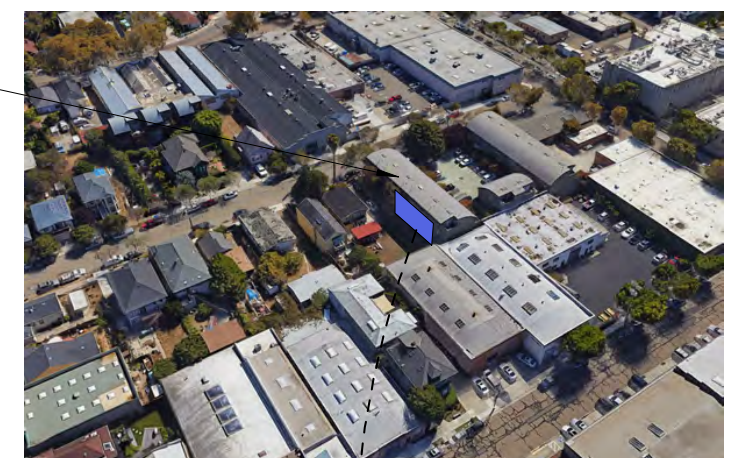


3 EXISTING - JUNE 21 - 2 HR BEFORE SUNSET



2423 4TH STREET - WAREHOUSE

2430 4TH STREET - 3 STORY MULTI-FAMILY
BATHROOM & LIVING (ASSUMED)

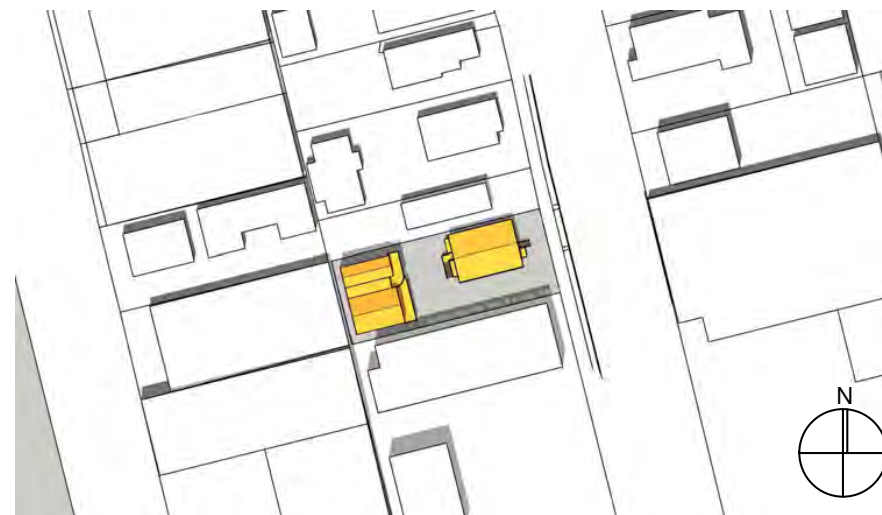


SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - JUNE 21 - 2 HOUR AFTER SUNRISE



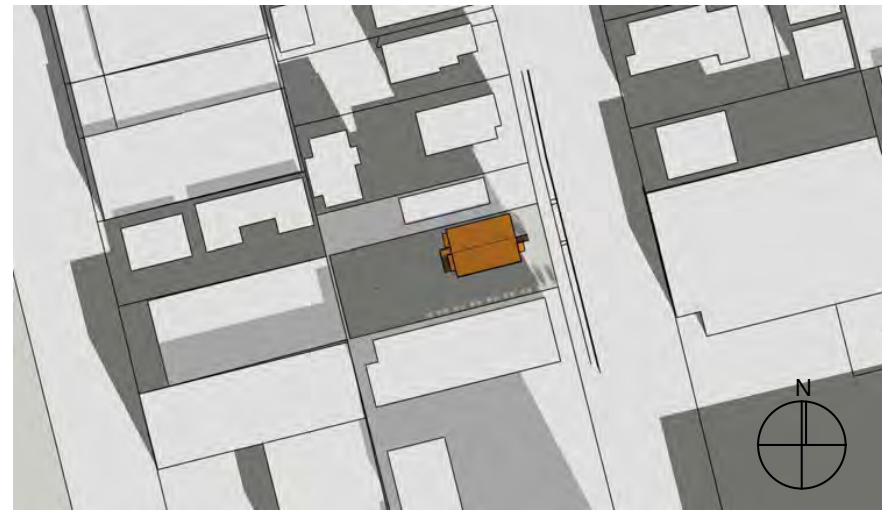
5 PROPOSED - JUNE 21 - 12.00 PM



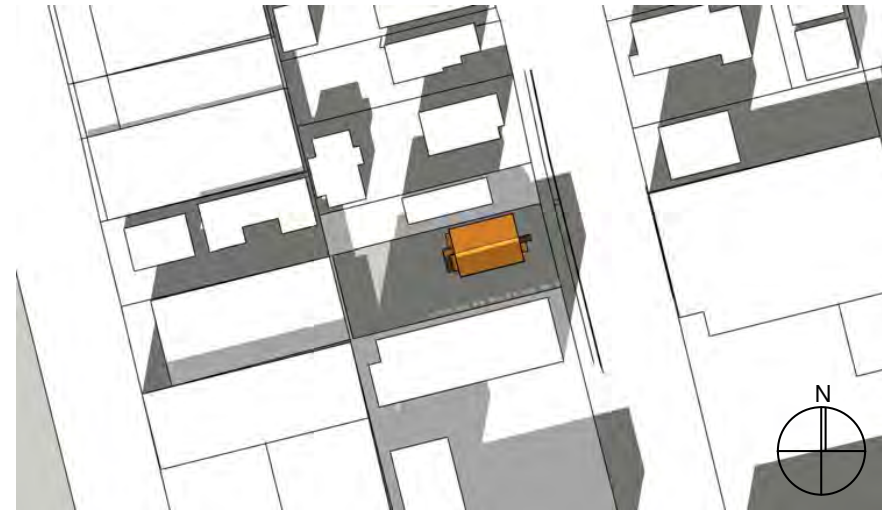
6 PROPOSED - JUNE 21 - 2 HR BEFORE SUNSET

A4.1 SHADOW STUDIES - SUMMER SOLSTICE

SCALE: As indicated 0 4 8 16 32



1 EXISTING - DECEMBER 21 - 2 HR AFTER SUNRISE



2 EXISTING - DECEMBER 21 - 12.00 PM



3 EXISTING - DECEMBER 21 - 2 HR BEFORE SUNSET



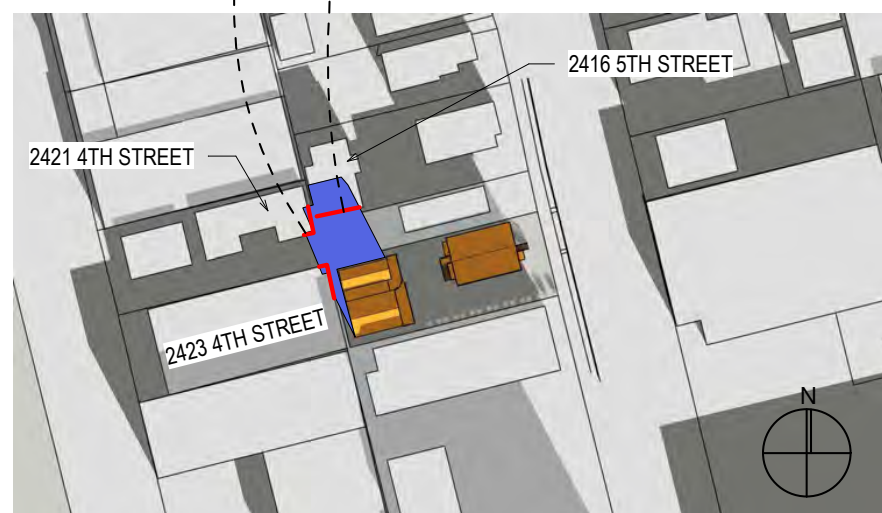
2421 4TH STREET - OFFICE BUILDING

2416 5TH STREET - 1 STORY SINGLE FAMILY

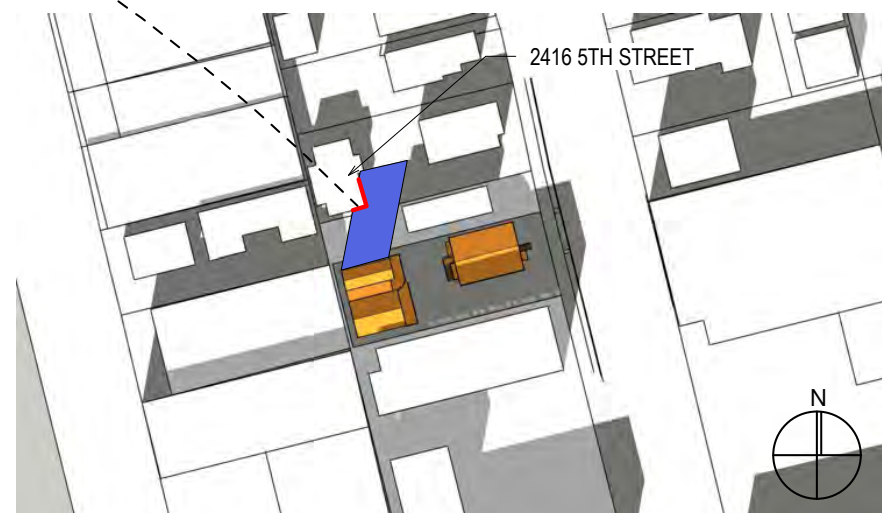
2418 5TH STREET - 2 STORY SINGLE FAMILY - LIVING ROOM (ASSUMED)

SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - DECEMBER 21 - 2 HR AFTER SUNRISE



5 PROPOSED - DECEMBER 21 - 12.00 PM



6 PROPOSED - DECEMBER 21 - 2 HR BEFORE SUNSET

A4.2

SHADOW STUDIES WINTER SOLSTICE

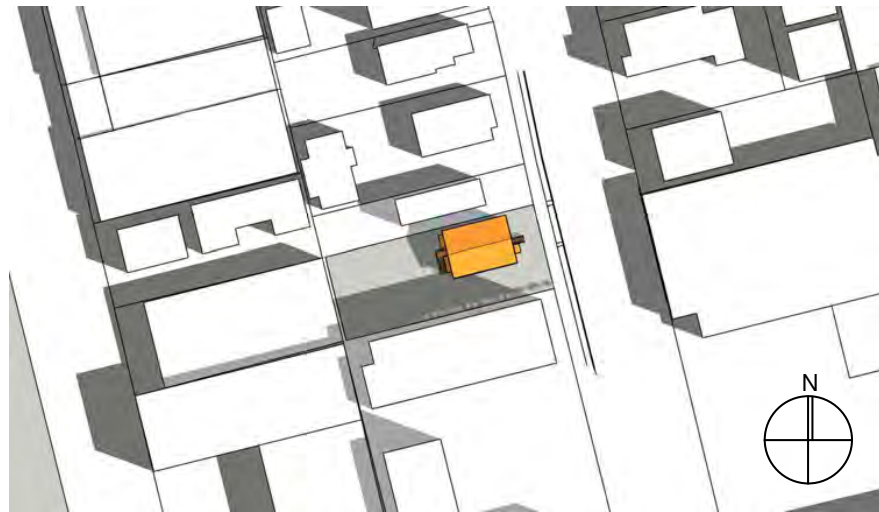
SCALE: As indicated 0 4 8 16 32

2422 5TH STREET

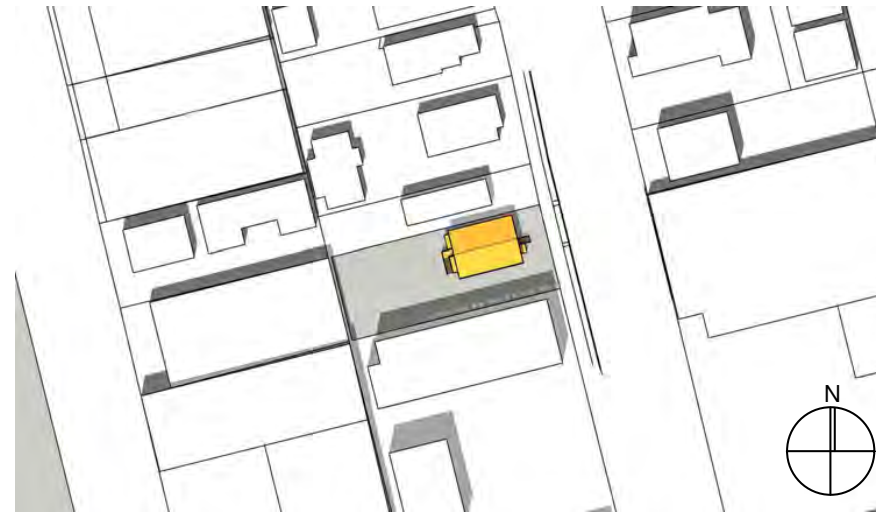
Devi Dutta Architecture Inc.

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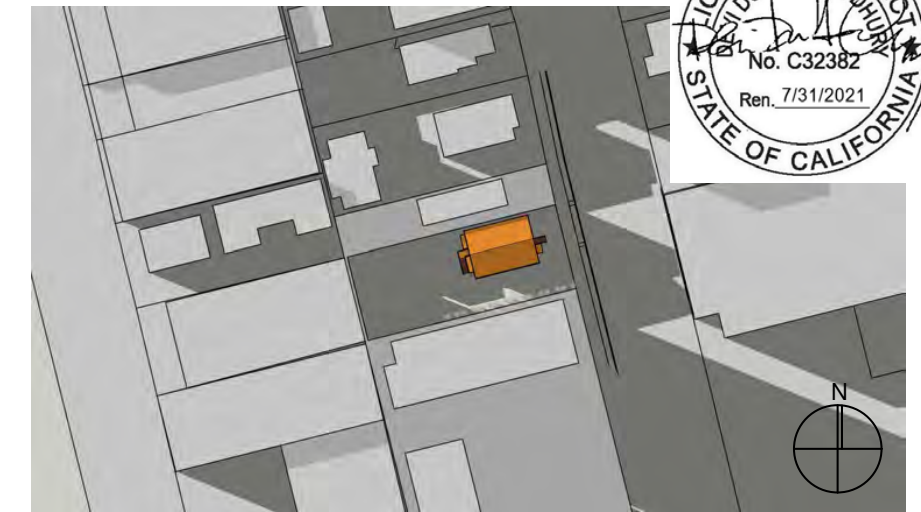
08.21.2019



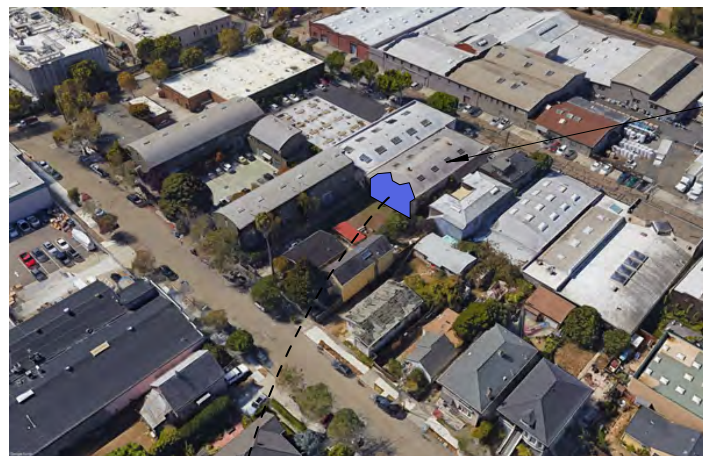
1 EXISTING - MAY 1 - 8.13 AM



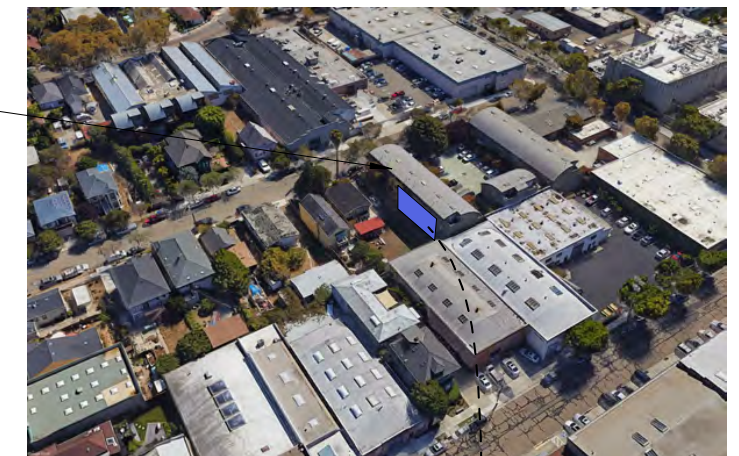
2 EXISTING - MAY 1 - 12.00 PM



3 EXISTING - MAY 1 - 6.00 PM



2423 4TH STREET - WAREHOUSE



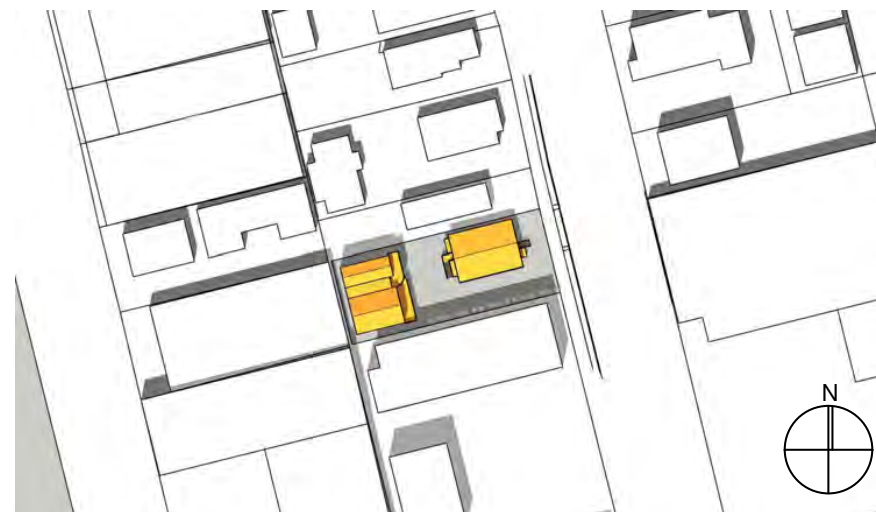
2430 5th STREET
3-STORY MULTI FAMILY -
BATH & LIVING (ASSUMED)

SHADOWS LEGEND

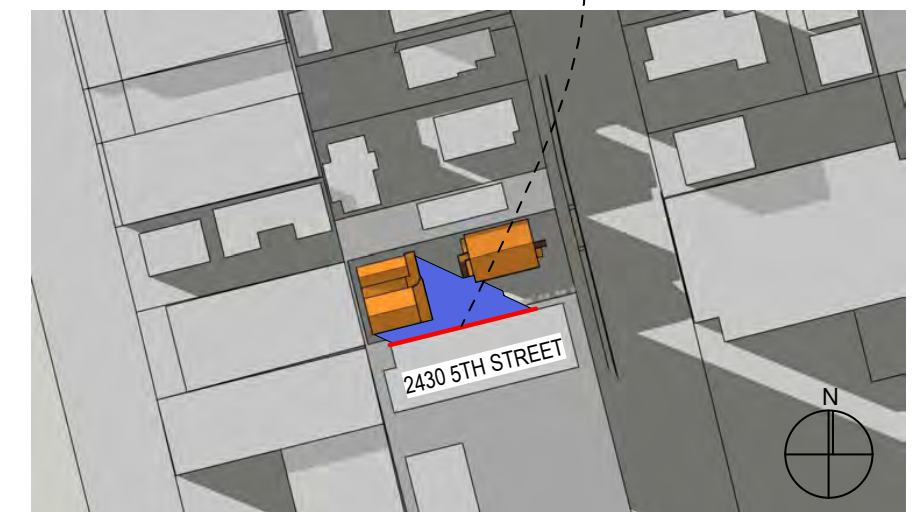
- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - MAY1 - 8.13 AM



5 PROPOSED - MAY 1 - 12.00 PM



6 PROPOSED - MAY1 - 6.00 PM

A4.3

SHADOW STUDIES REVIEW DATE

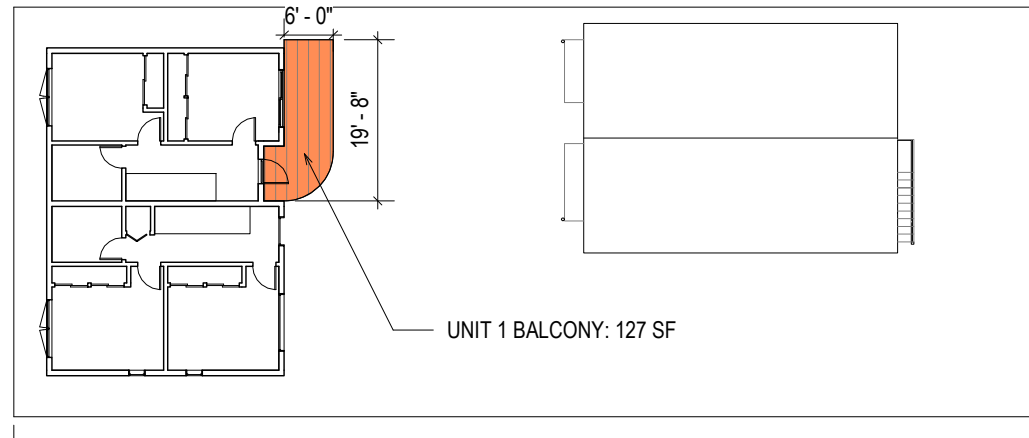
SCALE: As indicated 0 4 8 16 32

2422 5TH STREET

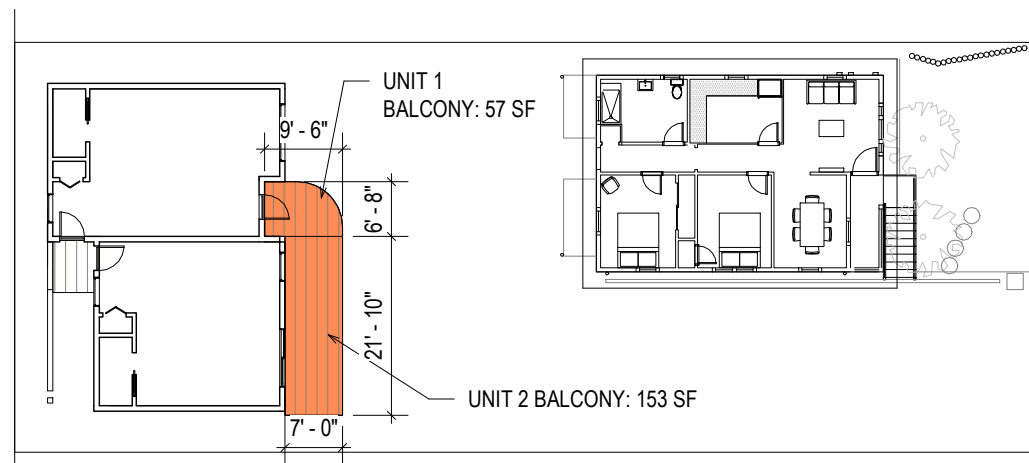
Devi Dutta Architecture Inc.

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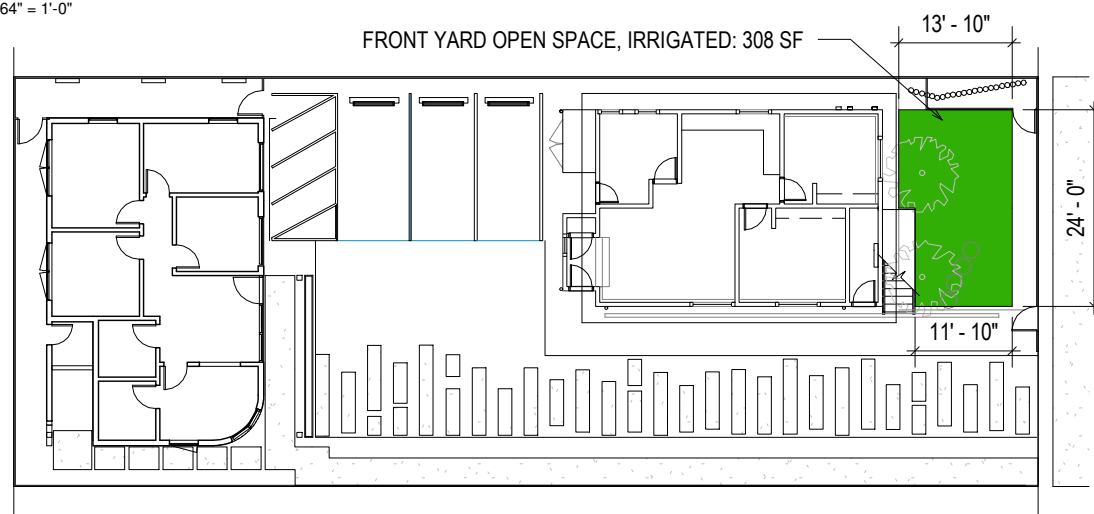
08.21.2019



3 Level 3 - Open Space
3/64" = 1'-0"



2 Level 2 - Open Space
3/64" = 1'-0"



1 Level 1 - Open Space
3/64" = 1'-0"

Ground Floor open space
Balcony

OPEN SPACE AREAS	
Level	Area
Level 1	308 SF
Level 2	210 SF
Level 3	127 SF
TOTAL	645 SF

A5.1

OPEN SPACE DIAGRAM

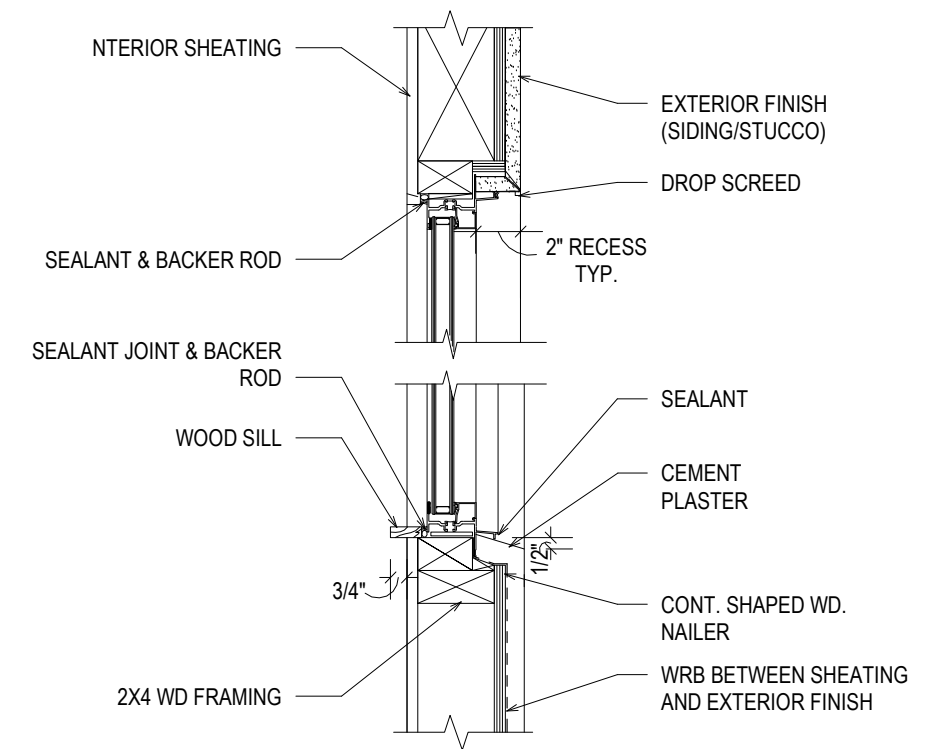
SCALE: 3/64" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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08.21.2019



1 TYPICAL NEW WINDOW DETAIL

1 1/2" = 1'-0"

A6.1 DETAILS

SCALE: 1 1/2" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

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08.21.2019



5 SOUTH-WEST PERSPECTIVE



3 ENTRY PERSPECTIVE - LEFT CORNER



2 ENTRY PERSPECTIVE - RIGHT CORNER



4 EAST PERSPECTIVE

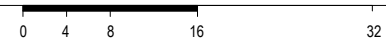


1 EAST ELEVATION

A7.1

PERSPECTIVE VIEWS

SCALE:

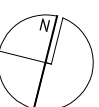
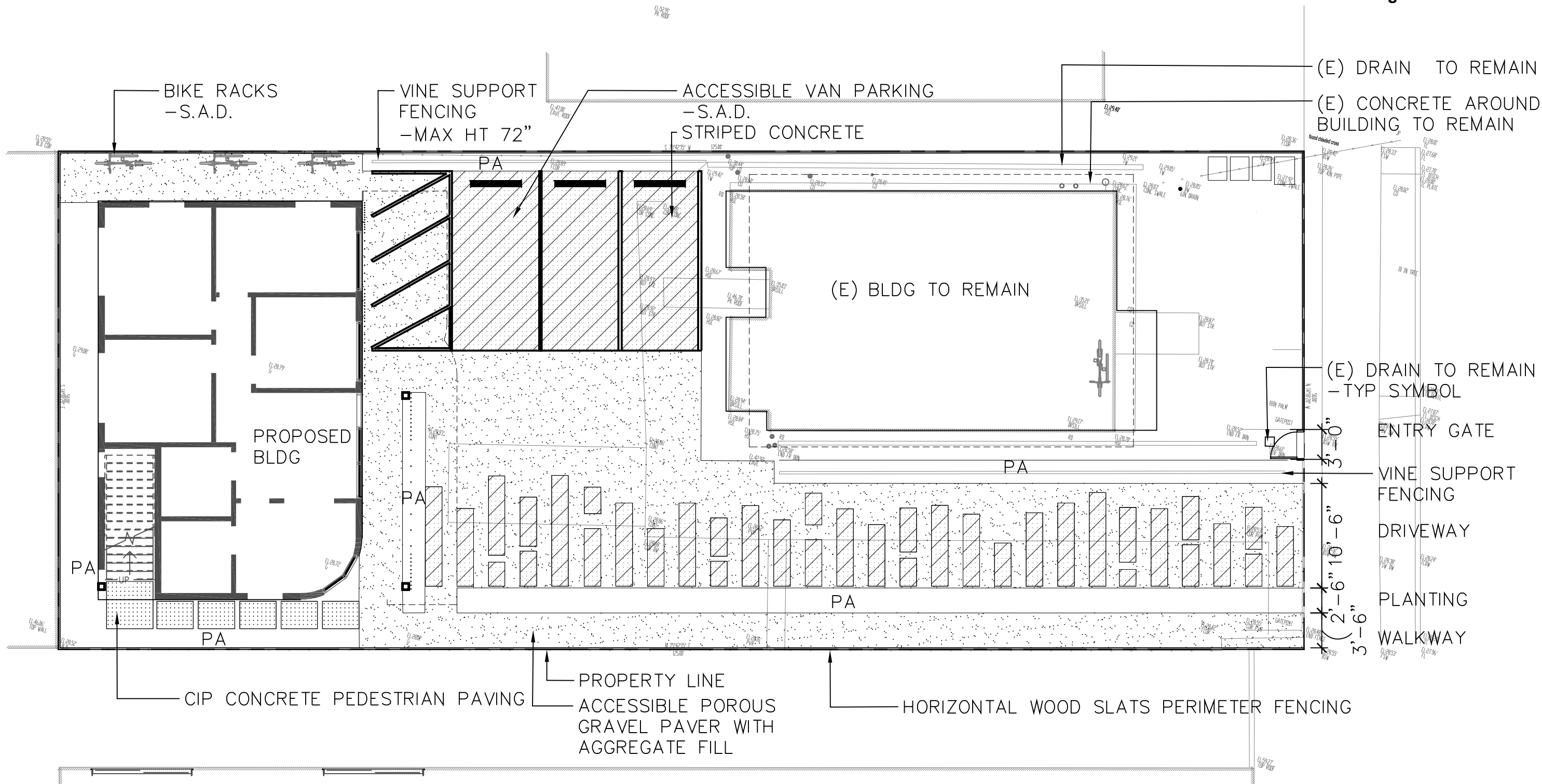


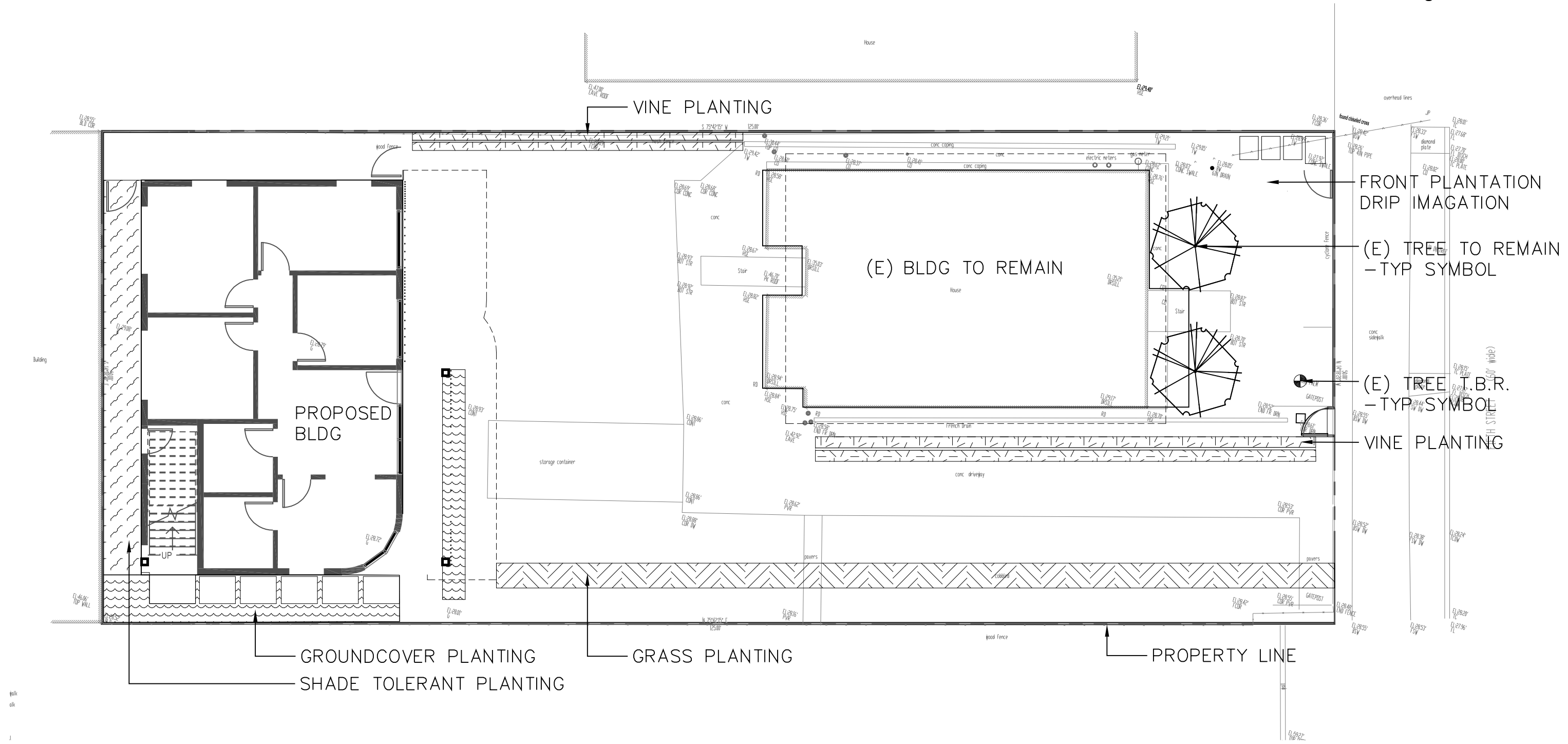
2422 5TH STREET

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Zoning Submittal

08.21.2019





L2.0

SCHEMATIC PLANTING PLAN

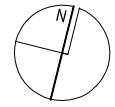
SCALE: 1"=10'-0"

2422 5TH STREET

MANTLE LANDSCAPE ARCHITECTURE

ZONING PROGRESS

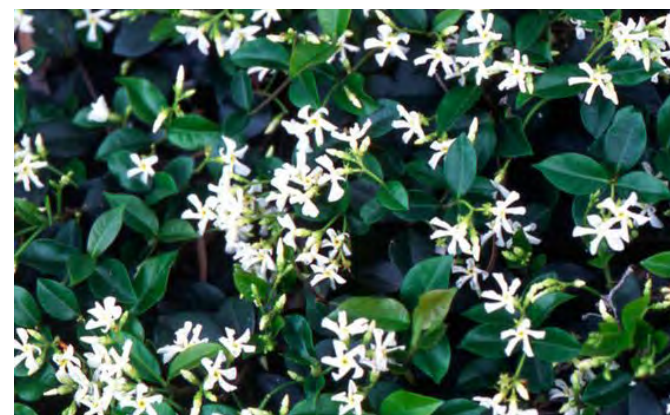
08.22.2019





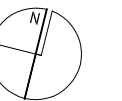
GRASS PLANTING
Carex divulsa + *Pennisetum alopecuroides*

SHADE TOLERANT
Carex dolichostachya, Mahonia 'Soft Caress', *Montia perfoliata*, *Polystichum munitum*



VINE PLANTING

GROUNDCOVER





5TH STREET TOWNHOMES AND WELLNESS OFFICES

2422 5TH STREET, BERKELEY, CA 94710

ARCHITECT/APPLICANT

DEVI DUTTA-CHOUDHURY, AIA
DEVI DUTTA ARCHITECTURE
928 CARLETON STREET
BERKELEY, CA 94710
510/705-1937
hello@devidutta.com

OWNER

ANNA & CARL GOLD
2422 5TH STREET
BERKELEY, CA 94710

LANDSCAPE

MANTLE LANDSCAPE
ARCHITECTURE
930 CARLETON STREET
BERKELEY, CA 94710
510-927-3202

TRAFFIC ENGINEER

ABRAMS ASSOCIATES
1875 OLYMPIC BOULEVARD,
SUITE 210
WALNUT CREEK, CA 94596
925-945-0201

PROJECT DESCRIPTION

CONSTRUCTION OF 2 NEW DWELLING UNITS AND 1 ACUPUNCTURE & WELLNESS OFFICE AT REAR YARD. EXISTING FRONT DUPLEX TO REMAIN.

SHEET LIST ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 PROJECT INFORMATION
- A0.2 AREA DIAGRAMS
- A0.3 SURVEY
- A0.4 STREET STRIP
- A0.5 VICINITY MAP
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED FIRST FLOOR PLAN
- A1.3 PROPOSED SECOND FLOOR PLAN
- A1.4 PROPOSED THIRD FLOOR PLAN
- A2.1 EAST & NORTH ELEVATIONS
- A2.2 WEST & SOUTH ELEVATIONS
- A3.1 PROPOSED BUILDING SECTIONS
- A3.2 PROPOSED BUILDING SECTIONS
- A5.1 OPEN SPACE DIAGRAM
- A6.1 DETAILS
- A7.1 PERSPECTIVE VIEWS

SHEET LIST LANDSCAPE

- L1.0 SCHEMATIC MATERIAL PLAN
- L2.0 SCHEMATIC PLANTING PLAN
- L2.1 PROPOSED PLANTING PALETTE



A0.0 COVER SHEET
SCALE:

2422 5TH STREET
Devi Dutta Architecture Inc.

Zoning Submittal
09.06.2019



PROJECT ADDRESS

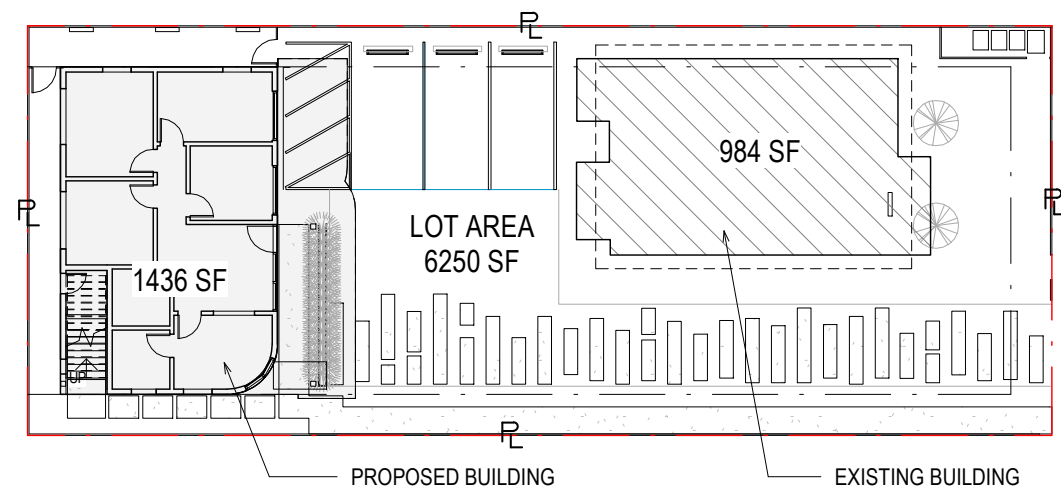
2422 5TH STREET, BERKELEY, CA 74710

ASSESSOR'S PARCEL #:

56-1944-11

ZONING INFORMATION

ZONING DISTRICT: MU-R
 FLOOD ZONE: NO
 FIRE ZONE: 1
 ENV. MGMT AREA: NO
 LANDMARKS STRUCTURE OF MERIT: NO



1 LOT COVERAGE DIAGRAM

3/64" = 1'-0"

A0.1

PROJECT INFORMATION

SCALE: 3/64" = 1'-0" 0 4 8 16 32

ZONING DEVELOPMENT STANDARDS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED/ PERMITTED</u>
NUMBER OF DWELLING UNITS	2	4	5 MAX
AREAS			
LOT SIZE	125' X 50' = 6250 SF	125' X 50' = 6250 SF	40' WIDTH MIN.
TOTAL GROSS FLOOR AREA	1670 SF	1670 SF + 3136 SF = 4806 SF	
NEW DUPLEX AREA		2170 SF	
UNIT 1		1070 SF	
UNIT 2		1100 SF	
MEDICAL OFFICES AREA		967 SF	
FAR	0.27	0.77	1.5
BUILDING FOOTPRINT	984 SF	984 SF + 1436 SF = 2420 SF	
LOT COVERAGE	15.7 %	38.7 %	40% MAX.
IMPERVIOUS SURFACE	2295 SF	2331 SF	
USEABLE OPEN SPACE	3297 SF	645 SF	600 SF MIN.
HEIGHT & STORIES			
AVERAGE	16'-3"	32'-0"	35'-0"
MAXIMUM	18'-1/2"	35'-0"	35'-0"
STORIES	2	3	3
SETBACKS			
FRONT:	19'-0"	14'-9 1/2"	5'-0"
NORTH SIDE	4'-0"	5'-0"	5'-0" (10% OF LOT WIDTH)
SOUTH SIDE	22'-0"	5'-0"	5'-0" (10% OF LOT WIDTH)
REAR:	67'-0"	4'-0"	NONE (ADJACENT TO NON-RESIDENTIAL)
PARKING SPACES			
RESIDENTIAL*:	1 / UNIT = 2 TANDEM SPACES	(2) PROVIDED VIA JOINT USE PARKING PER BMC 23D.12.060	1 / UNIT = 4 REQUIRED
MEDICAL:	N/A	(3) PROVIDED	1 / 300 SF = 3 REQUIRED
BIKE PARKING: *(2) PARKING WAIVER	1	(3) RESIDENTIAL, (1) COMMERCIAL	1 / 2000 SF NON-RES AREA = 1 REQ

2422 5TH STREET

Devi Dutta Architecture Inc.

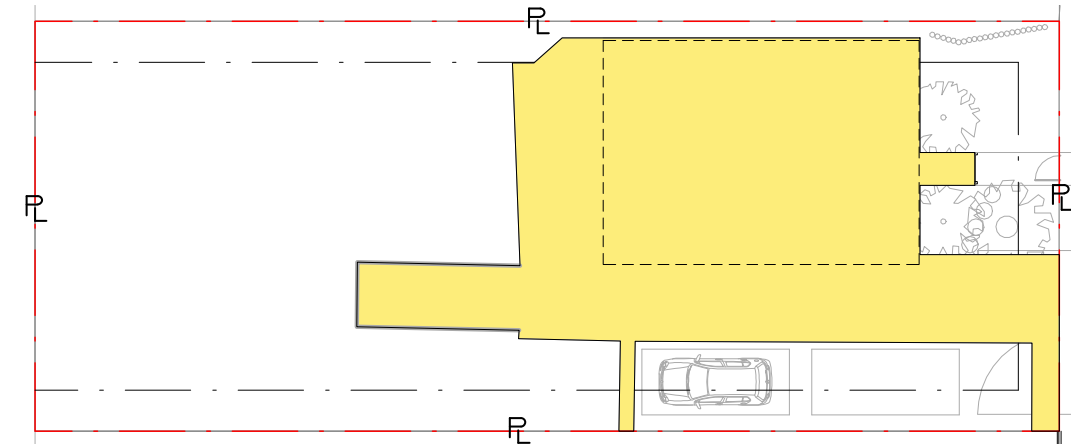
Zoning Submittal

09.06.2019

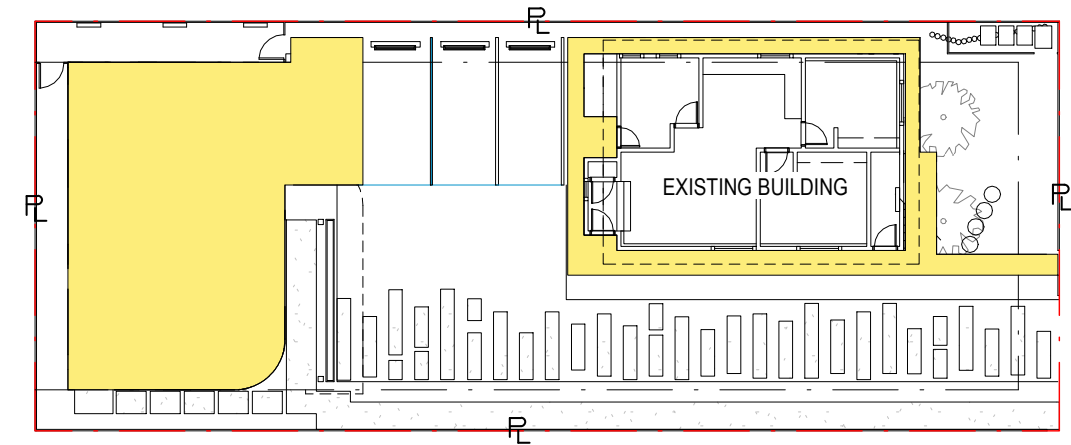


ABBREVIATIONS

A/C	AIR CONDITIONING	JAN.	JANITOR
ADJ.	ADJACENT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR		
ALUM.	ALUMINUM	L.P.	LOW POINT
ALT.	ALTERNATE		
APPROX.	APPROXIMATELY	MAX	MAXIMUM
ARCH.	ARCHITECTURAL	M.C.	MEDICINE CABINET
A.C.T.	ACOUSTIC CEILING TILE	M.D.	MOTION DETECTOR
		MECH.	MECHANICAL
B.BD	TELEPHONE BACK BOARD	MFR	MANUFACTURER
BLDG.	BUILDING	MIN	MINIMUM
BLKG.	BLOCKING	MTD.	MOUNTED
BOT.	BOTTOM	MTL.	METAL
CL	CENTER LINE	(N)	NEW
CAB.	CABINET	N.I.C.	NOT IN CONTRACT
C.G.	CORNER GUARD	NO.	NUMBER
CHG.	CHANGE	N.T.S.	NOT TO SCALE
CLG.	CEILING	O.C.	ON CENTER
CLOS.	CLOSET	OFF.	OFFICE
CLR.	CLEAR	OPNG.	OPENING
C.M.U.	CONCRETE MASONRY UNIT	OPP.	OPPOSITE
COL.	COLUMN	O.T.B.	OPEN TO BELOW
CONC.	CONCRETE		
CONN.	CONNECTION	PR.	PAIR
CONST.	CONSTRUCTION	P-LAM.	PLASTIC LAMINATE
CORR.	CORRIDOR	PTD.	PAINTED
C.T.	CERAMIC TILE	PLWD.	PLYWOOD
CTR.	CENTER	P.O.	PRIVATE OFFICE
DET.	DETAIL		
DIA/O	DIAMETER	R	RISER
DIM.	DIMENSION	R.C.P.	REFLECTED CEILING PLAN
DN.	DOWN	R.D.	ROOF DRAIN
DWG.	DRAWING	REFR.	REFRIGERATOR
DS.	DOWNSPOUT	REQ.	REQUIRED
		RM.	ROOM
(E)	EXISTING	R.O.	ROUGH OPENING
EA.	EACH		
EL.	ELEVATION	S.C.	SOLID CORE
ELEC.	ELECTRICAL	S.D.	STORM DRAIN
ELEV.	ELEVATOR	SAF	SELF-ADHERED FLASHING
EQ.	EQUAL	STOR.	STORAGE
EQUIP.	EQUIPMENT	SHT.	SHEET
EXP.	EXPANSION	SIM.	SIMILAR
EXPOS.	EXPOSED	SCD	SEE CIVIL DRAWINGS
EXT.	EXTERIOR	SED	SEE ELECTRICAL DRAWINGS
		SLD	SEE LANDSCAPE DRAWINGS
F.D.	FLOOR DRAIN	SMD	SEE MECHANICAL DRAWINGS
FIN.	FINISH	SPD	SEE PLUMBING DRAWINGS
FL.	FLOOR	SSD	SEE STRUCTURAL DRAWINGS
FLASH.	FLASHING	STRL.	STRUCTURAL
FLUOR.	FLUORESCENT		
F.O.F.	FACE OF FINISH	T	TREAD
F.O.S.	FACE OF STUD	T.B.D.	TO BE DETERMINED
FPRFP.	FIREPROOF	T&G	TONGUE AND GROOVE
FSD	FIRE SEPARATION DISTANCE	TEL.	TELEPHONE
FURR.	FURRING	T.O.	TOP OF
		TYP.	TYPICAL
GA.	GAGE		
GALV.	GALVANIZED	U.O.N.	UNLESS OTHERWISE NOTED
G.C.	GENERAL CONTRACTOR		
GL.	GLASS	V.I.F.	VERIFY IN FIELD
GR.	GRADE		
GYP. BD.	GYPSUM BOARD	WD.	WOOD
		W.P.	WATERPROOF
H.B.	HOSE BIB	WRB	WEATHER RESISTANT BARRIER
HC	HANDICAPPED		
H.C.	HOLLOW CORE		
HDWR.	HARDWARE		
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
HP	HIGH POINT		
HR.	HOUR		
H.W.	HOT WATER		
INSUL.	INSULATION/INSULATED		
INT.	INTERIOR		



1 EXISTING IMPERVIOUS SURFACE - 2295 SF
3/64" = 1'-0"



2 NEW OR REPLACED IMPERVIOUS SURFACE - 1622 SF
3/64" = 1'-0"

A0.2

AREA DIAGRAMS

SCALE: **3/64" = 1'-0"** 0 4 8 16 32

2422 5TH STREET

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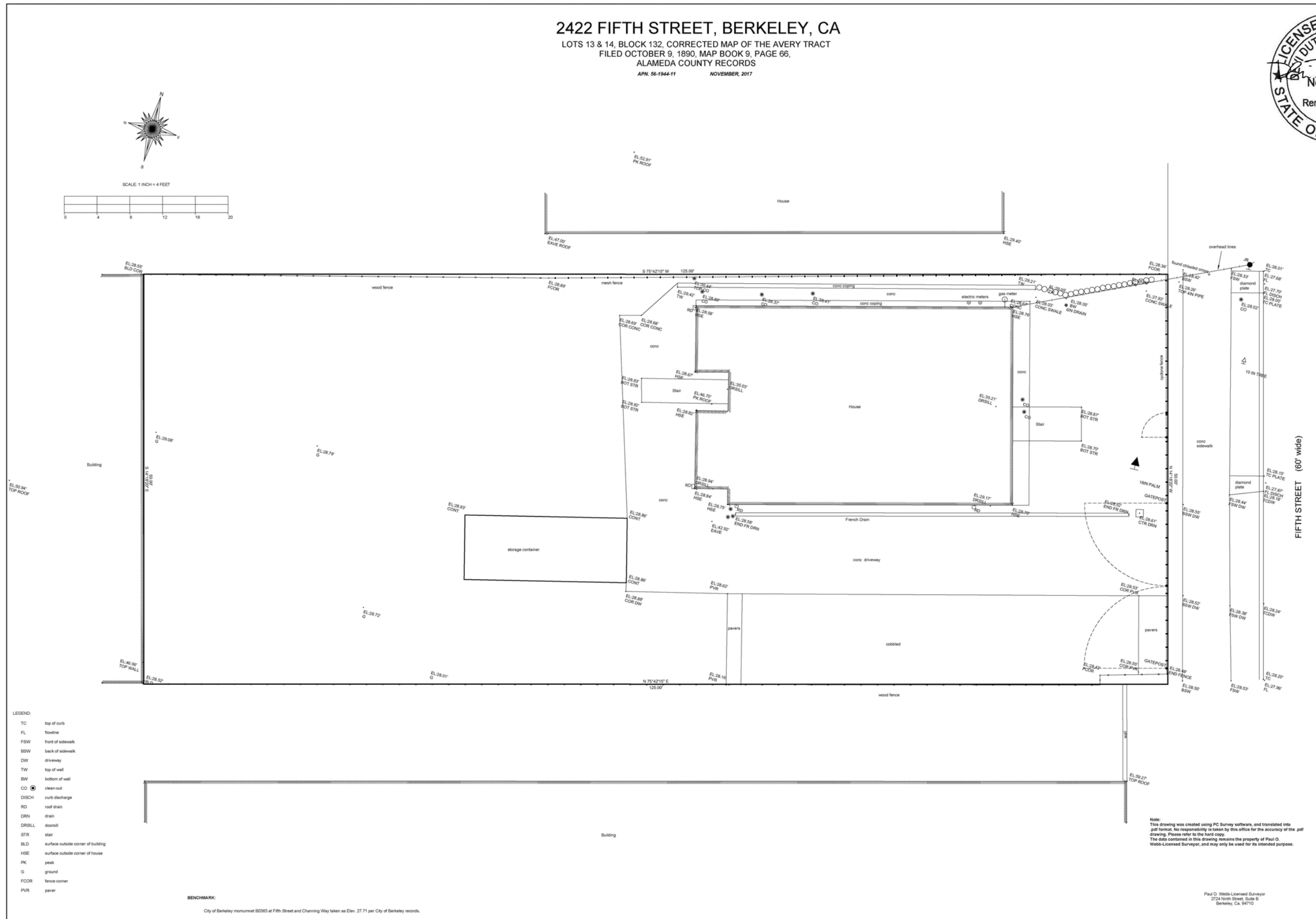
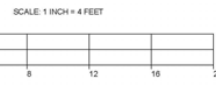
Zoning Submittal

09.06.2019



2422 FIFTH STREET, BERKELEY, CA

LOTS 13 & 14, BLOCK 132, CORRECTED MAP OF THE AVERY TRACT
FILED OCTOBER 9, 1890, MAP BOOK 9, PAGE 66,
ALAMEDA COUNTY RECORDS
APN: 56-1944-11 NOVEMBER, 2017



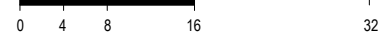
- LEGEND:
- TC top of curb
 - FL flowline
 - FSW front of sidewalk
 - BSW back of sidewalk
 - DW driveway
 - TW top of wall
 - BW bottom of wall
 - CO clean-out
 - DISCH curb discharge
 - RD roof drain
 - DRN drain
 - DRSLL door sill
 - STR stair
 - BLD surface outside corner of building
 - HSE surface outside corner of house
 - PK peak
 - G ground
 - FCOR fence corner
 - PVR paver

BENCHMARK:
City of Berkeley monument B0363 at Fifth Street and Channing Way taken as Elev. 27.71 per City of Berkeley records.

Note:
This drawing was created using PC Survey software, and translated into .pdf format. No responsibility is taken by this office for the accuracy of the .pdf drawing. Please refer to the hard copy.
The data contained in this drawing remains the property of Paul O. Web, Licensed Surveyor, and may only be used for its intended purpose.

Paul O. Web, Licensed Surveyor
2724 North Street, Suite B
Berkeley, CA 94710

A0.3 SURVEY
SCALE:



2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

09.06.2019



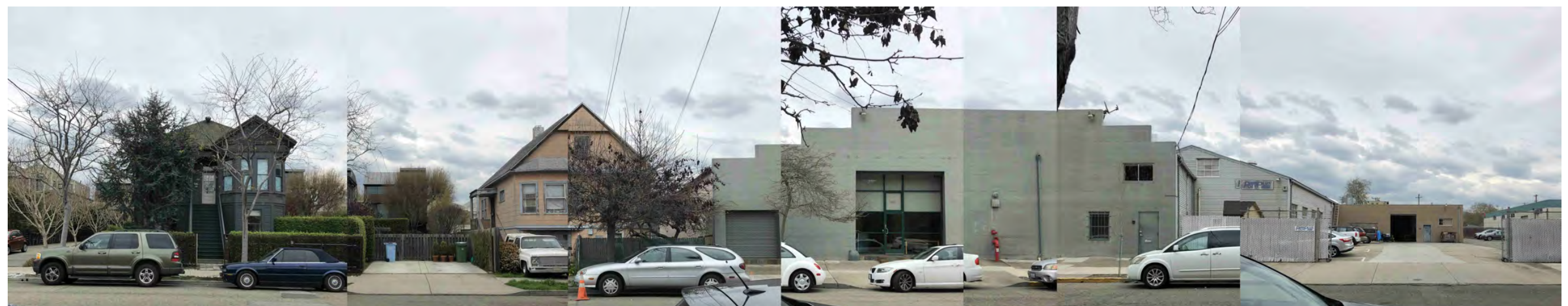
EXISTING WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



PROPOSED WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY

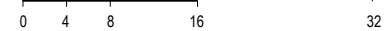


EXISTING EAST VIEW 2422 5TH STREET

A0.4

STREET STRIP

SCALE:

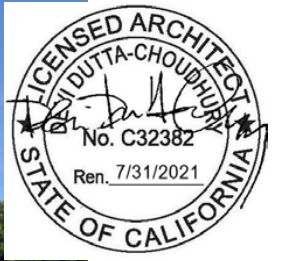


2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

09.06.2019

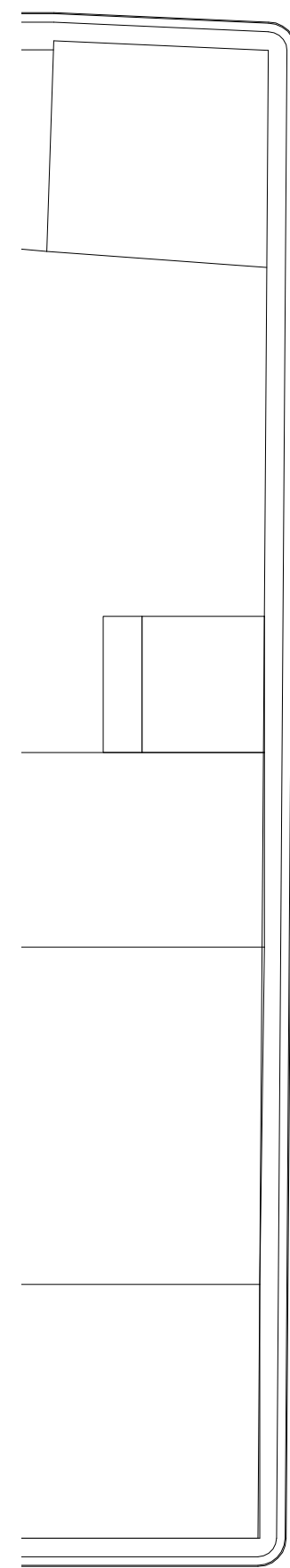
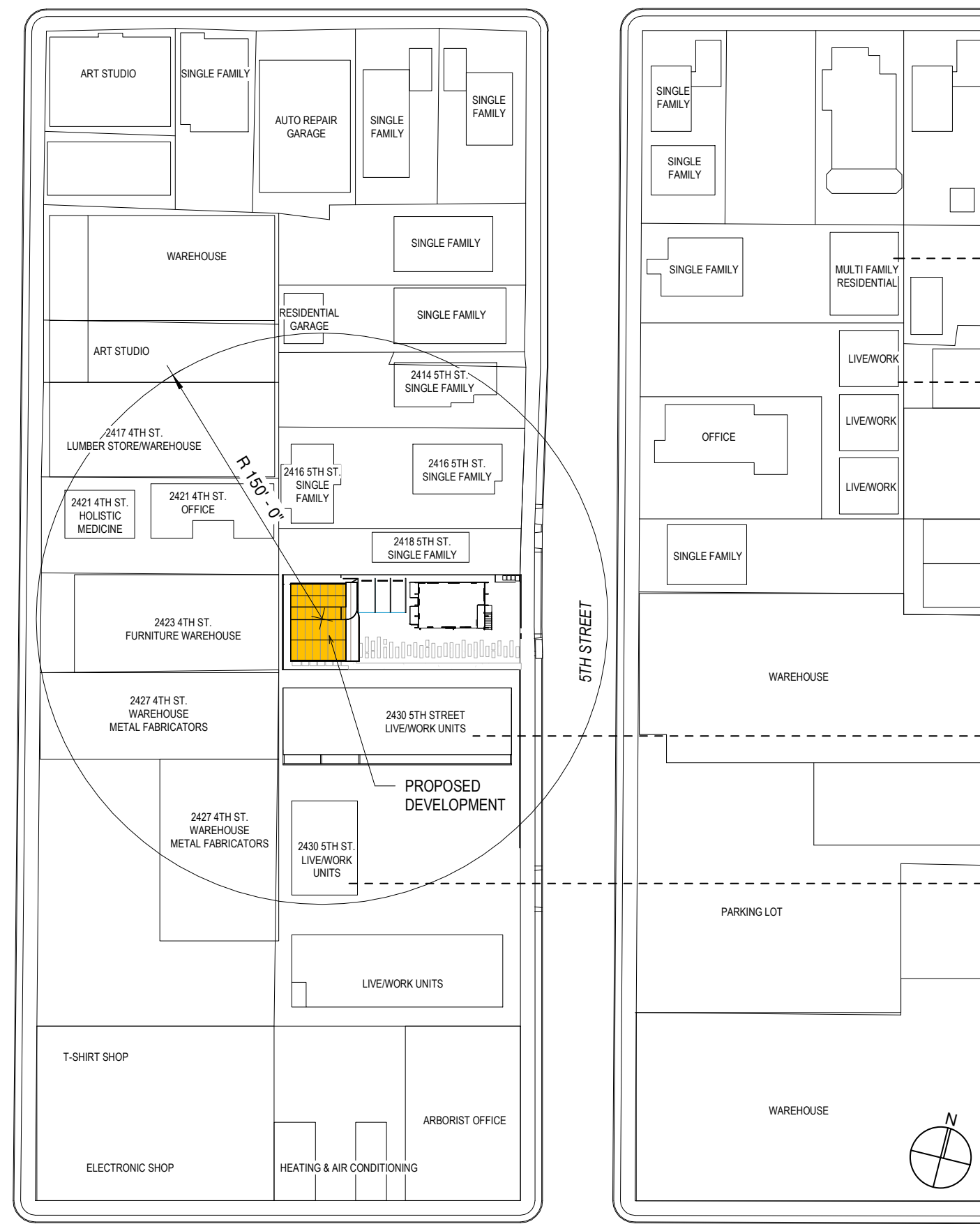


2422 5TH STREET

Zoning Submittal

Devi Dutta Architecture Inc.

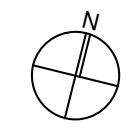
09.06.2019



A0.5

VICINITY MAP

SCALE: 1/64" = 1'-0" 0 4 8 16 32





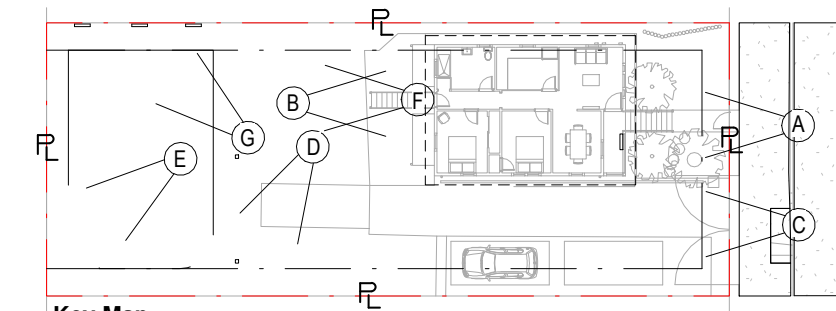
A - EXISTING FRONT OF HOUSE



B - EXISTING BACK OF HOUSE



C - EXISTING DRIVEWAY



1 Key Map
1/32" = 1'-0"



D,E - ADJACENT MULTI-FAMILY BUILDING



F - EXISTING REAR STAIR/YARD



G - REAR YARD NORTH SIDE

A0.6

SITE PHOTOS

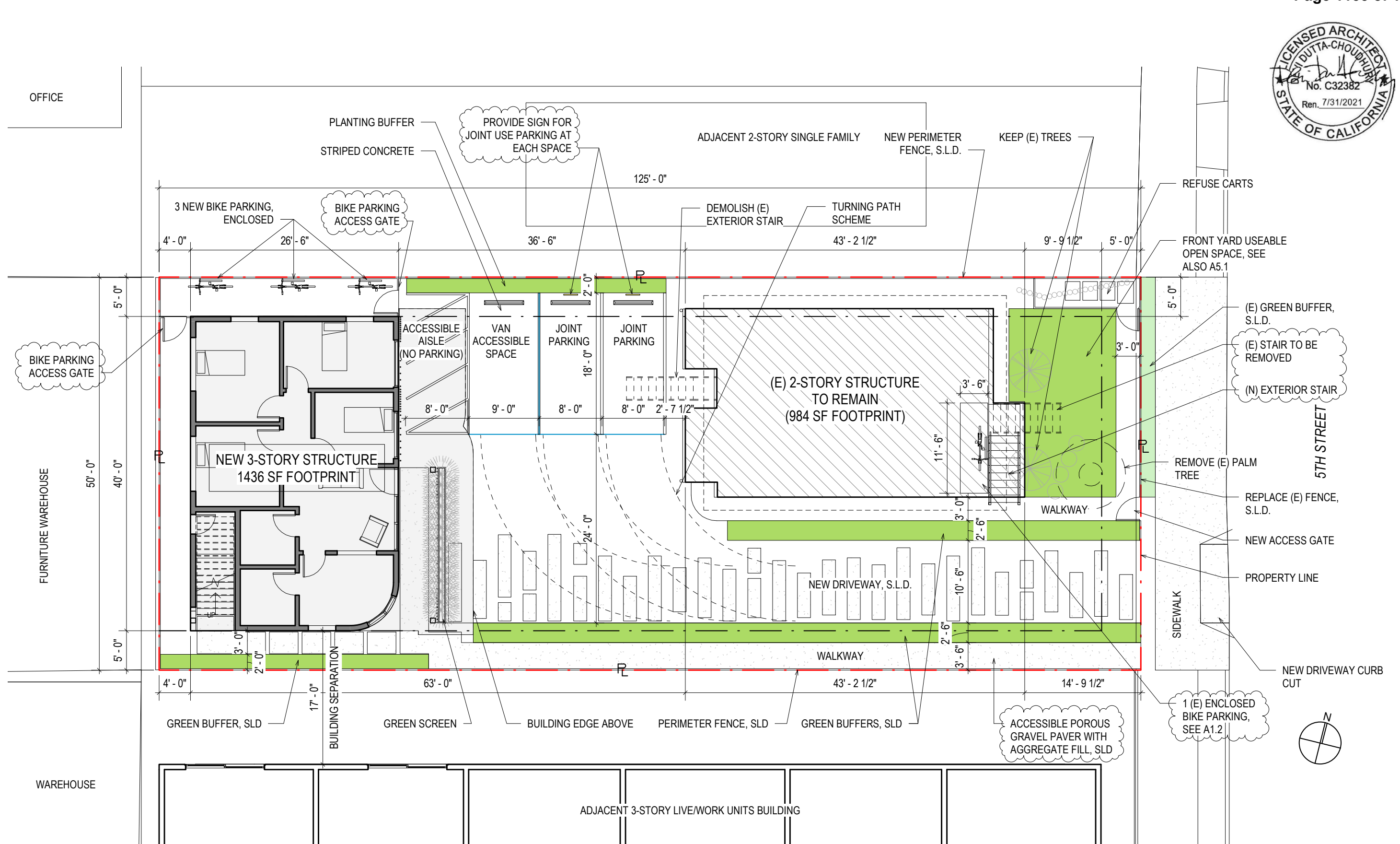
SCALE: 1/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

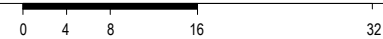
Devi Dutta Architecture Inc.

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09.06.2019



A1.1 PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"



2422 5TH STREET

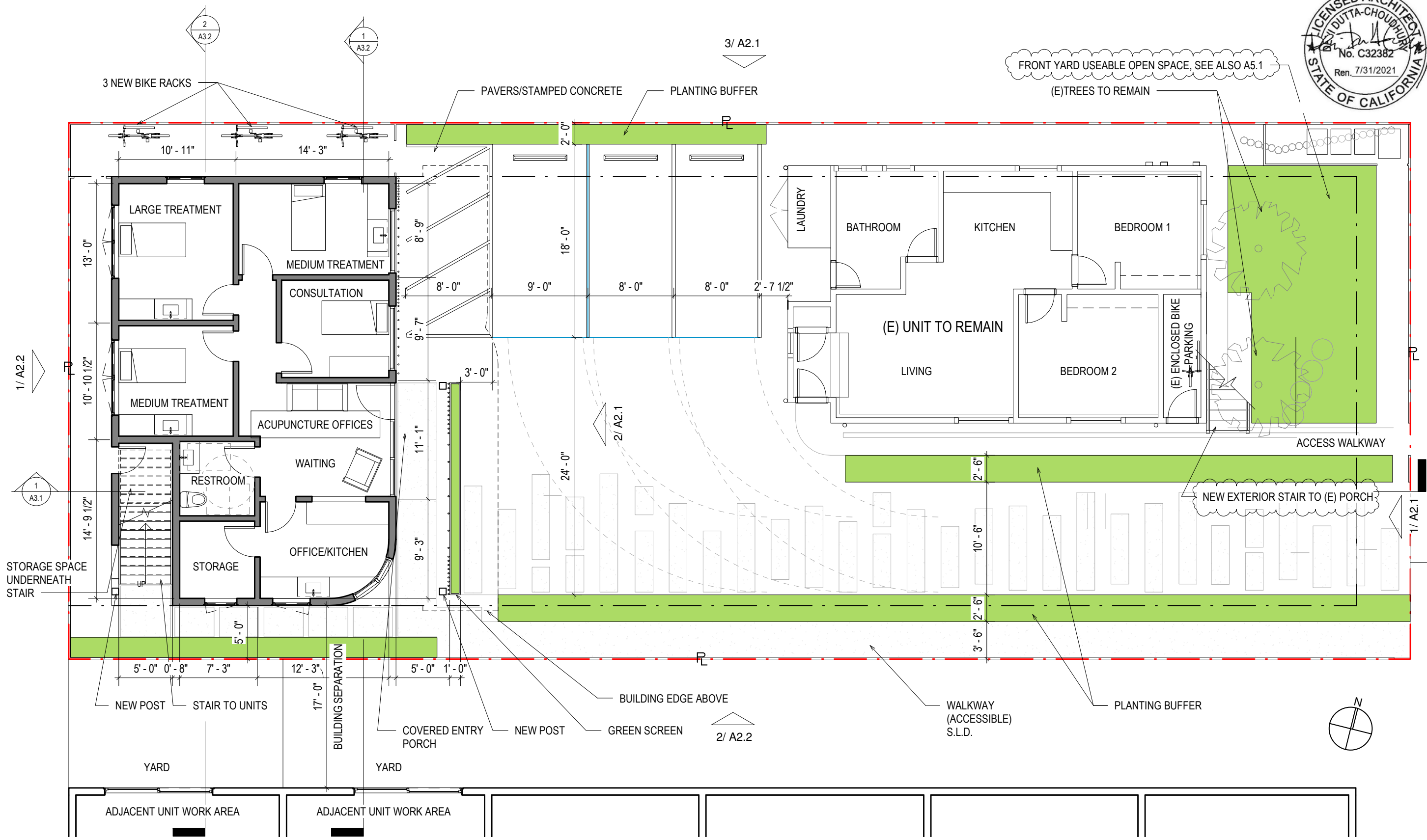
Devi Dutta Architecture Inc.

Zoning Submittal

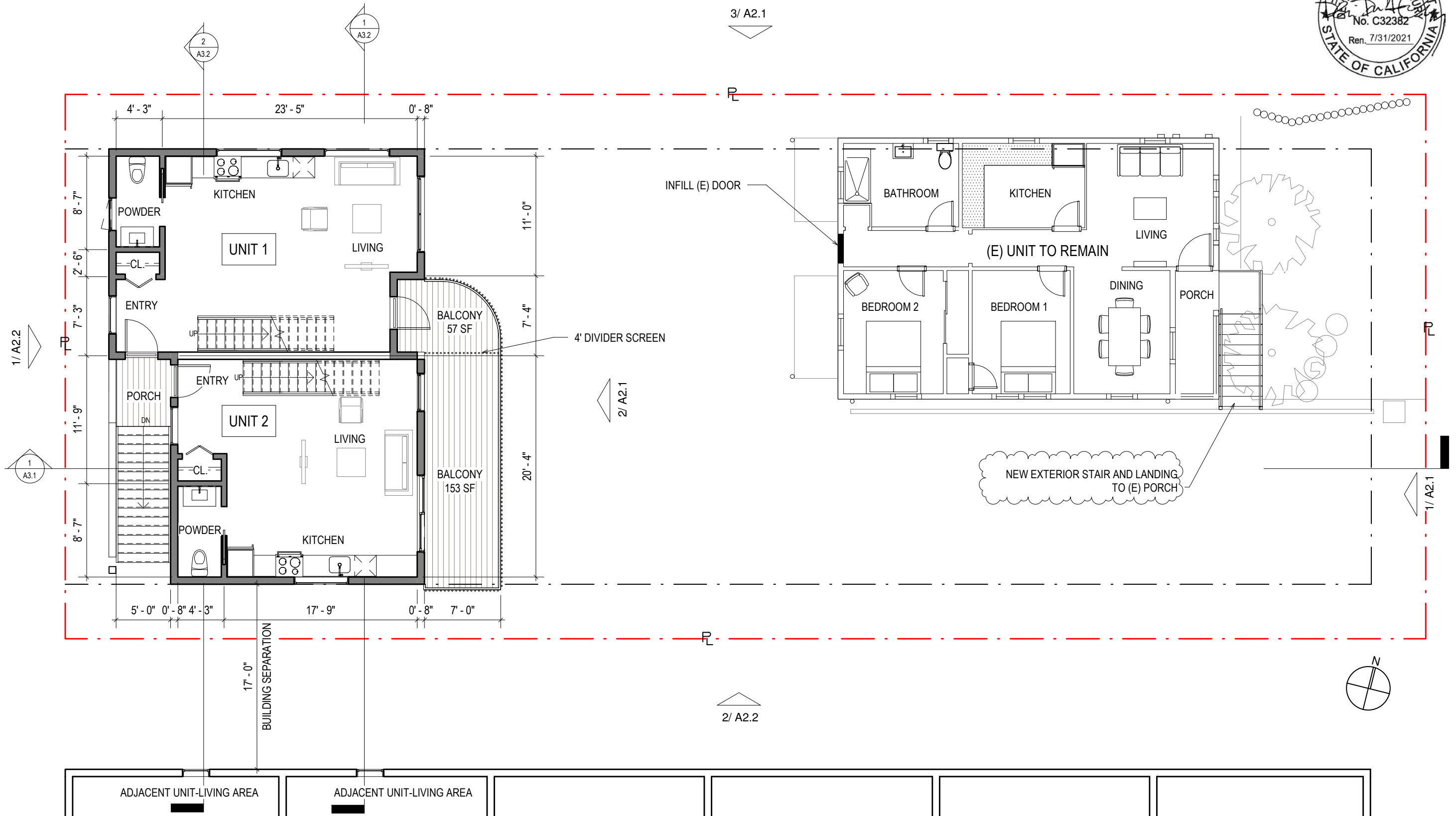
09.06.2019



FRONT YARD USEABLE OPEN SPACE, SEE ALSO A5.1
(E) TREES TO REMAIN



A1.2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
0 4 8 16 32



A1.3

PROPOSED SECOND FLOOR PLAN

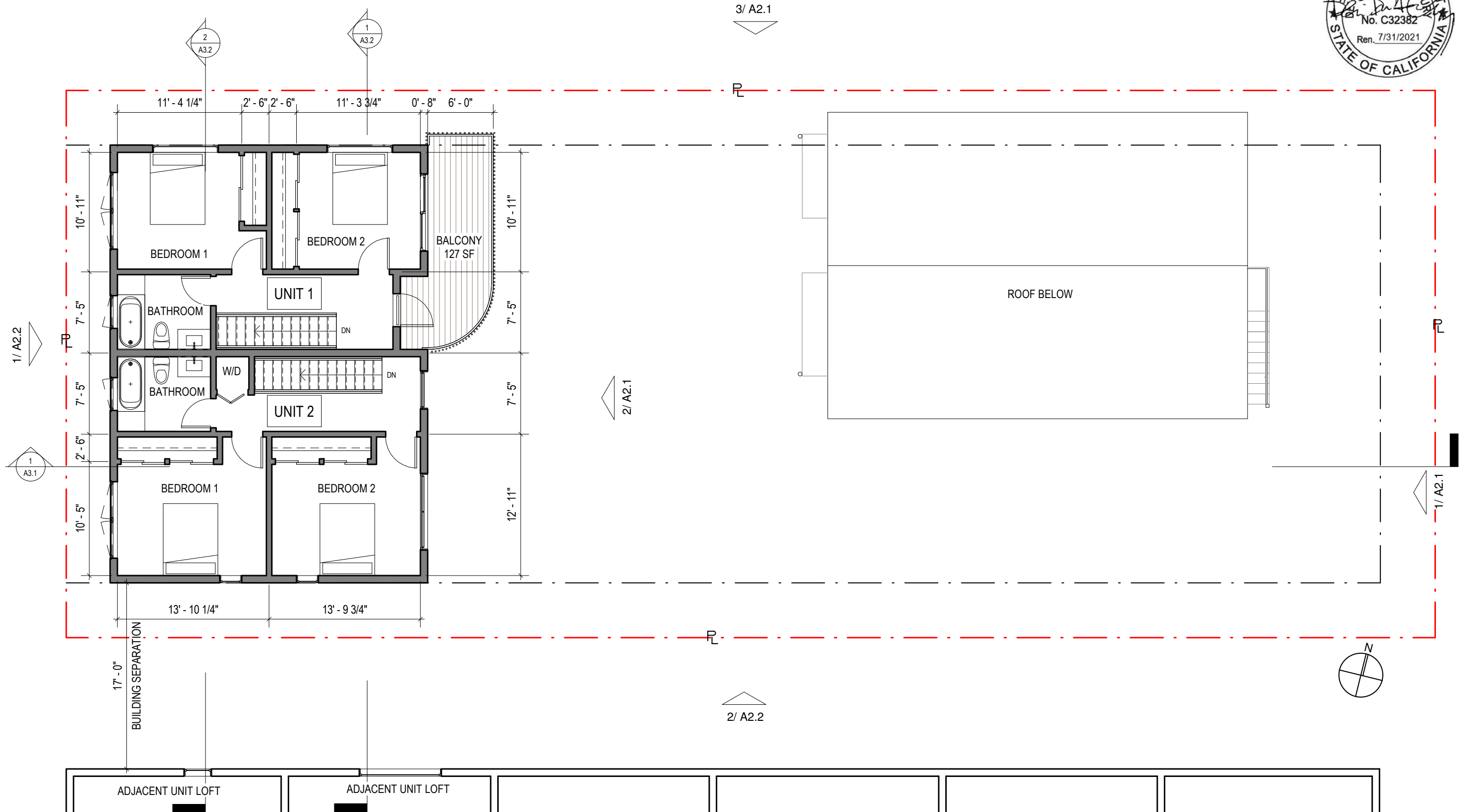
SCALE: 1/8" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

09.06.2019



A1.4

PROPOSED THIRD FLOOR PLAN

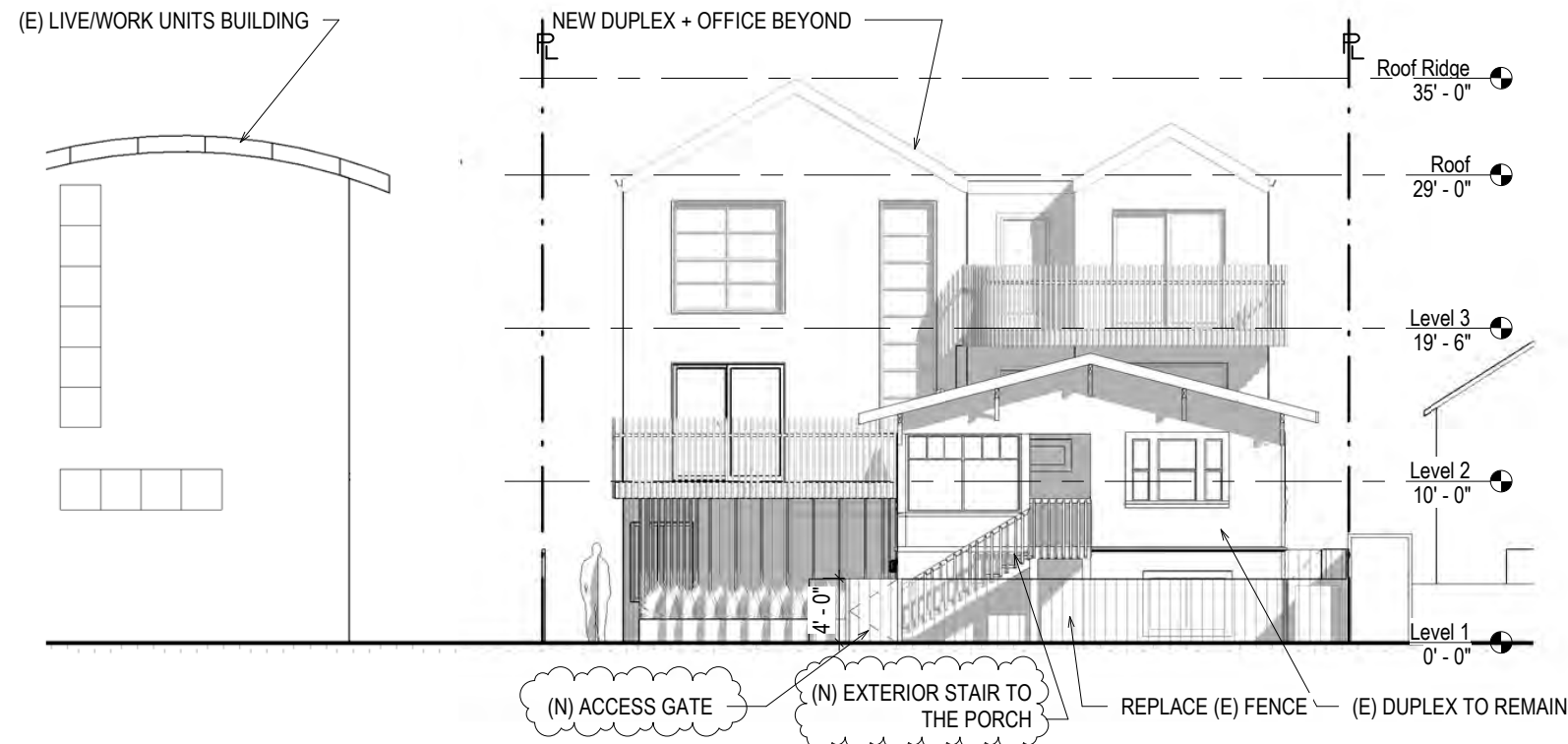
SCALE: 1/8" = 1'-0" 0 4 8 16 32

2422 5TH STREET

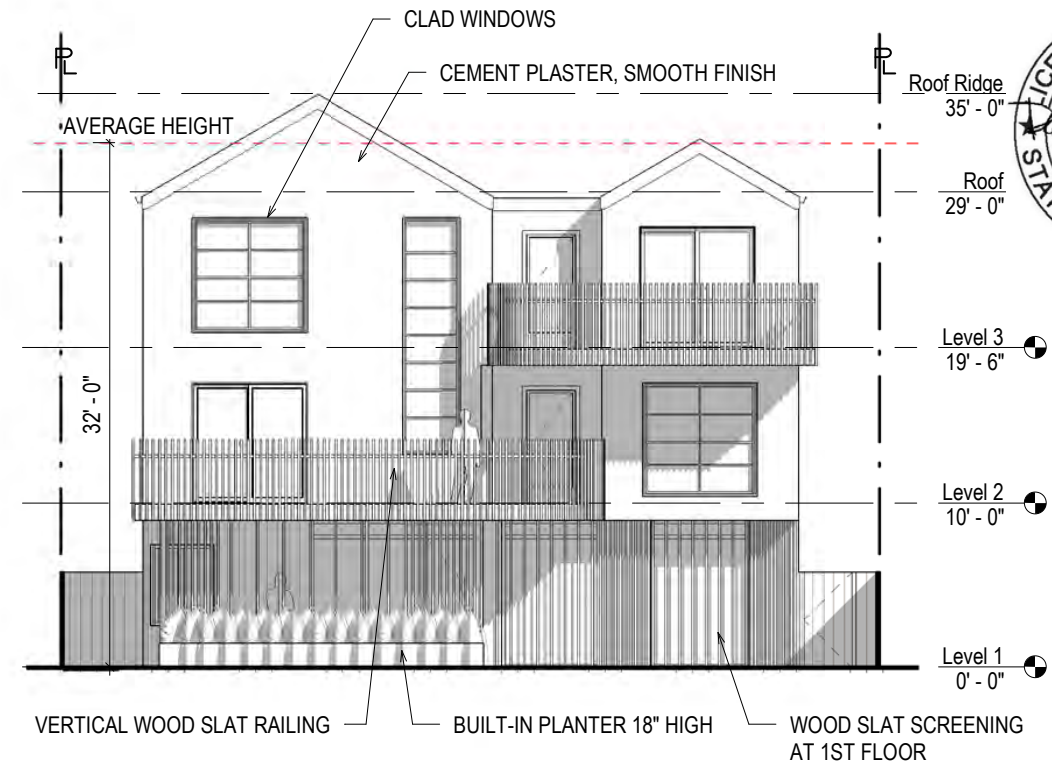
Devi Dutta Architecture Inc.

Zoning Submittal

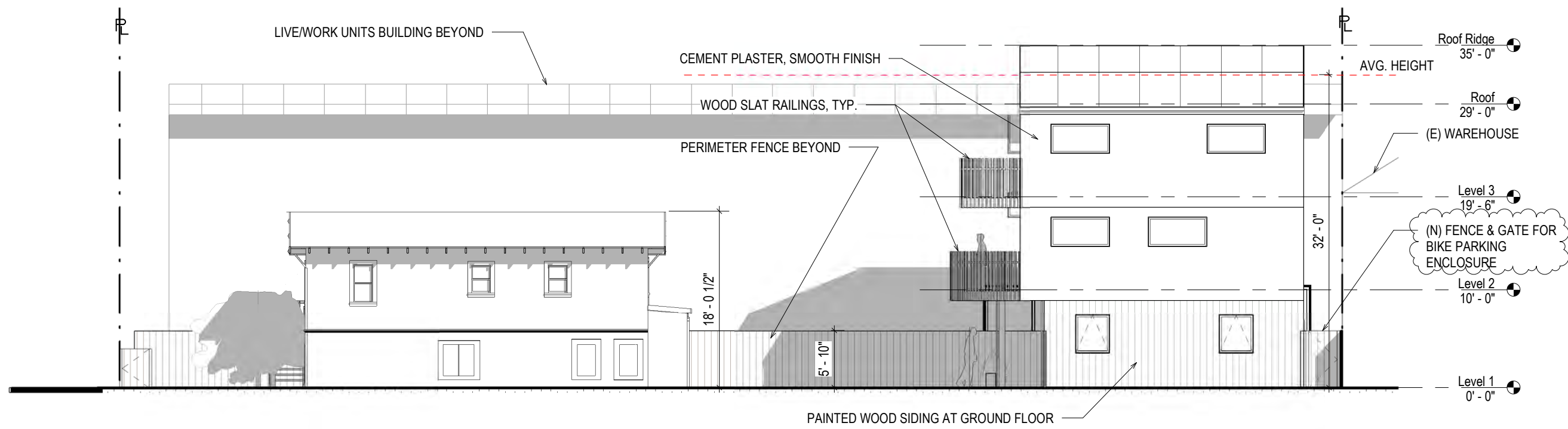
09.06.2019



1 PROPOSED STREET ELEVATION (FRONT)
3/32" = 1'-0"



2 PROPOSED BUILDING EAST ELEVATION (FRONT)
3/32" = 1'-0"



3 PROPOSED NORTH ELEVATION (RIGHT SIDE)
3/32" = 1'-0"

A2.1

EAST & NORTH ELEVATIONS

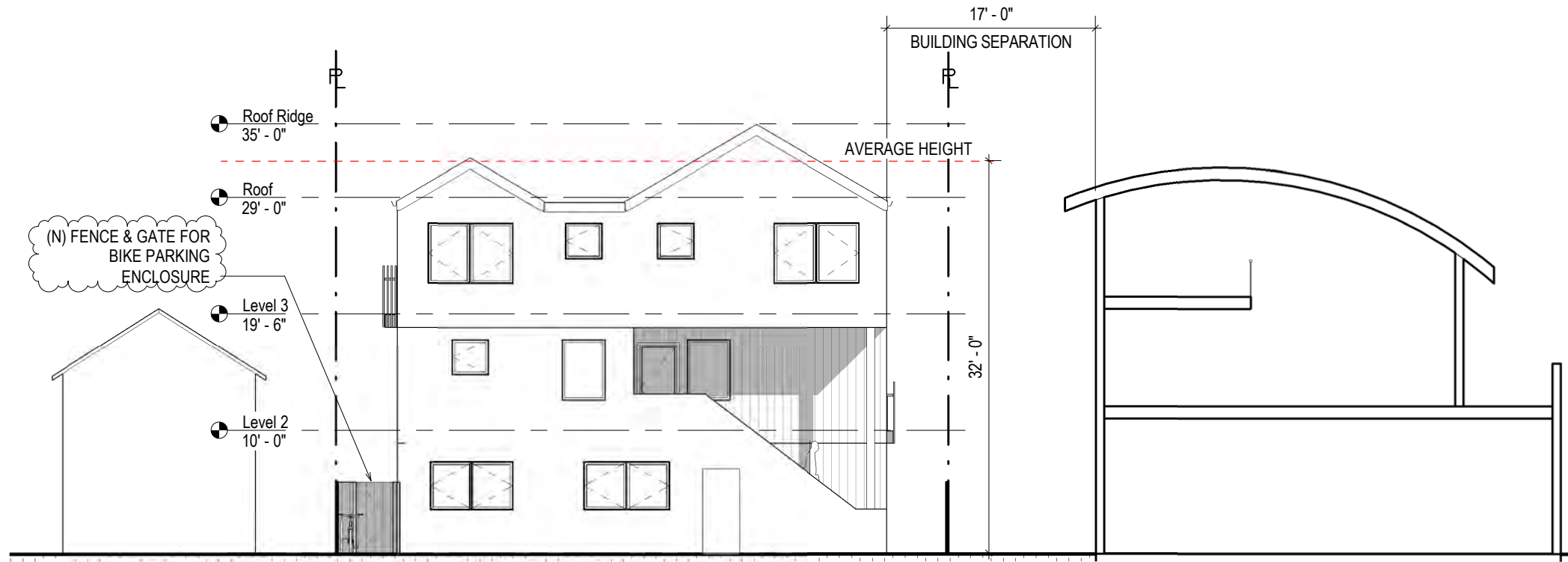
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

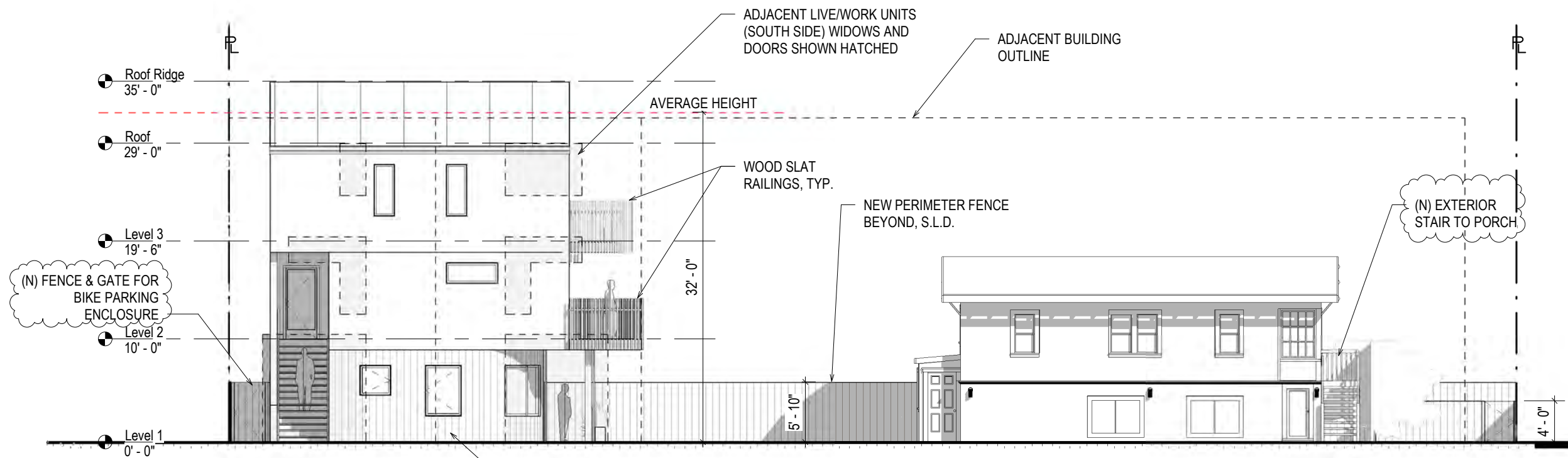
Zoning Submittal

09.06.2019



1 PROPOSED WEST ELEVATION (BACK)

3/32" = 1'-0"



2 PROPOSED SOUTH ELEVATION (LEFT SIDE)

3/32" = 1'-0"

A2.2

WEST & SOUTH ELEVATIONS

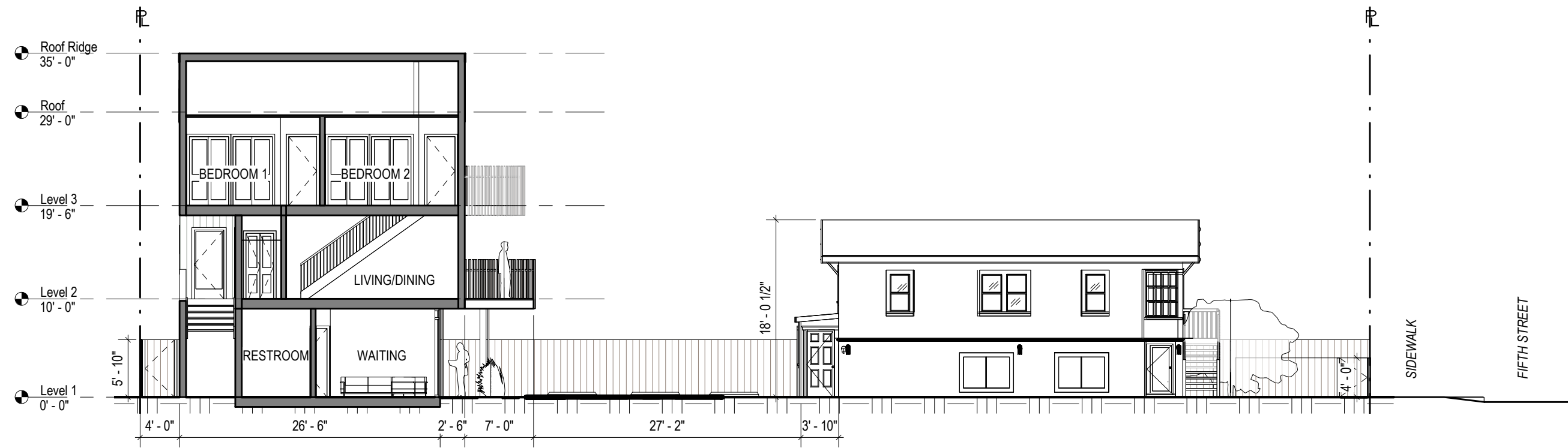
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

09.06.2019



1 PROPOSED NORTH SECTION
3/32" = 1'-0"

A3.1

PROPOSED BUILDING SECTIONS

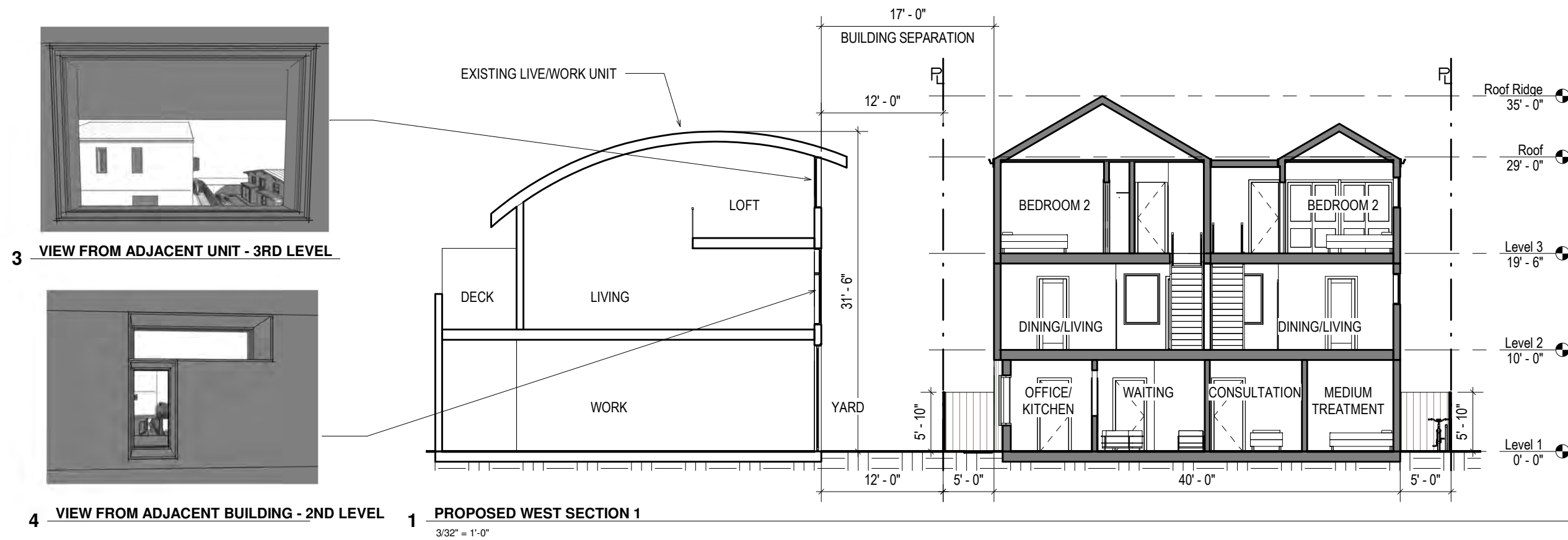
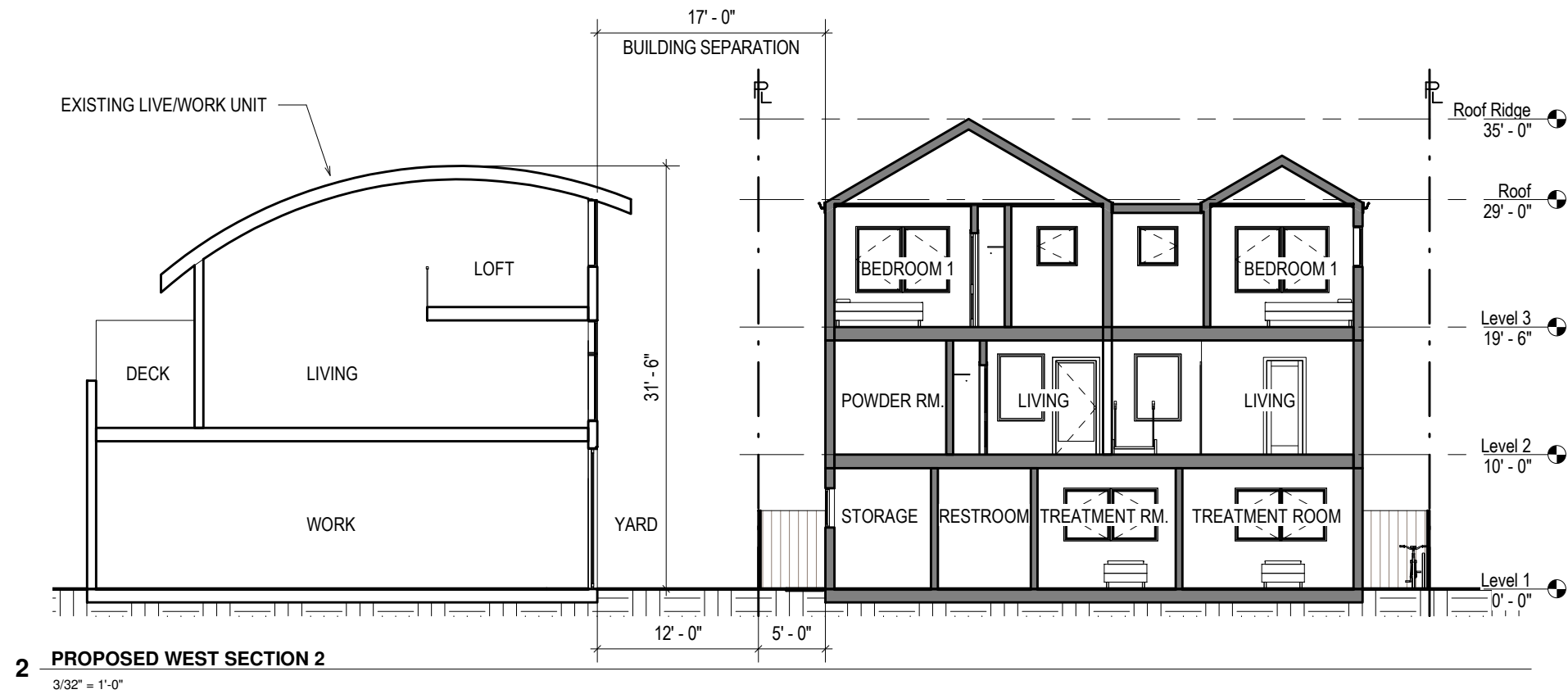
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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Zoning Submittal

09.06.2019



A3.2

PROPOSED BUILDING SECTIONS

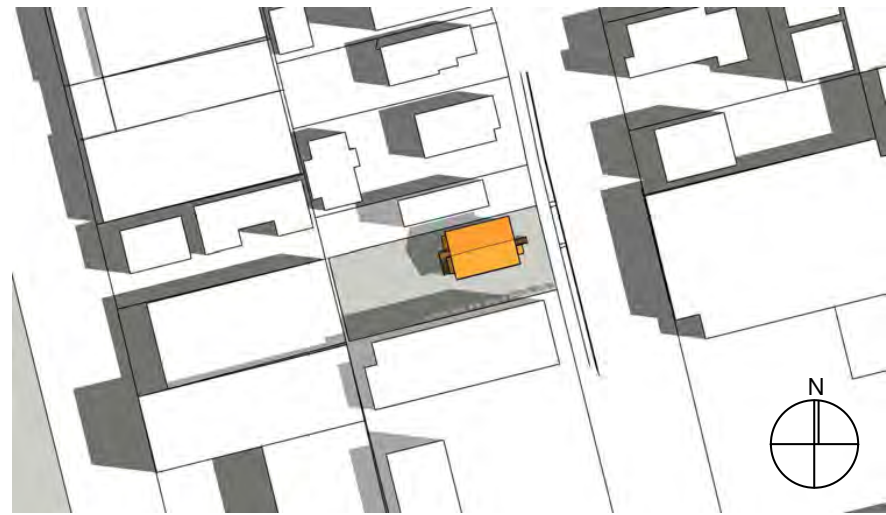
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

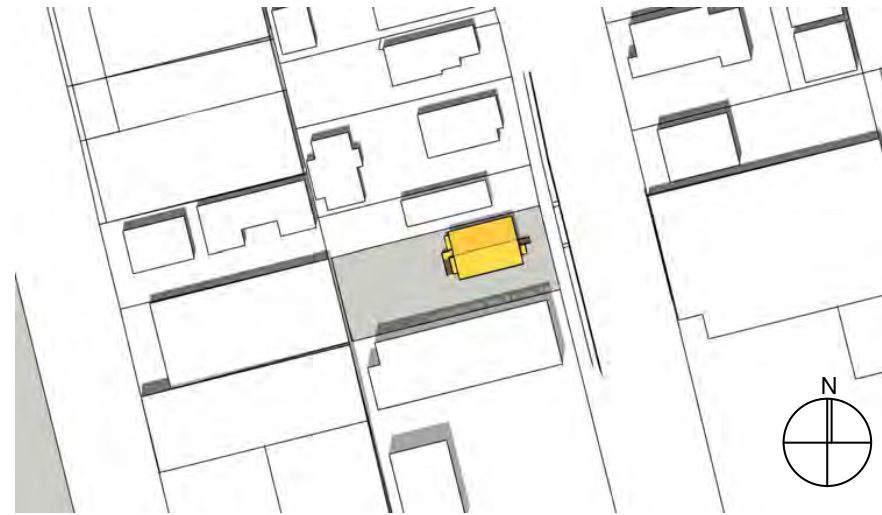
Devi Dutta Architecture Inc.

Zoning Submittal

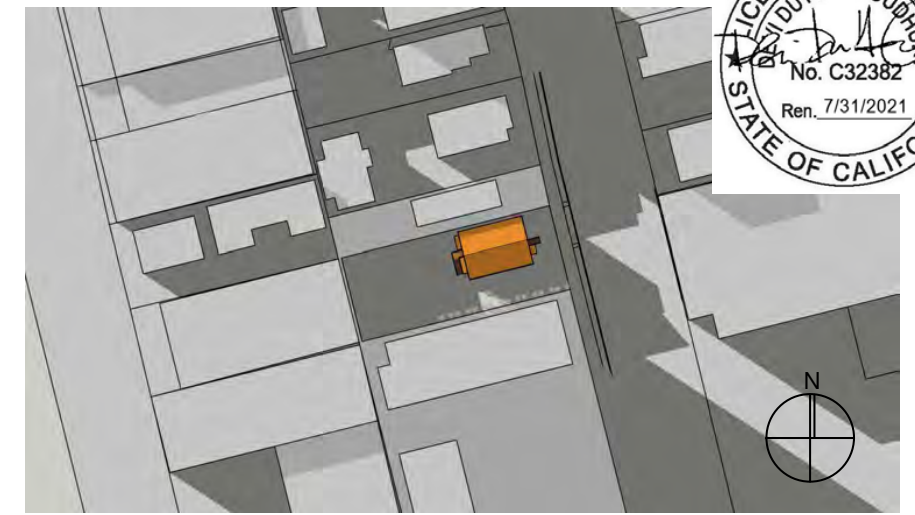
09.06.2019



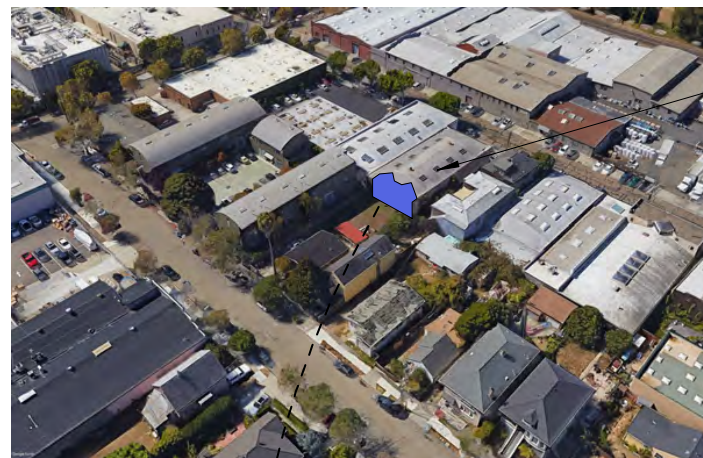
1 EXISTING-JUNE 21 - 2 HR AFTER SUNRISE



2 EXISTING - JUNE 21 - 12.00 PM

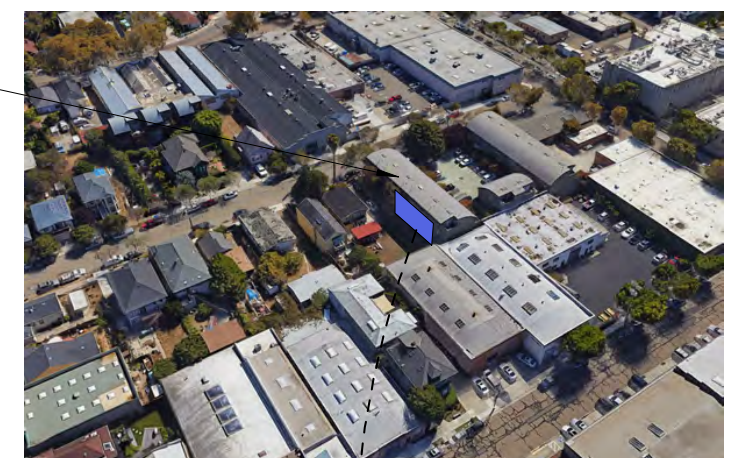


3 EXISTING - JUNE 21 - 2 HR BEFORE SUNSET



2423 4TH STREET - WAREHOUSE

2430 4TH STREET - 3 STORY MULTI-FAMILY
BATHROOM & LIVING (ASSUMED)

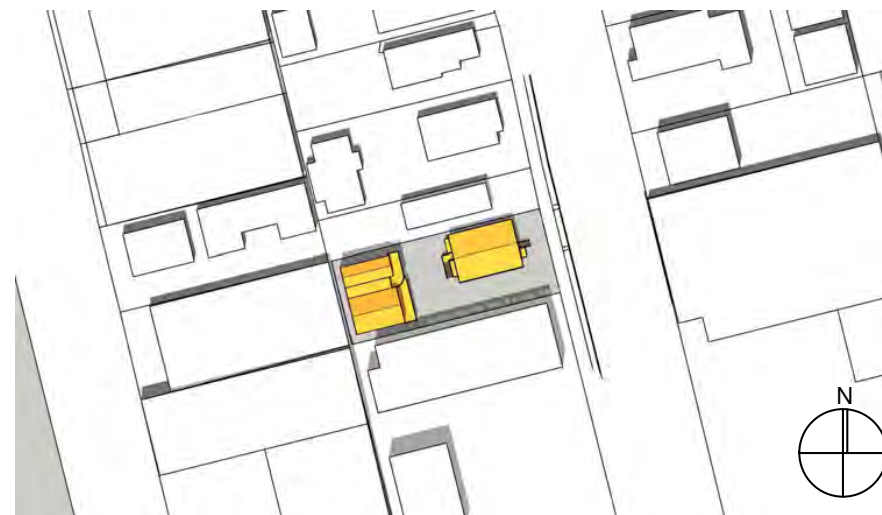


SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - JUNE 21 - 2 HOUR AFTER SUNRISE



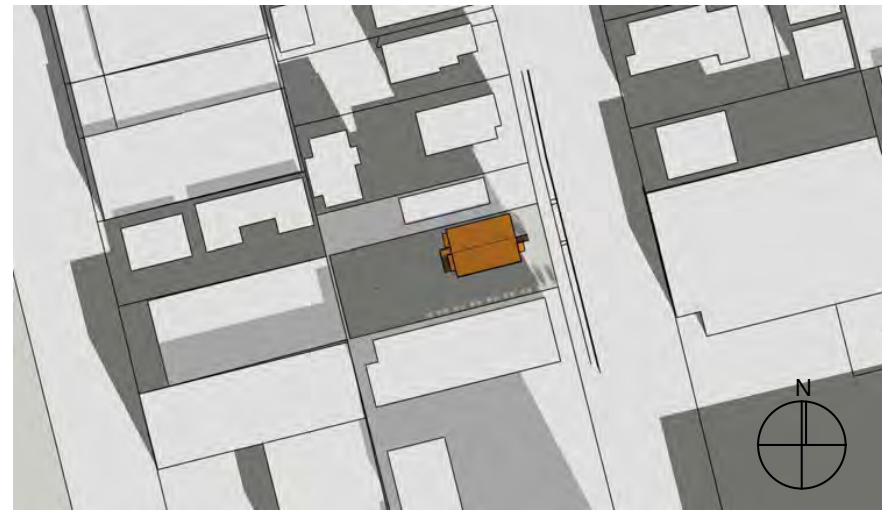
5 PROPOSED - JUNE 21 - 12.00 PM



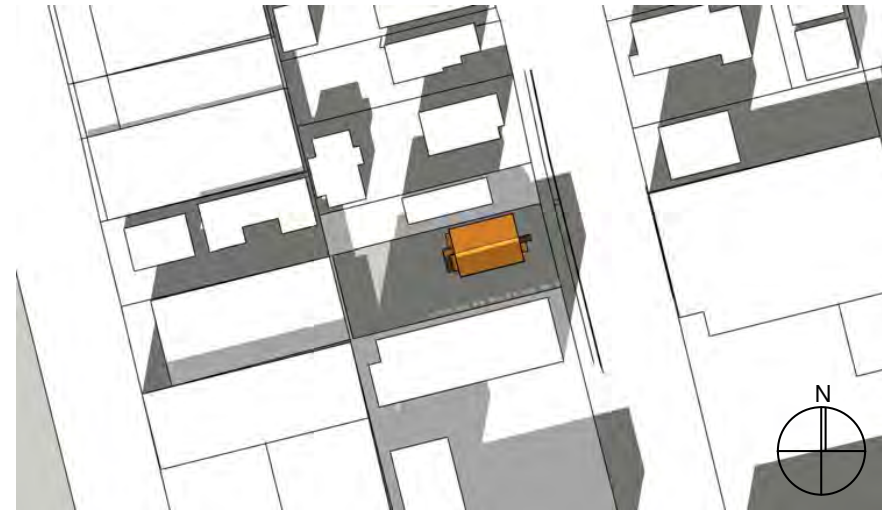
6 PROPOSED - JUNE 21 - 2 HR BEFORE SUNSET

A4.1 SHADOW STUDIES - SUMMER SOLSTICE

SCALE: As indicated
0
4
8
16
32



1 EXISTING - DECEMBER 21 - 2 HR AFTER SUNRISE



2 EXISTING - DECEMBER 21 - 12.00 PM



3 EXISTING - DECEMBER 21 - 2 HR BEFORE SUNSET



2421 4TH STREET - OFFICE BUILDING

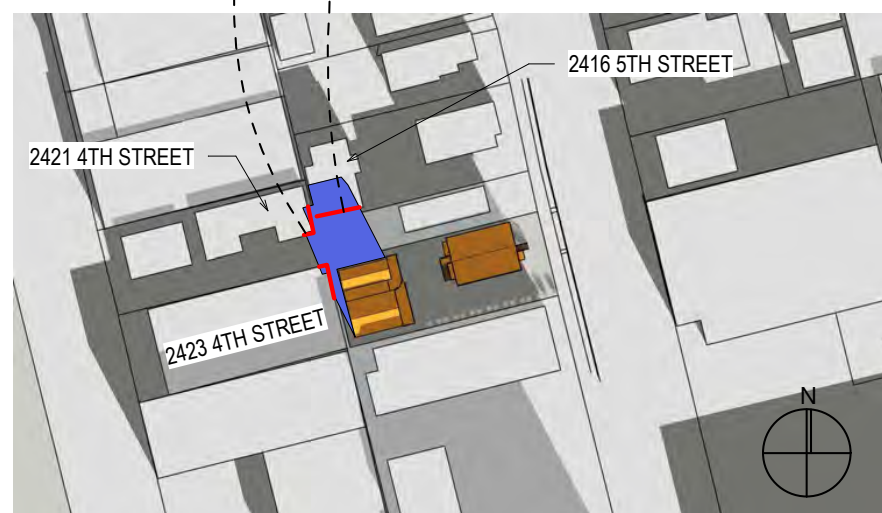
2416 5TH STREET - 1 STORY SINGLE FAMILY

2418 5TH STREET - 2 STORY SINGLE FAMILY - LIVING ROOM (ASSUMED)

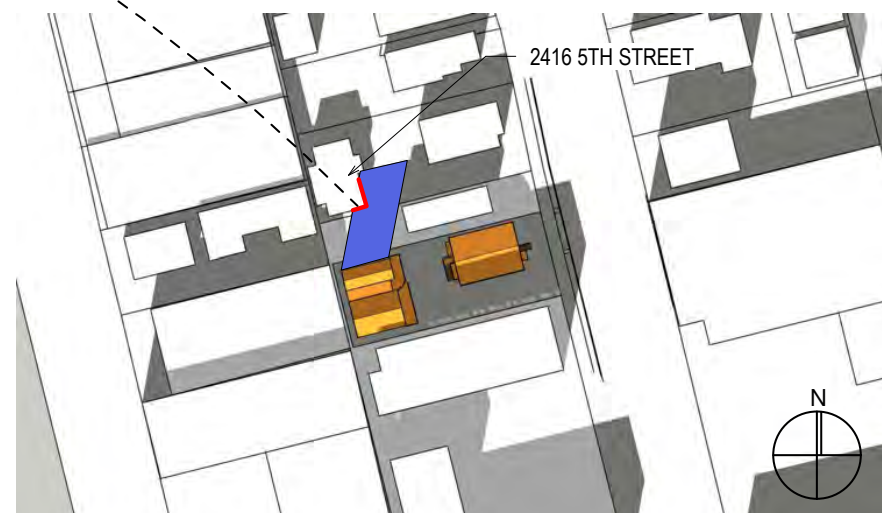
SHADOWS LEGEND

EXISTING SHADOW

NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - DECEMBER 21 - 2 HR AFTER SUNRISE



5 PROPOSED - DECEMBER 21 - 12.00 PM



6 PROPOSED - DECEMBER 21 - 2 HR BEFORE SUNSET

A4.2

SHADOW STUDIES WINTER SOLSTICE

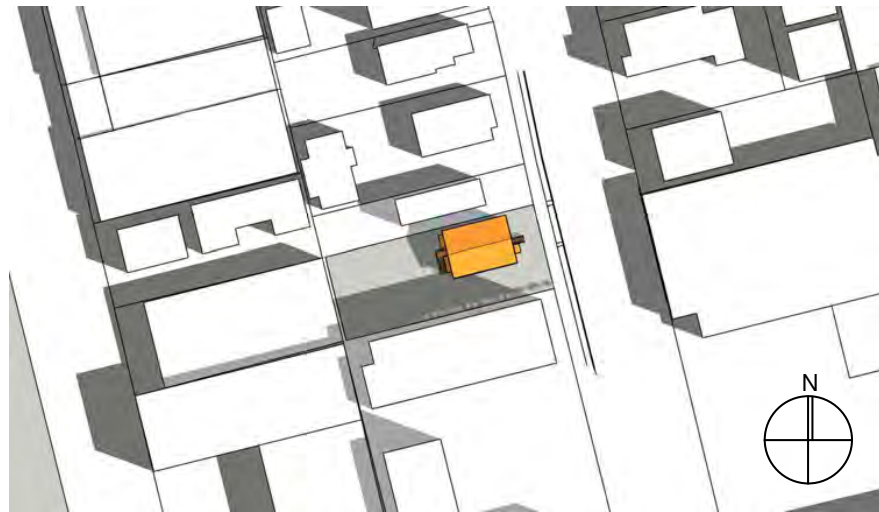
SCALE: As indicated 0 4 8 16 32

2422 5TH STREET

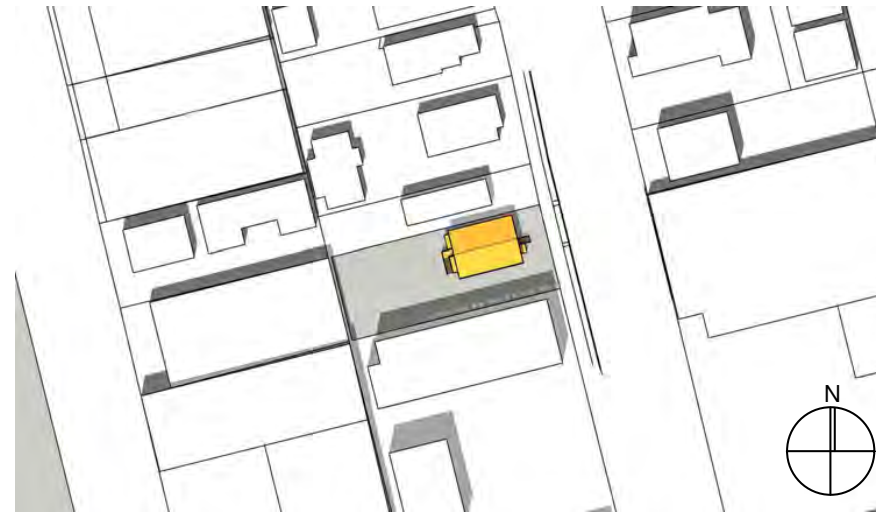
Devi Dutta Architecture Inc.

Zoning Submittal

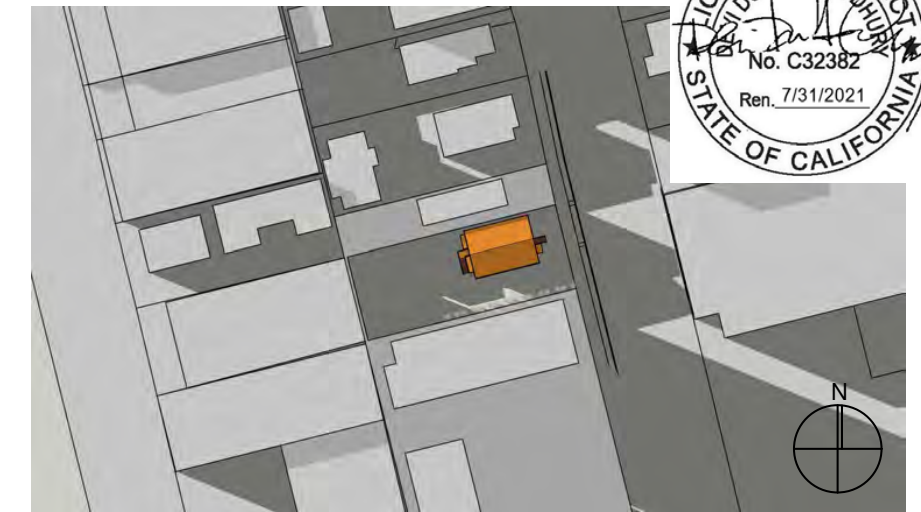
09.06.2019



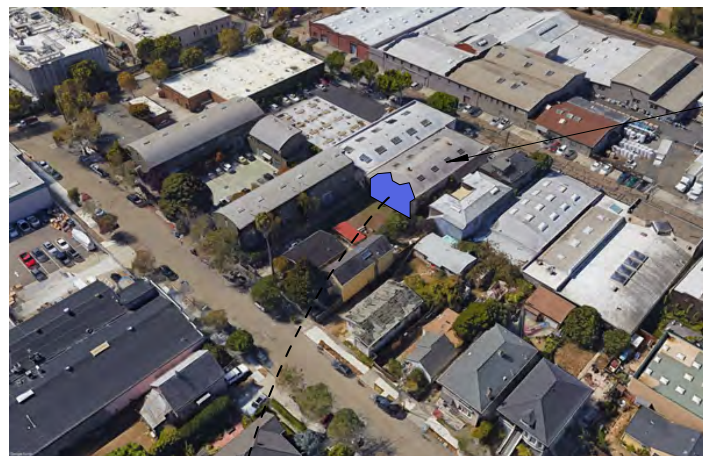
1 EXISTING - MAY 1 - 8.13 AM



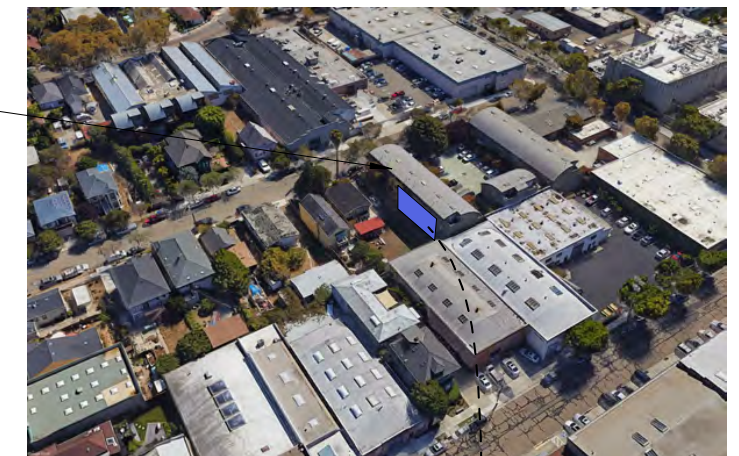
2 EXISTING - MAY 1 - 12.00 PM



3 EXISTING - MAY 1 - 6.00 PM



2423 4TH STREET - WAREHOUSE



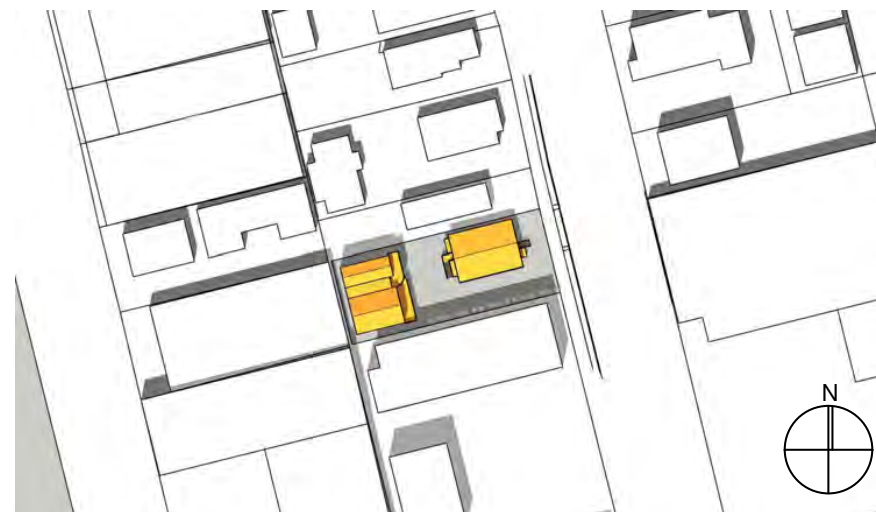
2430 5th STREET
3-STORY MULTI FAMILY -
BATH & LIVING (ASSUMED)

SHADOWS LEGEND

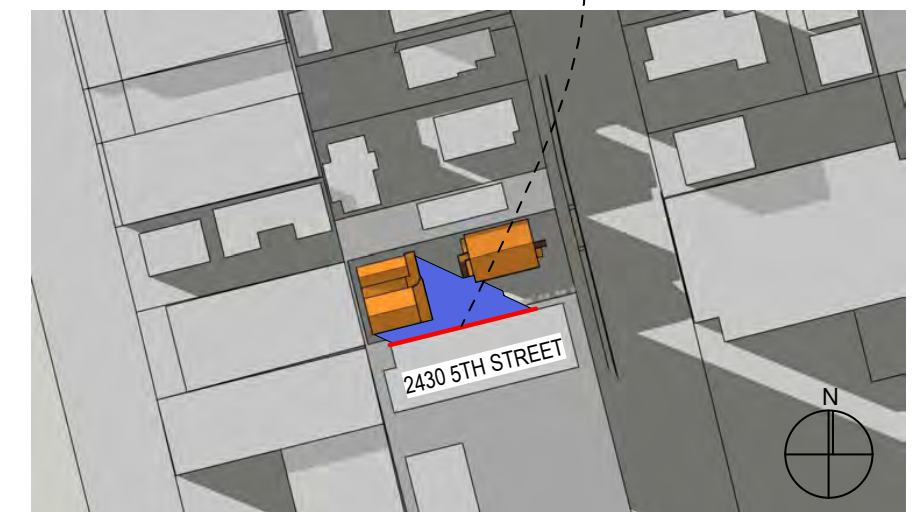
- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - MAY1 - 8.13 AM



5 PROPOSED - MAY 1 - 12.00 PM



6 PROPOSED - MAY1 - 6.00 PM

A4.3

SHADOW STUDIES REVIEW DATE

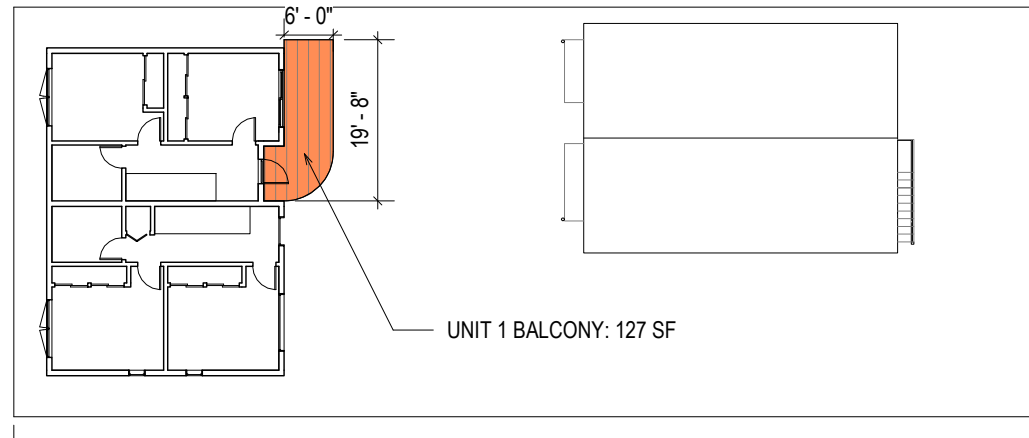
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2422 5TH STREET

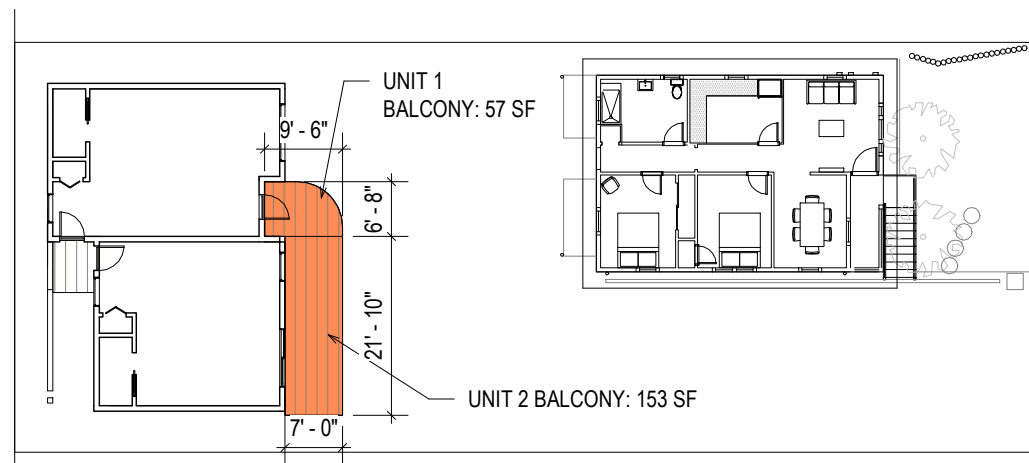
Devi Dutta Architecture Inc.

Zoning Submittal

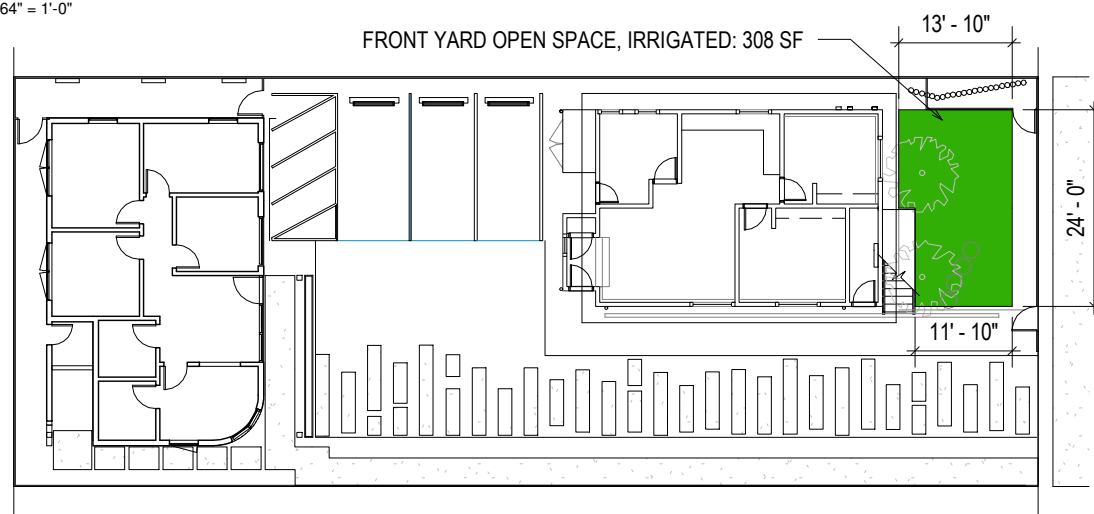
09.06.2019



3 Level 3 - Open Space
3/64" = 1'-0"



2 Level 2 - Open Space
3/64" = 1'-0"



1 Level 1 - Open Space
3/64" = 1'-0"

Ground Floor open space
Balcony

OPEN SPACE AREAS	
Level	Area
Level 1	308 SF
Level 2	210 SF
Level 3	127 SF
TOTAL	645 SF

A5.1

OPEN SPACE DIAGRAM

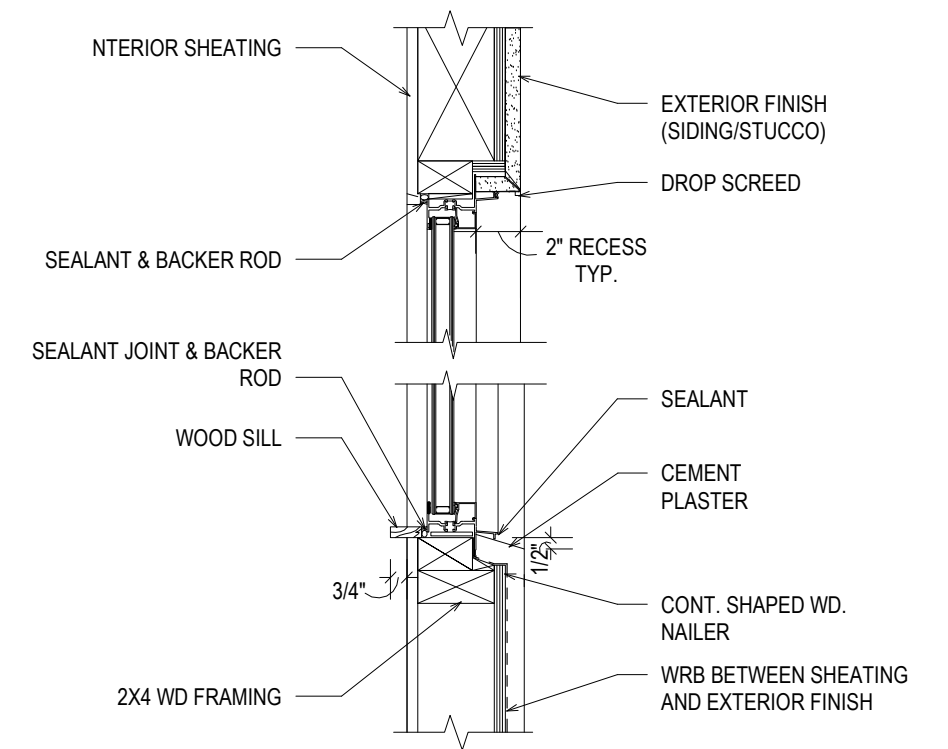
SCALE: 3/64" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

09.06.2019



1 TYPICAL NEW WINDOW DETAIL

1 1/2" = 1'-0"

A6.1 DETAILS

SCALE: 1 1/2" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

09.06.2019



5 SOUTH-WEST PERSPECTIVE



3 ENTRY PERSPECTIVE - LEFT CORNER



2 ENTRY PERSPECTIVE - RIGHT CORNER



4 EAST PERSPECTIVE

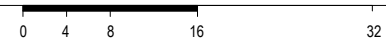


1 EAST ELEVATION

A7.1

PERSPECTIVE VIEWS

SCALE:

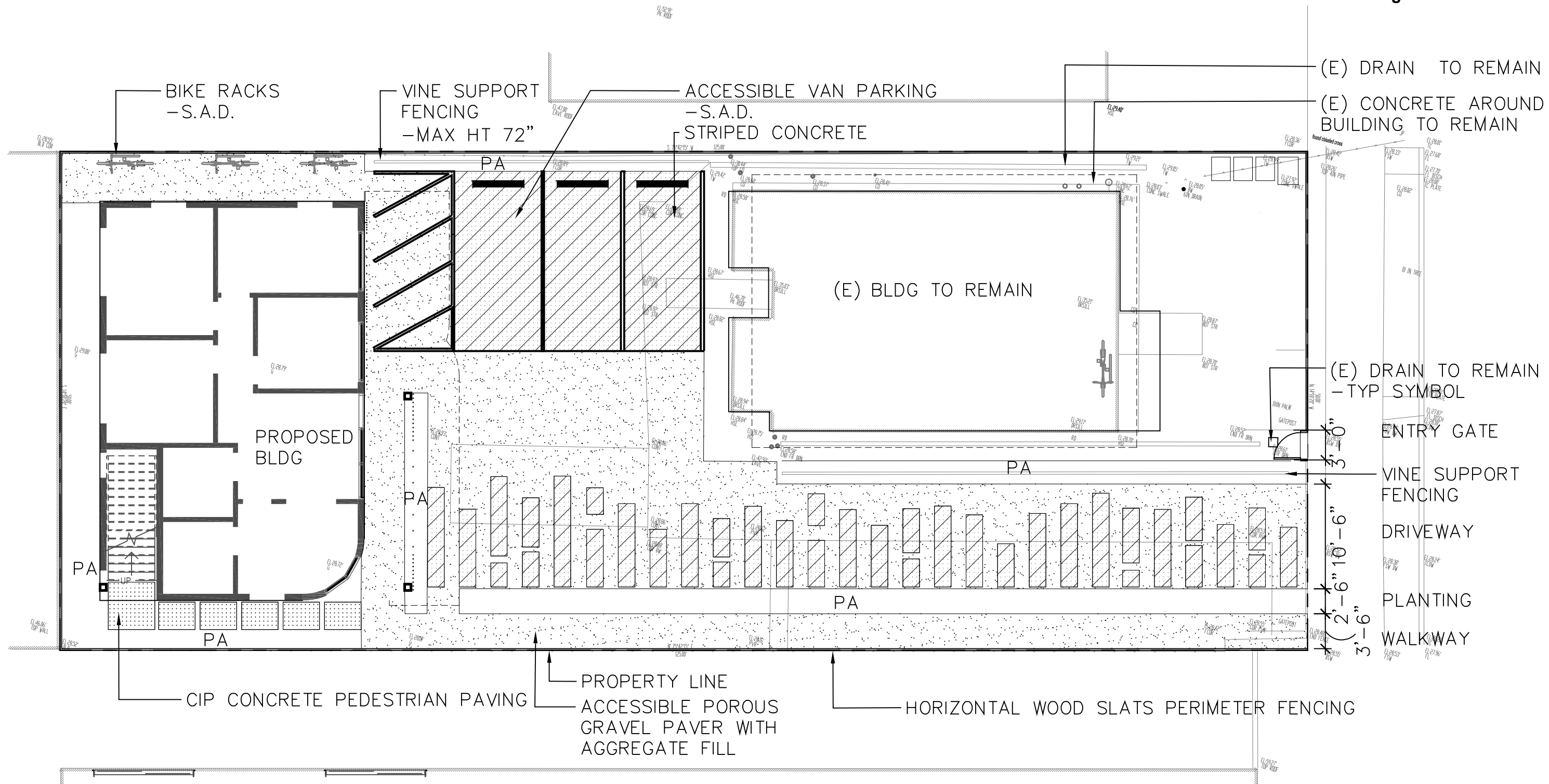


2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

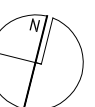
09.06.2019

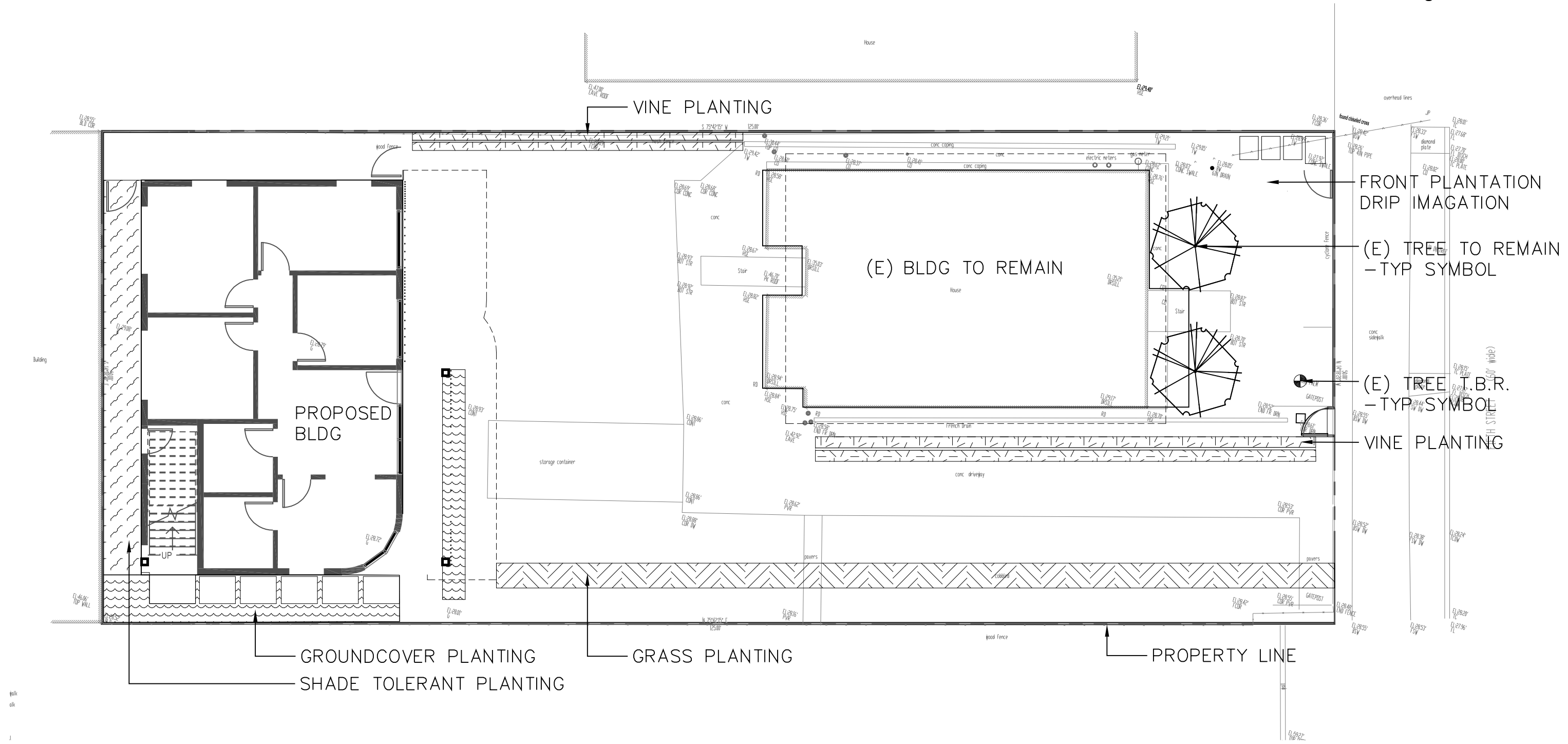


L1.0 SCHEMATIC MATERIALS PLAN
SCALE: 1"=10'-0"

2422 5TH STREET
MANTLE LANDSCAPE ARCHITECTURE

ZONING PROGRESS
08.22.2019



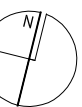


L2.0 SCHEMATIC PLANTING PLAN

SCALE: 1"=10'-0"

2422 5TH STREET
MANTLE LANDSCAPE ARCHITECTURE

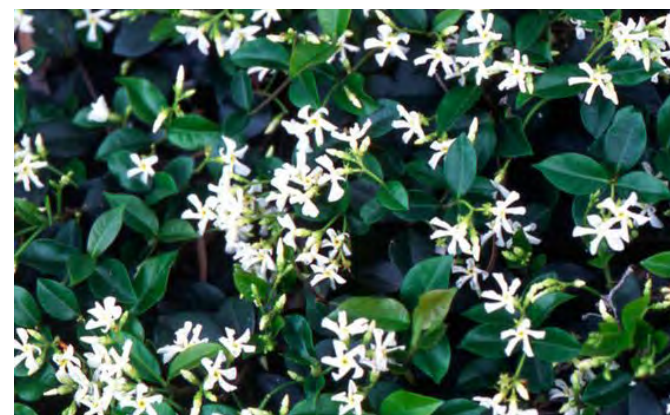
ZONING PROGRESS
08.22.2019





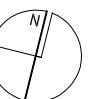
GRASS PLANTING
Carex divulsa + *Pennisetum alopecuroides*

SHADE TOLERANT
Carex dolichostachya, Mahonia 'Soft Caress', *Montia perfoliata*, *Polystichum munitum*



VINE PLANTING

GROUNDCOVER





Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704

ZONING ADJUSTMENTS BOARD NOTICE OF PUBLIC HEARING

SUBJECT: 2422 Fifth Street
Use Permit #ZP2018-0108

WHEN: Thursday, October 24, 2019.
Meeting starts at 7:00 pm.

WHERE: Berkeley Unified School District, Board Room
1231 Addison Street, Berkeley
Wheelchair Accessible

«NAME1»
«NAME2»
«ADDRESS1», «ADDRESS2»



Planning and Development Department
Land Use Planning Division
1947 Center Street, 2nd Floor
Berkeley, CA 94704

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1231 Addison Street, Berkeley
Wheelchair Accessible

«Next Record» «NAME1»
«NAME2»
«ADDRESS1», «ADDRESS2»

2422 Fifth St

152 notices

mailed out 10-09-19

NAME1	NAME2	ADDRESS1	ADDRESS2
Citizens Opposing Polluted Environment	1908 TENTH ST	BERKELEY CA	94710
Daughters for Social / Economic Change	PO BOX 2203	BERKELEY CA	94701
Fifth-University-Dwight Neighborhood Group	2107 FIFTH ST	BERKELEY CA	94710
Friends of Aquatic Park	1846 PARKER ST	BERKELEY CA	94703
Oceanview Residents Committee	917 HEARST AVE	BERKELEY CA	94710
Potter Creek-West Berkeley Group	2810 EIGHTH ST	BERKELEY CA	94710
University of California, Facilities Services	A&E Building, Room 300 University of California Berkeley	Berkeley, CA	94720-1382
Urban Creeks Council	861 REGAL RD	BERKELEY CA	94708
Bananas Inc.	5232 CLAREMONT AVE	OAKLAND CA	94618
Heinz Avenue Arts Group	800 HEINZ AVE #3	BERKELEY CA	94710
West Berkeley Association of Industrial Companies	PO BOX 2307	BERKELEY CA	94702
Berkeley Central Library	2090 KITTREDGE STREET	BERKELEY CA	94704
Adams Broadwell Joseph & Cardoza	601 GATEWAY BLVD. Su 1000	SOUTH SAN FRANCISCO CA	94080
AGATHON HOLDINGS LLC	100 N BISCAYNE BLVD	MIAMI FL	33132
AFTERGOOD JACOB B & DAVID E	10479 WELLWORTH AVE	LOS ANGELES CA	90024
OHAY PHILIP L & BARBARA L TRS	1085 SPRUCE ST	BERKELEY CA	94707
MEIER CHARLES L & FRIEDMAN SHARON G TRS	1126 OXFORD ST	BERKELEY CA	94707
2407 FOURTH STREET LLC	1255 CALIFORNIA ST, #504	SAN FRANCISCO CA	94109
2390 FOURTH STREET LLC	1321 7TH ST	BERKELEY CA	94710
MIKITEN ERICK D & ELISA K TRS	1601 DELAWARE ST	BERKELEY CA	94703
COMMON AREA OF TR 6927 26 THRU 39	1817 ROSE ST	BERKELEY CA	94703
KUIPERS FRANCINE TR	1840 ALCATRAZ AVE C1	BERKELEY CA	94703
WOLFMAN G T & CAROLE E TRS	236 SUNDOWN TER	ORINDA CA	94563
ANSON JEREMY & CARTER MERIDEE	2410 5TH ST	BERKELEY CA	94710
COMMON AREA PM 10354	2411 5TH ST	BERKELEY CA	94710
BEAMON GLENDA	2412 5TH ST	BERKELEY CA	94710
ALT KONRAD	2413 5TH ST A	BERKELEY CA	94710
SULLIVAN CHARLES H JR & BOULTS ELIZABETH	2413 5TH ST B	BERKELEY CA	94710
KASSUBA SONJA	2413 5TH ST C	BERKELEY CA	94710
ALSTON CONNIE R	2414 5TH ST	BERKELEY CA	94710
COMMON AREA OF PM 7416 27 28 & 29	2415 5TH ST	BERKELEY CA	94710
SABIN DON B	2415 OLIVERA RD	CONCORD CA	94520
BULL VICTOR	2417 4TH ST	BERKELEY CA	94710
SILVERA GORDON L & ANDERSON BARBARA J TRS	2417 5TH ST	BERKELEY CA	94710
ZABOROWSKA ELIZABETH	2418 5TH ST 1	BERKELEY CA	94710
MORK FREDRIC R & GRETCHEN P TRS ETAL	2418 6TH ST	BERKELEY CA	94710
NOVOSEL JAMES & KARIAN CELIA TRS	2418A CALIFORNIA ST	BERKELEY CA	94703
MARTINEZ PAUL P ETAL	2421 5TH ST	BERKELEY CA	94710
C & S ENTERPRISES INC	2424 4TH ST	BERKELEY CA	94710
WALKER ROBERT M & CARLSON ROWENA M	2430 5 TH ST G	BERKELEY CA	94710
MURPHY ANN E TR	2430 5TH ST A	BERKELEY CA	94710
LEE KYO R & KE S	2430 5TH ST C	BERKELEY CA	94710

2422 Fifth St

152 notices

mailed out 10-09-19

MOOR CAROL	2430 5TH ST E	BERKELEY CA	94710
LEVERETT ERICA & MASON ERIC D	2430 5TH ST F	BERKELEY CA	94710
CHEN HOLLACE TR	2430 5TH ST H	BERKELEY CA	94710
NICHOLS JEFF S & MATOS JENNIFER T	2430 5TH ST K	BERKELEY CA	94710
BOOKSTEIN DENAH S	2430 5TH ST L	BERKELEY CA	94710
DEAN EDWARD T	2430 5TH ST M	BERKELEY CA	94710
HUTCHINS CELESTE	2430 5TH ST N	BERKELEY CA	94710
VONEUW JACK & DATER JUDY TRS	2430 FIFTH ST J	BERKELEY CA	94710
OAKLEY STATION LLC & GRAY ROBERT W & BERENICE ETAL	3527 MT DIABLO BLVD, #179	LAFAYETTE CA	94549
COMMON AREA OF PM 7027 41 & 42	36 EUCALYPTUS PATH	BERKELEY CA	94705
RAFFI PROPERTIES LLC	3620 HAPPY VALLEY RD, #200	LAFAYETTE CA	94549
SONGEY MARK & KIM	4143 HIDDEN VALLEY RD	LAFAYETTE CA	94549
LOUIE F S & CO INC	5484 FERNHOFF RD	OAKLAND CA	94619
PORGES CHARLES E & PORGESKIRIAKOU ANNITELLA TRS	61 MIRA LOMA RD	ORINDA CA	94563
OLIVERIA GLENN L & SAWYER SUSAN F	6457 OAKWOOD DR	OAKLAND CA	94611
NEFF VERNON A & BARBARA TRS	67 NORMAN LN	OAKLAND CA	94618
J MCNEIL PROPERTIES LLC	720 CHANNING ST	BERKELEY CA	94710
J MCNEIL PROPERTIES LLC	720 CHANNING WAY	BERKELEY CA	94710
BEAMON GLENDA	7308 SUNKIST DR	OAKLAND CA	94605
GIDLUND PETER & JILL J	736 CHANNING WAY	BERKELEY CA	94710
LEE ECHO	742 CHANNING WAY	BERKELEY CA	94710
HOURULA ROBERT J & TUOMAINEN SIRPA TRS	806 CHANNING WAY	BERKELEY CA	94710
RING JENNIFER	810 CHANNING WAY	BERKELEY CA	94710
GOLD CARL S & ANNA H TRS	819 CERRITO ST	ALBANY CA	94706
TULLOCH JOHN F CORP	P O BOX 11046	OAKLAND CA	94611
OCCUPANT(S)	2400 FOURTH ST	BERKELEY CA	94710
OCCUPANT(S)	2405 FOURTH ST	BERKELEY CA	94710
OCCUPANT(S)	2407 FOURTH ST	BERKELEY CA	94710
OCCUPANT(S)	2409 FIFTH ST A	BERKELEY CA	94710
OCCUPANT(S)	2409 FIFTH ST B	BERKELEY CA	94710
OCCUPANT(S)	2410 FIFTH ST	BERKELEY CA	94710
OCCUPANT(S)	2410 FIFTH ST 1	BERKELEY CA	94710
OCCUPANT(S)	2410 FIFTH ST 2	BERKELEY CA	94710
OCCUPANT(S)	2410 FIFTH ST 3	BERKELEY CA	94710
OCCUPANT(S)	2410 SIXTH ST	BERKELEY CA	94710
OCCUPANT(S)	2411 FIFTH ST 1	BERKELEY CA	94710
OCCUPANT(S)	2411 FIFTH ST 2	BERKELEY CA	94710
OCCUPANT(S)	2411 FIFTH ST 3	BERKELEY CA	94710
OCCUPANT(S)	2411 FIFTH ST 4	BERKELEY CA	94710
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OCCUPANT(S)	2413 FIFTH ST A	BERKELEY CA	94710

2422 Fifth St

152 notices

mailed out 10-09-19

OCCUPANT(S)	2413 FIFTH ST B	BERKELEY CA	94710
OCCUPANT(S)	2413 FIFTH ST C	BERKELEY CA	94710
OCCUPANT(S)	2413 FOURTH ST	BERKELEY CA	94710
OCCUPANT(S)	2414 FIFTH ST	BERKELEY CA	94710
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OCCUPANT(S)	2421 FOURTH ST A	BERKELEY CA	94710
OCCUPANT(S)	2421 FOURTH ST B	BERKELEY CA	94710
Anna and Carl Gold	2422 FIFTH ST	BERKELEY CA	94710
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OCCUPANT(S)	2430 FIFTH ST H	BERKELEY CA	94710
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OCCUPANT(S)	2430 FIFTH ST K	BERKELEY CA	94710
OCCUPANT(S)	2430 FIFTH ST L	BERKELEY CA	94710
OCCUPANT(S)	2430 FIFTH ST M	BERKELEY CA	94710
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2422 Fifth St

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OCCUPANT(S)	701 DWIGHT WAY	BERKELEY CA	94710
OCCUPANT(S)	702 CHANNING WAY	BERKELEY CA	94710
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OCCUPANT(S)	727 DWIGHT WAY	BERKELEY CA	94710
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OCCUPANT(S)	732 CHANNING WAY	BERKELEY CA	94710
OCCUPANT(S)	733 DWIGHT WAY	BERKELEY CA	94710
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OCCUPANT(S)	800 CHANNING WAY	BERKELEY CA	94710
OCCUPANT(S)	806 CHANNING WAY 1	BERKELEY CA	94710
OCCUPANT(S)	806 CHANNING WAY 2	BERKELEY CA	94710
OCCUPANT(S)	806 CHANNING WAY 3	BERKELEY CA	94710
Devi Dutta Architecture	928 Carleton Street	BERKELEY CA	94710



5TH STREET TOWNHOMES AND WELLNESS OFFICES

2422 5TH STREET, BERKELEY, CA 94710

ARCHITECT/APPLICANT

DEVI DUTTA-CHOUDHURY, AIA
DEVI DUTTA ARCHITECTURE
928 CARLETON STREET
BERKELEY, CA 94710
510/705-1937
hello@devidutta.com

OWNER

ANNA & CARL GOLD
2422 5TH STREET
BERKELEY, CA 94710

LANDSCAPE

MANTLE LANDSCAPE
ARCHITECTURE
930 CARLETON STREET
BERKELEY, CA 94710
510-927-3202

TRAFFIC ENGINEER

ABRAMS ASSOCIATES
1875 OLYMPIC BOULEVARD,
SUITE 210
WALNUT CREEK, CA 94596
925-945-0201

PROJECT DESCRIPTION

CONSTRUCTION OF 2 NEW DWELLING UNITS AND 1 ACUPUNCTURE & WELLNESS OFFICE AT REAR YARD. EXISTING FRONT DUPLEX TO REMAIN.

SHEET LIST ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 PROJECT INFORMATION
- A0.2 AREA DIAGRAMS
- A0.3 SURVEY
- A0.4 STREET STRIP
- A0.5 VICINITY MAP
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED FIRST FLOOR PLAN
- A1.3 PROPOSED SECOND FLOOR PLAN
- A1.4 PROPOSED THIRD FLOOR PLAN
- A2.1 EAST & NORTH ELEVATIONS
- A2.2 WEST & SOUTH ELEVATIONS
- A3.1 PROPOSED BUILDING SECTIONS
- A3.2 PROPOSED BUILDING SECTIONS
- A5.1 OPEN SPACE DIAGRAM
- A6.1 DETAILS
- A7.1 NEIGHBORHOOD CONTEXT
- A7.2 PERSPECTIVE VIEWS

SHEET LIST LANDSCAPE

- L1.0 SCHEMATIC MATERIAL PLAN
- L2.0 SCHEMATIC PLANTING PLAN
- L2.1 PROPOSED PLANTING PALETTE



A0.0 COVER SHEET
SCALE: 0 4 8 16 32

2422 5TH STREET
Devi Dutta Architecture Inc.

Zoning Submittal
10.15.2019



PROJECT ADDRESS

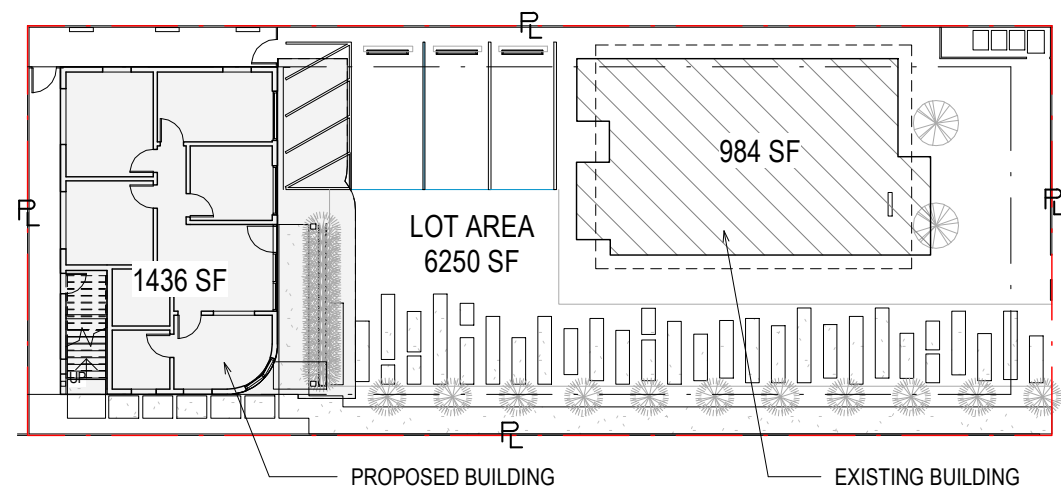
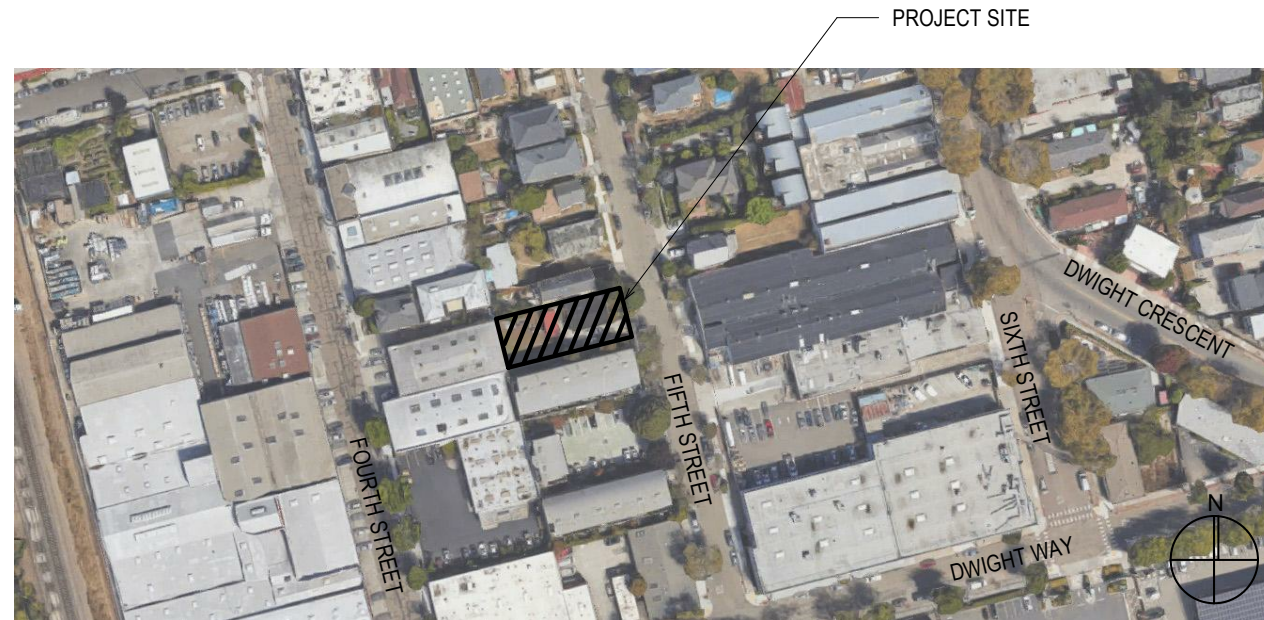
2422 5TH STREET, BERKELEY, CA 74710

ASSESSOR'S PARCEL #:

56-1944-11

ZONING INFORMATION

ZONING DISTRICT: MU-R
 FLOOD ZONE: NO
 FIRE ZONE: 1
 ENV. MGMT AREA: NO
 LANDMARKS STRUCTURE OF MERIT: NO



1 LOT COVERAGE DIAGRAM

3/64" = 1'-0"

A0.1

PROJECT INFORMATION

SCALE: 3/64" = 1'-0" 0 4 8 16 32

ZONING DEVELOPMENT STANDARDS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED/ PERMITTED</u>
NUMBER OF DWELLING UNITS	2	4	5 MAX
AREAS			
LOT SIZE	125' X 50' = 6250 SF	125' X 50' = 6250 SF	40' WIDTH MIN.
TOTAL GROSS FLOOR AREA	1670 SF	1670 SF + 3136 SF = 4806 SF	
NEW DUPLEX AREA		2170 SF	
UNIT 1		1070 SF	
UNIT 2		1100 SF	
MEDICAL OFFICES AREA		967 SF	
FAR	0.27	0.77	1.5
BUILDING FOOTPRINT	984 SF	984 SF + 1436 SF = 2420 SF	
LOT COVERAGE	15.7 %	38.7 %	40% MAX.
IMPERVIOUS SURFACE	2295 SF	2331 SF	
USEABLE OPEN SPACE	3297 SF	645 SF	600 SF MIN.
HEIGHT & STORIES			
AVERAGE	16'-3"	32' - 0"	35' - 0"
MAXIMUM	18' - 1/2"	35' - 0"	35' - 0"
STORIES	2	3	3
SETBACKS			
FRONT:	19'-0"	14' - 9 1/2"	5' - 0"
NORTH SIDE	4' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
SOUTH SIDE	22' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
REAR:	67' - 0"	4' - 0"	NONE (ADJACENT TO NON-RESIDENTIAL)
PARKING SPACES			
RESIDENTIAL*:	1 / UNIT = 2 TANDEM SPACES	(2) PROVIDED VIA JOINT USE PARKING PER BMC 23D.12.060	1 / UNIT = 4 REQUIRED
MEDICAL:	N/A	(3) PROVIDED	1 / 300 SF = 3 REQUIRED
BIKE PARKING: *(2) PARKING WAIVER	1	(3) RESIDENTIAL, (1) COMMERCIAL	1 / 2000 SF NON-RES AREA = 1 REQ

2422 5TH STREET

Devi Dutta Architecture Inc.

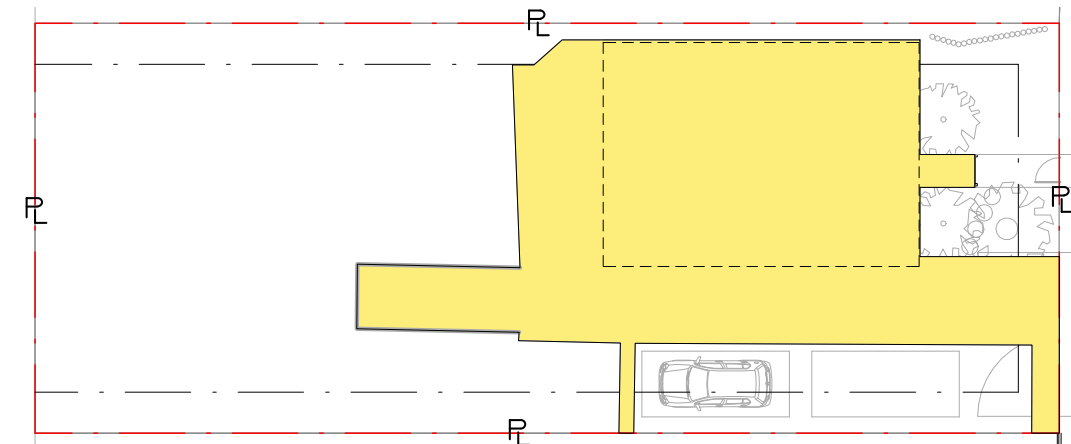
Zoning Submittal

10.15.2019

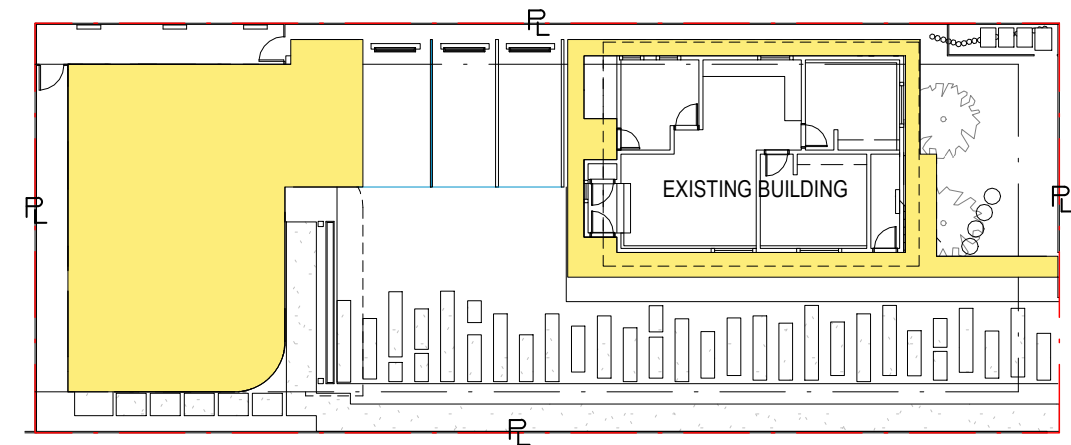


ABBREVIATIONS

A/C	AIR CONDITIONING	JAN.	JANITOR
ADJ.	ADJACENT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR		
ALUM.	ALUMINUM	L.P.	LOW POINT
ALT.	ALTERNATE		
APPROX.	APPROXIMATELY	MAX	MAXIMUM
ARCH.	ARCHITECTURAL	M.C.	MEDICINE CABINET
A.C.T.	ACOUSTIC CEILING TILE	M.D.	MOTION DETECTOR
		MECH.	MECHANICAL
B.BD	TELEPHONE BACK BOARD	MFR	MANUFACTURER
BLDG.	BUILDING	MIN	MINIMUM
BLKG.	BLOCKING	MTD.	MOUNTED
BOT.	BOTTOM	MTL.	METAL
		(N)	NEW
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	NO.	NUMBER
C.G.	CORNER GUARD	N.T.S.	NOT TO SCALE
CHG.	CHANGE	O.C.	ON CENTER
CLG.	CEILING	OFF.	OFFICE
CLOS.	CLOSET	OPNG.	OPENING
CLR.	CLEAR	OPP.	OPPOSITE
C.M.U.	CONCRETE MASONRY UNIT	O.T.B.	OPEN TO BELOW
COL.	COLUMN		
CONC.	CONCRETE	PR.	PAIR
CONN.	CONNECTION	P-LAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PTD.	PAINTED
CORR.	CORRIDOR	PLWD.	PLYWOOD
C.T.	CERAMIC TILE	P.O.	PRIVATE OFFICE
CTR.	CENTER		
DET.	DETAIL	R	RISER
DIA/O	DIAMETER	R.C.P.	REFLECTED CEILING PLAN
DIM.	DIMENSION	R.D.	ROOF DRAIN
DN.	DOWN	REFR.	REFRIGERATOR
DWG.	DRAWING	REQ.	REQUIRED
DS.	DOWNSPOUT	RM.	ROOM
		R.O.	ROUGH OPENING
(E)	EXISTING	S.C.	SOLID CORE
EA	EACH	S.D.	STORM DRAIN
EL	ELEVATION	SAF	SELF-ADHERED FLASHING
ELEC.	ELECTRICAL	STOR.	STORAGE
ELEV.	ELEVATOR	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	SCD	SEE CIVIL DRAWINGS
EXP.	EXPANSION	SED	SEE ELECTRICAL DRAWINGS
EXPOS.	EXPOSED	SLD	SEE LANDSCAPE DRAWINGS
EXT.	EXTERIOR	SMD	SEE MECHANICAL DRAWINGS
		SPD	SEE PLUMBING DRAWINGS
F.D.	FLOOR DRAIN	SSD	SEE STRUCTURAL DRAWINGS
FIN.	FINISH	STRL.	STRUCTURAL
FL	FLOOR		
FLASH.	FLASHING	T	TREAD
FLUOR.	FLUORESCENT	T.B.D.	TO BE DETERMINED
F.O.F.	FACE OF FINISH	T&G	TONGUE AND GROOVE
F.O.S.	FACE OF STUD	TEL.	TELEPHONE
FPRFP.	FIREPROOF	T.O.	TOP OF
FSD	FIRE SEPARATION DISTANCE	TYP.	TYPICAL
FURR.	FURRING		
		U.O.N.	UNLESS OTHERWISE NOTED
GA.	GAGE	V.I.F.	VERIFY IN FIELD
GALV.	GALVANIZED		
G.C.	GENERAL CONTRACTOR	WD.	WOOD
GL	GLASS	W.P.	WATERPROOF
GR.	GRADE		WEATHER RESISTANT BARRIER
GYP. BD.	GYPSUM BOARD	WRB	
H.B.	HOSE BIB		
HC	HANDICAPPED		
H.C.	HOLLOW CORE		
HDWR.	HARDWARE		
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
HP	HIGH POINT		
HR.	HOUR		
H.W.	HOT WATER		
INSUL.	INSULATION/INSULATED		
INT.	INTERIOR		



1 EXISTING IMPERVIOUS SURFACE - 2295 SF
3/64" = 1'-0"



2 NEW OR REPLACED IMPERVIOUS SURFACE - 1622 SF
3/64" = 1'-0"

A0.2

AREA DIAGRAMS

SCALE: **3/64" = 1'-0"** 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

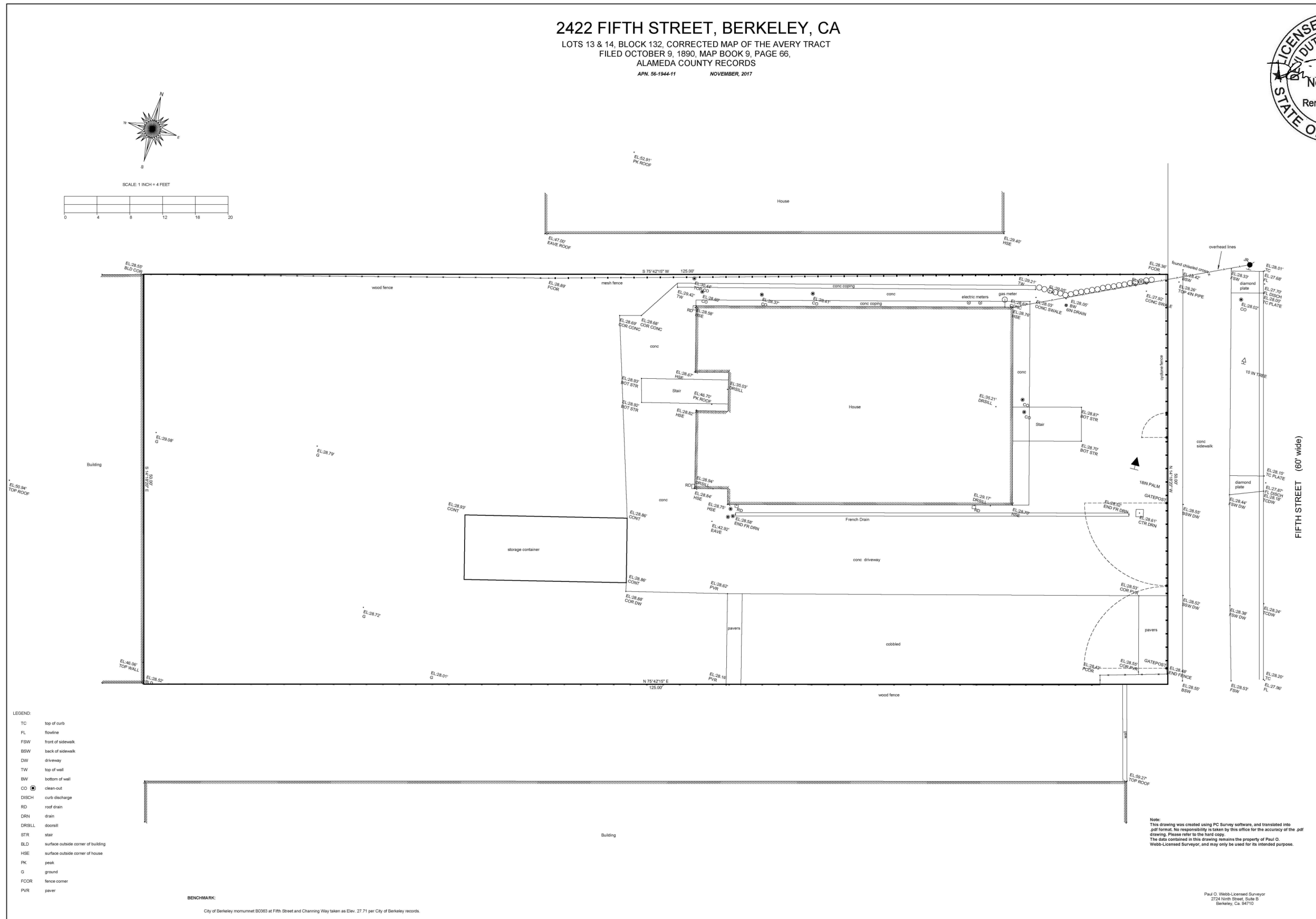
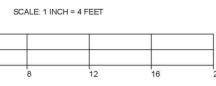
Zoning Submittal

10.15.2019



2422 FIFTH STREET, BERKELEY, CA

LOTS 13 & 14, BLOCK 132, CORRECTED MAP OF THE AVERY TRACT
FILED OCTOBER 9, 1890, MAP BOOK 9, PAGE 66,
ALAMEDA COUNTY RECORDS
APN. 56-1944-11 NOVEMBER, 2017



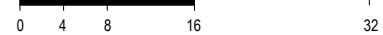
- LEGEND:
- TC top of curb
 - FL flowline
 - FSW front of sidewalk
 - BSW back of sidewalk
 - DW driveway
 - TW top of wall
 - BW bottom of wall
 - CO clean-out
 - DISCH curb discharge
 - RD roof drain
 - DRN drain
 - DRSILL doorsill
 - STR star
 - BLD surface outside corner of building
 - HSE surface outside corner of house
 - PK peak
 - G ground
 - FCOR fence corner
 - PVR paver

BENCHMARK:
City of Berkeley monument B0363 at Fifth Street and Channing Way taken as Elev. 27.71 per City of Berkeley records.

Note:
This drawing was created using PC Survey software, and translated into .pdf format. No responsibility is taken by this office for the accuracy of the .pdf drawing. Please refer to the hard copy.
The data contained in this drawing remains the property of Paul O. Webb, Licensed Surveyor, and may only be used for its intended purpose.

Paul O. Webb, Licensed Surveyor
2724 North Street, Suite B
Berkeley, CA 94710

A0.3 SURVEY
SCALE:

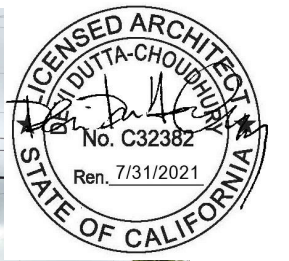


2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



EXISTING WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



PROPOSED WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



EXISTING EAST VIEW 2422 5TH STREET

A0.4

STREET STRIP

SCALE:

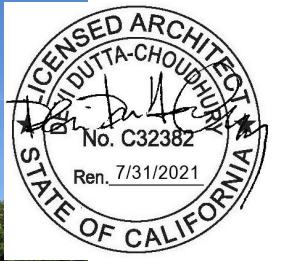


2422 5TH STREET

Devi Dutta Architecture Inc.

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10.15.2019

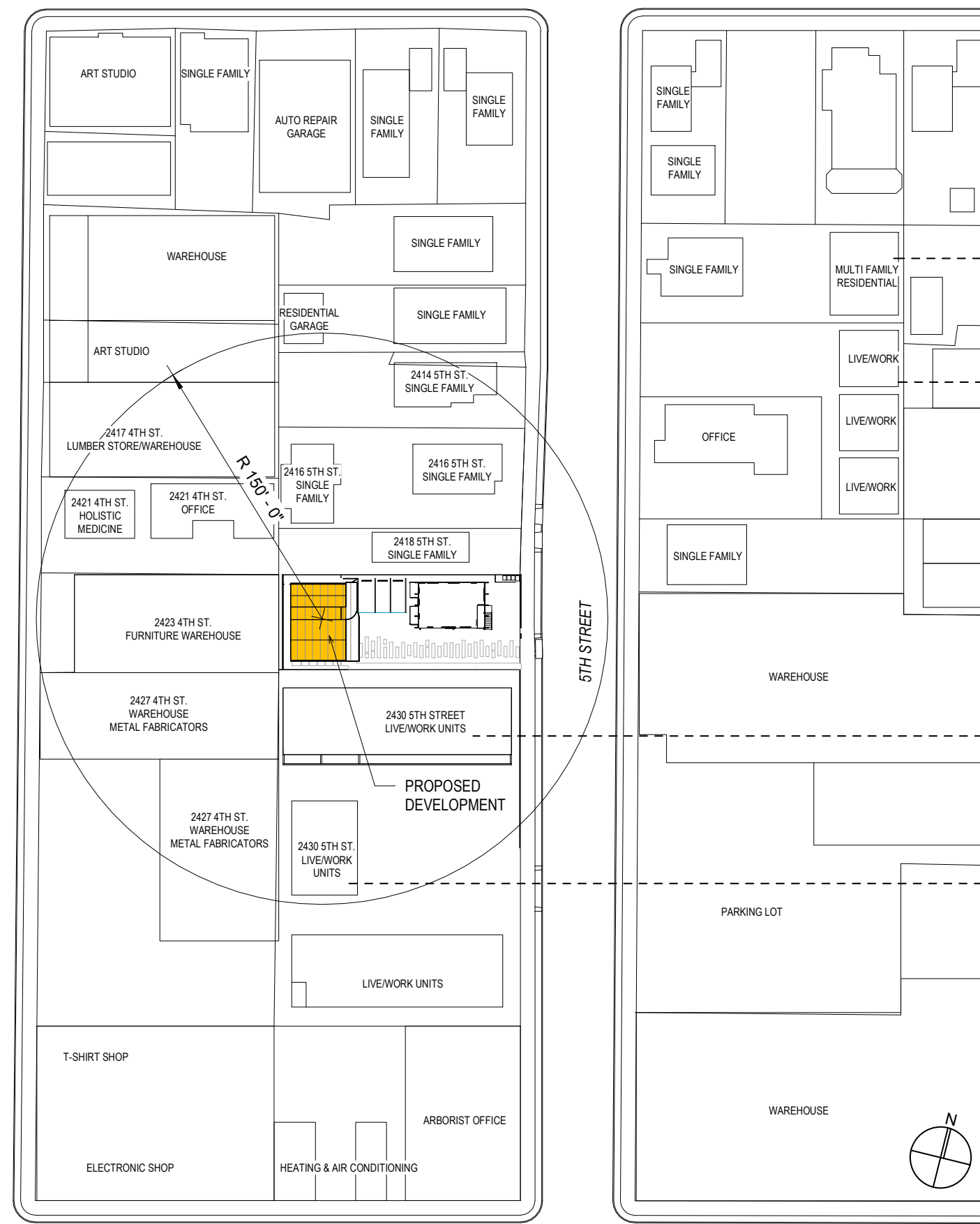


2422 5TH STREET

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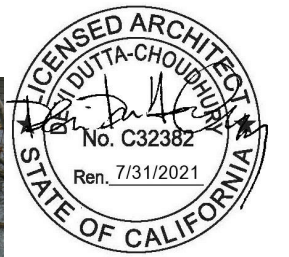
Devi Dutta Architecture Inc.

10.15.2019



A0.5 VICINITY MAP

SCALE: 1/64" = 1'-0" 0 4 8 16 32



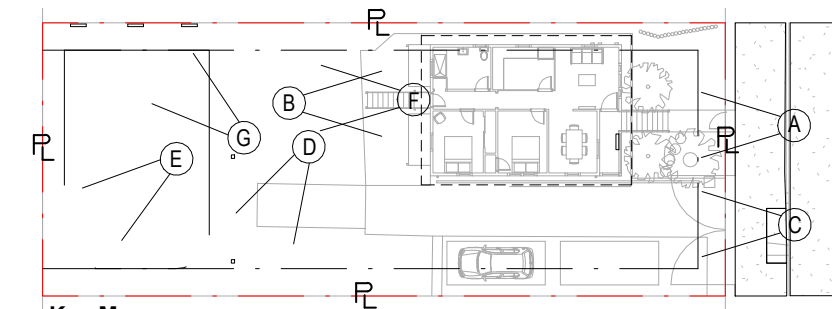
A - EXISTING FRONT OF HOUSE



B - EXISTING BACK OF HOUSE



C - EXISTING DRIVEWAY



1 Key Map
1/32" = 1'-0"



D,E - ADJACENT MULTI-FAMILY BUILDING



F - EXISTING REAR STAIR/YARD



G - REAR YARD NORTH SIDE

A0.6

SITE PHOTOS

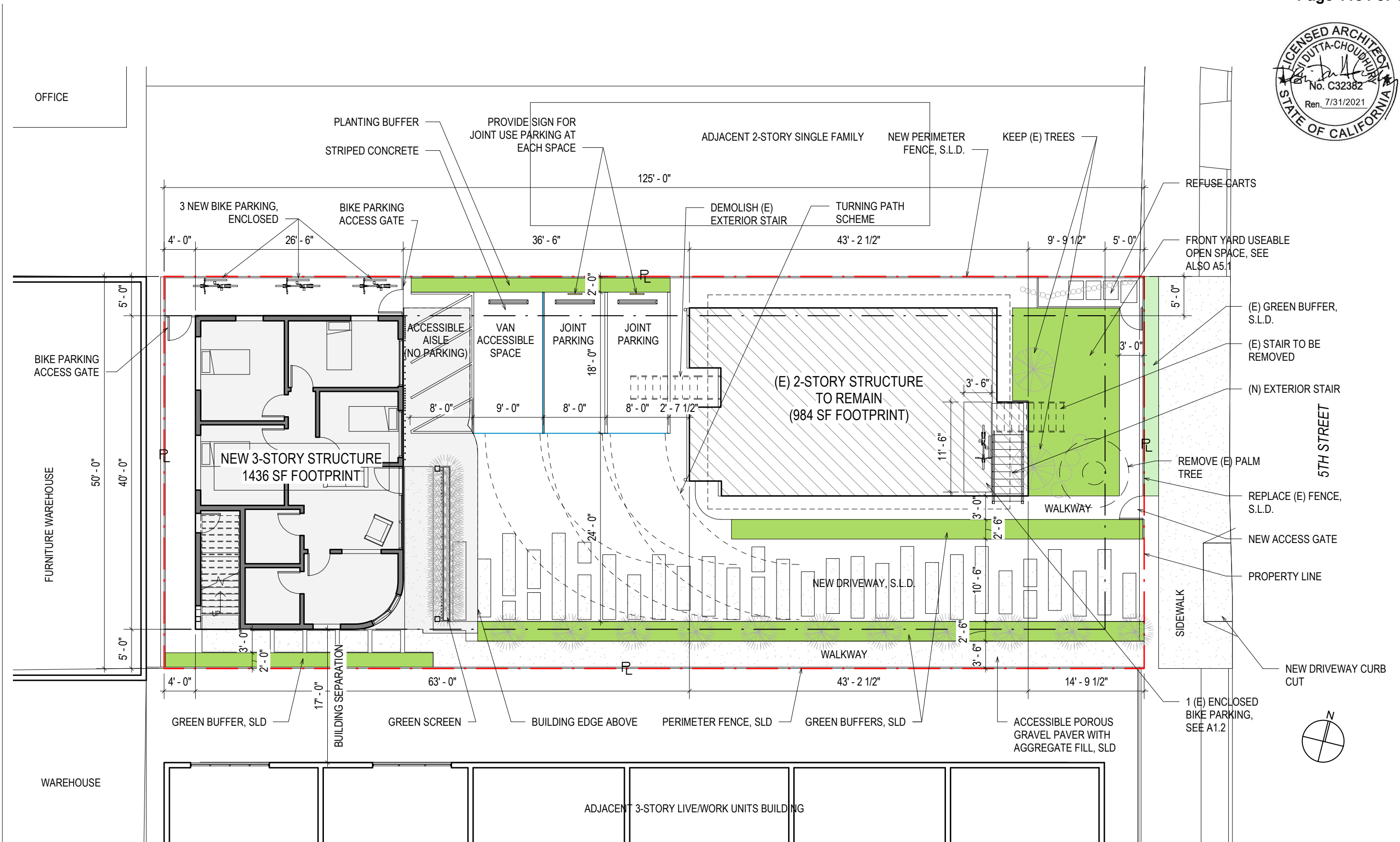
SCALE: 1/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

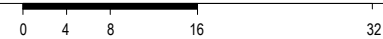
Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019

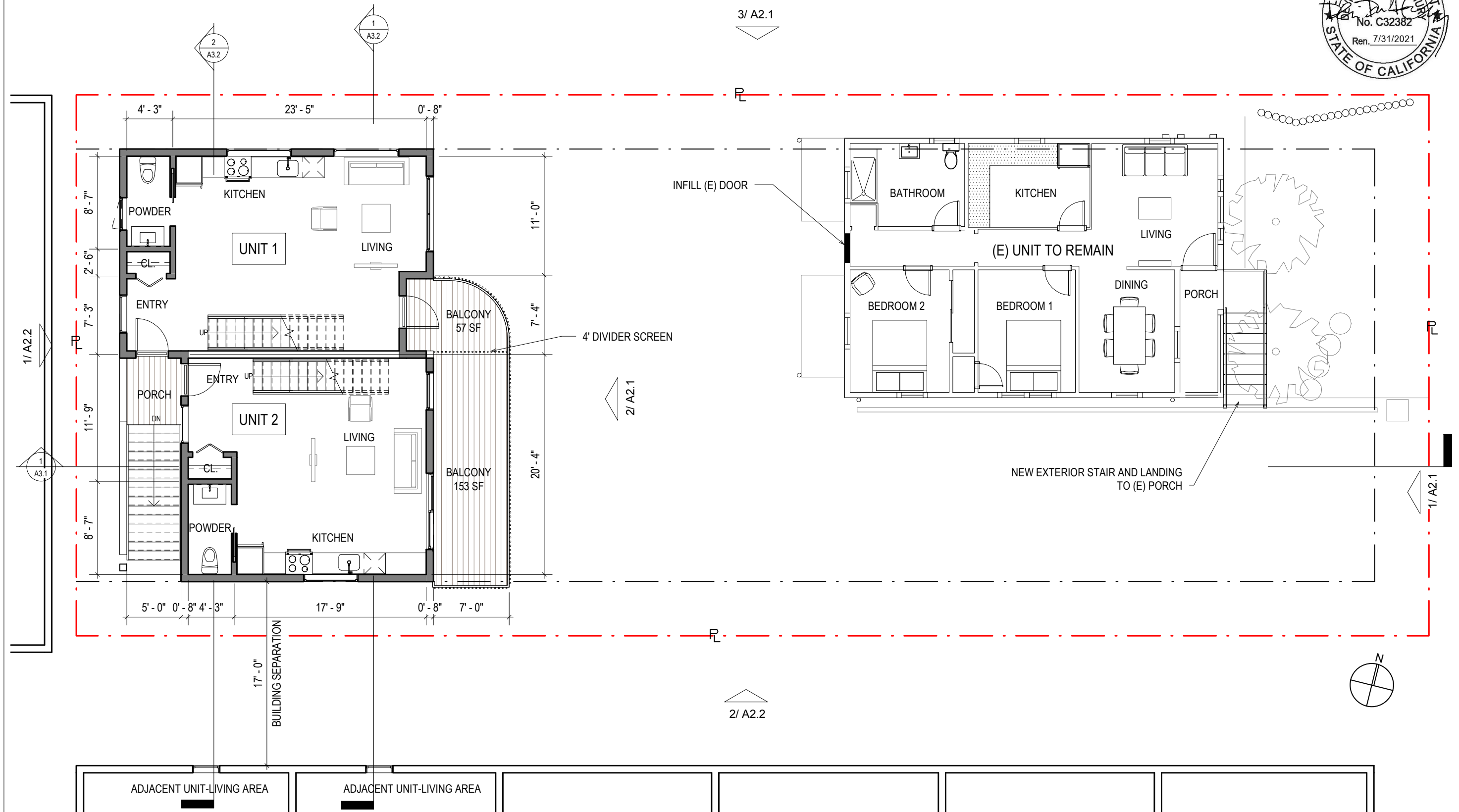
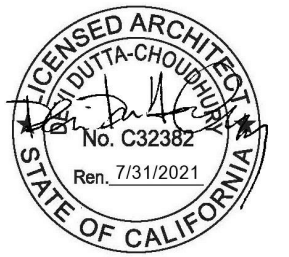


A1.1 PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"



2422 5TH STREET
Devi Dutta Architecture Inc.

Zoning Submittal
10.15.2019



A1.3

PROPOSED SECOND FLOOR PLAN

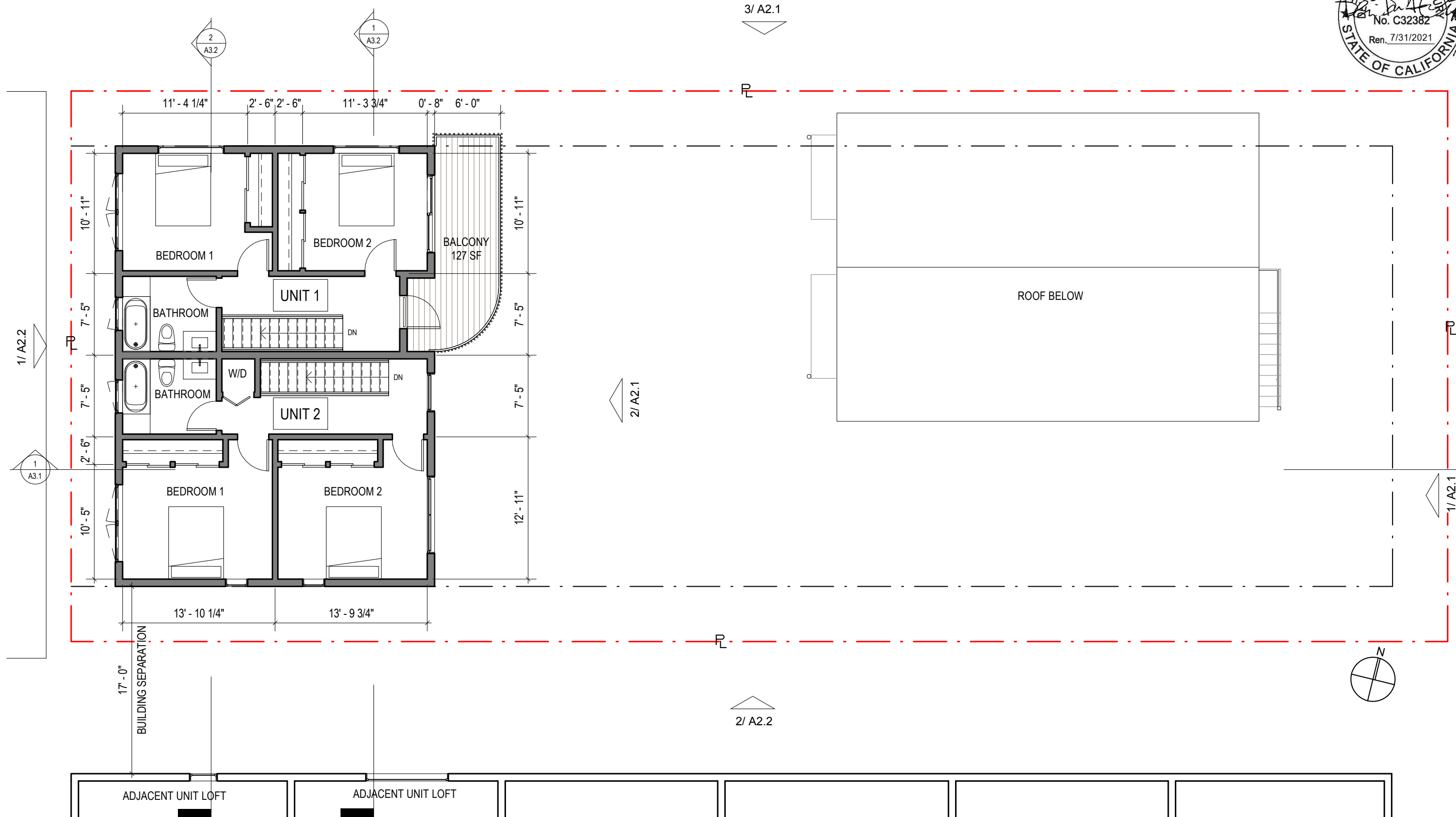
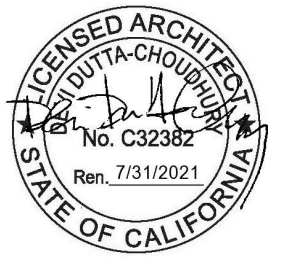
SCALE: 1/8" = 1'-0"

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



A1.4

PROPOSED THIRD FLOOR PLAN

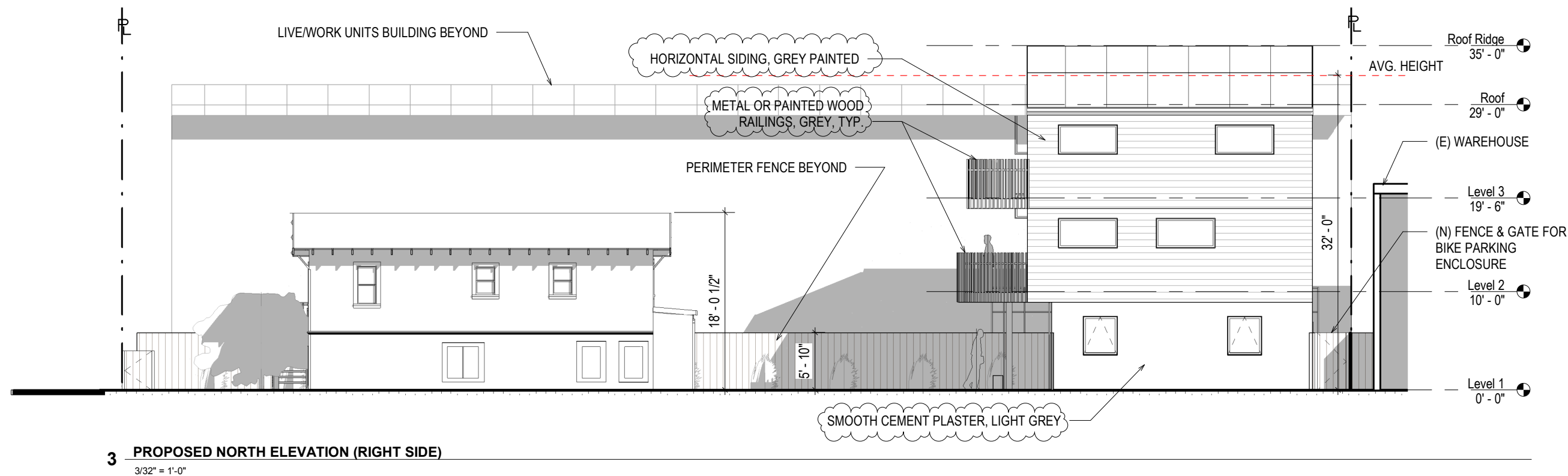
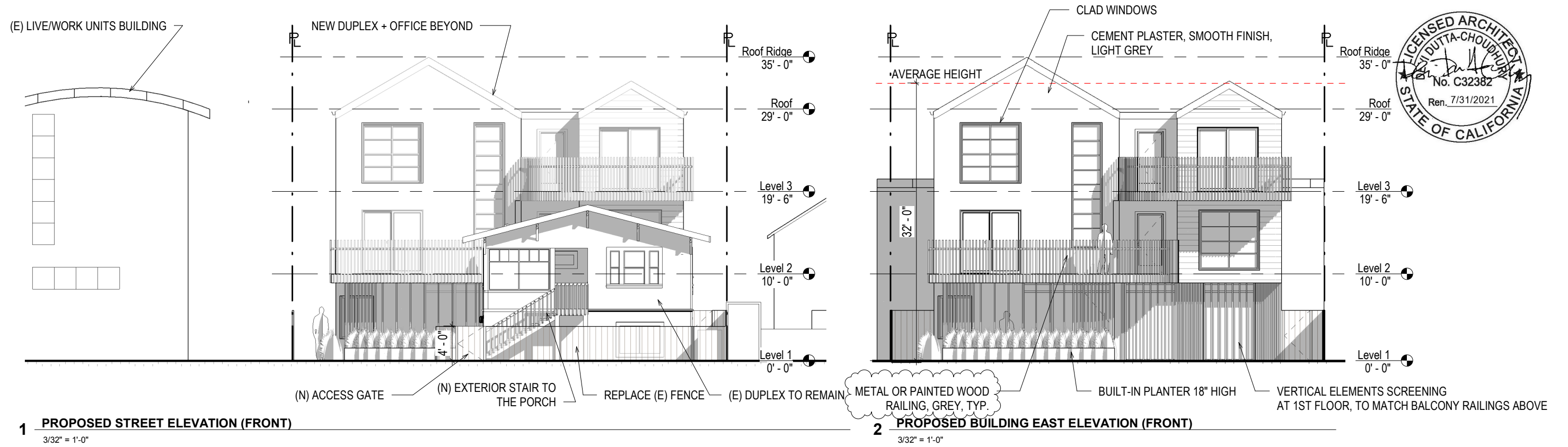
SCALE: 1/8" = 1'-0" 0 4 8 16 32

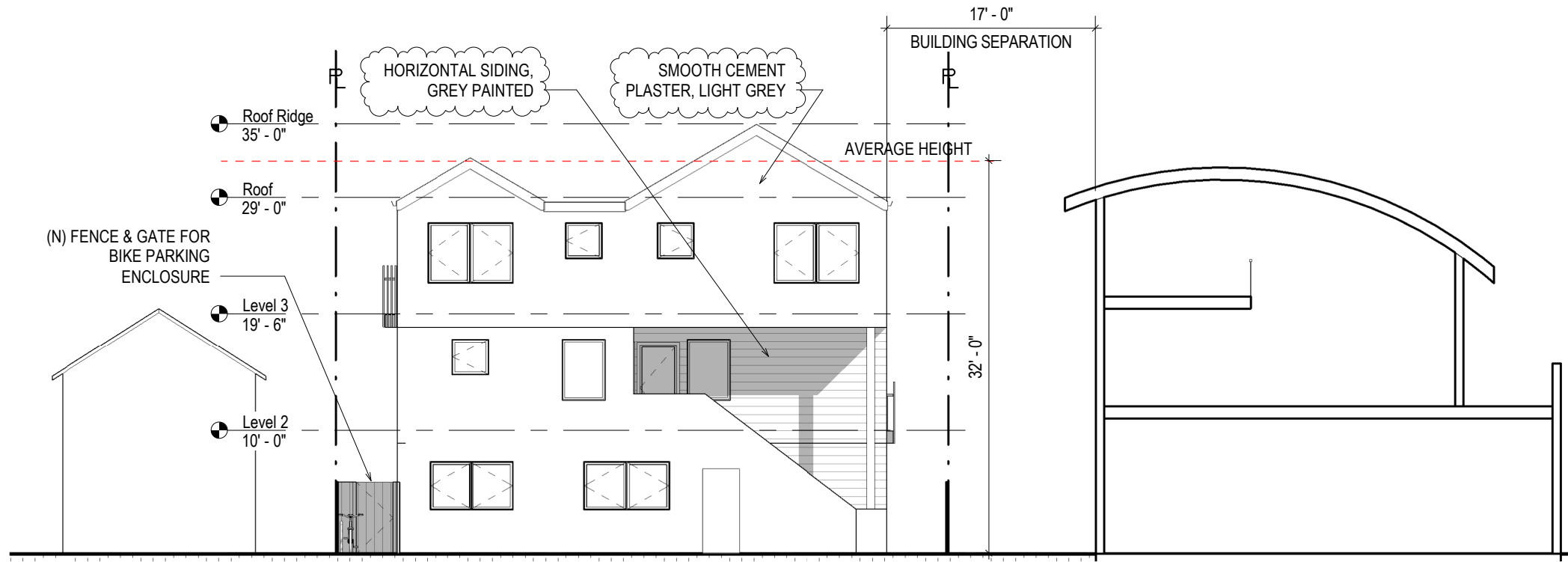
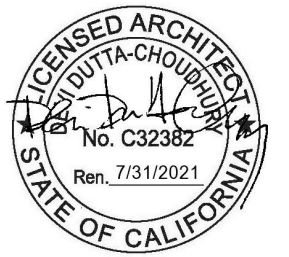
2422 5TH STREET

Devi Dutta Architecture Inc.

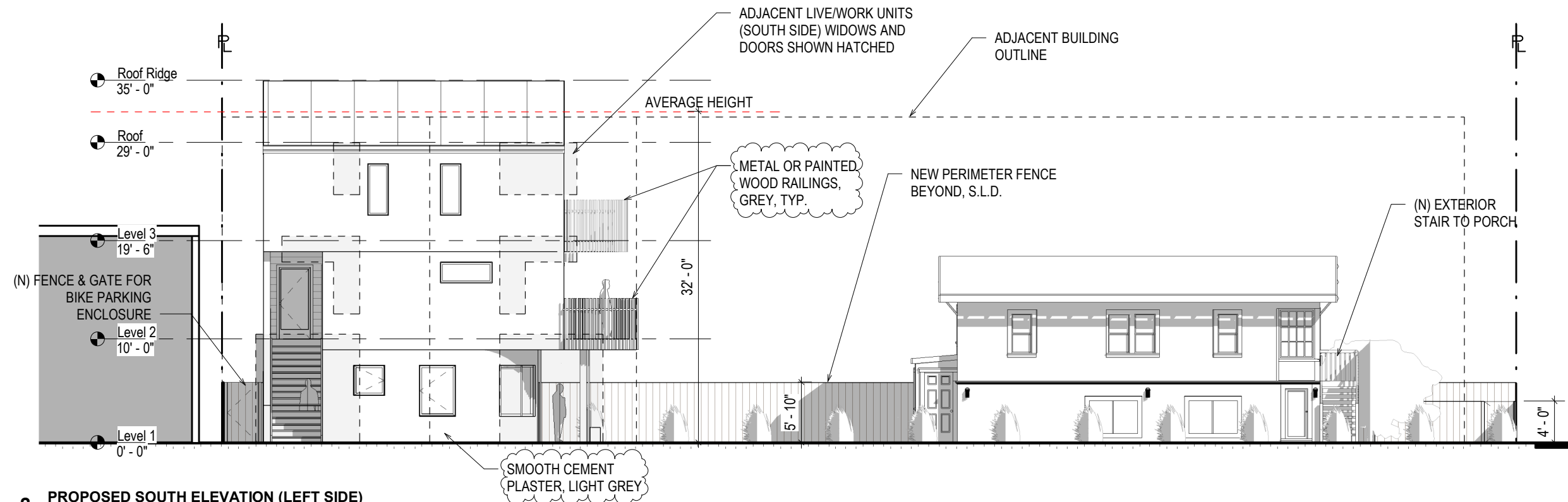
Zoning Submittal

10.15.2019





1 PROPOSED WEST ELEVATION (BACK)
3/32" = 1'-0"



2 PROPOSED SOUTH ELEVATION (LEFT SIDE)
3/32" = 1'-0"

A2.2

WEST & SOUTH ELEVATIONS

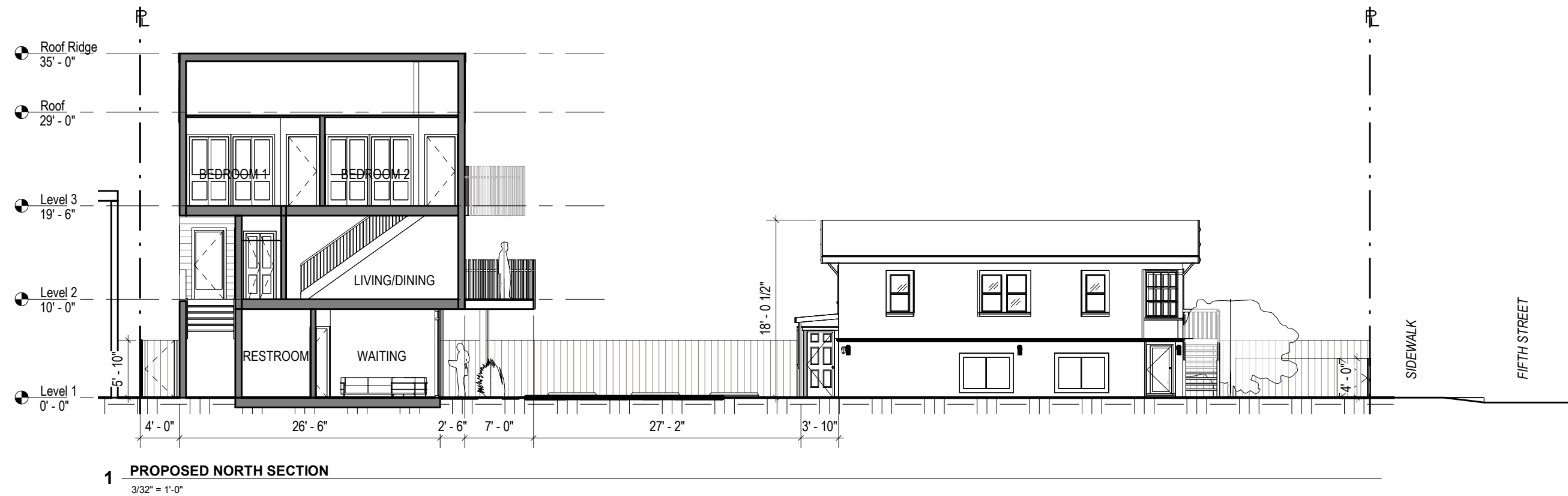
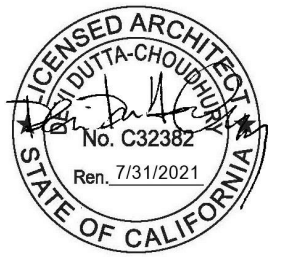
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



A3.1

PROPOSED BUILDING SECTIONS

SCALE: 3/32" = 1'-0"

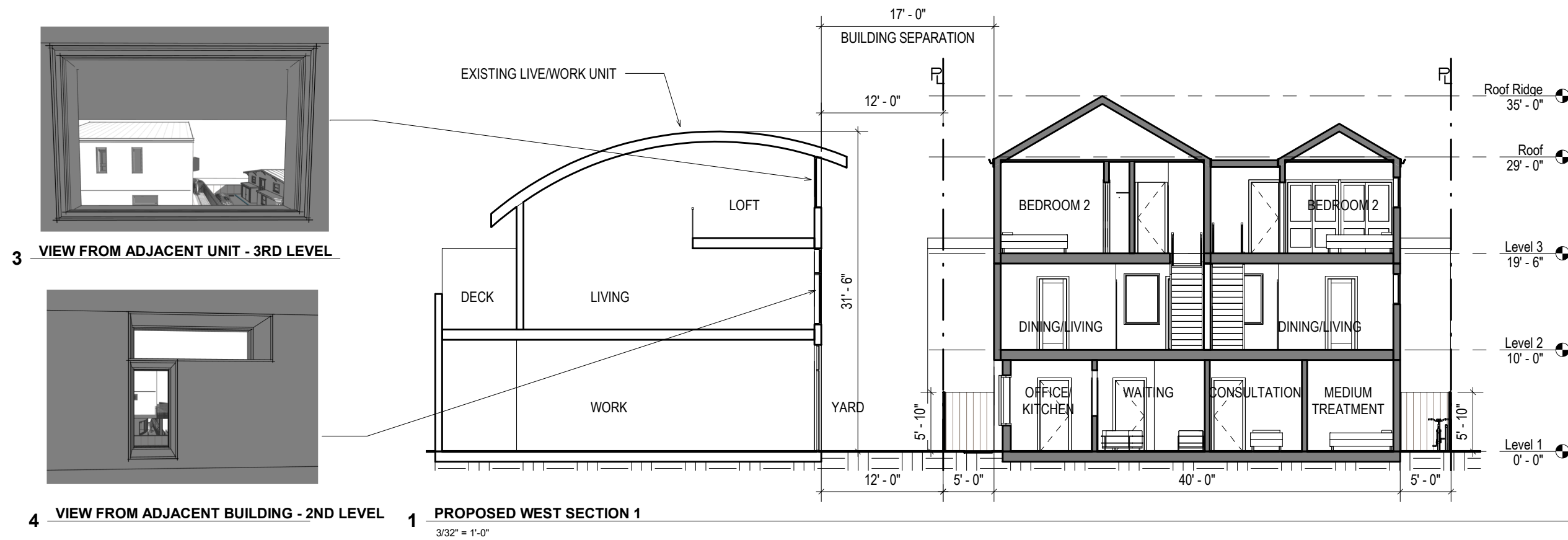
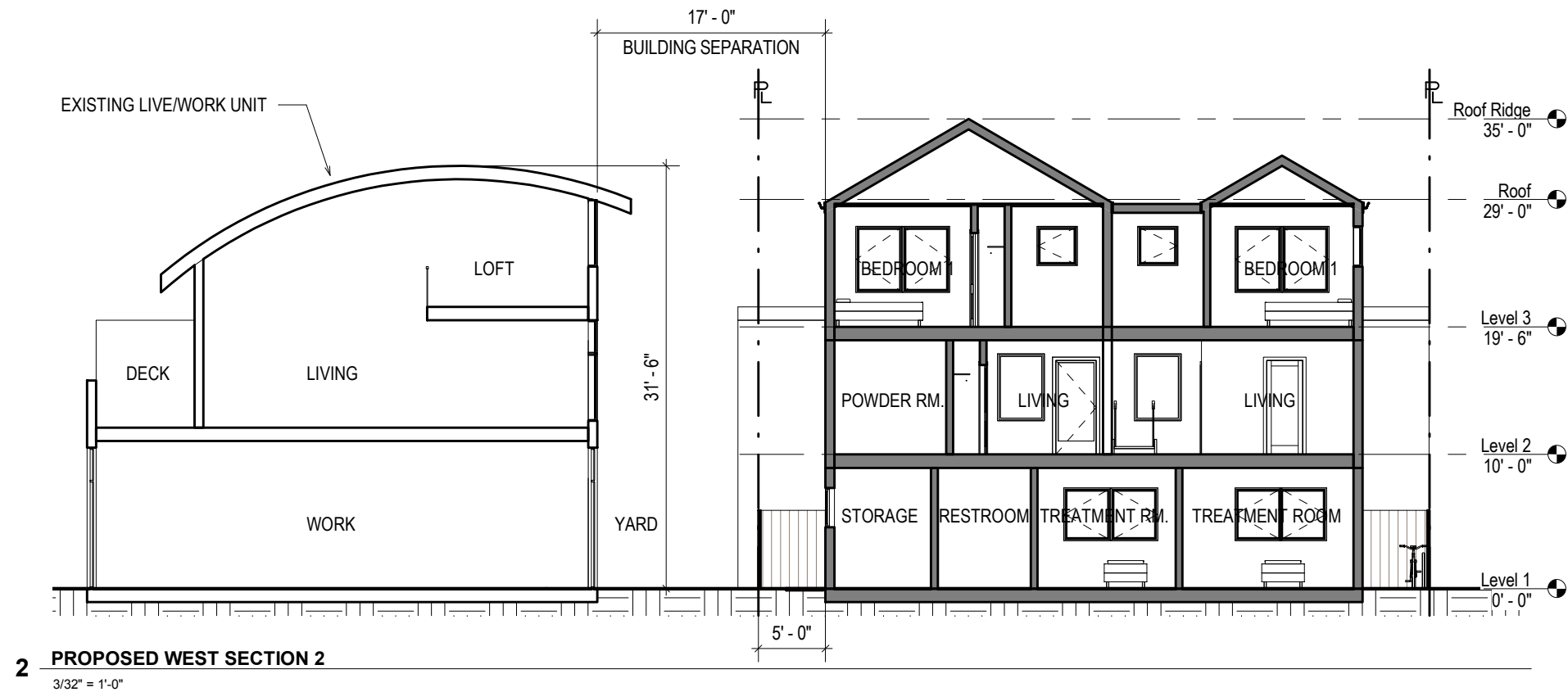


2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



A3.2

PROPOSED BUILDING SECTIONS

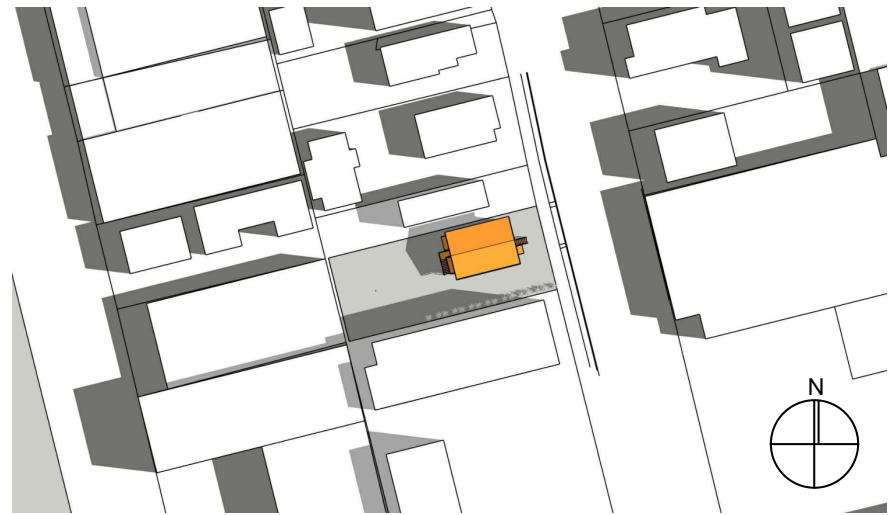
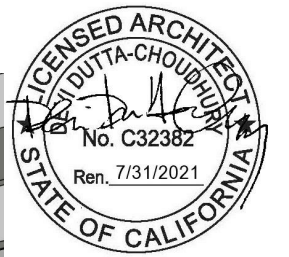
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

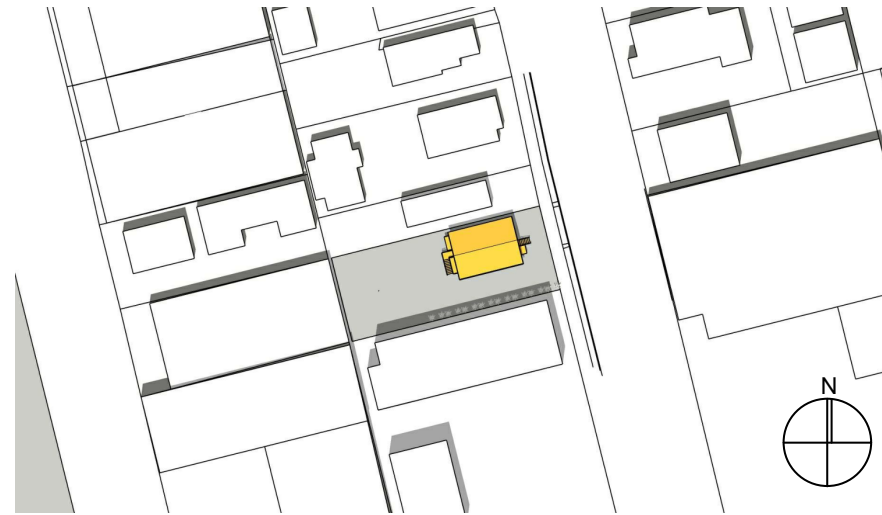
Devi Dutta Architecture Inc.

Zoning Submittal

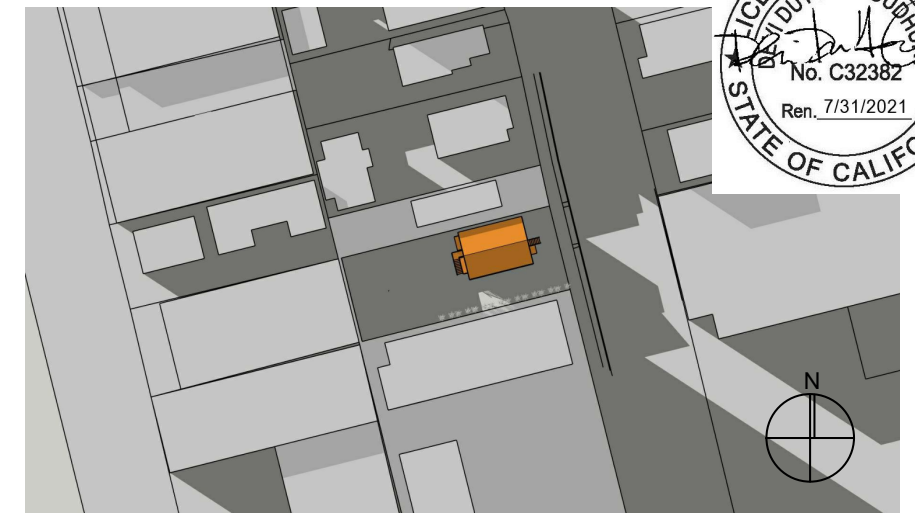
10.15.2019



1 EXISTING-JUNE 21 - 2 HR AFTER SUNRISE



2 EXISTING - JUNE 21 - 12.00 PM



3 EXISTING - JUNE 21 - 2 HR BEFORE SUNSET

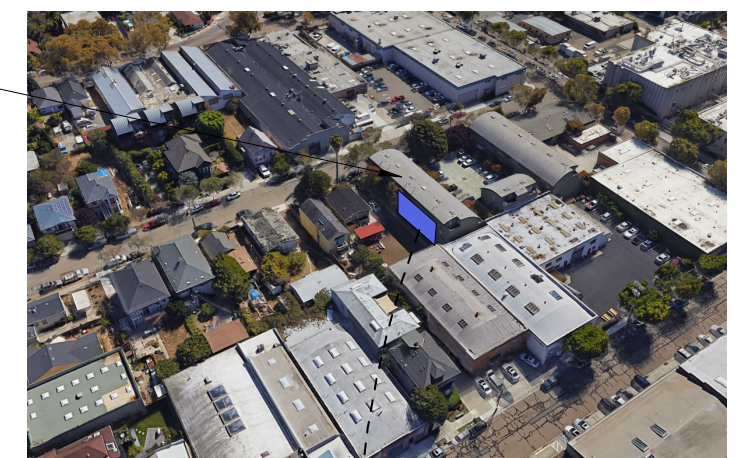


2423 4TH STREET - WAREHOUSE

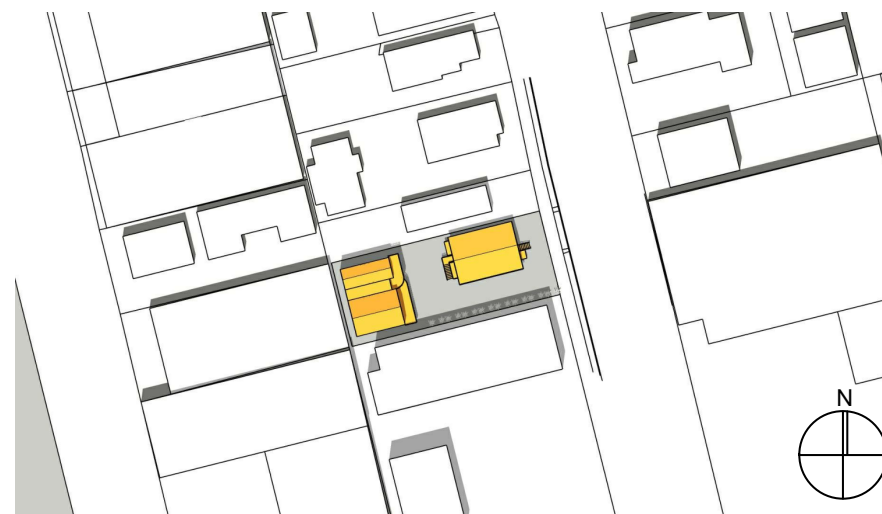
2430 4TH STREET - 3 STORY MULTI-FAMILY
BATHROOM & LIVING (ASSUMED)

SHADOWS LEGEND

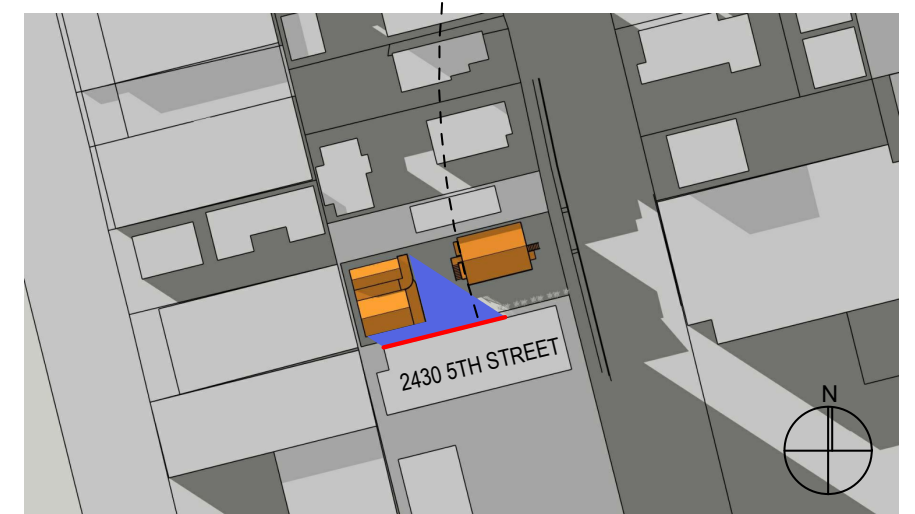
- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - JUNE 21 - 2 HOUR AFTER SUNRISE



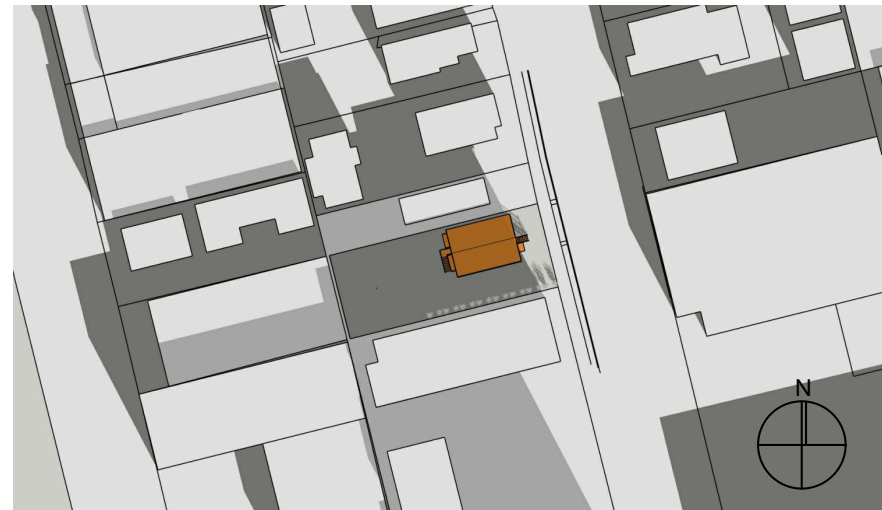
5 PROPOSED - JUNE 21 - 12.00 PM



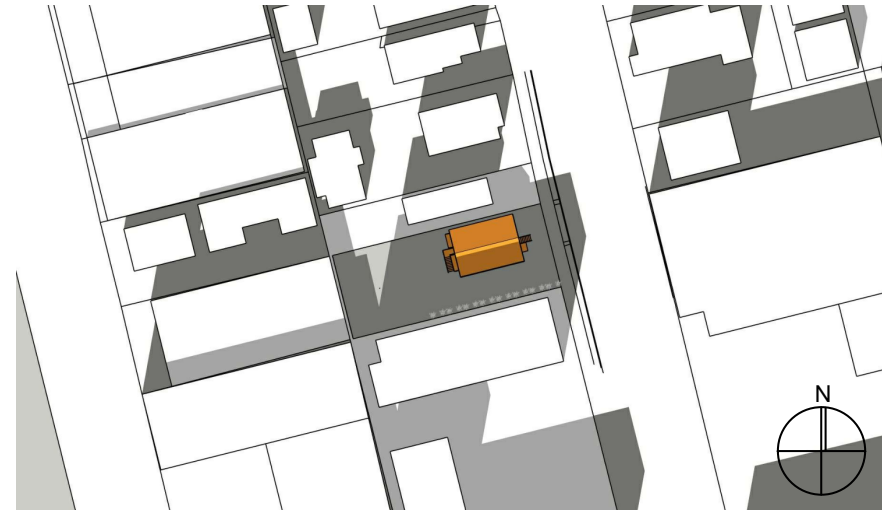
6 PROPOSED - JUNE 21 - 2 HR BEFORE SUNSET

A4.1 SHADOW STUDIES - SUMMER SOLSTICE

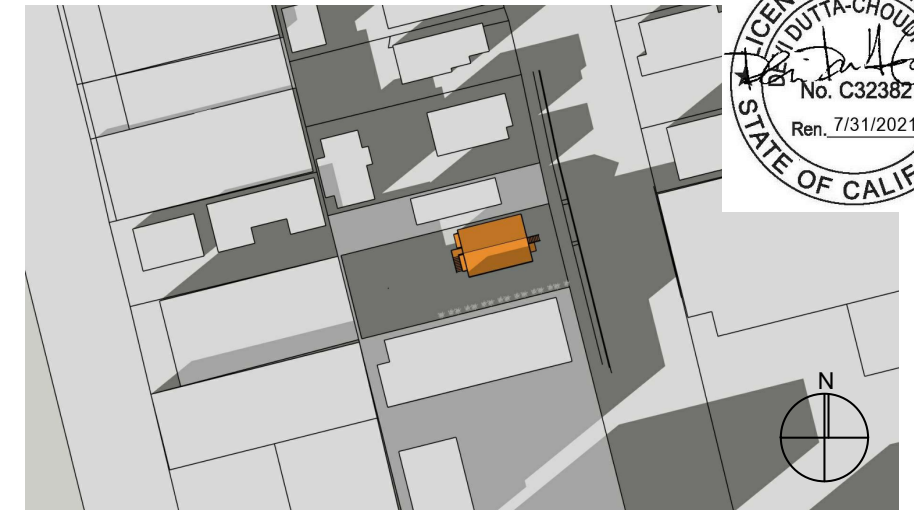
SCALE: As indicated
0
4
8
16
32



1 EXISTING - DECEMBER 21 - 2 HR AFTER SUNRISE



2 EXISTING - DECEMBER 21 - 12.00 PM



3 EXISTING - DECEMBER 21 - 2 HR BEFORE SUNSET



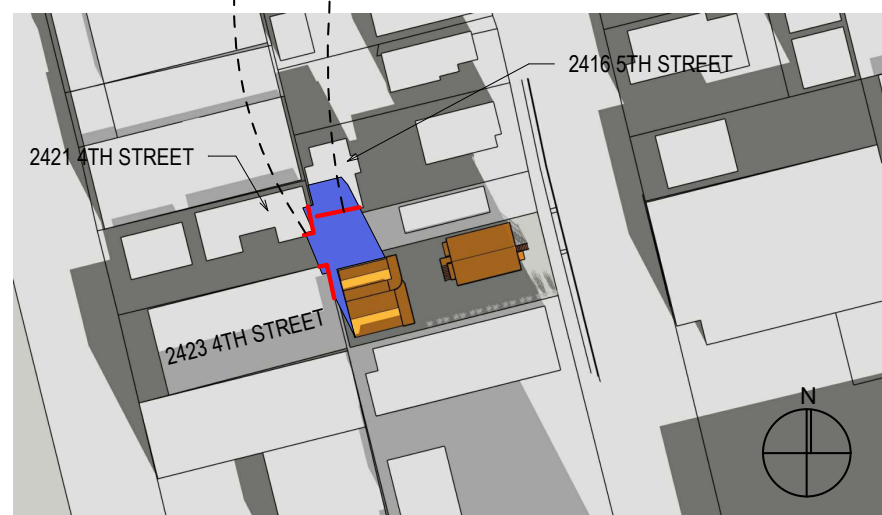
2421 4TH STREET - OFFICE BUILDING

2416 5TH STREET - 1 STORY SINGLE FAMILY

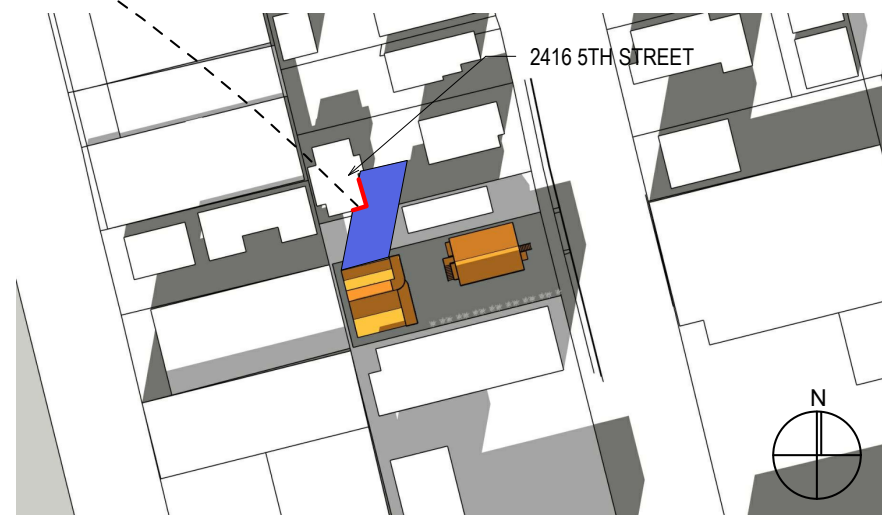
2418 5TH STREET - 2 STORY SINGLE FAMILY - LIVING ROOM (ASSUMED)

SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - DECEMBER 21 - 2 HR AFTER SUNRISE



5 PROPOSED - DECEMBER 21 - 12.00 PM



6 PROPOSED - DECEMBER 21 - 2 HR BEFORE SUNSET

A4.2

SHADOW STUDIES WINTER SOLSTICE

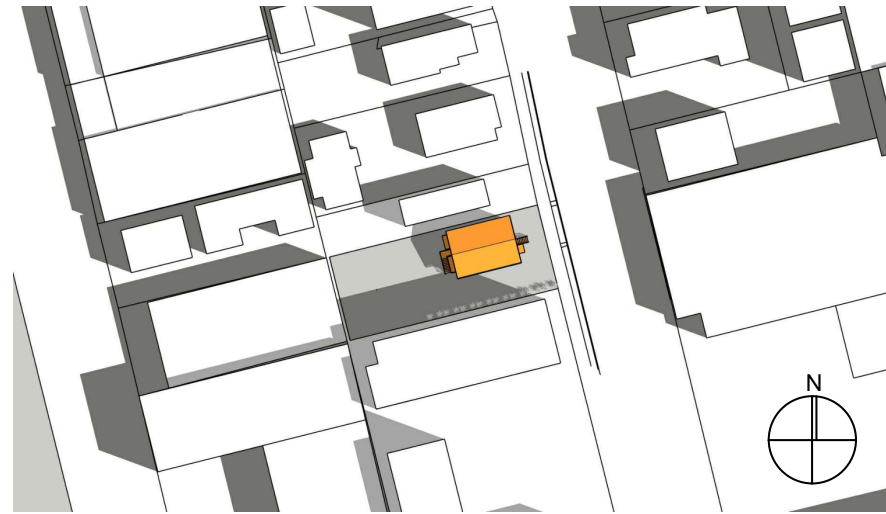
SCALE: As indicated 0 4 8 16 32

2422 5TH STREET

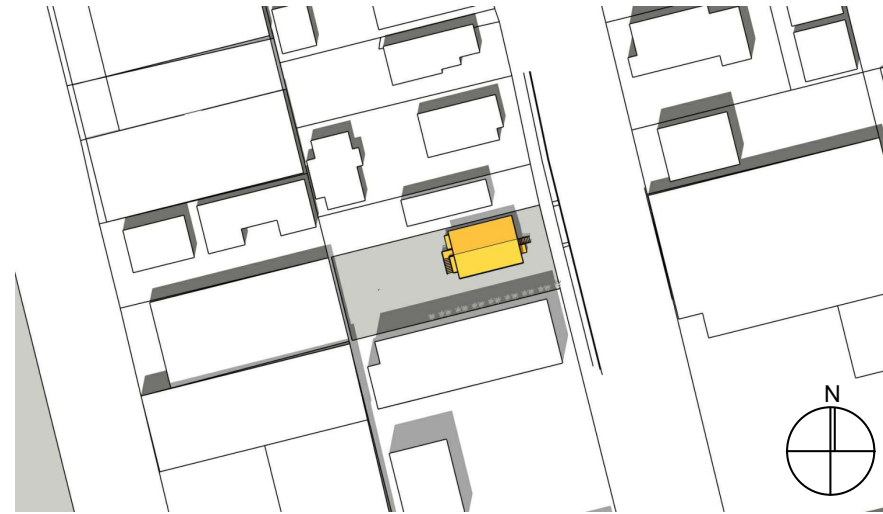
Devi Dutta Architecture Inc.

Zoning Submittal

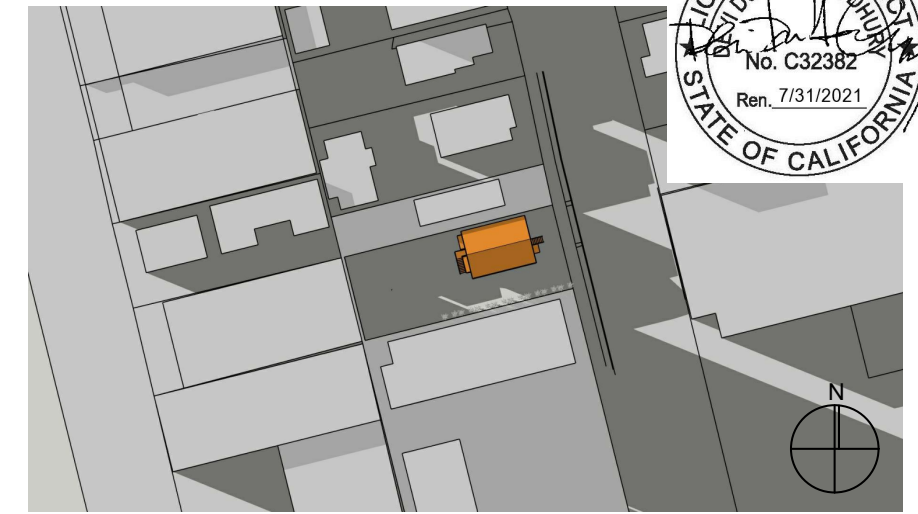
10.15.2019



1 EXISTING - MAY 1 - 8.13 AM



2 EXISTING - MAY 1 - 12.00 PM



3 EXISTING - MAY 1 - 6.00 PM



2423 4TH STREET - WAREHOUSE

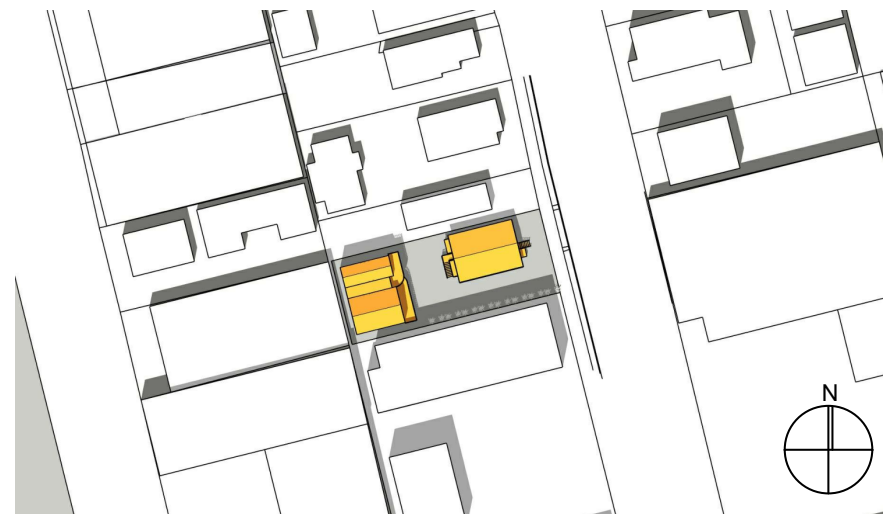
2430 5th STREET
3-STORY MULTI FAMILY -
BATH & LIVING (ASSUMED)

SHADOWS LEGEND

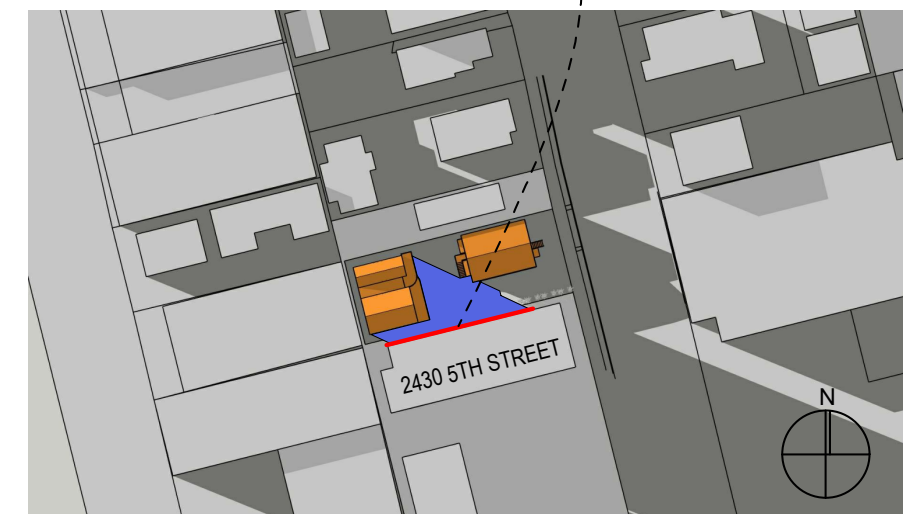
- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - MAY1 - 8.13 AM



5 PROPOSED - MAY 1 - 12.00 PM



6 PROPOSED - MAY1 - 6.00 PM

A4.3

SHADOW STUDIES REVIEW DATE

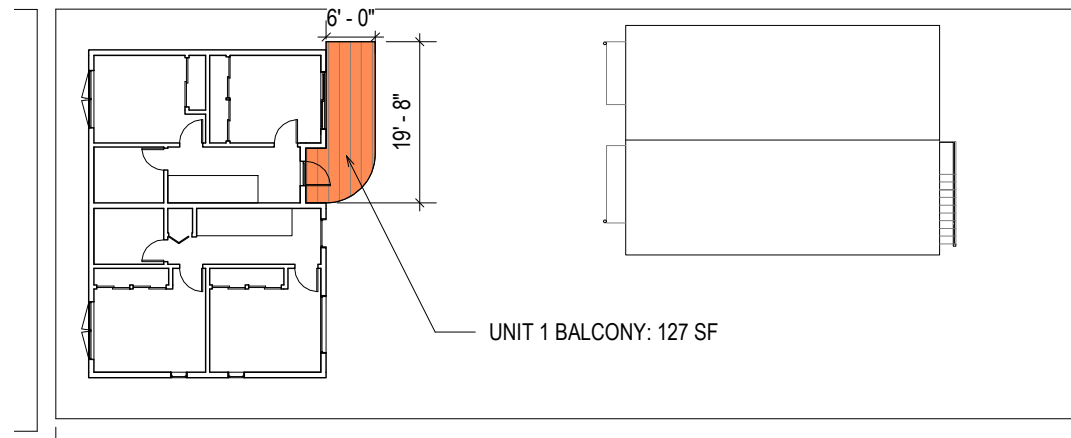
SCALE: As indicated 0 4 8 16 32

2422 5TH STREET

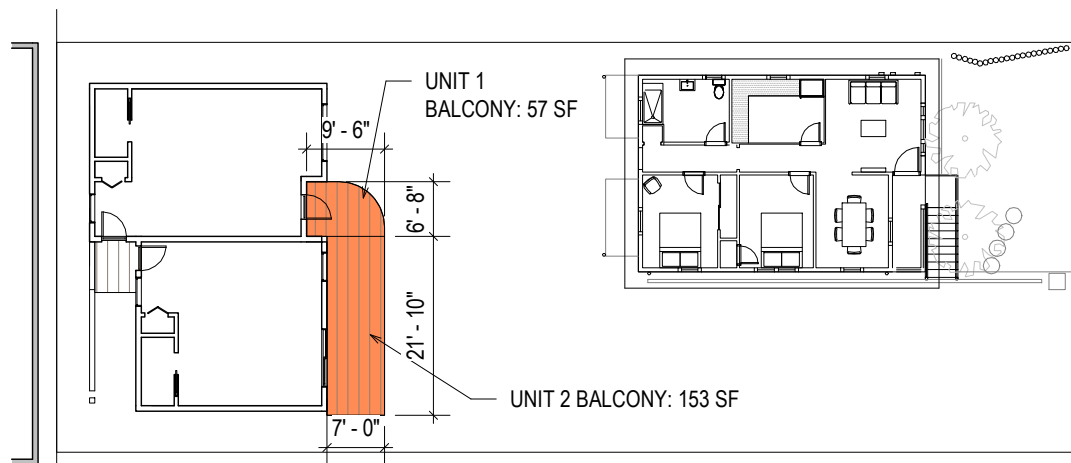
Devi Dutta Architecture Inc.

Zoning Submittal

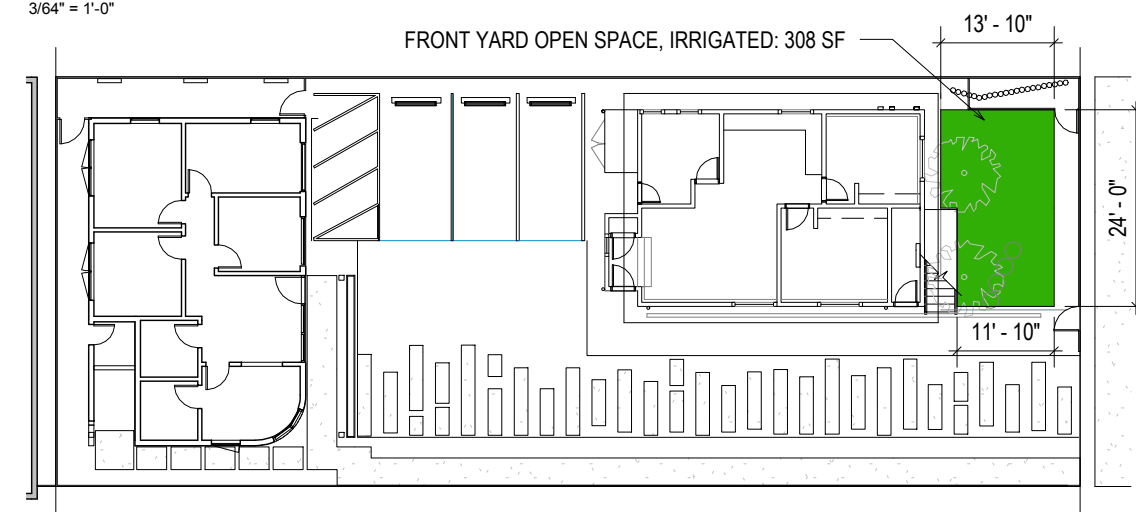
10.15.2019



3 Level 3 - Open Space
3/64" = 1'-0"



2 Level 2 - Open Space
3/64" = 1'-0"



1 Level 1 - Open Space
3/64" = 1'-0"

Ground Floor open space
Balcony

OPEN SPACE AREAS	
Level	Area
Level 1	308 SF
Level 2	210 SF
Level 3	127 SF
TOTAL	645 SF

A5.1

OPEN SPACE DIAGRAM

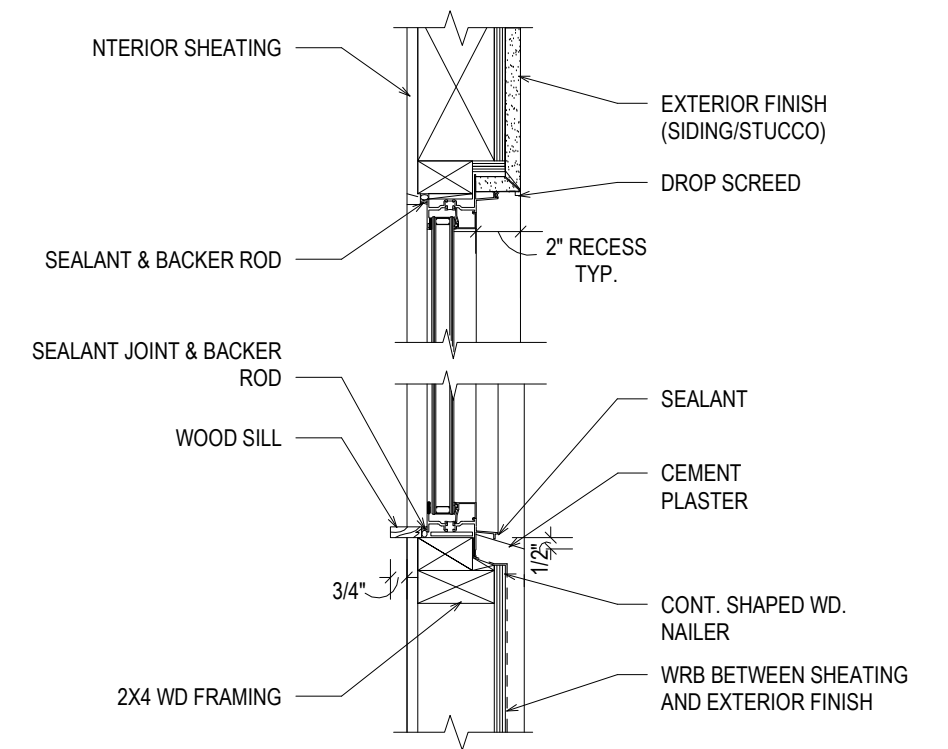
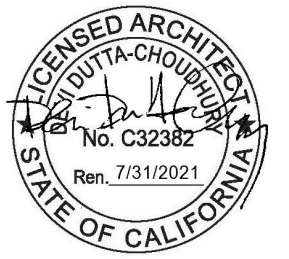
SCALE: 3/64" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



1 TYPICAL NEW WINDOW DETAIL

1 1/2" = 1'-0"

A6.1 DETAILS

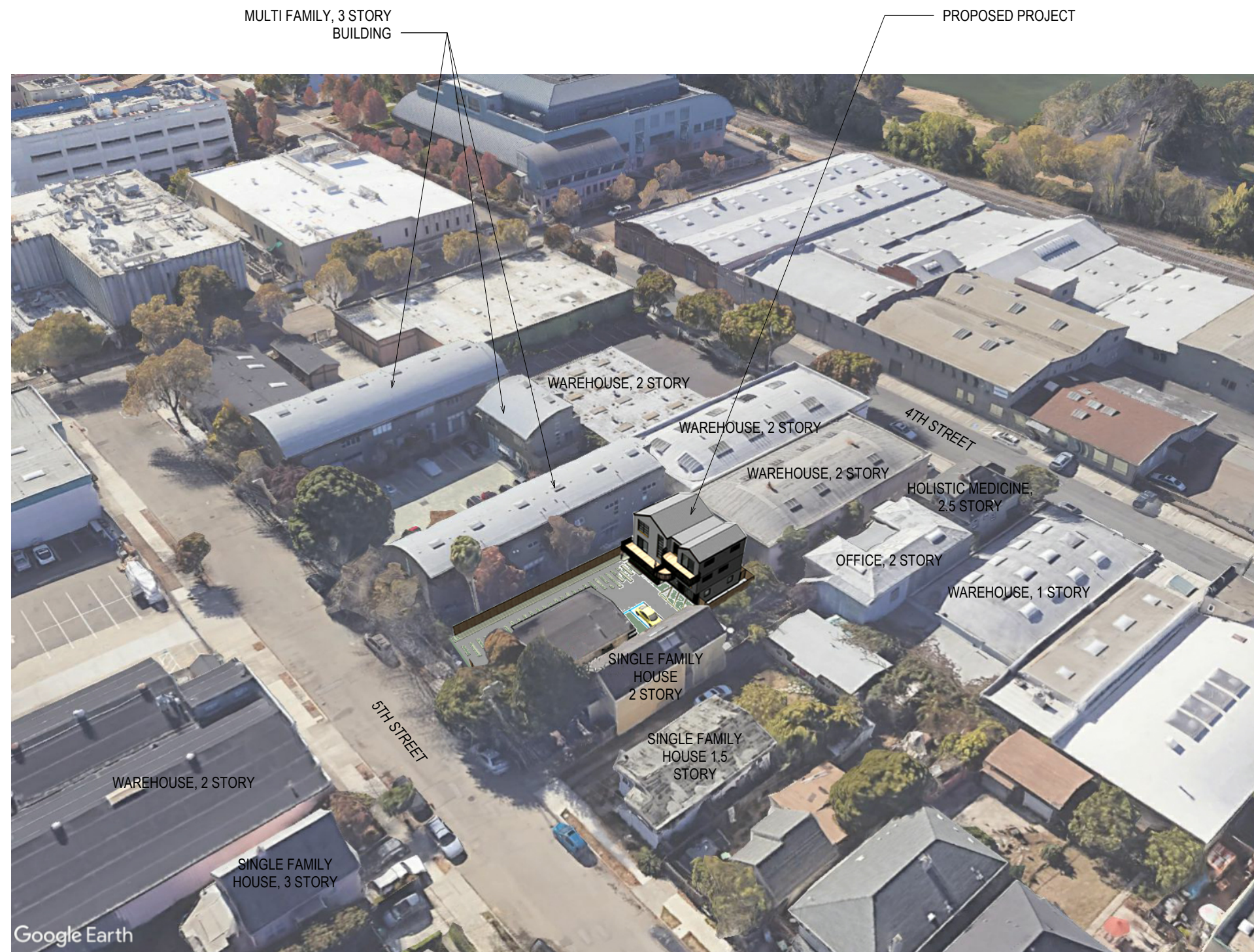
SCALE: 1 1/2" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

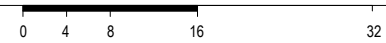
10.15.2019



A7.1

NEIGHBORHOOD CONTEXT

SCALE:

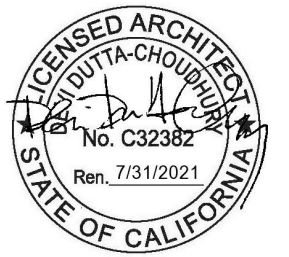


2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



5 SOUTH-WEST PERSPECTIVE



3 ENTRY PERSPECTIVE - LEFT CORNER



2 ENTRY PERSPECTIVE - RIGHT CORNER



4 EAST PERSPECTIVE



1 EAST ELEVATION

A7.2 PERSPECTIVE VIEWS

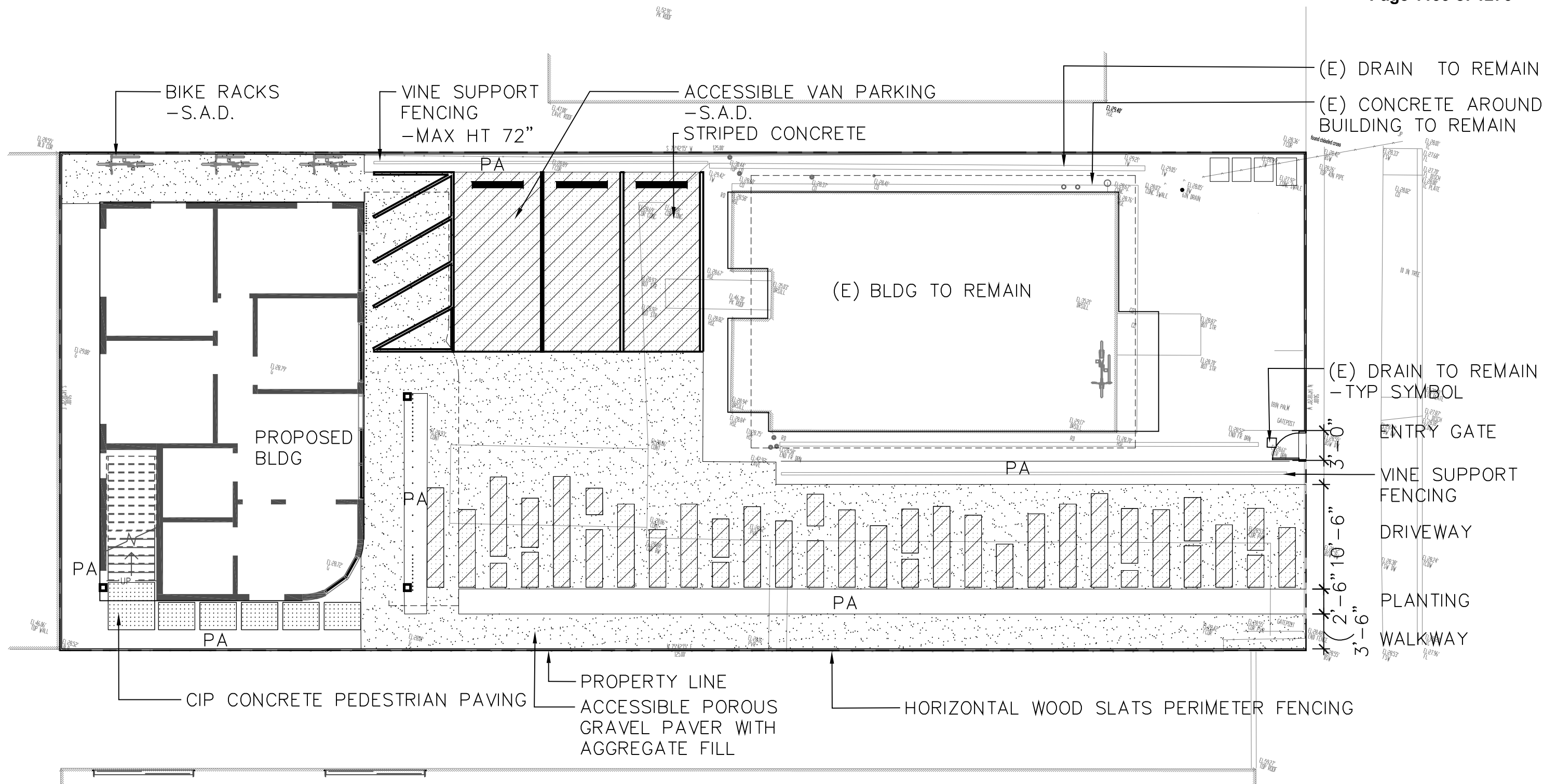
SCALE: 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

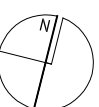
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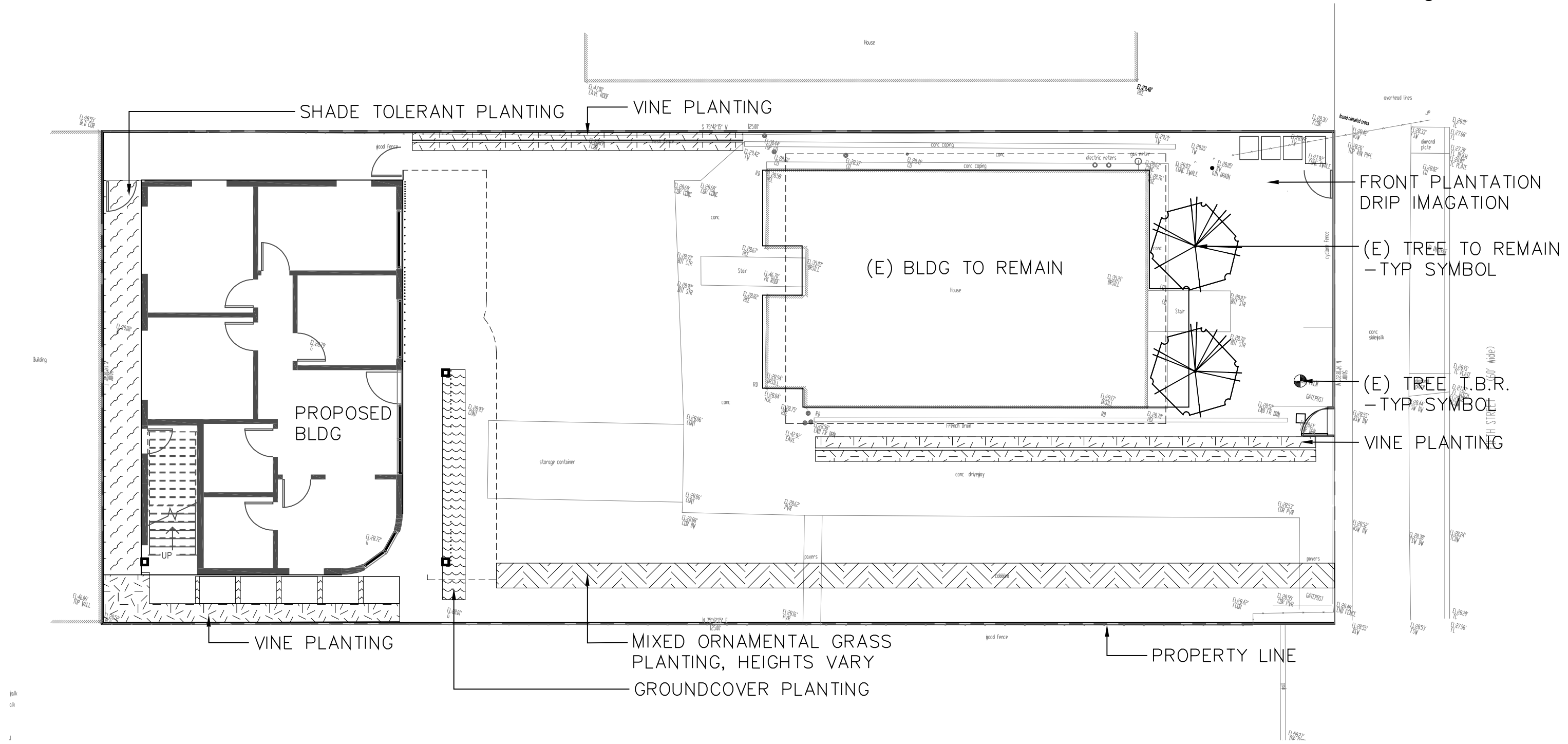


L1.0 SCHEMATIC MATERIALS PLAN
SCALE: 1"=10'-0"

2422 5TH STREET
MANTLE LANDSCAPE ARCHITECTURE

ZONING PROGRESS
08.22.2019

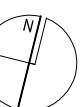




L2.0 SCHEMATIC PLANTING PLAN
SCALE: 1"=10'-0"

2422 5TH STREET
MANTLE LANDSCAPE ARCHITECTURE

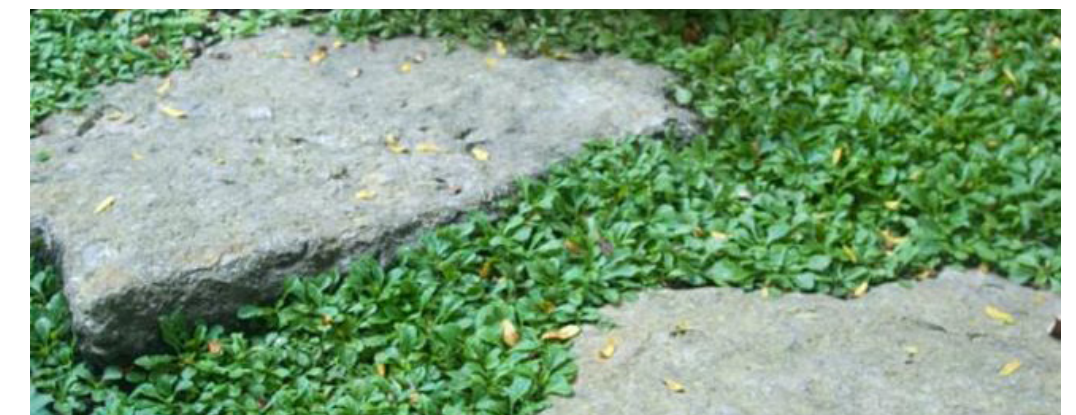
ZONING PROGRESS
10.10.2019





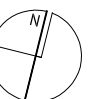
GRASS PLANTING
Carex divulsa + *Pennisetum alopecuroides*

SHADE TOLERANT
Carex dolichostachya, Mahonia 'Soft Caress', *Montia perfoliata*, *Polystichum munitum*



VINE PLANTING

GROUNDCOVER



Gong, Sharon

From: Zoning Adjustments Board (ZAB)
Sent: Wednesday, October 23, 2019 10:00 AM
To: Gong, Sharon
Subject: FW: ATTN ZAB Secretary, re: Public comment, 2422 Fifth St, Use Permit #ZP2018-0108

Follow Up Flag: Follow up
Flag Status: Flagged

From: Robb Walker [mailto:robb.mw@icloud.com]
Sent: Wednesday, October 23, 2019 9:47 AM
To: Zoning Adjustments Board (ZAB) <Planningzab@cityofberkeley.info>
Subject: ATTN ZAB Secretary, re: Public comment, 2422 Fifth St, Use Permit #ZP2018-0108

To the Commissioners of ZAB:

We are property owners and residents at the Redwood Tree Studios (RTS), located immediately to the south of the subject property at 2430 Fifth Street. Our unit, Studio G, is not directly impacted by the proposed development, however our community is and we are therefore opposed to the development at 2422 Fifth St. as currently proposed. We request that the City of Berkeley deny Use Permit #ZP2018-0108 application as currently proposed.

Our specific concerns and objections are as follows:

1. Parking impacts and requested parking waiver: Parking in the mixed use business-residential neighborhood along 5th street is severely impacted during the day due to the number of active businesses & employers, active commercial traffic servicing these businesses, and the growing number of residents in this neighborhood in transition. As indicated in the attached photos, all available street parking is occupied during daytime business hours and there is no controlled residential street parking, resulting in little or no available parking for residents or for clientele of surrounding businesses. There is currently a 14 unit development under construction at the NW corner of Fifth and Channing (which most Redwood Tree Studios owners supported) and additional proposed projects in the pipeline, which will continue to add additional parking burden to the neighborhood and exacerbate the parking shortage. New proposed development projects in the neighborhood must support their own parking requirements as required by zoning codes, and we are therefore opposed to the requested parking waiver of 2 parking spaces.
2. Proximity to existing (Redwood Tree Studios) building: The subject project proposes a 3 story building located along the minimum side lot setback along the (south) property line between 2422 and 2430 Fifth St, placing the proposed building almost entirely in perpetual shadow from the existing (Redwood Tree Studios) building and blocking essentially all access of northern natural daylight to the existing RTS building. The proposed configuration will negatively impact quality of life in both the existing and proposed new buildings (and neighborhood) and could be successfully mitigated by proposing a smaller scale building located towards the NW corner of the subject property.
3. Proposed density: The project proposes to add two market rate residential units and a commercial space (medical office) to an existing property which already contains two residential units and has inadequate space to

accommodate the additional zoning code required parking for the proposed uses (hence the request to waive two residential parking spaces). The residential density as proposed is too high for the subject property, as indicated by the site's inability to accommodate the required parking.

The proposed project adds two additional market-rate rental units which will not contribute towards a solution to Berkeley's dire need for additional affordable housing. The project appears to be configured and designed purely to maximize the financial value of the property at the expense of the adjacent properties and the immediate surrounding neighborhood.

We (and most of our fellow owner/residents at Redwood Tree Studios) are not opposed to development in the neighborhood. In fact, the live-work development currently under construction on the NW corner of Fifth St. and Channing achieved strong neighborhood support, including the property owners at RTS, once the developer started to work with the neighborhood in order to understand and address their concerns (the owners and architect of the proposed project at 2422 Fifth do not seem to be inclined to work collaboratively with the neighborhood to identify a mutually acceptable solution). In the end the project under construction at Fifth & Channing won wide support, and most of the neighborhood residents believe that it will enhance and improve the value of the entire neighborhood.

We urge ZAB and the City of Berkeley Planning Dept. to deny the current application and to direct the property owners to return to the drawing board and work with the neighborhood to propose a more modest project consisting of a two story building consisting of a medical office space at ground level with one market rate rental unit above, located along the northern boundary of the site, and which provides the necessary zoning code required parking as required for all new construction in the City of Berkeley. We believe that a more modest project, situated differently on the site, has a good chance of overcoming the current objections and gaining widespread neighborhood support while still being financially profitable to the property owners over the long term.

Thank you for considering our concerns,

Robb Walker / Rowena Carlson
Owners, 2430 Fifth St., Studio G, Berkeley, CA 94710

robb m walker
architect • engineer • yacht designer • business projects
m 619.804.3494 | robb.mw@icloud.com
www.robb-walker.format.com

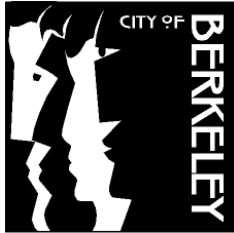












Planning and Development Department
Land Use Planning Division

PROOF OF SERVICE

DATE: November 5, 2019
TO: Whom It May Concern
FROM: Melinda Jacob, OSII
SUBJECT: **USE PERMIT #ZP2018-0108 – 2422 FIFTH STREET**

I, the undersigned, certify that I am employed in the City of Berkeley, County of Alameda, California; that I am over eighteen years of age; that I am not a party to the within action; and that my business address is 1947 Center Street, Berkeley, California 94704. On this date, I served the following documents:

ZONING ADJUSTMENTS BOARD NOTICE OF DECISION

On the parties stated below by placing true copies thereof in sealed envelope(s) addressed as shown below by the following means of service:

Devi Dutta Architecture
928 Carleton Street
Berkeley, CA 94710

Anna and Carl Gold
2422 Fifth Street
Berkeley, CA 94710

- By First Class Mail - I am readily familiar with the City's practice for collecting and processing of correspondence for mailing. Under the practice, the correspondence is deposited with the U.S. Postal Service on the same day as collected, with First Class postage thereon fully prepaid, in Berkeley, California, for mailing to the addressee following ordinary business practices.
- By Personal Service - I caused each such envelope to be given to the City of Berkeley mail service person to personally deliver to the office of the addressee.

I declare under penalty of perjury that the foregoing is true and correct. Executed on November 5, 2019 at Berkeley, California.

Melinda Jacob, OSII



Z O N I N G
A D J U S T M E N T S
B O A R D
NOTICE OF DECISION

DATE OF BOARD DECISION: October 24, 2019
DATE NOTICE MAILED: November 5, 2019
APPEAL PERIOD EXPIRATION: November 19, 2019
EFFECTIVE DATE OF PERMIT (Barring Appeal or Certification)¹: November 20, 2019

2422 Fifth Street

Use Permit #ZP2018-0108 to construct a three-story, 4,806-square-foot mixed-use building containing 967 square feet of medical office space and two dwelling units on the rear of a lot with an existing duplex, including a request to waive two residential parking spaces.

The Zoning Adjustments Board of the City of Berkeley, after conducting a public hearing, **APPROVED** the following permits:

- Administrative Use Permit under BMC 23E.28.060 to allow a joint parking agreement to satisfy the off-street parking requirement;
- Administrative Use Permit under BMC 23E.84.030.A to establish a new medical office space that is 5,000 square feet or less;
- Use Permit under BMC 23E.84.030.A to establish a mixed-use building;
- Administrative Use Permit under BMC 23E.84.030.A to create two new dwelling units; and,
- Use Permit under BMC 23E.84.080.F to waive two residential parking spaces.

APPLICANT: Devi Dutta Architecture, 928 Carleton Street, Berkeley, CA 94710

ZONING DISTRICT: MU-R – Mixed Use Residential District

ENVIRONMENTAL REVIEW STATUS: Categorically exempt pursuant to Sections 15303 (New Construction or Conversion of Small Structures) and 15332 (In-Fill Development Projects) of the CEQA Guidelines.

The Zoning Application and application materials for this project are available online at:
<http://www.cityofberkeley.info/zoningapplications>

¹ Pursuant to BMC Section 23B.32.090, the City Council may certify any ZAB decision for review during the 14-day appeal period after the notice of the ZAB's decision is issued. Certification has the same effect as an appeal. However, BMC Section 1.04.070 suspends or "tolls" the Council's deadline to certify when the Council is on recess. Thus, in cases where the 14-day appeal period is scheduled to *end* during a Council recess, the certification deadline is extended past the end of the recess for the remainder of the appeal period. In cases where the appeal period *begins* during a Council recess, the certification deadline is extended until 14 days after the first Council meeting after the recess. *Extension of the certification deadline has no effect on the appeal deadline.*

FINDINGS, CONDITIONS AND APPROVED PLANS ARE ATTACHED TO THIS NOTICE

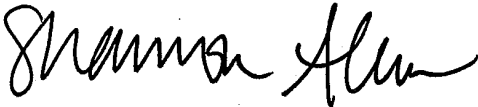
BOARD VOTE: 9-0-0-0

YES: CLARKE, CHING, KIM, MATTHEWS, O'KEEFE, SELAWSKY, SHARENKO,
SIMON-WEISBERG, TREGUB

NO: NONE

ABSTAIN: NONE

ABSENT: NONE

ATTEST: 
Shannon Allen, Zoning Adjustments Board
Secretary

ATTACHMENTS:

1. Findings and Conditions
2. Project Plans, received **SEPTEMBER 6, 2019**

cc: City Clerk
Building and Safety Division
Central Library - Reference Desk
Public Works Engineering Division
ZAB Members
First Source
Applicant:
Devi Dutta Architecture
928 Carleton Street
Berkeley, CA 94710

Property Owner:
Anna and Carl Gold
2422 Fifth Street
Berkeley, CA 94710

TO APPEAL THIS DECISION (see Section 23B.32.050 of the Berkeley Municipal Code):

To appeal a decision of the Zoning Adjustments Board to the City Council you must:

1. Submit a letter clearly and concisely setting forth the grounds for the appeal to the City Clerk, located at 2180 Milvia Street, 1st Floor, Berkeley. The City Clerk's telephone number is (510) 981-6900.
2. Submit the required appeal fee (checks and money orders payable to "City of Berkeley"):
 - a. The fee for persons other than the applicant is \$500. This fee may be reduced to \$100 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less.
 - b. The fee for all appeals by Applicants is \$2,500.
3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown on page 1 (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the permit will be issued on the first business day following expiration of the appeal period, and the project may proceed at that time.

NOTICE CONCERNING YOUR LEGAL RIGHTS:

If you object to this decision, the following requirements and restrictions apply:

1. If you challenge this decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Zoning Adjustments Board at, or prior to, the public hearing.
2. You must appeal to the City Council within fourteen (14) days after the Notice of Decision of the action of the Zoning Adjustments Board is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must include the following information:
 - A. That this belief is a basis of your appeal.
 - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
 - C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

ATTACHMENT 1

FINDINGS AND CONDITIONS ADOPTED OCTOBER 24, 2019

2422 Fifth Street

Use Permit #ZP2018-0108 to construct a three-story, 4,806-square-foot mixed-use building containing 967 square feet of medical office space and two dwelling units on the rear of a lot with an existing duplex, including a request to waive two residential parking spaces.

PERMITS REQUIRED

- Administrative Use Permit under BMC 23E.28.060 to allow a joint parking agreement to satisfy the off-street parking requirement;
- Administrative Use Permit under BMC 23E.84.030.A to establish a new medical office space that is 5,000 square feet or less;
- Use Permit under BMC 23E.84.030.A to establish a mixed-use building;
- Administrative Use Permit under BMC 23E.84.030.A to create two new dwelling units; and,
- Use Permit under BMC 23E.84.080.F to waive two residential parking spaces.

I. CEQA FINDINGS

1. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15332 of the CEQA Guidelines (“In-Fill Development Projects”).
2. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5, and (f) the project would not affect any historical resource.

II. FINDINGS FOR APPROVAL

1. As required by Section 23B.32.040.A of the BMC, the project, under the circumstances of this particular case existing at the time at which the application is granted, would not be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements of the adjacent properties, the surrounding area or neighborhood, or to the general welfare of the City because:
 - A. Although shadow conditions will increase on the aforementioned portions of neighboring dwellings, shadow impacts would be relatively short in duration, occurring only in the morning and midday or evening hours, and not both. Therefore, shading from proposed project is found to be typical of urban settings and not detrimental.
 - B. The siting of the proposed rear, mixed-use building satisfies all minimum setback requirements, and would provide adequate air space on the north, east and south sides of the building. The 4'-wide rear yard is provided between the project and the warehouse to the west, and is a buffer that will satisfy City Fire Department emergency egress requirements (44") in a zoning district (MU-R) that does not require any rear yard;

- C. The relatively flat topography of the project site, along with existing one-, two-, and three-story buildings in the vicinity, does not offer significant views of features such as Berkeley Hills or the Bay. Therefore, staff believes that this project will not be detrimental with respect to views; and
- D. The proposed dwelling will not cause significant privacy impacts to the warehouse to the west and the dwelling on the property to the north. The dwelling on the property to the north is sited toward the front half of the lot, away from the proposed project on the rear of the project site, so that there would be no direct sightlines between them. In response to privacy concerns raised by residents in live/work building to the south at the June 18, 2019 neighborhood meeting, the project's south elevation was redesigned so that all windows will be offset from the windows in the live/work building, and direct sightlines avoided. Thus, the privacy impacts from the project will be reasonable for this mixed-use district.

III. OTHER FINDINGS FOR APPROVAL

- 2. As required by Section 23E.84.090.B of the BMC, the Zoning Adjustments Board must make the following required findings to approve any Use Permit in the district. The proposed use or structure must:

- A. *Be compatible with the purposes of the District;*

The project is consistent with the following purposes of the Mixed Use Residential District (MU-R):

- *Implement the West Berkeley Plan's designation of a Mixed Residential District.*
- *Support the continued development of a mixed use District which combines residential, live/work, light industrial, arts and crafts and other compatible uses.*
- *Strengthen residential concentrations which exist within the District.*

The project is a mixed-use building that will provide two residential units and 967 square feet of medical office space on the ground floor in a district planned for mixed-use development. The project would add two new dwellings to an area that is already developed with single-family dwellings, duplexes, live/work buildings, and other multi-family dwellings.

- *Provide a transitional district between the residential districts to the east of the MU-R and the industrial districts to the west of the MU-R.*

As a mixed-use building on the rear of a lot that has an existing duplex on the front, the project adds a compatible commercial use to the lot to help the MU-R neighborhood serve as a transition from the R-1A district to the east to the MU-LI district to the west.

- *Support the development of businesses of all types which contribute to the maintenance and improvement of the environment.*
- *To the extent feasible, protect industrial uses, particularly light industrial uses, from unreasonable intrusions on their ability to operate lawfully.*

The proposed mixed-use project with medical offices on the ground floor will bring a compatible commercial use into the area to diversify the existing commercial and industrial uses within the nearby MU-R District, which include warehouses, offices, and live/work spaces. The mixed-use project will be on a lot that is clustered with other mixed-use and residential-only developments within the district, which have coexisted with adjacent industrial uses for years.

- B. *Be consistent with the normal use and operation of surrounding uses and buildings, including residential and industrial buildings;*
- C. *Not be likely, under reasonably foreseeable circumstances, to either induce or contribute to a cumulative change of use in buildings away from residential; live/work; light industrial, or arts and crafts uses; and*
- D. *Be designed in such a manner to be supportive of the character and purposes of the District.*

The proposed mixed-use project with medical offices on the ground floor and dwellings on the upper floors would add to the residential development already in the area, and would reinforce the existing mixed pattern of commercial/industrial/residential development in the neighborhood.

3. As required by Section 23E.84.080.F of the BMC, the Zoning Adjustments Board must find that existing evening parking supply is adequate and/or that there are other mitigating circumstances exist on the property to waive the requirement for an additional off-street parking space through a Use Permit when an additional residential unit is added to a property with one or more residential units.
 - A. To support the waiver of two residential parking spaces, the applicant submitted a parking survey prepared by the project transportation consultant, dated October 25, 2018. The parking survey was reviewed by the Transportation Division, which confirmed that the evening parking supply is adequate and that all other parking data supports the waiver of two residential parking spaces.
 - B. The approval of the permit to waive residential parking will be concurrent with the approval of the joint parking permit (see Finding #4 below).
4. As required by Section 23E.28.060.A of the BMC, the Zoning Adjustments Board may approve permit to allow a Joint Use Parking Agreement to satisfy off-street parking space requirements, if all of the following findings are made:
 - The off-street parking spaces designated for joint use are located within 800 feet of the use to be served;
 - The times demanded for these parking spaces will not conflict substantially between the use offering the spaces and the use to be served; and
 - The off-street parking spaces designated for joint use are not otherwise committed to satisfying the parking requirements for some other use at similar times.
 - A. The three joint parking spaces are located on the lot that they serve.
 - B. The residential and medical office uses will utilize the parking at different peak times. The medical office would be limited to a three to four weekday per week schedule, from 9:00 a.m. to 4:00 p.m., and the residences could utilize the spaces for the rest of the time – one to two week days during the day, after 4:00 p.m. on weekdays, and anytime on the weekends. This availability is general compatible with residential parking demand, which occurs mostly on weekday nights and weekends. The ADA parking space would always be reserved for accessible parking demands.
 - C. The three joint parking spaces are not committed to satisfy any other parking requirement.
 - D. The approval of joint parking permit will be concurrent with the approval of the permit to waive residential parking (see Finding #3 above).

IV. STANDARD CONDITIONS OF APPROVAL FOR ALL PROJECTS

The following conditions, as well as all other applicable provisions of the Zoning Ordinance, apply to this Permit:

1. Conditions and Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions.' *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Applicant Responsible for Compliance with Conditions

The applicant shall ensure compliance with all of the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

3. Uses Approved Deemed to Exclude Other Uses (Section 23B.56.010)

- A. This Permit authorizes only those uses and activities actually proposed in the application, and excludes other uses and activities.
- B. Except as expressly specified herein, this Permit terminates all other uses at the location subject to it.

4. Modification of Permits (Section 23B.56.020)

No change in the use or structure for which this Permit is issued is permitted unless the Permit is modified by the Board, except that the Zoning Officer may approve changes that do not expand, intensify, or substantially change the use or building.

Changes in the plans for the construction of a building or structure, may be modified prior to the completion of construction, in accordance with Section 23B.56.030.D. The Zoning Officer may approve changes to plans approved by the Board, consistent with the Board's policy adopted on May 24, 1978, which reduce the size of the project.

5. Plans and Representations Become Conditions (Section 23B.56.030)

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

6. Subject to All Applicable Laws and Regulations (Section 23B.56.040)

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

7. Exercised Permit for Use Survives Vacancy of Property (Section 23B.56.080)

Once a Permit for a use is exercised and the use is established, that use is legally recognized, even if the property becomes vacant, except as set forth in Standard Condition #8, below.

12. Parking Management Plan. The applicant shall submit a Parking Management Plan for the joint use off-street parking spaces to Planning Staff and Transportation Staff for review and approval.
13. Address Assignment. The applicant shall file an "Address Assignment Request Application" with the Permit Service Center (1947 Center Street) for any address change or new address associated with this Use Permit. The new address(es) shall be assigned and entered into the City's database prior to the applicant's submittal of a building permit application.
14. Geotechnical Plan Review. The applicant's geotechnical consultant shall review and approve all geotechnical aspects of the final project building and grading plans (i.e., site preparation and grading, site drainage improvements and design parameters for foundations, retaining walls, and driveway) to ensure that their recommendations have been properly incorporated. The results of the plan review shall be summarized by the geotechnical consultant in a letter and submitted to the City Engineer for review and approval prior to issuance of building permits.
15. Construction Noise Reduction Program. The applicant shall develop a site specific noise reduction program prepared by a qualified acoustical consultant to reduce construction noise impacts to the maximum extent feasible, subject to review and approval of the Zoning Officer. The noise reduction program shall include the time limits for construction listed above, as measures needed to ensure that construction complies with BMC Section 13.40.070. The noise reduction program should include, but shall not be limited to, the following available controls to reduce construction noise levels as low as practical:
 - A. Construction equipment should be well maintained and used judiciously to be as quiet as practical.
 - B. Equip all internal combustion engine-driven equipment with mufflers, which are in good condition and appropriate for the equipment.
 - C. Utilize "quiet" models of air compressors and other stationary noise sources where technology exists. Select hydraulically or electrically powered equipment and avoid pneumatically powered equipment where feasible.
 - D. Locate stationary noise-generating equipment as far as possible from sensitive receptors when adjoining construction sites. Construct temporary noise barriers or partial enclosures to acoustically shield such equipment where feasible.
 - E. Prohibit unnecessary idling of internal combustion engines.
 - F. If impact pile driving is required, pre-drill foundation pile holes to minimize the number of impacts required to seat the pile.
 - G. Construct solid plywood fences around construction sites adjacent to operational business, residences or other noise-sensitive land uses where the noise control plan analysis determines that a barrier would be effective at reducing noise.
 - H. Erect temporary noise control blanket barriers, if necessary, along building facades facing construction sites. This mitigation would only be necessary if conflicts occurred which were irresolvable by proper scheduling. Noise control blanket barriers can be rented and quickly erected.
 - I. Route construction related traffic along major roadways and away from sensitive receptors where feasible.

Prior to Issuance of Any Building & Safety Permit (Demolition or Construction)

16. Construction Noise Management - Public Notice Required. At least two weeks prior to initiating any construction activities at the site, the applicant shall provide notice to businesses and residents within **500 feet** of the project site. This notice shall at a minimum provide the following: (1) project

description, (2) description of construction activities, (3) daily construction schedule (i.e., time of day) and expected duration (number of months), (4) the name and phone number of the Project Liaison for the project that is responsible for responding to any local complaints, (5) commitment to notify neighbors at least four days in advance of authorized extended work hours and the reason for extended hours, and (6) that construction work is about to commence. The liaison would determine the cause of all construction-related complaints (e.g., starting too early, bad muffler, worker parking, etc.) and institute reasonable measures to correct the problem. A copy of such notice and methodology for distributing the notice shall be provided in advance to the City for review and approval.

17. Construction and Demolition. Applicant shall submit a Waste Diversion Form and Waste Diversion Plan that meet the diversion requirements of BMC Chapters 19.24 and 19.37.
18. Toxics. The applicant shall contact the Toxics Management Division (TMD) at 1947 Center Street or (510) 981-7470 to determine which of the following documents are required and timing for their submittal:
 - A. Environmental Site Assessments:
 - 1) Phase I & Phase II Environmental Site Assessments (latest ASTM 1527-13). A recent Phase I ESA (less than 6 months old*) shall be submitted to TMD for developments for:
 - All new commercial, industrial and mixed use developments and all large improvement projects.
 - All new residential buildings with 5 or more dwelling units located in the Environmental Management Area (or EMA).
 - EMA is available online at:
 - http://www.cityofberkeley.info/uploadedFiles/IT/Level_3_-_General/ema.pdf
 - 2) Phase II ESA is required to evaluate Recognized Environmental Conditions (REC) identified in the Phase I or other RECs identified by TMD staff. The TMD may require a third party toxicologist to review human or ecological health risks that may be identified. The applicant may apply to the appropriate state, regional or county cleanup agency to evaluate the risks.
 - 3) If the Phase I is over 6 months old, it will require a new site reconnaissance and interviews. If the facility was subject to regulation under Title 15 of the Berkeley Municipal Code since the last Phase I was conducted, a new records review must be performed.
 - B. Soil and Groundwater Management Plan:
 - 1) A Soil and Groundwater Management Plan (SGMP) shall be submitted to TMD for all non-residential projects, and residential or mixed-use projects with five or more dwelling units, that: (1) are in the Environmental Management Area (EMA) and (2) propose any excavations deeper than 5 feet below grade. The SGMP shall be site specific and identify procedures for soil and groundwater management including identification of pollutants and disposal methods. The SGMP will identify permits required and comply with all applicable local, state and regional requirements.
 - 2) The SGMP shall require notification to TMD of any hazardous materials found in soils and groundwater during development. The SGMP will provide guidance on managing odors during excavation. The SGMP will provide the name and phone number of the individual responsible for implementing the SGMP and post the name and phone number for the person responding to community questions and complaints.
 - 3) TMD may impose additional conditions as deemed necessary. All requirements of the approved SGMP shall be deemed conditions of approval of this Use Permit.
 - C. Building Materials Survey:

- 1) Prior to approving any permit for partial or complete demolition and renovation activities involving the removal of 20 square or lineal feet of interior or exterior walls, a building materials survey shall be conducted by a qualified professional. The survey shall include, but not be limited to, identification of any lead-based paint, asbestos, polychlorinated biphenyl (PBC) containing equipment, hydraulic fluids in elevators or lifts, refrigeration systems, treated wood and mercury containing devices (including fluorescent light bulbs and mercury switches). The Survey shall include plans on hazardous waste or hazardous materials removal, reuse or disposal procedures to be implemented that fully comply state hazardous waste generator requirements (22 California Code of Regulations 66260 et seq). The Survey becomes a condition of any building or demolition permit for the project. Documentation evidencing disposal of hazardous waste in compliance with the survey shall be submitted to TMD within 30 days of the completion of the demolition. If asbestos is identified, Bay Area Air Quality Management District Regulation 11-2-401.3 a notification must be made and the J number must be made available to the City of Berkeley Permit Service Center.

D. Hazardous Materials Business Plan:

- 1) A Hazardous Materials Business Plan (HMBP) in compliance with BMC Section 15.12.040 shall be submitted electronically at <http://cers.calepa.ca.gov/> within 30 days if on-site hazardous materials exceed BMC 15.20.040. HMBP requirement can be found at <http://ci.berkeley.ca.us/hmr/>

Prior to Issuance of Any Building (Construction) Permit

19. Interior Noise Levels. Prior to issuance of a building permit, the applicant shall submit a report to the Building and Safety Division and the Zoning Officer by a qualified acoustic engineer certifying that the interior residential portions of the project will achieve interior noise levels of no more than 45 Ldn (Average Day-Night Levels). If the adopted Building Code imposes a more restrictive standard for interior noise levels, the report shall certify compliance with this standard.
20. Recycling and Organics Collection. Applicant shall provide recycling and organics collection areas for occupants, clearly marked on site plans, which comply with the Alameda County Mandatory Recycling Ordinance (ACWMA Ordinance 2012-01).
21. Water Efficient Landscaping. Applicant shall provide an updated Bay-Friendly Basics Landscape Checklist that includes detailed notes of any measures that will not be fully met at the project. Landscape improvements shall be consistent with the current versions of the State's Water Efficient Landscape Ordinance (WELO) and the East Bay Municipal Utility District's Section 31: Water Efficiency Requirements.
22. Public Works ADA. Plans submitted for building permit shall include replacement of sidewalk, curb, gutter, and other streetscape improvements, as necessary to comply with current City of Berkeley standards for accessibility.
23. Parking for Disabled Persons. Per BMC Section 23E.28.040.D of the Zoning Ordinance, "Notwithstanding any reduction in off-street parking spaces that may be granted for mixed-use projects in non-residential districts listed in Sub-title 23E, the requirement for off-street parking spaces for disabled persons in the project shall be calculated as if there had been no reduction in total parking spaces."

During Construction:

- 24. Construction Hours.** Construction activity shall be limited to between the hours of 7:00 AM and 6:00 PM on Monday through Friday, and between 9:00 AM and 4:00 PM on Saturday. No construction-related activity shall occur on Sunday or any Federal Holiday.
- 25. Transportation Construction Plan.** The applicant and all persons associated with the project are hereby notified that a Transportation Construction Plan (TCP) is required for all phases of construction, particularly for the following activities:
- Alterations, closures, or blockages to sidewalks, pedestrian paths or vehicle travel lanes (including bicycle lanes);
 - Storage of building materials, dumpsters, debris anywhere in the public ROW;
 - Provision of exclusive contractor parking on-street; or
 - Significant truck activity.

The applicant shall secure the City Traffic Engineer's approval of a TCP. Please contact the Office of Transportation at 981-7010, or 1947 Center Street, and ask to speak to a traffic engineer. In addition to other requirements of the Traffic Engineer, this plan shall include the locations of material and equipment storage, trailers, worker parking, a schedule of site operations that may block traffic, and provisions for traffic control. The TCP shall be consistent with any other requirements of the construction phase.

Contact the Permit Service Center (PSC) at 1947 Center Street or 981-7500 for details on obtaining Construction/No Parking Permits (and associated signs and accompanying dashboard permits). Please note that the Zoning Officer and/or Traffic Engineer may limit off-site parking of construction-related vehicles if necessary to protect the health, safety or convenience of the surrounding neighborhood. A current copy of this Plan shall be available at all times at the construction site for review by City Staff.

- 26. Halt Work/Unanticipated Discovery of Tribal Cultural Resources.** In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.
- 27. Avoid Disturbance of Nesting Birds.** Initial site disturbance activities, including vegetation and concrete removal, shall be prohibited during the general avian nesting season (February 1 to August 30), if feasible. If nesting season avoidance is not feasible, the applicant shall retain a qualified biologist to conduct a preconstruction nesting bird survey to determine the presence/absence, location, and activity status of any active nests on or adjacent to the project site. The extent of the survey buffer area surrounding the site shall be established by the qualified biologist to ensure that direct and indirect effects to nesting birds are avoided. To avoid the destruction of active nests and to protect the reproductive success of birds protected by the MBTA and CFGC, nesting bird surveys shall be performed not more than 14 days prior to scheduled vegetation and concrete removal. In the event that active nests are discovered, a suitable buffer

(typically a minimum buffer of 50 feet for passerines and a minimum buffer of 250 feet for raptors) shall be established around such active nests and no construction shall be allowed inside the buffer areas until a qualified biologist has determined that the nest is no longer active (e.g., the nestlings have fledged and are no longer reliant on the nest). No ground-disturbing activities shall occur within this buffer until the qualified biologist has confirmed that breeding/nesting is completed and the young have fledged the nest. Nesting bird surveys are not required for construction activities occurring between August 31 and January 31.

- 28. Archaeological Resources (Ongoing throughout demolition, grading, and/or construction).** Pursuant to CEQA Guidelines section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:
- A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
 - B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
 - C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.
 - D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
 - E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.
- 29. Human Remains (Ongoing throughout demolition, grading, and/or construction).** In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to Section 15064.5 (e)(1) of the CEQA Guidelines. If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of Section 7050.5 of the Health and Safety Code, and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.
- 30. Paleontological Resources (Ongoing throughout demolition, grading, and/or construction).** In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate

agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.

31. Stormwater Requirements. The applicant shall demonstrate compliance with the requirements of the City's National Pollution Discharge Elimination System (NPDES) permit as described in BMC Section 17.20. The following conditions apply:
- A. The project plans shall identify and show site-specific Best Management Practices (BMPs) appropriate to activities conducted on-site to limit to the maximum extent practicable the discharge of pollutants to the City's storm drainage system, regardless of season or weather conditions.
 - B. Trash enclosures and/or recycling area(s) shall be covered; no other area shall drain onto this area. Drains in any wash or process area shall not discharge to the storm drain system; these drains should connect to the sanitary sewer. Applicant shall contact the City of Berkeley and EBMUD for specific connection and discharge requirements. Discharges to the sanitary sewer are subject to the review, approval and conditions of the City of Berkeley and EBMUD.
 - C. Landscaping shall be designed with efficient irrigation to reduce runoff, promote surface infiltration and minimize the use of fertilizers and pesticides that contribute to stormwater pollution. Where feasible, landscaping should be designed and operated to treat runoff. When and where possible, xeriscape and drought tolerant plants shall be incorporated into new development plans.
 - D. Design, location and maintenance requirements and schedules for any stormwater quality treatment structural controls shall be submitted to the Department of Public Works for review with respect to reasonable adequacy of the controls. The review does not relieve the property owner of the responsibility for complying with BMC Chapter 17.20 and future revisions to the City's overall stormwater quality ordinances. This review shall be conducted prior to the issuance of a Building Permit.
 - E. All paved outdoor storage areas must be designed to reduce/limit the potential for runoff to contact pollutants.
 - F. All on-site storm drain inlets/catch basins must be cleaned at least once a year immediately prior to the rainy season. The property owner shall be responsible for all costs associated with proper operation and maintenance of all storm drainage facilities (pipelines, inlets, catch basins, outlets, etc.) associated with the project, unless the City accepts such facilities by Council action. Additional cleaning may be required by City of Berkeley Public Works Engineering Dept.
 - G. All on-site storm drain inlets must be labeled "No Dumping – Drains to Bay" or equivalent using methods approved by the City.
 - H. Most washing and/or steam cleaning must be done at an appropriately equipped facility that drains to the sanitary sewer. Any outdoor washing or pressure washing must be managed in such a way that there is no discharge or soaps or other pollutants to the storm drain. Sanitary connections are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.
 - I. Sidewalks and parking lots shall be swept regularly to prevent the accumulation of litter and debris. If pressure washed, debris must be trapped and collected to prevent entry to the storm drain system. If any cleaning agent or degreaser is used, wash water shall not discharge to the storm drains; wash waters should be collected and discharged to the sanitary sewer. Discharges to the sanitary sewer are subject to the review, approval and conditions of the sanitary district with jurisdiction for receiving the discharge.

- J. The applicant is responsible for ensuring that all contractors and sub-contractors are aware of and implement all stormwater quality control measures. Failure to comply with the approved construction BMPs shall result in the issuance of correction notices, citations, or a project stop work order.
- 32. Public Works - Implement BAAQMD-Recommended Measures during Construction.** For all proposed projects, BAAQMD recommends implementing all the Basic Construction Mitigation Measures, listed below to meet the best management practices threshold for fugitive dust:
- A. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day.
 - B. All haul trucks transporting soil, sand, or other loose material off-site shall be covered.
 - C. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
 - D. All vehicle speeds on unpaved roads shall be limited to 15 mph.
 - E. All roadways, driveways, and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - F. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - G. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
 - H. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
- 33. Public Works.** All piles of debris, soil, sand, or other loose materials shall be covered at night and during rainy weather with plastic at least one-eighth millimeter thick and secured to the ground.
- 34. Public Works.** The applicant shall ensure that all excavation takes into account surface and subsurface waters and underground streams so as not to adversely affect adjacent properties and rights-of-way.
- 35. Public Works.** The project sponsor shall maintain sandbags or other devices around the site perimeter during the rainy season to prevent on-site soils from being washed off-site and into the storm drain system. The project sponsor shall comply with all City ordinances regarding construction and grading.
- 36. Public Works.** Prior to any excavation, grading, clearing, or other activities involving soil disturbance during the rainy season the applicant shall obtain approval of an erosion prevention plan by the Building and Safety Division and the Public Works Department. The applicant shall be responsible for following these and any other measures required by the Building and Safety Division and the Public Works Department.
- 37. Public Works.** The removal or obstruction of any fire hydrant shall require the submission of a plan to the City's Public Works Department for the relocation of the fire hydrant during construction.

- 38. Public Works.** If underground utilities leading to adjacent properties are uncovered and/or broken, the contractor involved shall immediately notify the Public Works Department and the Building & Safety Division, and carry out any necessary corrective action to their satisfaction.

Prior to Final Inspection or Issuance of Occupancy Permit:

- 39. Compliance with Conditions.** The project shall conform to the plans and statements in the Use Permit. The developer is responsible for providing sufficient evidence to demonstrate compliance with the requirements throughout the implementation of this Use Permit.
- 40. Compliance with Approved Plan.** The project shall conform to the plans and statements in the Use Permit. All landscape, site and architectural improvements shall be completed per the attached approved drawings dated **September 6 2019**, except as modified by conditions of approval.
- 41. Construction and Demolition Diversion.** A Waste Diversion Report, with receipts or weigh slips documenting debris disposal or recycling during all phases of the project, must be completed and submitted for approval to the City's Building and Safety Division. The Zoning Officer may request summary reports at more frequent intervals, as necessary to ensure compliance with this requirement. A copy of the Waste Diversion Plan shall be available at all times at the construction site for review by City Staff.
- 42. Geotechnical Construction Inspections.** The geotechnical consultant shall inspect, test (as needed), and approve all geotechnical aspects of the project construction. The inspections shall include, but not necessarily be limited to: site preparation and grading, site surface and subsurface drainage improvements, and excavations for foundations and retaining walls prior to the placement of steel and concrete. The results of these inspections and the as-built conditions of the project shall be described by the geotechnical consultant in a letter and submitted to the City Engineer for review prior to final (granting of occupancy) project approval.

At All Times:

- 43. Exterior Lighting.** All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
- 44. Rooftop Projections.** No additional rooftop or elevator equipment shall be added to exceed the approved maximum roof height without submission of an application for a Use Permit Modification, subject to Board review and approval.
- 45. Design Review.** Signage and any other exterior modifications, including but not limited to landscaping and lighting, shall be subject to Design Review approval.
- 46. Drainage Patterns.** The applicant shall establish and maintain drainage patterns that do not adversely affect adjacent properties and rights-of-way. Drainage plans shall be submitted for approval of the Building & Safety Division and Public Works Department, if required.
- 47. Electrical Meter.** Only one electrical meter fixture may be installed per dwelling unit.
- 48. Bike Parking.** Secure and on-site bike parking for at least 4 bicycles shall be provided for the life of the building.

- 49.** Tenant rights shall continue to apply to occupants of rental units of the front-of-lot duplex as described in BMC Chapters 13.76, 13.79, and 13.84.
- 50.** Tenant Notification. The developer shall provide tenant notification, via a lease rider or deed covenant, that each dwelling unit is located in a mixed-use area that includes commercial, food service and entertainment uses, and that each occupant shall not seek to impede their lawful operation.
-

5TH STREET TOWNHOMES AND WELLNESS OFFICES

2422 5TH STREET, BERKELEY, CA 94710

PLANS APPROVED BY ZONING ADJUSTMENTS BOARD

Shama Alam **October 24, 2019**

SIGNATURE DATE

* Findings and Conditions Attached



ARCHITECT/APPLICANT

DEVI DUTTA-CHOUDHURY, AIA
DEVI DUTTA ARCHITECTURE
928 CARLETON STREET
BERKELEY, CA 94710
510/705-1937
hello@devidutta.com

OWNER

ANNA & CARL GOLD
2422 5TH STREET
BERKELEY, CA 94710

LANDSCAPE

MANTLE LANDSCAPE
ARCHITECTURE
930 CARLETON STREET
BERKELEY, CA 94710
510-927-3202

TRAFFIC ENGINEER

ABRAMS ASSOCIATES
1875 OLYMPIC BOULEVARD,
SUITE 210
WALNUT CREEK, CA 94596
925-945-0201

PROJECT DESCRIPTION

CONSTRUCTION OF 2 NEW DWELLING UNITS AND 1 ACUPUNCTURE & WELLNESS OFFICE AT REAR YARD. EXISTING FRONT DUPLEX TO REMAIN.

SHEET LIST ARCHITECTURAL

- A0.0 COVER SHEET
- A0.1 PROJECT INFORMATION
- A0.2 AREA DIAGRAMS
- A0.3 SURVEY
- A0.4 STREET STRIP
- A0.5 VICINITY MAP
- A1.1 PROPOSED SITE PLAN
- A1.2 PROPOSED FIRST FLOOR PLAN
- A1.3 PROPOSED SECOND FLOOR PLAN
- A1.4 PROPOSED THIRD FLOOR PLAN
- A2.1 EAST & NORTH ELEVATIONS
- A2.2 WEST & SOUTH ELEVATIONS
- A3.1 PROPOSED BUILDING SECTIONS
- A3.2 PROPOSED BUILDING SECTIONS
- A5.1 OPEN SPACE DIAGRAM
- A6.1 DETAILS
- A7.1 NEIGHBORHOOD CONTEXT
- A7.2 PERSPECTIVE VIEWS



SHEET LIST LANDSCAPE

- L1.0 SCHEMATIC MATERIAL PLAN
- L2.0 SCHEMATIC PLANTING PLAN
- L2.1 PROPOSED PLANTING PALETTE

A0.0

COVER SHEET

SCALE:



2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



PROJECT ADDRESS

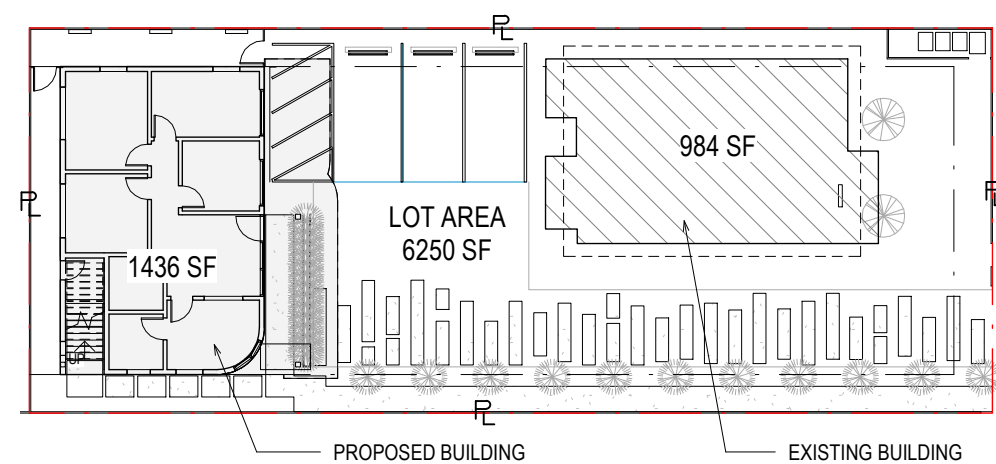
2422 5TH STREET, BERKELEY, CA 74710

ASSESSOR'S PARCEL #:

56-1944-11

ZONING INFORMATION

ZONING DISTRICT: MU-R
FLOOD ZONE: NO
FIRE ZONE: 1
ENV. MGMT AREA: NO
LANDMARKS STRUCTURE OF MERIT: NO



1 LOT COVERAGE DIAGRAM

3/64" = 1'-0"

A0.1

PROJECT INFORMATION

SCALE: 3/64" = 1'-0" 0 4 8 16 32

ZONING DEVELOPMENT STANDARDS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED/ PERMITTED</u>
NUMBER OF DWELLING UNITS	2	4	5 MAX
AREAS			
LOT SIZE	125' X 50' = 6250 SF	125' X 50' = 6250 SF	40' WIDTH MIN.
TOTAL GROSS FLOOR AREA	1670 SF	1670 SF + 3136 SF = 4806 SF	
NEW DUPLEX AREA		2170 SF	
UNIT 1		1070 SF	
UNIT 2		1100 SF	
MEDICAL OFFICES AREA		967 SF	
FAR	0.27	0.77	1.5
BUILDING FOOTPRINT	984 SF	984 SF + 1436 SF = 2420 SF	
LOT COVERAGE	15.7 %	38.7 %	40% MAX.
IMPERVIOUS SURFACE	2295 SF	2331 SF	
USEABLE OPEN SPACE	3297 SF	645 SF	600 SF MIN.
HEIGHT & STORIES			
AVERAGE	16'-3"	32' - 0"	35' - 0"
MAXIMUM	18' - 1/2"	35' - 0"	35' - 0"
STORIES	2	3	3
SETBACKS			
FRONT:	19'-0"	14' - 9 1/2"	5' - 0"
NORTH SIDE	4' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
SOUTH SIDE	22' - 0"	5' - 0"	5' - 0" (10% OF LOT WIDTH)
REAR:	67' - 0"	4' - 0"	NONE (ADJACENT TO NON-RESIDENTIAL)
PARKING SPACES			
RESIDENTIAL*:	1 / UNIT = 2 TANDEM SPACES	(2) PROVIDED VIA JOINT USE PARKING PER BMC 23D.12.060	1 / UNIT = 4 REQUIRED
MEDICAL:	N/A	(3) PROVIDED	1 / 300 SF = 3 REQUIRED
BIKE PARKING: *(2) PARKING WAIVER	1	(3) RESIDENTIAL, (1) COMMERCIAL	1 / 2000 SF NON-RES AREA = 1 REQ

2422 5TH STREET

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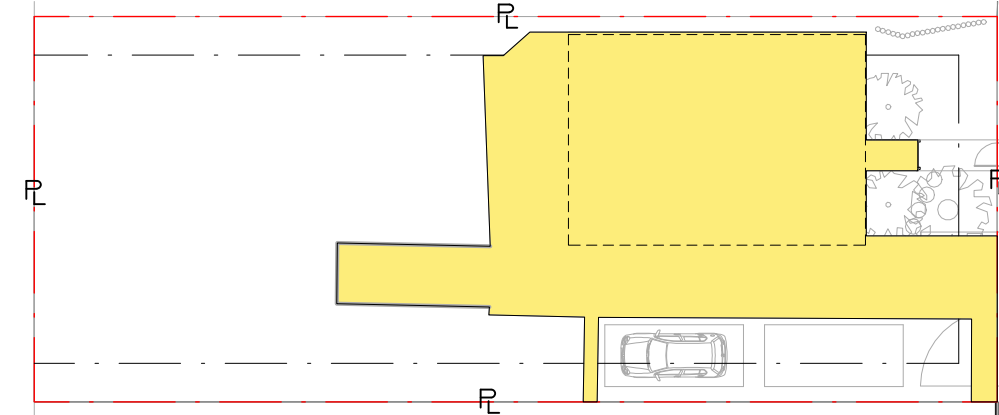
Zoning Submittal

10.15.2019

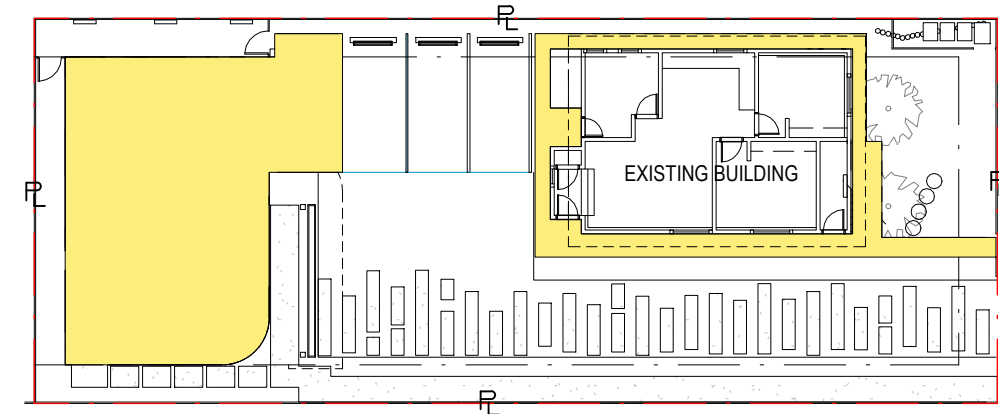


ABBREVIATIONS

A/C	AIR CONDITIONING	JAN.	JANITOR
ADJ.	ADJACENT	JT.	JOINT
A.F.F.	ABOVE FINISH FLOOR		
ALUM.	ALUMINUM	L.P.	LOW POINT
ALT.	ALTERNATE		
APPROX.	APPROXIMATELY	MAX	MAXIMUM
ARCH.	ARCHITECTURAL	M.C.	MEDICINE CABINET
A.C.T.	ACOUSTIC CEILING TILE	M.D.	MOTION DETECTOR
		MECH.	MECHANICAL
B.BD	TELEPHONE BACK BOARD	MFR	MANUFACTURER
BLDG.	BUILDING	MIN	MINIMUM
BLKG.	BLOCKING	MTD.	MOUNTED
BOT.	BOTTOM	MTL.	METAL
		(N)	NEW
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	NO.	NUMBER
C.G.	CORNER GUARD	N.T.S.	NOT TO SCALE
CHG.	CHANGE	O.C.	ON CENTER
CLG.	CEILING	OFF.	OFFICE
CLOS.	CLOSET	OPNG.	OPENING
CLR.	CLEAR	OPP.	OPPOSITE
C.M.U.	CONCRETE MASONRY UNIT	O.T.B.	OPEN TO BELOW
COL.	COLUMN		
CONC.	CONCRETE	PR.	PAIR
CONN.	CONNECTION	P-LAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PTD.	PAINTED
CORR.	CORRIDOR	PLWD.	PLYWOOD
C.T.	CERAMIC TILE	P.O.	PRIVATE OFFICE
CTR.	CENTER		
DET.	DETAIL	R	RISER
DIA/O	DIAMETER	R.C.P.	REFLECTED CEILING PLAN
DIM.	DIMENSION	R.D.	ROOF DRAIN
DN.	DOWN	REFR.	REFRIGERATOR
DWG.	DRAWING	REQ.	REQUIRED
DS.	DOWNSPOUT	RM.	ROOM
		R.O.	ROUGH OPENING
(E)	EXISTING	S.C.	SOLID CORE
EA.	EACH	S.D.	STORM DRAIN
EL.	ELEVATION	SAF	SELF-ADHERED FLASHING
ELEC.	ELECTRICAL	STOR.	STORAGE
ELEV.	ELEVATOR	SHT.	SHEET
EQ.	EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	SCD	SEE CIVIL DRAWINGS
EXP.	EXPANSION	SED	SEE ELECTRICAL DRAWINGS
EXPOS.	EXPOSED	SLD	SEE LANDSCAPE DRAWINGS
EXT.	EXTERIOR	SMD	SEE MECHANICAL DRAWINGS
		SPD	SEE PLUMBING DRAWINGS
F.D.	FLOOR DRAIN	SSD	SEE STRUCTURAL DRAWINGS
FIN.	FINISH	STRL	STRUCTURAL
FL.	FLOOR	T	TREAD
FLASH.	FLASHING	T.B.D.	TO BE DETERMINED
FLUOR.	FLUORESCENT	T&G	TONGUE AND GROOVE
F.O.F.	FACE OF FINISH	TEL.	TELEPHONE
F.O.S.	FACE OF STUD	T.O.	TOP OF
FPRFP.	FIREPROOF	TYP.	TYPICAL
FSD	FIRE SEPARATION DISTANCE		
FURR.	FURRING	U.O.N.	UNLESS OTHERWISE NOTED
		V.I.F.	VERIFY IN FIELD
GA.	GAGE	WD.	WOOD
GALV.	GALVANIZED	W.P.	WATERPROOF
G.C.	GENERAL CONTRACTOR		
GL.	GLASS	WRB	WEATHER RESISTANT BARRIER
GR.	GRADE		
GYP. BD.	GYP. BOARD		
H.B.	HOSE BIB		
HC	HANDICAPPED		
H.C.	HOLLOW CORE		
HDWR.	HARDWARE		
HGT.	HEIGHT		
H.M.	HOLLOW METAL		
HP	HIGH POINT		
HR.	HOUR		
H.W.	HOT WATER		
INSUL.	INSULATION/INSULATED		
INT.	INTERIOR		



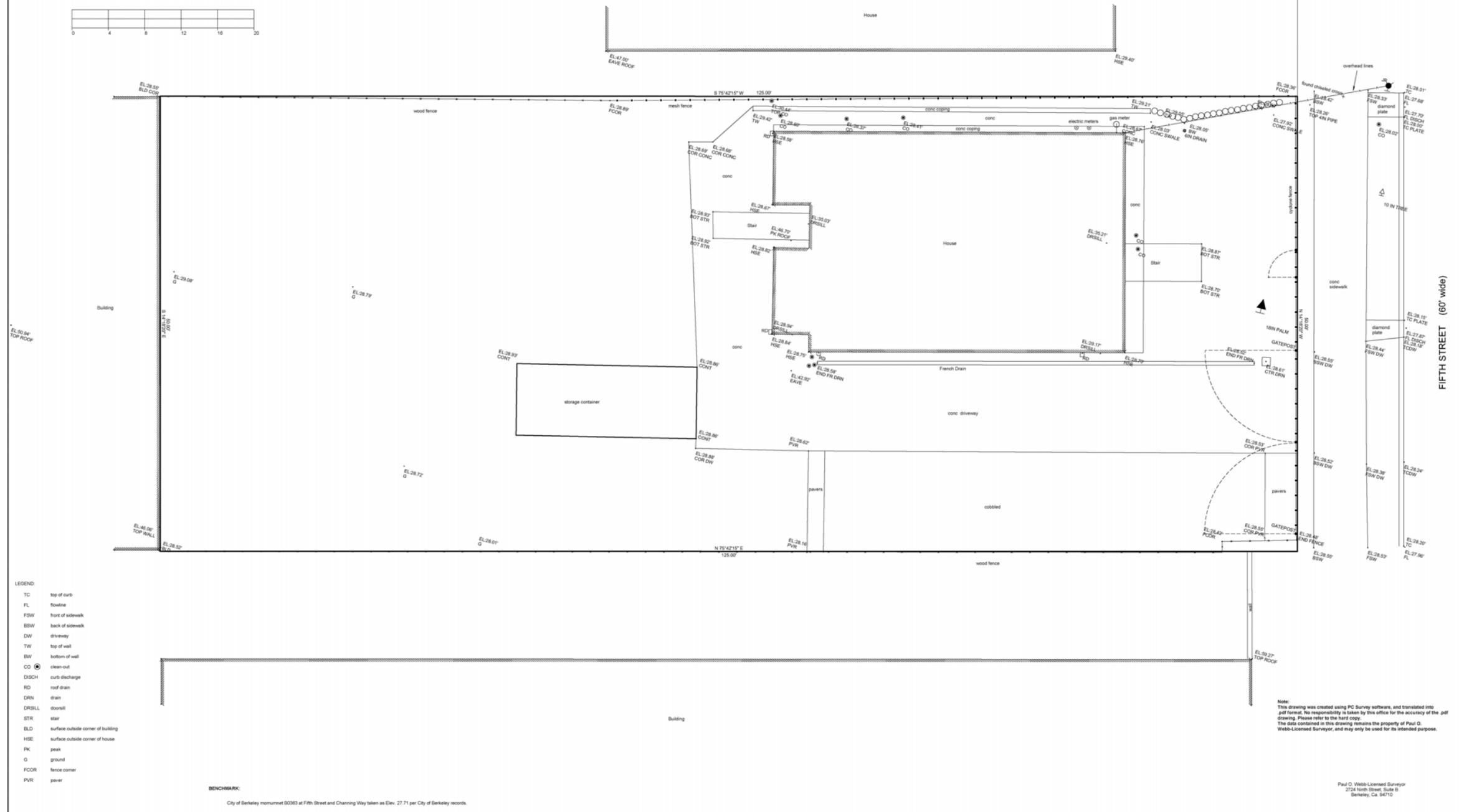
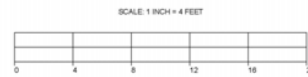
1 EXISTING IMPERVIOUS SURFACE - 2295 SF
3/64" = 1'-0"



2 NEW OR REPLACED IMPERVIOUS SURFACE - 1622 SF
3/64" = 1'-0"

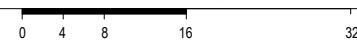


2422 FIFTH STREET, BERKELEY, CA
LOTS 13 & 14, BLOCK 132, CORRECTED MAP OF THE AVERY TRACT
FILED OCTOBER 9, 1890, MAP BOOK 9, PAGE 66,
ALAMEDA COUNTY RECORDS
APN: 56-1944-11 NOVEMBER, 2017



A0.3

SURVEY
SCALE:



2422 5TH STREET

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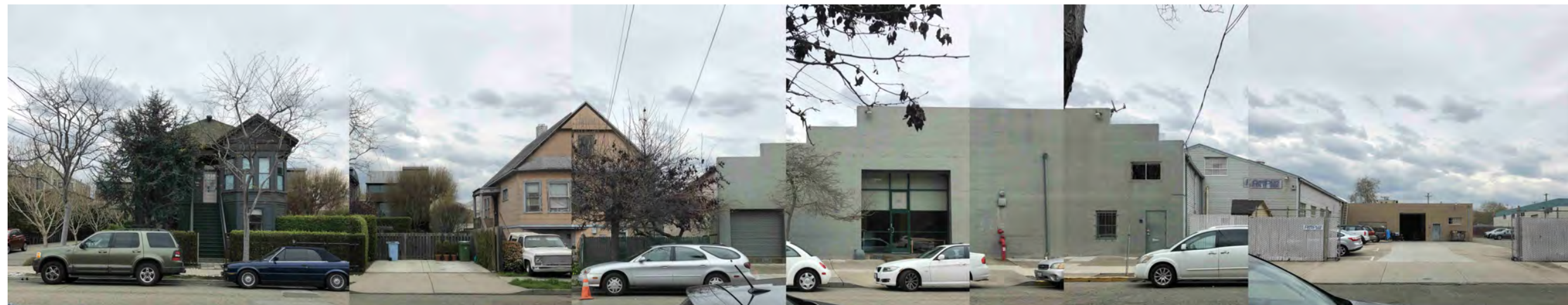
EXISTING WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



PROPOSED WEST VIEW 2422 5TH STREET

SUBJECT PROPERTY



EXISTING EAST VIEW 2422 5TH STREET

A0.4

STREET STRIP

SCALE:

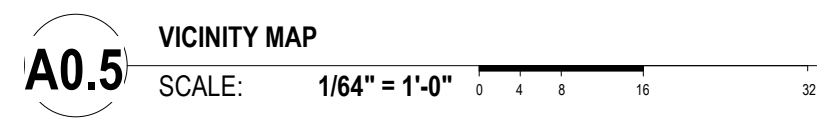
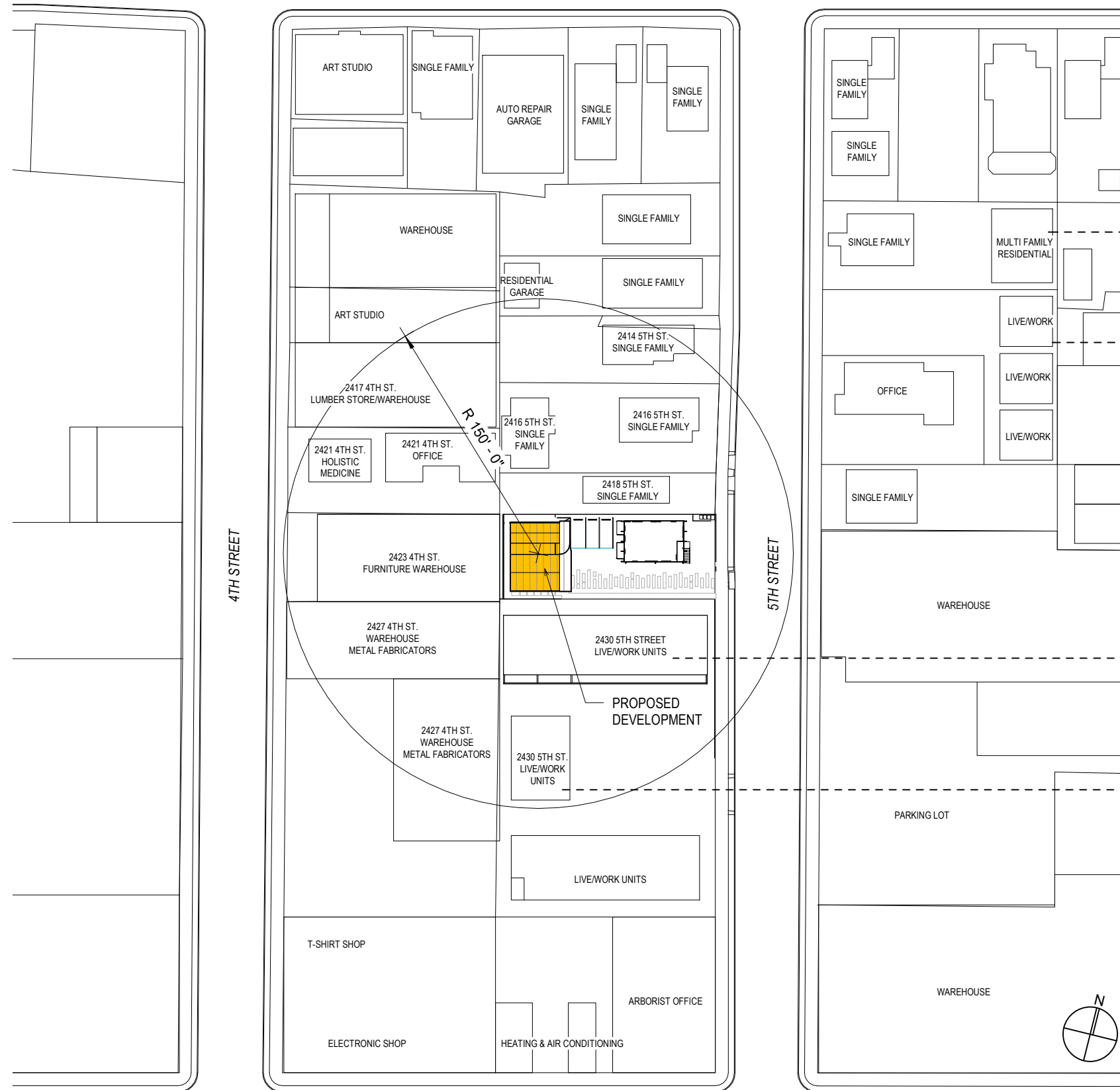


2422 5TH STREET

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Zoning Submittal

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2422 5TH STREET

Zoning Submittal

Devi Dutta Architecture Inc.

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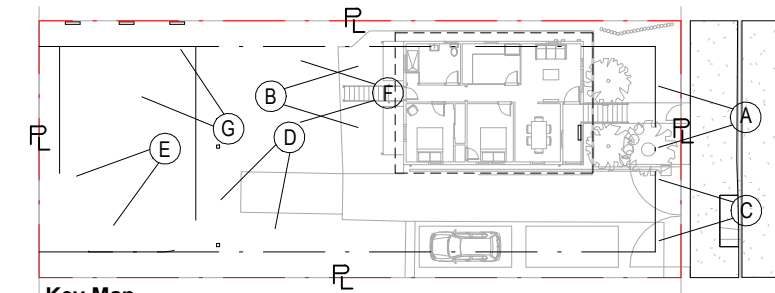
A - EXISTING FRONT OF HOUSE



B - EXISTING BACK OF HOUSE



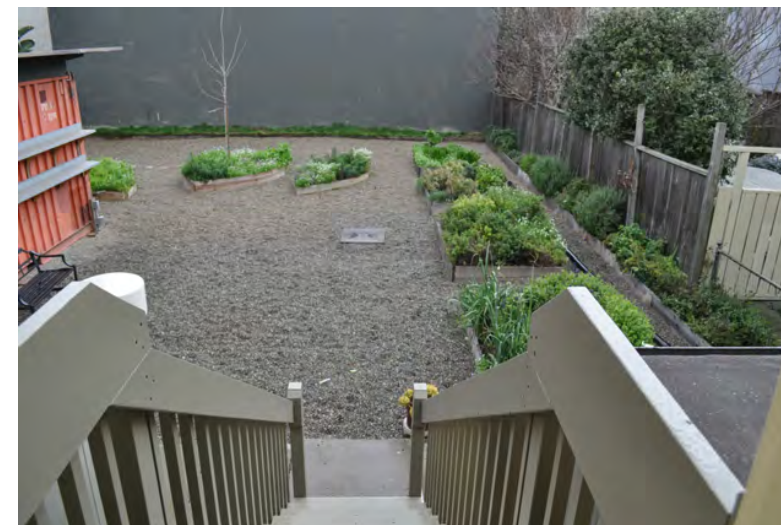
C - EXISTING DRIVEWAY



1 Key Map
1/32" = 1'-0"



D,E - ADJACENT MULTI-FAMILY BUILDING



F - EXISTING REAR STAIR/YARD



G - REAR YARD NORTH SIDE

A0.6

SITE PHOTOS

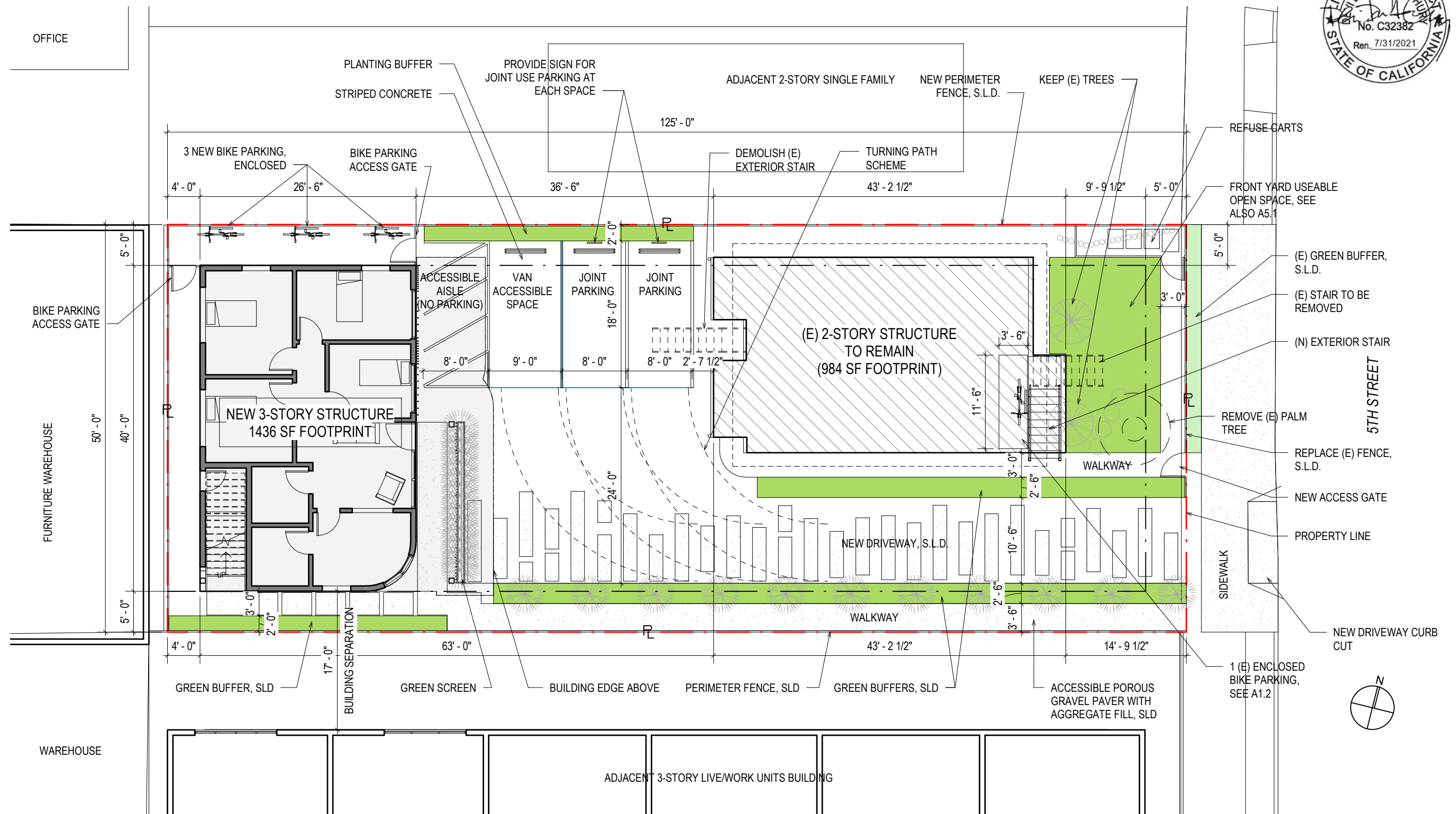
SCALE: 1/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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10.15.2019



A1.1

PROPOSED SITE PLAN

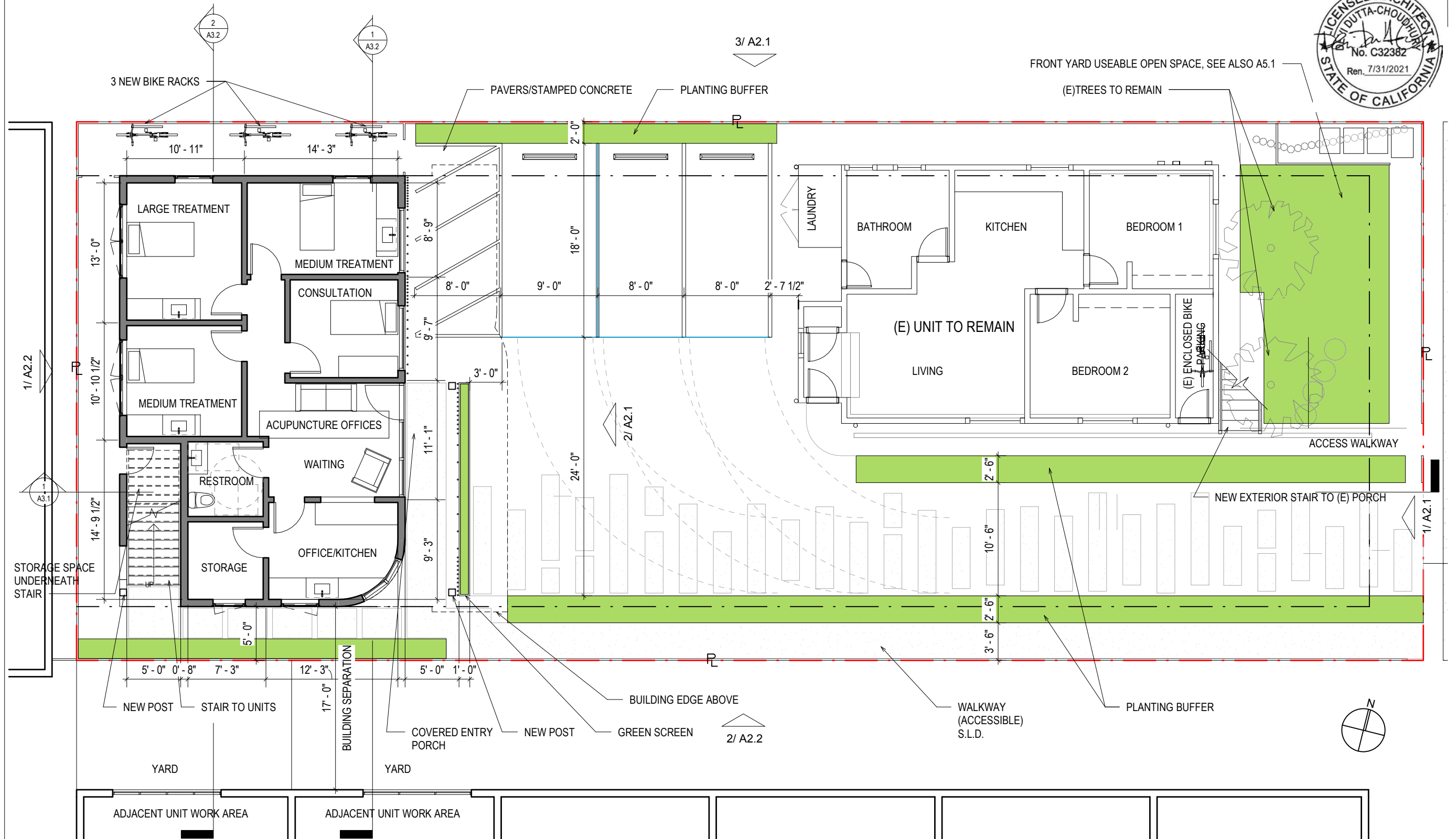
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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A1.2

PROPOSED FIRST FLOOR PLAN

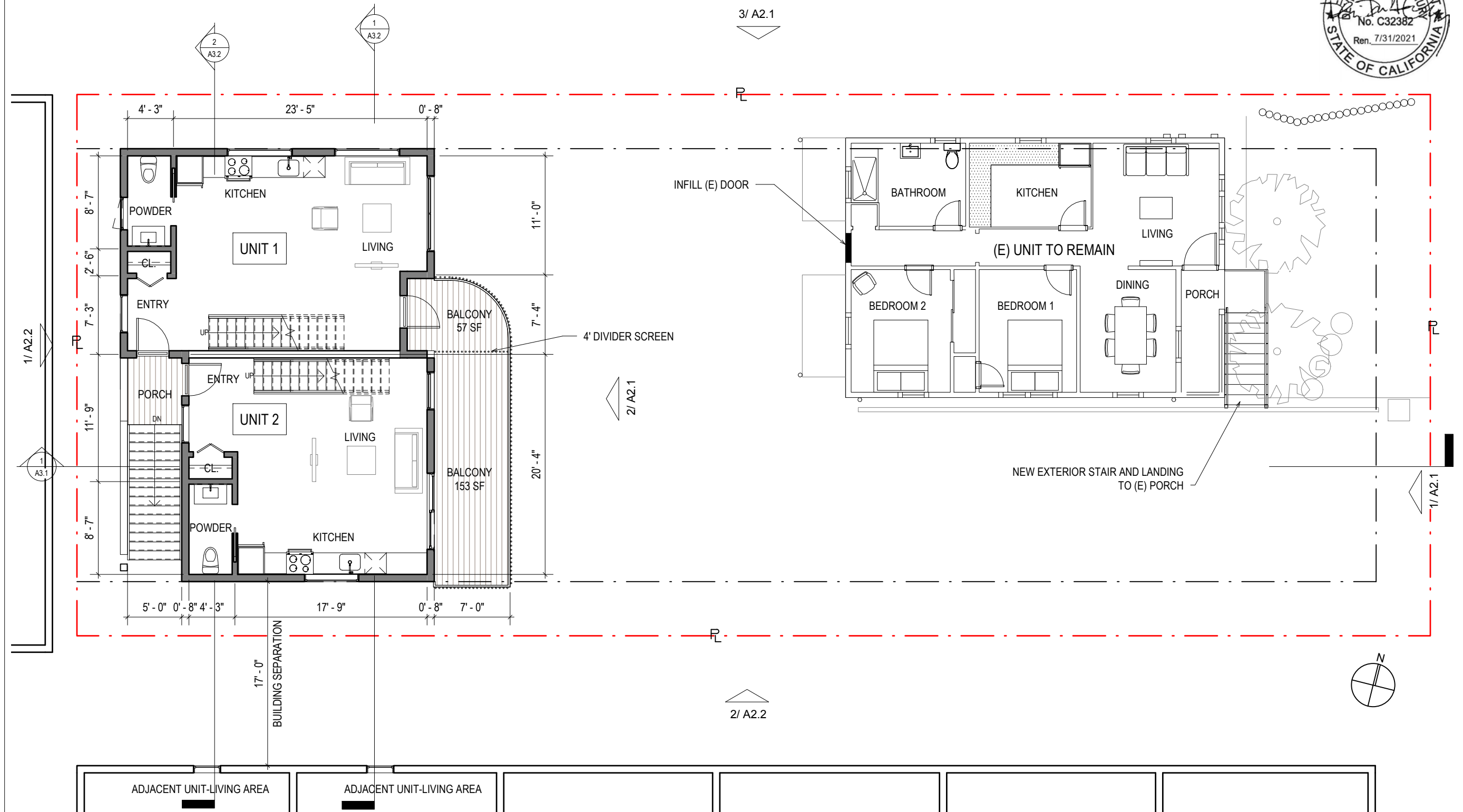
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A1.3

PROPOSED SECOND FLOOR PLAN

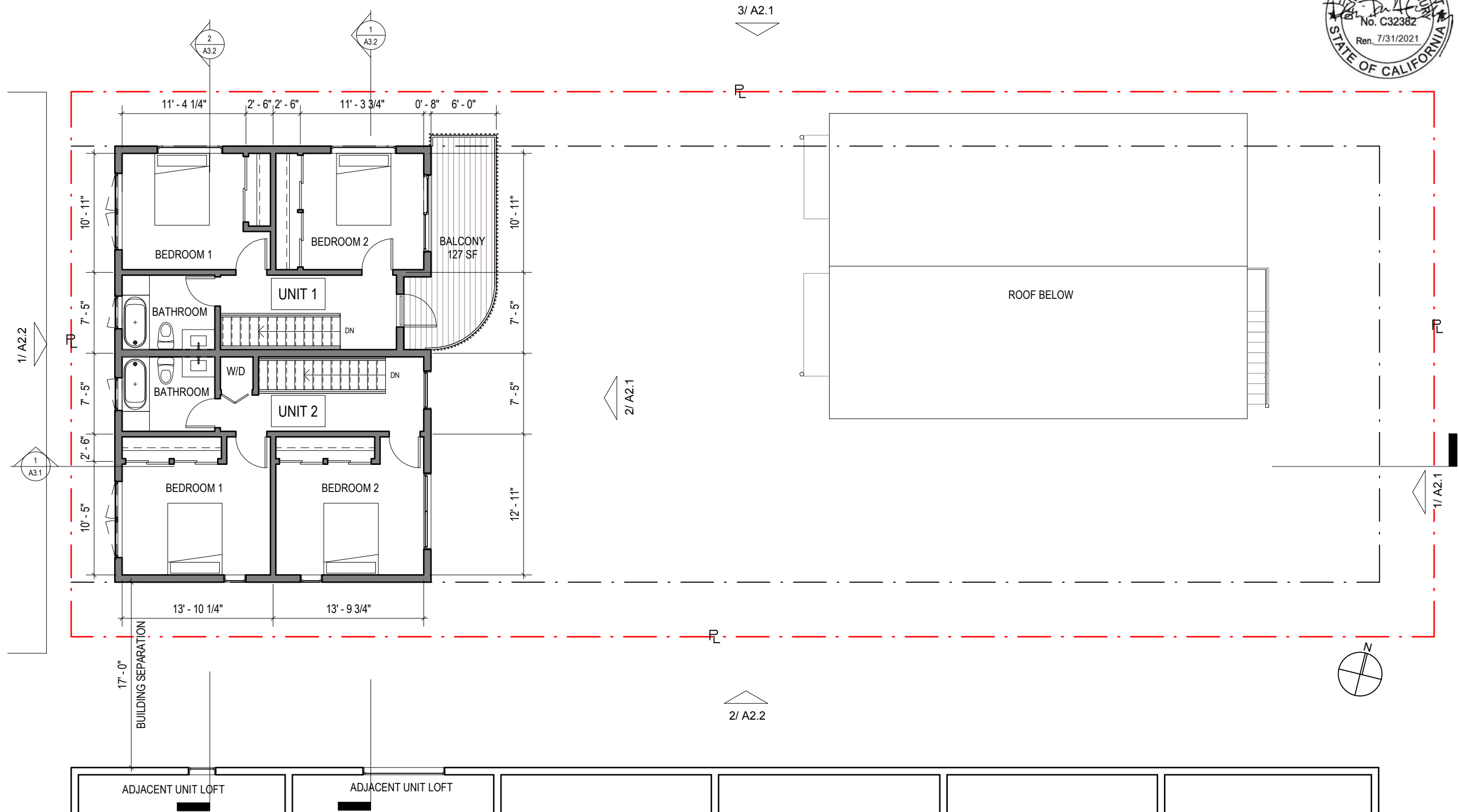
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2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



A1.4

PROPOSED THIRD FLOOR PLAN

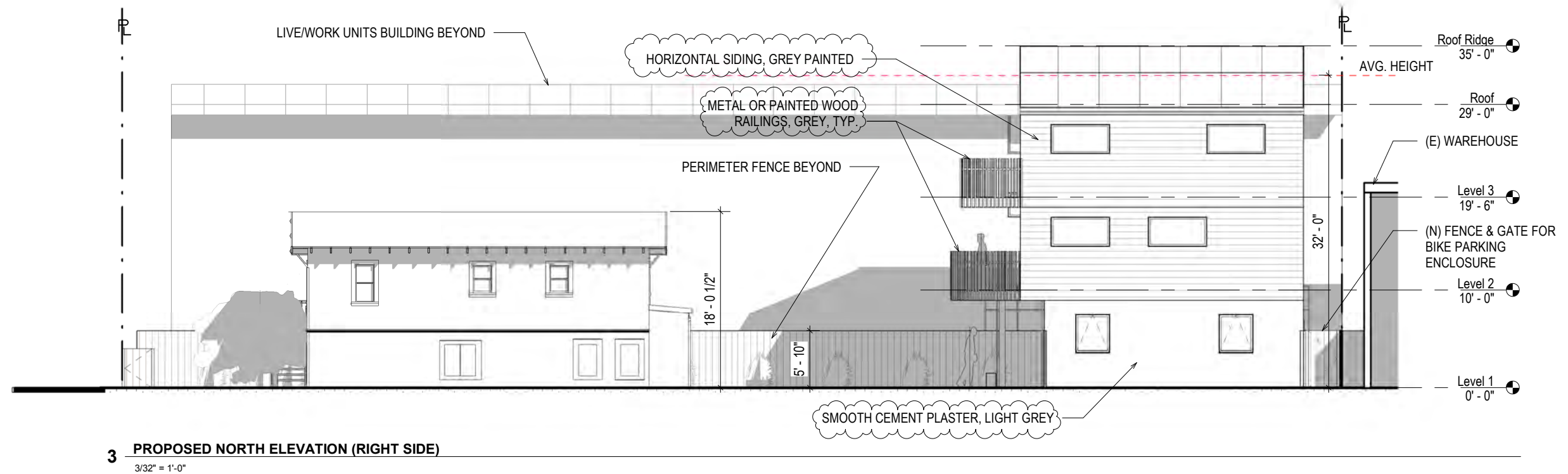
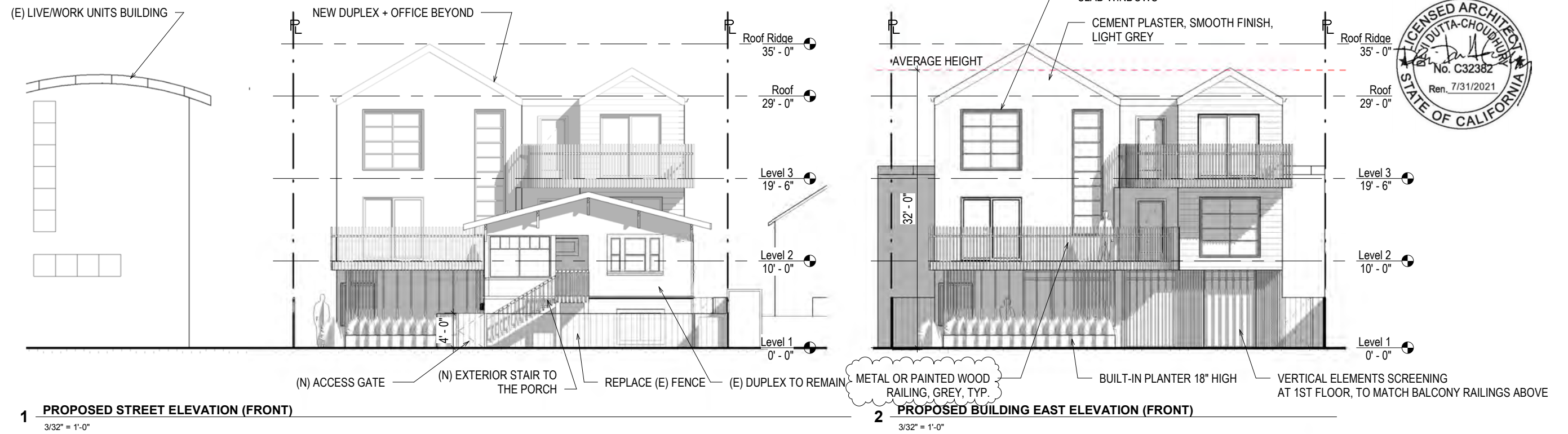
SCALE: 1/8" = 1'-0" 0 4 8 16 32

2422 5TH STREET

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Zoning Submittal

10.15.2019



A2.1

EAST & NORTH ELEVATIONS

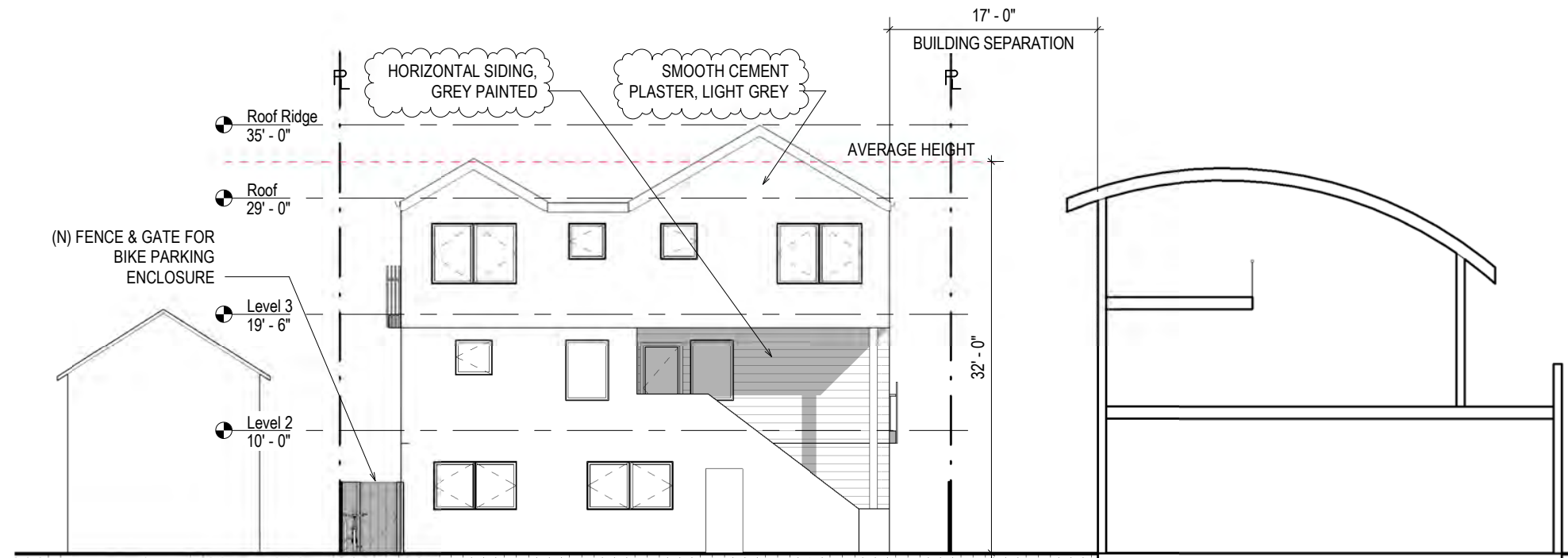
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2422 5TH STREET

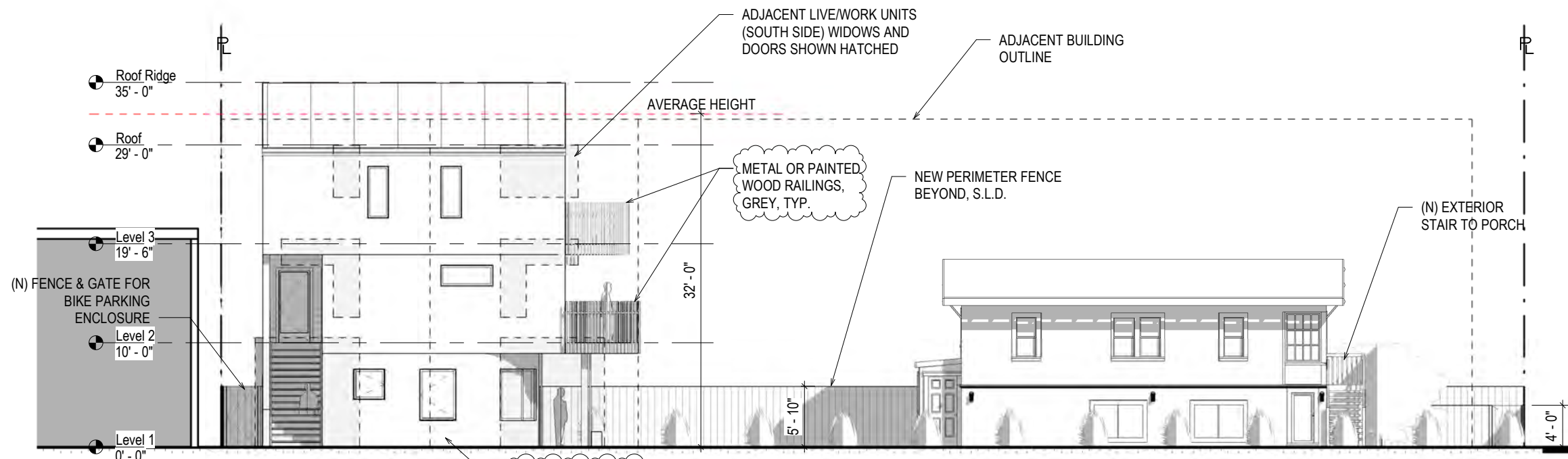
Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



1 PROPOSED WEST ELEVATION (BACK)
3/32" = 1'-0"



2 PROPOSED SOUTH ELEVATION (LEFT SIDE)
3/32" = 1'-0"

A2.2

WEST & SOUTH ELEVATIONS

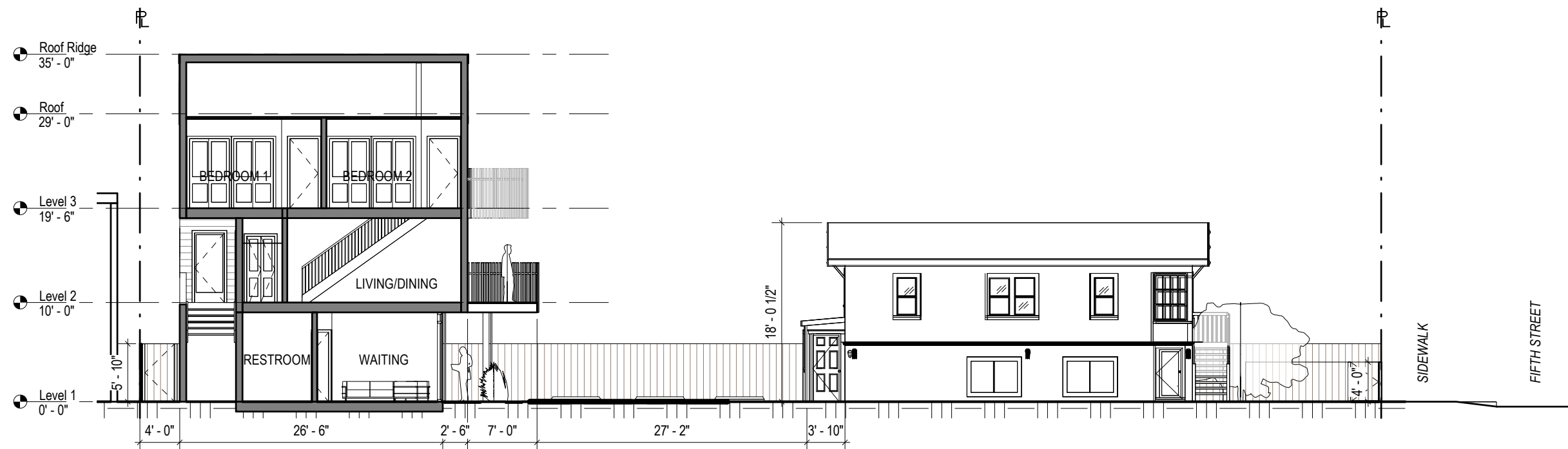
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

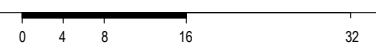
Zoning Submittal

10.15.2019



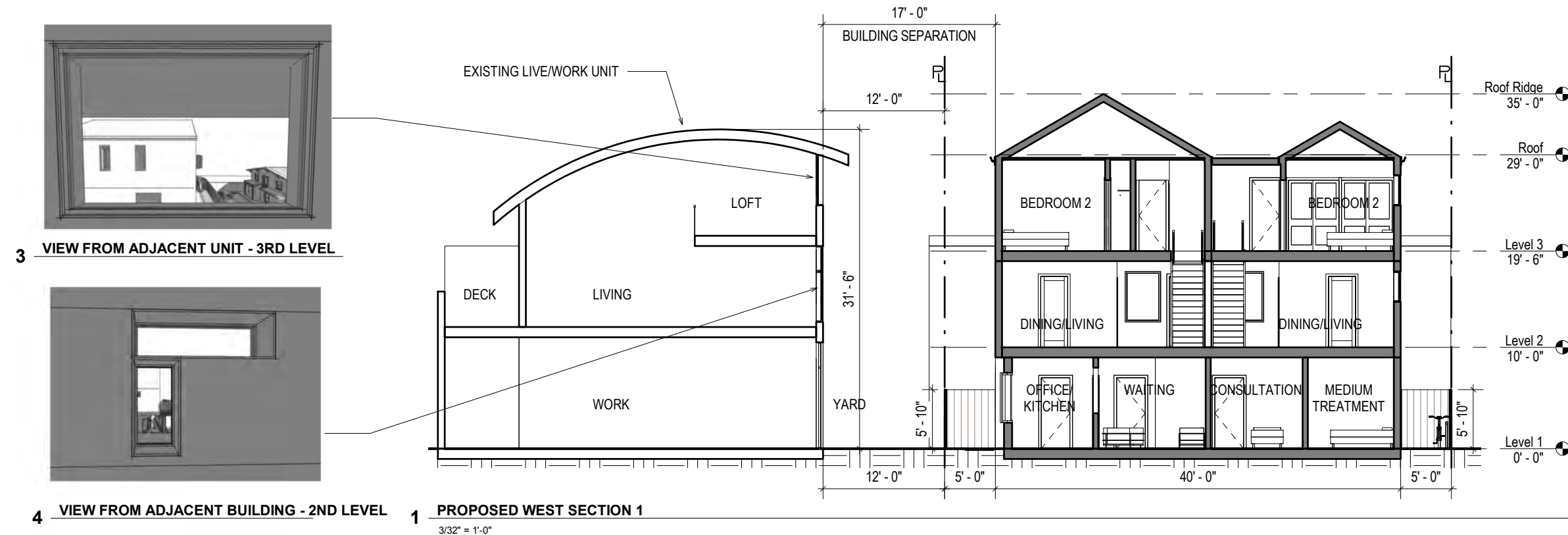
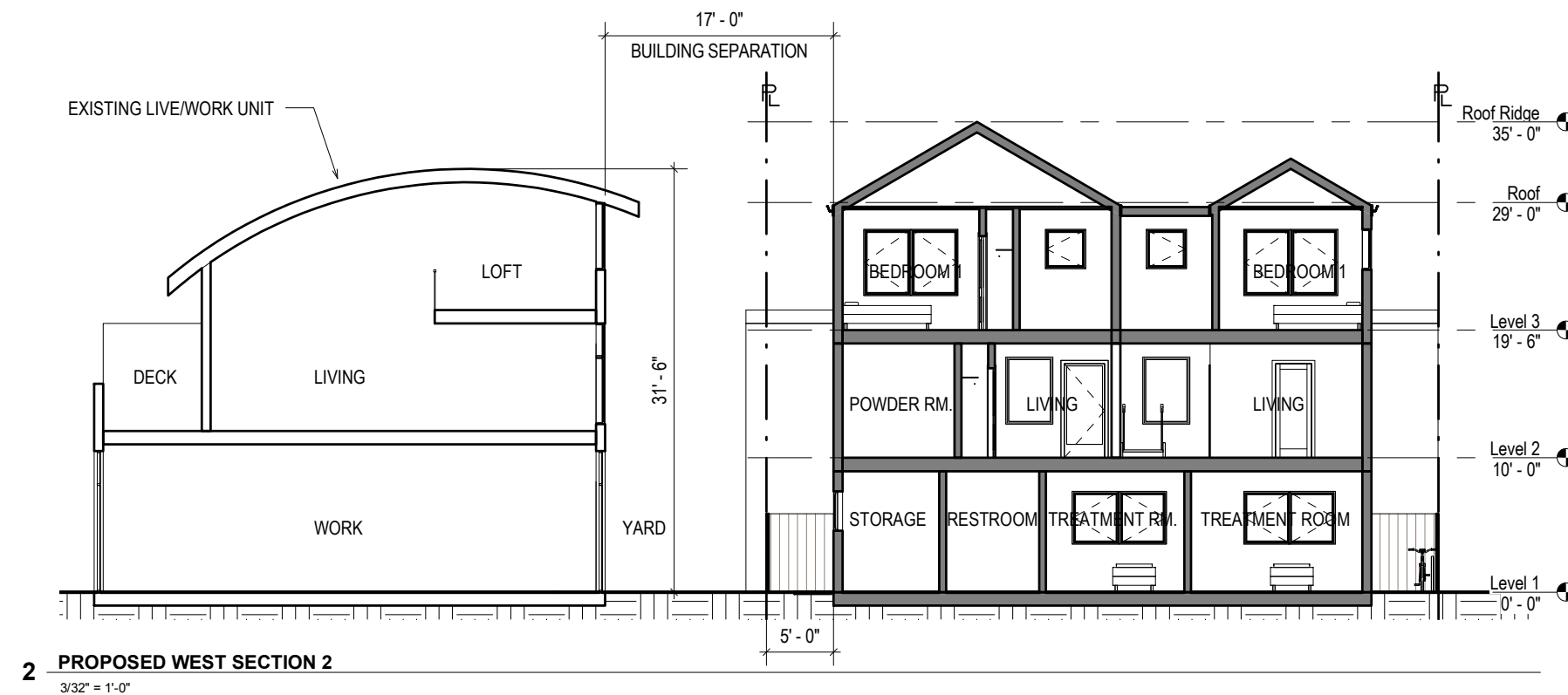
1 PROPOSED NORTH SECTION
3/32" = 1'-0"

A3.1 PROPOSED BUILDING SECTIONS
SCALE: 3/32" = 1'-0"



2422 5TH STREET
Devi Dutta Architecture Inc.

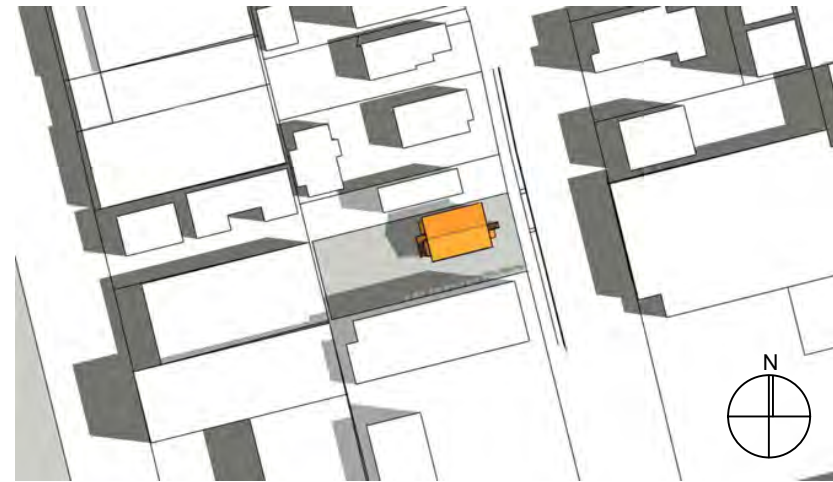
Zoning Submittal
10.15.2019



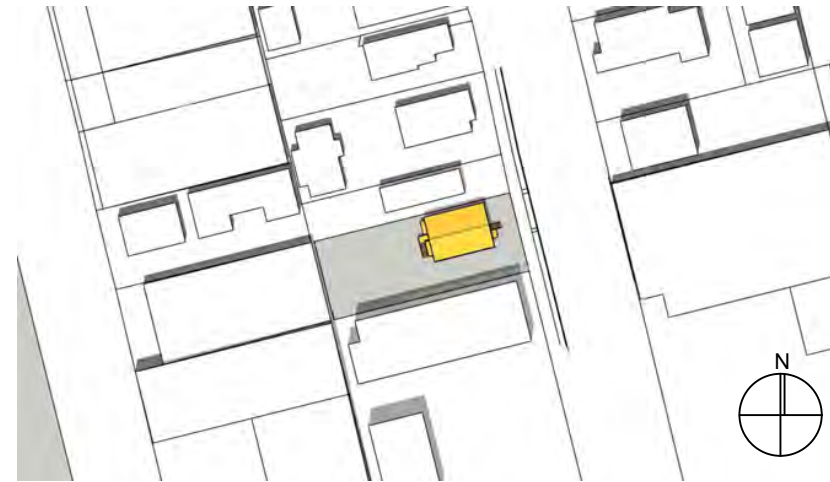
A3.2 PROPOSED BUILDING SECTIONS
SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET
Devi Dutta Architecture Inc.

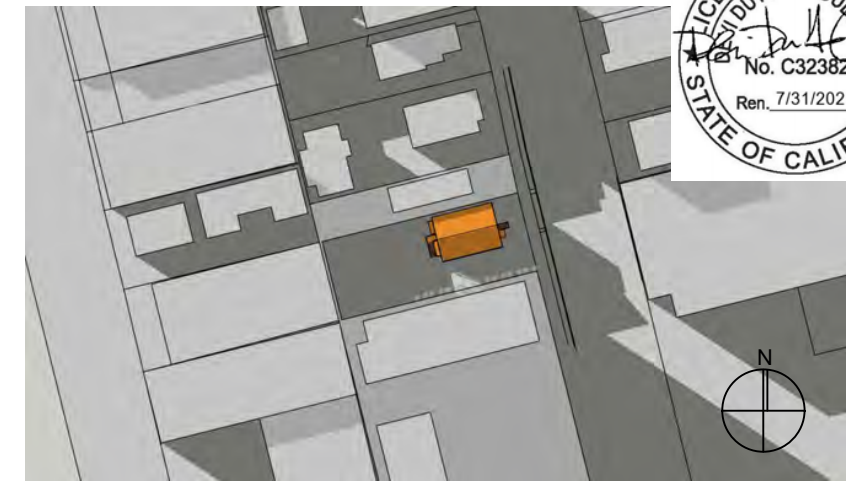
Zoning Submittal
10.15.2019



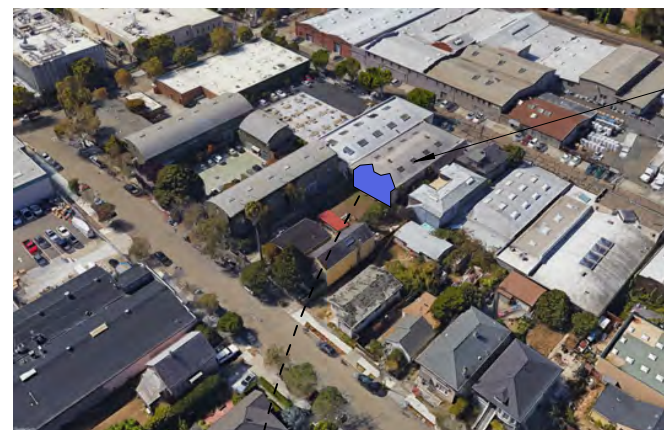
1 EXISTING-JUNE 21 - 2 HR AFTER SUNRISE



2 EXISTING - JUNE 21 - 12.00 PM

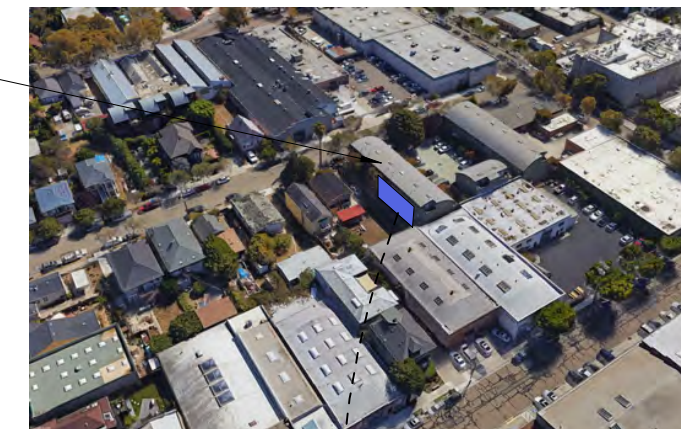


3 EXISTING - JUNE 21 - 2 HR BEFORE SUNSET



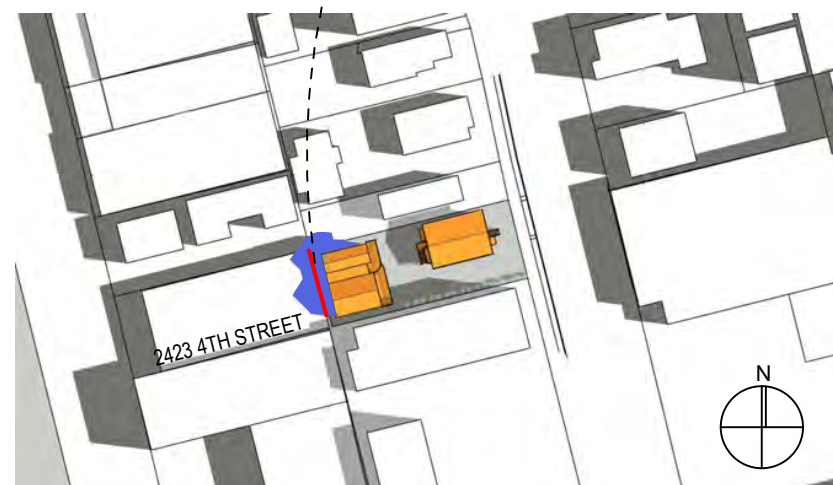
2423 4TH STREET - WAREHOUSE

2430 4TH STREET - 3 STORY MULTI-FAMILY
BATHROOM & LIVING (ASSUMED)

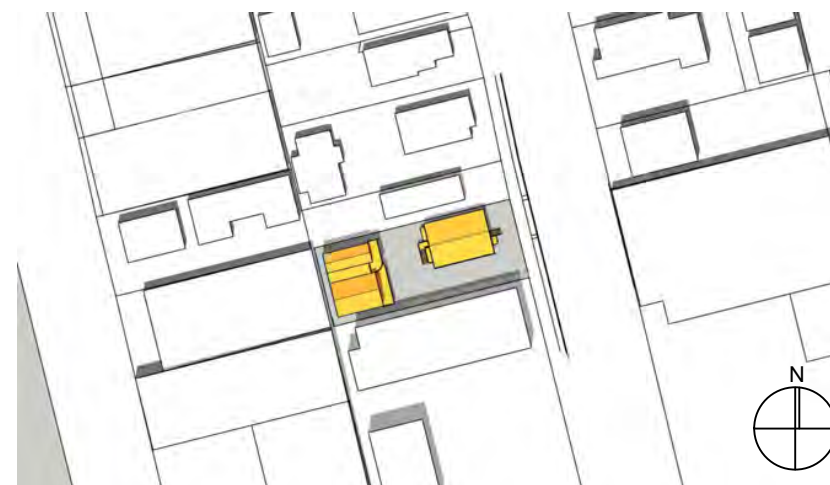


SHADOWS LEGEND

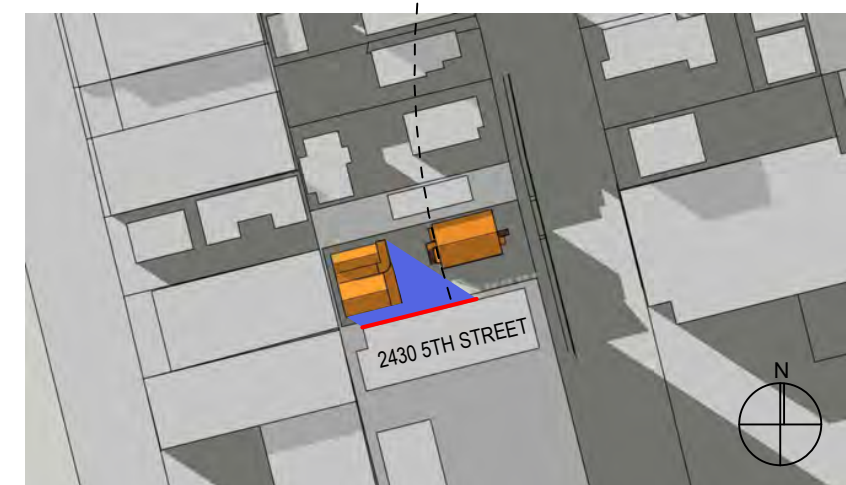
- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



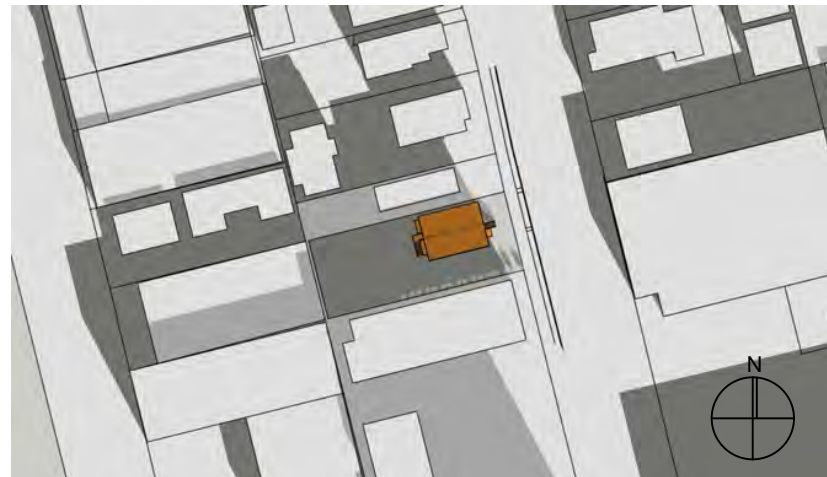
4 PROPOSED - JUNE 21 - 2 HOUR AFTER SUNRISE



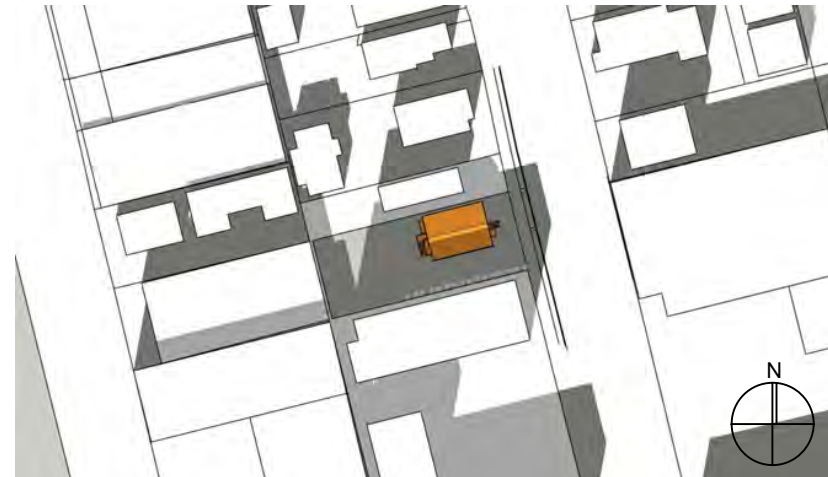
5 PROPOSED - JUNE 21 - 12.00 PM



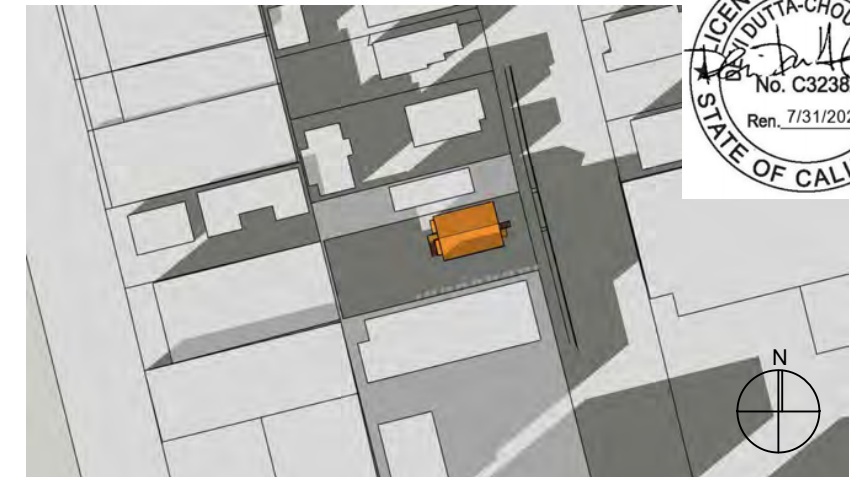
6 PROPOSED - JUNE 21 - 2 HR BEFORE SUNSET



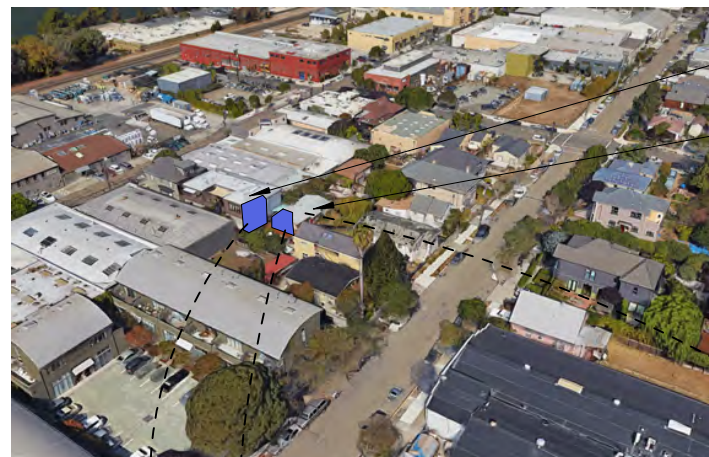
1 EXISTING - DECEMBER 21 - 2 HR AFTER SUNRISE



2 EXISTING - DECEMBER 21 - 12.00 PM



3 EXISTING - DECEMBER 21 - 2 HR BEFORE SUNSET



2421 4TH STREET - OFFICE BUILDING

2416 5TH STREET - 1 STORY SINGLE FAMILY

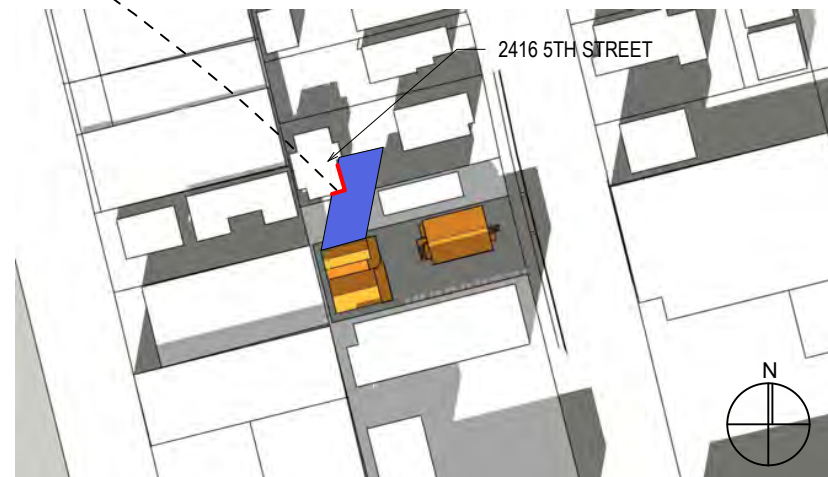
2418 5TH STREET
2 STORY SINGLE FAMILY -
LIVING ROOM (ASSUMED)

SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - DECEMBER 21 - 2 HR AFTER SUNRISE



5 PROPOSED - DECEMBER 21 - 12.00 PM



6 PROPOSED - DECEMBER 21 - 2 HR BEFORE SUNSET

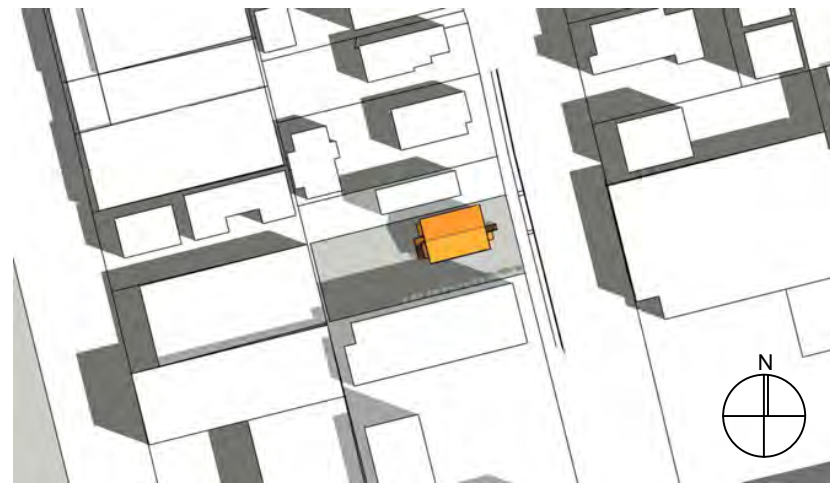
A4.2 SHADOW STUDIES WINTER SOLSTICE
SCALE: As indicated 0 4 8 16 32

2422 5TH STREET

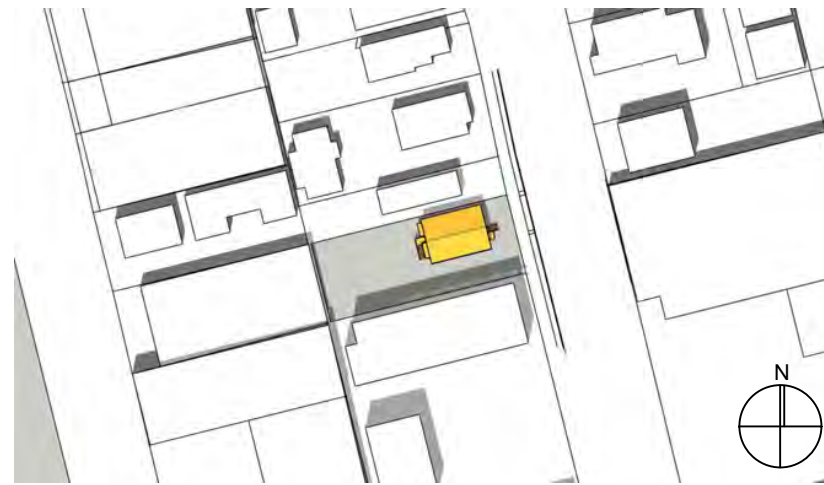
Devi Dutta Architecture Inc.

Zoning Submittal

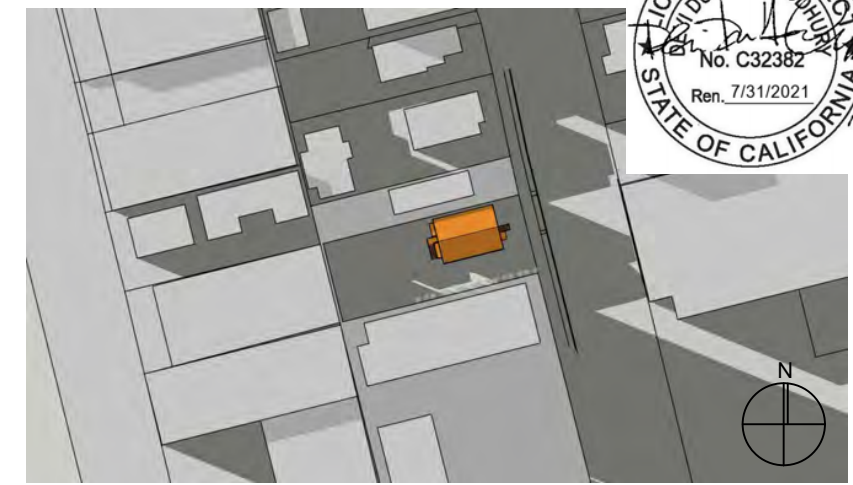
10.15.2019



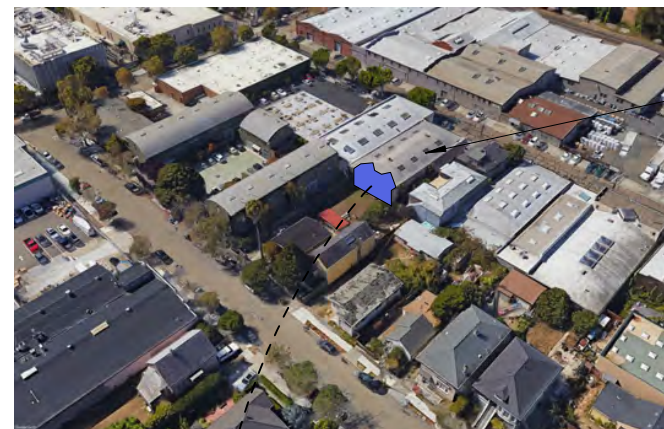
1 EXISTING - MAY 1 - 8.13 AM



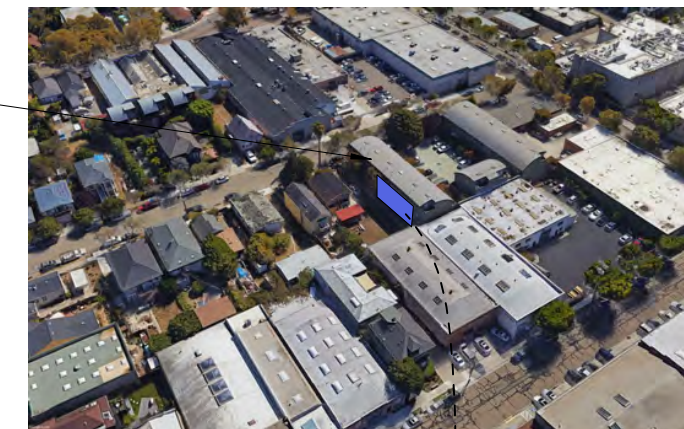
2 EXISTING - MAY 1 - 12.00 PM



3 EXISTING - MAY 1 - 6.00 PM



2423 4TH STREET - WAREHOUSE



2430 5th STREET
3-STORY MULTI FAMILY -
BATH & LIVING (ASSUMED)

SHADOWS LEGEND

- EXISTING SHADOW
- NEW SHADOW CAST FROM PROPOSED PROJECT



4 PROPOSED - MAY1 - 8.13 AM



5 PROPOSED - MAY 1 - 12.00 PM



6 PROPOSED - MAY1 - 6.00 PM

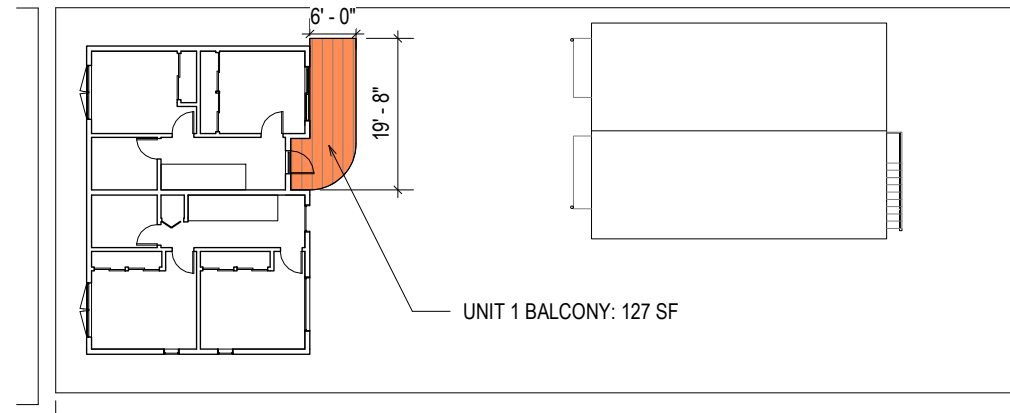
A4.3 SHADOW STUDIES REVIEW DATE
SCALE: As indicated 0 4 8 16 32

2422 5TH STREET

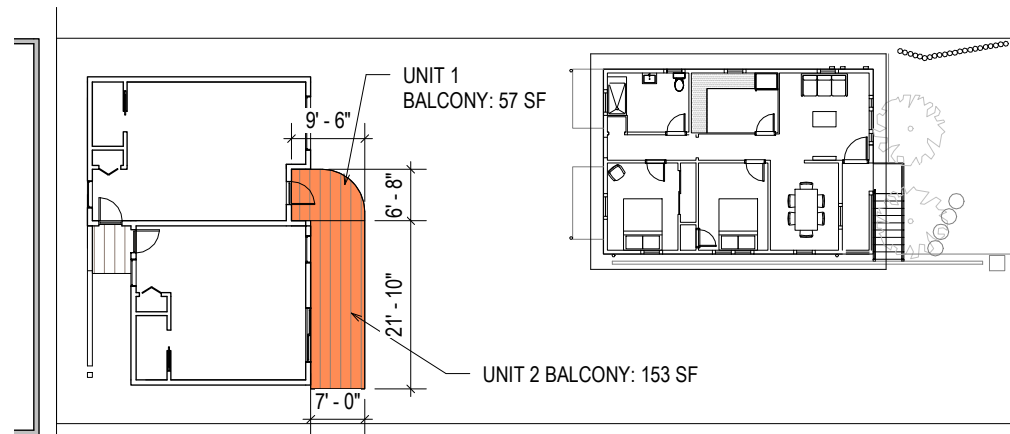
Devi Dutta Architecture Inc.

Zoning Submittal

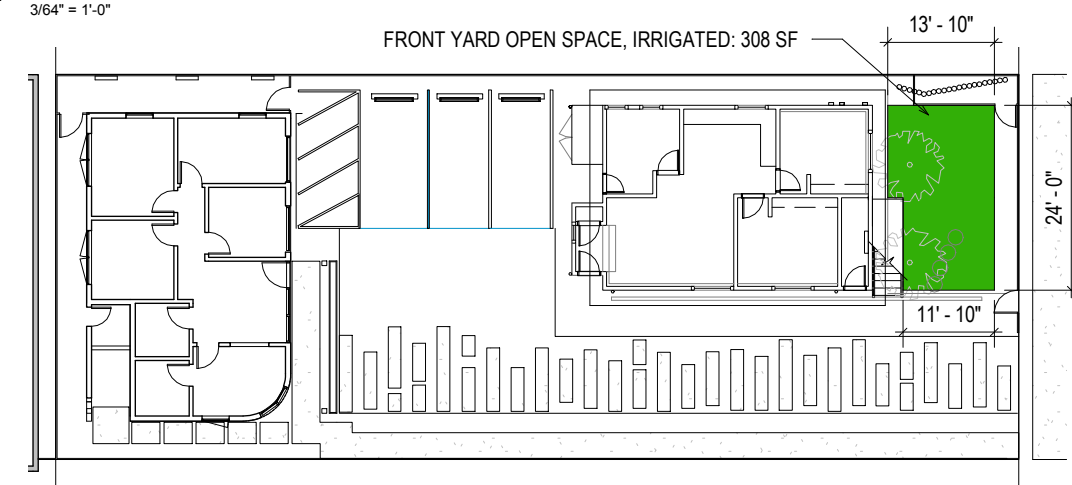
10.15.2019



3 Level 3 - Open Space
3/64" = 1'-0"



2 Level 2 - Open Space
3/64" = 1'-0"



1 Level 1 - Open Space
3/64" = 1'-0"

Ground Floor open space
Balcony

OPEN SPACE AREAS	
Level	Area
Level 1	308 SF
Level 2	210 SF
Level 3	127 SF
TOTAL	645 SF

A5.1

OPEN SPACE DIAGRAM

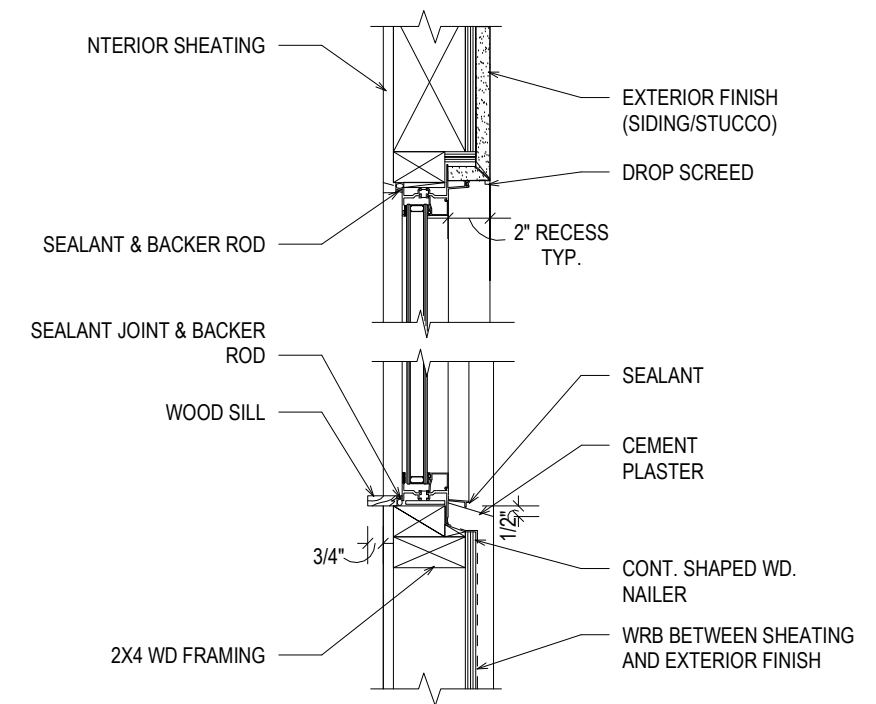
SCALE: 3/64" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



1 TYPICAL NEW WINDOW DETAIL
1 1/2" = 1'-0"

A6.1

DETAILS

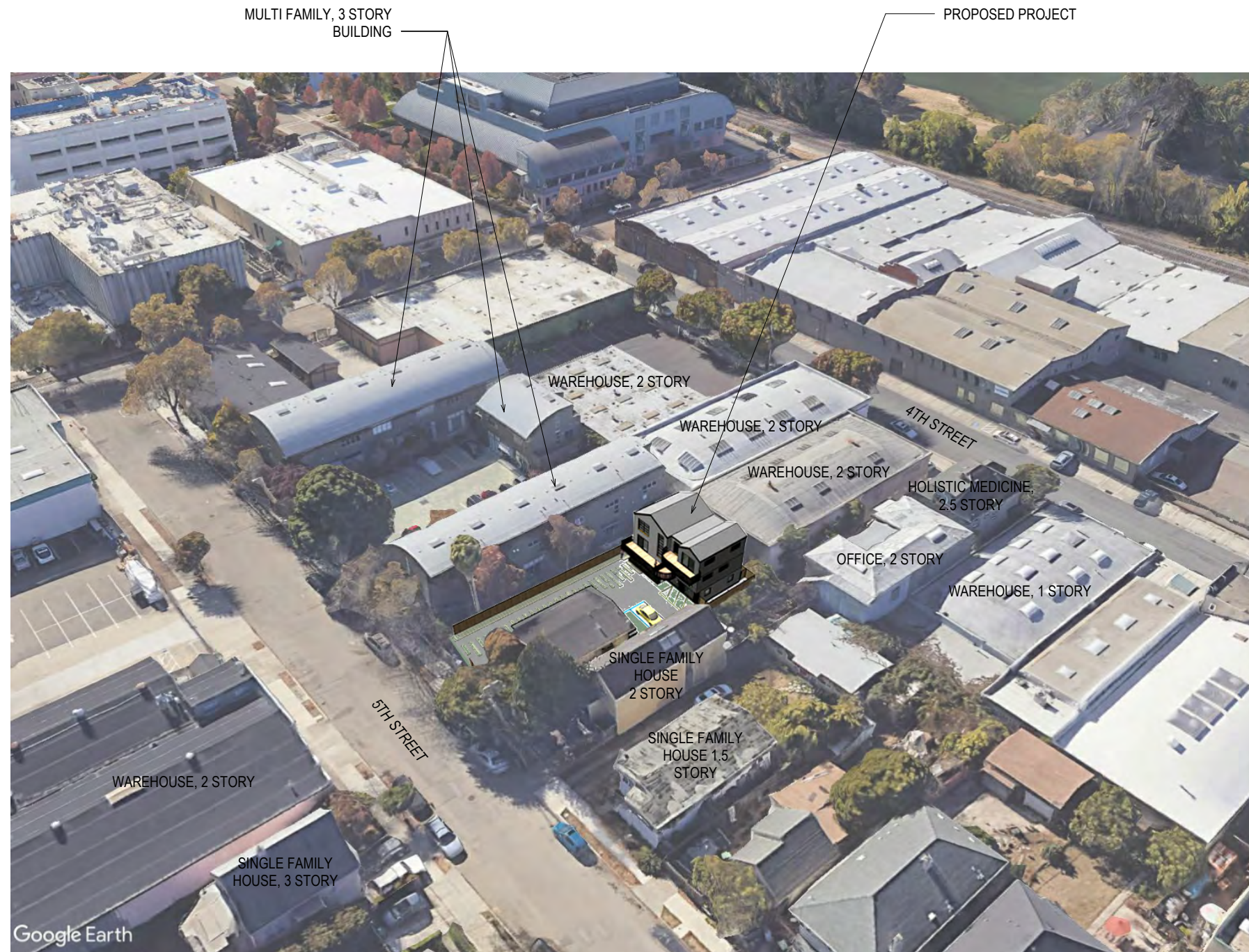
SCALE: 1 1/2" = 1'-0" 0 4 8 16 32

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

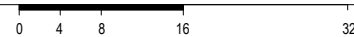
10.15.2019



A7.1

NEIGHBORHOOD CONTEXT

SCALE:



2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

10.15.2019



5 SOUTH-WEST PERSPECTIVE



3 ENTRY PERSPECTIVE - LEFT CORNER



2 ENTRY PERSPECTIVE - RIGHT CORNER



4 EAST PERSPECTIVE



1 EAST ELEVATION

SMOOTH CEMENT
PLASTER, LIGHT GREY

YELLOW WINDOW AND
DOOR FRAMES TO
MATCH FRAME & TRIM
OF (E) HOUSE IN THE
PROPERTY

HORIZONTAL SIDING,
GREY PAINTED

A7.2

PERSPECTIVE VIEWS

SCALE:

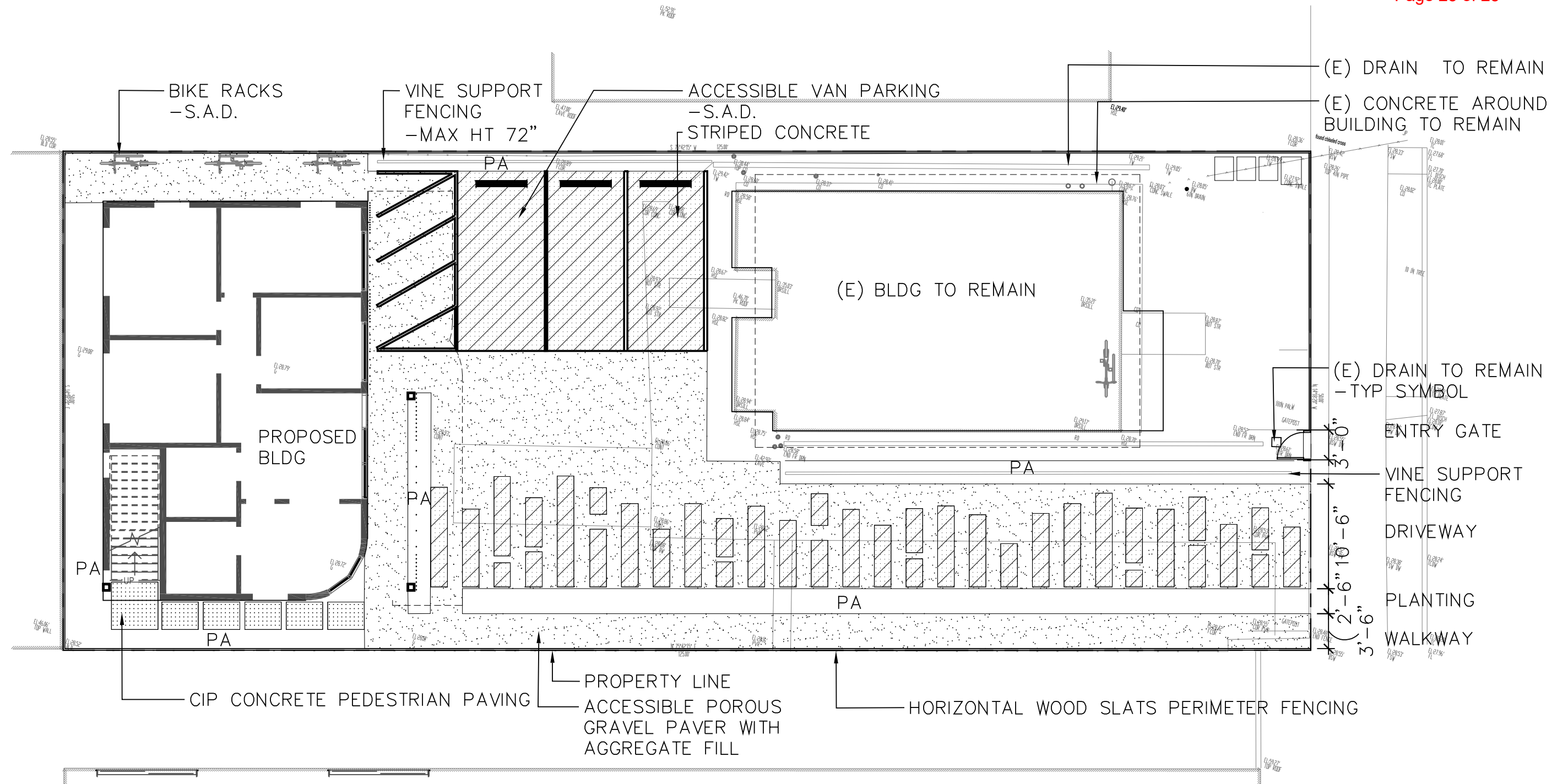


2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

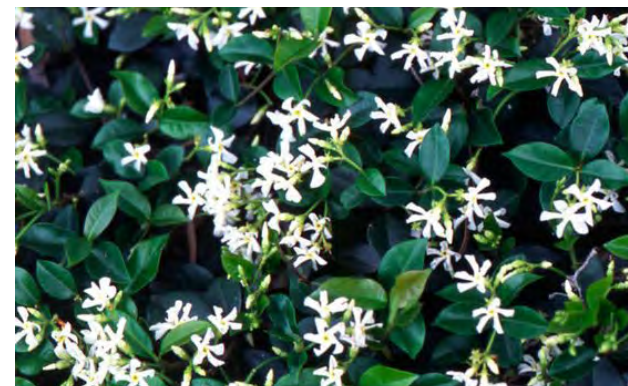
10.15.2019





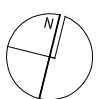
GRASS PLANTING
Carex divulsa + *Pennisetum alopecuroides*

SHADE TOLERANT
Carex dolichostachya, *Mahonia 'Soft Caress'*, *Montia perfoliata*, *Polystichum munitum*



VINE PLANTING

GROUNDCOVER



CITY OF BERKELEY
CITY CLERK DEPT
2019 NOV 19 PM 3:33

Berkeley City Council
Attn: City Clerk
2180 Milvia Street, 1st Floor
Berkeley, CA. 94704

November 19, 2019

Dear City Council Members,

The Redwood Tree Condominium Association (HOA) is appealing the decision made by the Zoning Adjustment Board (ZAB) on October 24th approving Use Permit, # ZP2018-0108 (2422 Fifth Street, West Berkeley). We are appealing for the reasons stated below, and are suggesting solutions in order to generate neighborhood support for the project.

Basis of Appeal:

1. The approval and waiver of 2 required residential parking spaces is based on an invalid parking survey that is out of date and does not accurately assess the current parking demand, or the impact of the proposed development, in the neighborhood.
2. The project does NOT address the affordable housing crisis in Berkeley as suggested in the application and misrepresented by the Applicants at the hearing. The project will produce two new MARKET-RATE residential units, and the vacated existing units will most likely reset to market rate when new construction is complete.
3. The project approved by ZAB is substantially different from the project originally proposed by the Applicants.

Detailed discussion of Appeal points:

1. WAIVER:
 - The proposed project adds 2 market-rate rental apartments and an 840 sf medical office with four treatment rooms to an existing two-unit residential duplex. Under existing zoning codes, the proposed project is required to provide 4 residential parking spaces and 3 parking spaces for the medical office, for a total of 7 parking spaces, including one HC Van Accessible parking space.
 - The project as approved provides only three parking spaces in total, shared between the residential and medical office uses.
 - The approved site plan and layout of the required Handicapped Van Accessible parking space does not comply with current Accessibility codes and the approved site plan is therefore invalid.
 - The Applicants propose a daytime joint ("shared") parking agreement between the residential and medical office uses and ask the City to waive a requirement for two residential spaces based on the parking survey conclusions that there is adequate available street parking capacity.

- The proposed joint parking agreement assumes that all residential parking spaces will be vacant during normal business hours. This is NOT a valid assumption in West Berkeley where many residents walk, bike or commute to work by public transportation, leaving their cars at home during the day, often on the street.
- Even with the proposed joint parking agreement, the project as approved does not provide the code required residential parking at a ratio of one space per residential unit, and will therefore create additional residential parking demand on an already crowded Fifth St.
- The conclusions of Abrams Associates parking survey and the ZAB staff approval of same are invalid because they do not address the proposed project correctly.
 - The proposed medical office indicates three treatment rooms and a “consultation” room.
 - We have consulted with a practicing medical doctor who has advised us regarding the reasonably anticipated patient/traffic flow associated with the proposed medical office.
 - We have been advised that a medical practice with 4 treatment/consultation rooms will typically see 4-7 patients per hour. Including patients waiting for appointments, it is reasonable to anticipate that the parking demand created by the proposed medical facility will be 3-5 vehicles per hours, forcing 2-4 vehicles onto Fifth Street at any given time. Fifth St. is already severely impacted by lack of parking for existing businesses and residents.
 - We are advised that in a facility with 4 treatment/consultation rooms as proposed it would not be uncommon to have one staff assistant and/or an additional practitioner in addition to the primary physician, creating additional parking demand.
 - Of the 3 provided joint spaces indicated on the site plan, one space is a dedicated Handicapped Van Accessible space (24 hours). The Applicant acknowledges that she will generally utilize one on-site parking space when on the premises, leaving only ONE off-street parking space remaining for daytime use by patients, medical staff, and residential tenants (This assumes no additional staff at the medical office). Any residents who need daytime parking, as well as a significant portion of the anticipated patient load, will be forced onto the street during business hours.
 - Since Dr. Gold plans to maintain her existing medical practice in San Francisco, it is reasonable to assume that the Applicant may add another practitioner to expand her practice, or perhaps rent space to an independent practitioner for his/her own similar practice, leading to an even greater parking shortage. It is conceivable that 4 patients, 2 practitioners, and 4 residential tenants (a total of 10 persons) could be vying for two parking spaces (one space if Dr. Gold is also parked on the premises).
 - It is therefore likely that, in practice, there will be 0-1 parking spaces (not including the designated HC Van Accessible space) available on-site during business hours, forcing a minimum of 2-4 vehicles onto the street at any given time. The Abrams parking study does not correctly account for the reasonably anticipated medical office use.

- The conclusions of Abrams Associates parking survey are invalid as they are based on an incorrect description of the project.
 - The Abrams Associates letter dated October 2018 states that the project adds two new residential units to one existing residential unit (total residential units = 3). There are in fact two existing residential units on site and the proposed project adds two additional residential units, resulting in a total of 4 residential units on the completed site.
- The conclusions of Abrams Associates parking survey are invalid because they do not account for new development projects currently under construction or in the pipeline.
 - Street parking is already severely impacted on Fifth St. and is generally at or over capacity due to business employee and customer vehicles, overflow residential parking due to inadequate on-site residential parking in the neighborhood, and commercial/delivery traffic (large vans and semi-tractor trailers) associated with manufacturing and distribution businesses on the surrounding blocks.
 - Fifth St. will continue to become increasingly congested in the future due to development projects already in the pipeline. These include the 14-unit live/work residential building currently under construction at the corner of 5th and Channing, a reconfiguration of the existing industrial/distribution building at the corner of Dwight Way and Fifth St. (2431/2424 Fifth), to multi-tenant use (light manufacturing and wholesale cannabis distribution), a new restaurant at 2326 Fifth, and several other proposed developments anticipated or already in the pipeline along Fifth Street.
- The parking survey prepared by Abrams Associates in March 2018 (updated in October 2018) is out of date and consists of insufficient data to properly assess the actual parking demand in the neighborhood, which has continued to increase rapidly in the 18 months since the original survey was prepared.
 - The survey and its conclusions are based on only four periods of observation over two days (October 17-18, 2018), made during the periods of 1-2pm and 5-6pm. The 1-2pm period is not representative of actual daily parking demand in the area as it falls within the typical lunch "hour" for businesses in the area.
 - The survey does not address the significant commercial parking demand in the immediate area during business hours. Fifth Street between Dwight and Bancroft is often clogged with double parked commercial vehicles due to severe lack of existing off-street parking capacity relative to existing parking demand.
- SOLUTIONS:
 - Redesign the project so that it can accommodate the its own code required off-street parking requirements within the site.
 - Lease additional parking spaces from an adjacent business use with excess or underutilized parking through a LEGITMATE (contractual) shared parking agreement with a nearby business. This should be a condition of approval for any proposed development project that cannot accommodate its own parking requirements on-site.

4. AFFORDABLE HOUSING:

- The four rental units proposed for this project are NOT AFFORDABLE housing units and will not contribute to affordable housing stock in Berkeley.
 - Only one of the units in the duplex on site is currently rented, and the applicants indicated at the hearing that the remaining tenants will vacate when construction begins. The rent on that unit, therefore, will likely reset to market rate, as will the rent on the second existing unit in the duplex when it is rented (currently vacant and being used by the Applicants for storage).
 - The two new units being constructed, while subject to future rent control, will most likely be rented at current market rate, between \$3,500 and \$4,000 per month.
- The Applicants stated at the hearing that by building additional housing units they are contributing to addressing the Berkeley housing availability and affordability issues, implying (and apparently convincing some ZAB commissioners) that they were providing affordable housing units. This is not the case! The newly constructed residential units (and probably the existing units) will be MARKET-RATE rental units, NOT "Affordable" units as defined by law.

5. PROPOSED PROJECT:

- The proposed project is substantially different than the project originally proposed.
- The project has an additional residential unit (total 4 units) and has less on-site parking than proposed in the original application.
- Adjacent neighbors have valid concerns related to the proximity and size of the proposed new building, particularly to the design (materials, colors, windows, etc.) south elevation which is in close proximity to existing Redwood Tree Studio units.
- SOLUTIONS:
 - Approval should be conditioned on the Applicants working with the neighbors to address and mitigate material, color, and privacy concerns associated with the proximity of the new building to adjacent buildings immediately to the south and north of the proposed project.

Conclusions:

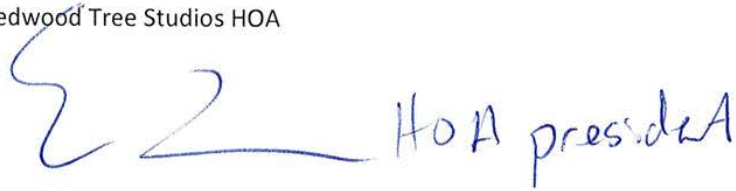
A quick survey of the 4th and 5th street neighborhood north of Dwight Way and south of Channing Street yielded 28 signatures from concerned residents, business owners, and tenants who believe that the parking situation is already untenable. [See attached signature pages.] This neighborhood is changing very, very rapidly and ignoring or understating the concerns of its residents and business operators would, we respectfully submit, be unfair.

We welcome the Golds as neighbors and are happy to have Dr. Gold's practice, as well as new residential units, added to the neighborhood. However, we believe that there is additional work to be done in order to create the best possible project for the Applicants and the neighborhood.

We urge the Council to acknowledge the concerns of the surrounding neighborhood by overturning the ZAB approval and sending the proposed project back into the planning process the concerns expressed above and create a more compatible project.

Respectfully submitted:


Redwood Tree Studios HOA

A handwritten signature in blue ink, consisting of a stylized, cursive name followed by the text "HOA president".

I live within 300 feet of the proposed building project at 2422 Fifth Street in Berkeley, California. I support the appeal filed by the Redwood Tree Homeowner's Association.

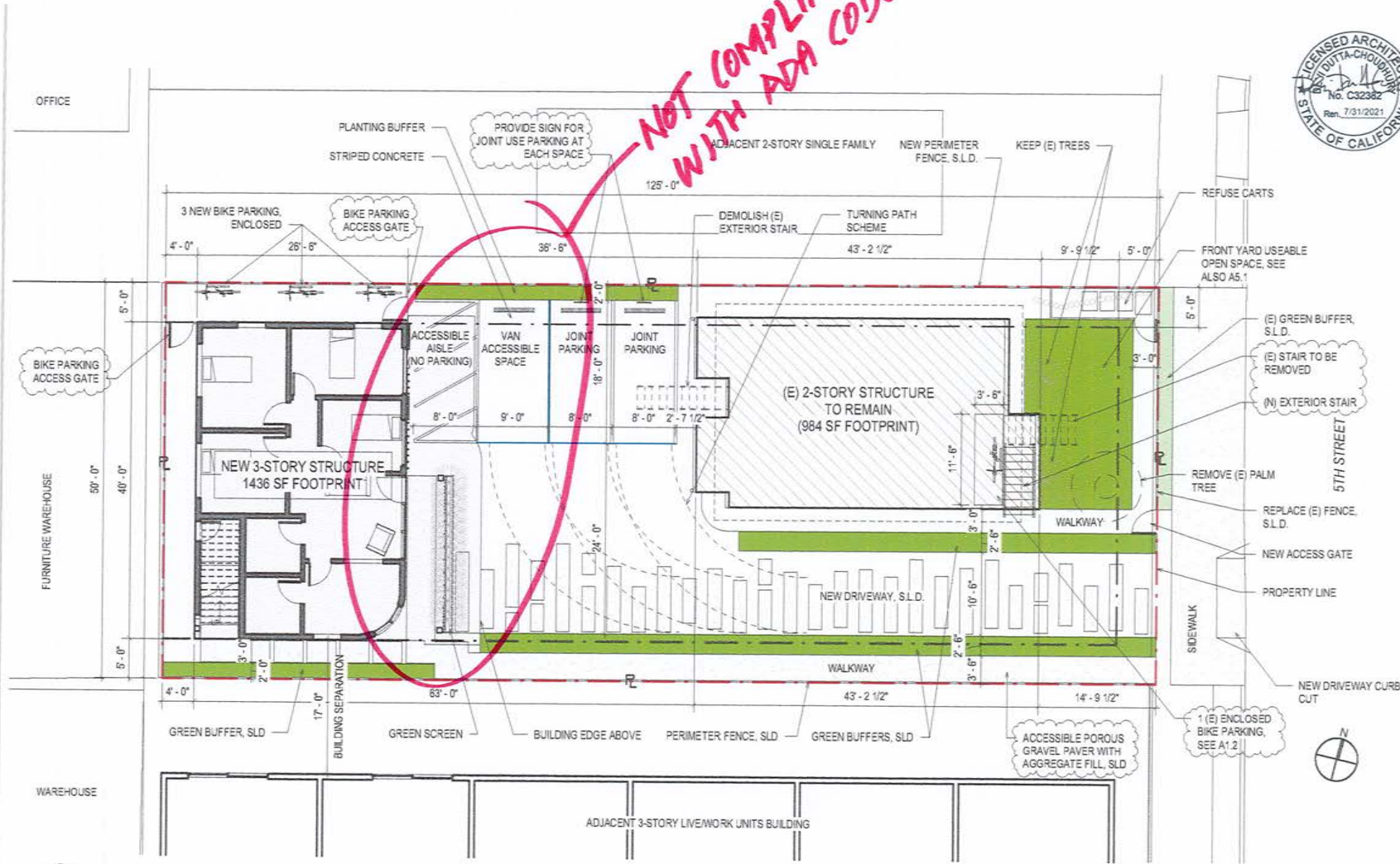
1. Carol A. Moon
2. Ann [unclear]
3. [unclear]
4. Thum Lee
5. Ellen Fullman
6. Barbara Allen
7. Louisa M. Carlson
8. Yancy Roland
9. Anthony Altop
10. Hollan Chen
11. Sonja Nassuba.
12. Frieda [unclear]
13. [unclear]
14. He-Sook Lee
15. ESTELLE BAINE

I live within 300 feet of the proposed building project at 2422 Fifth Street in Berkeley, California. I support the appeal filed by the Redwood Tree Homeowner's Association.

1. Edward Dean
2. Ganga Hojmyrsky Cohen
3. ~~Jacob~~
4. Glen Alwin
5. Grace Blair
6. Dinde Stett
7. Clark Stull
8. Dominic Stull
9. Dorian Stull
10. Tustin Avon
11. Katch Gray
12. Kit Kipp
13.  Eric Mason
- 14.
- 15.



NOT COMPLIANT WITH ADA CODES.



A1.1

PROPOSED SITE PLAN

SCALE: 3/32" = 1'-0"

2422 5TH STREET

Devi Dutta Architecture Inc.

Zoning Submittal

09.06.2019

2430 - 5th Street - Suite E

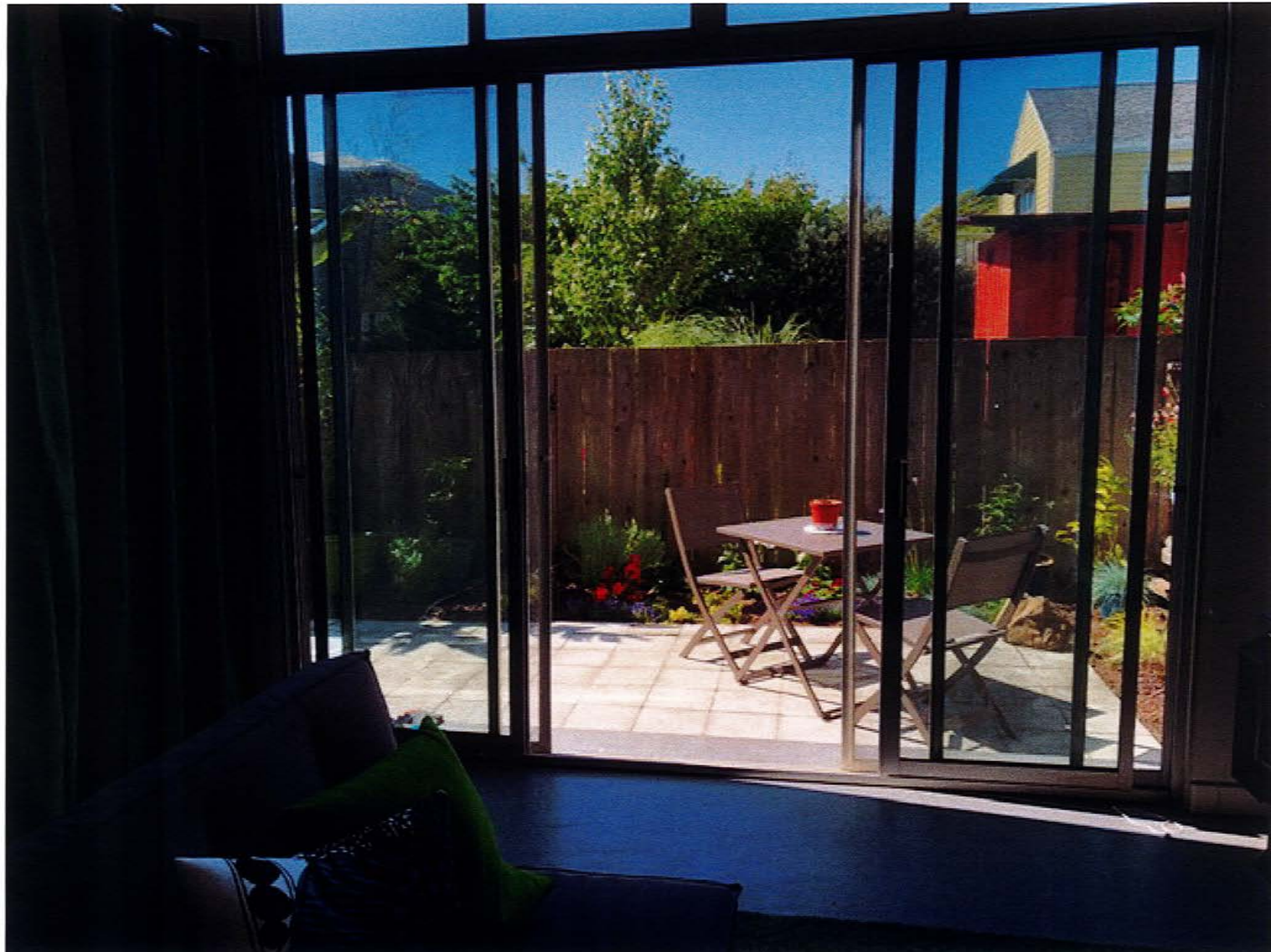
Ground Floor Patio
facing North



2430-5th. Street, Suite E

Ground Floor Patio
facing North

Page 2 of 7



2430-5th Street, Suite E

2nd Floor - Kitchen Window
Facing North



2430-5th Street, Suite E

2nd Floor - Kitchen Windows
Facing North



Page 4 of 7

2430 - 5th Street, Suite E

3rd Floor Bedroom Window
Facing North



Page 5 of 7

2430- 5th Street, Suite E

3rd Floor Bedroom Window
Facing North



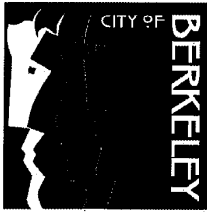
Page 6 of 7

2430-5th Street, Suite E

3rd Floor Bedroom Window
Facing North



Page 7 of 7



City Clerk Department

December 4, 2019

Eric Mason
Redwood Tree Studios HOA
2430 Fifth Street, Suite F
Berkeley, CA 94710

RE: 2422 Fifth Street – Appeal ZAB Decision Use Permit # #ZP2018-0108

Dear Appellant:

This will acknowledge receipt of your appeal of the Zoning Adjustments Board decision of October 24, 2019, approving the following permits:

- Administrative Use Permit under BMC 23E.28.060 to allow a joint parking agreement to satisfy the off-street parking requirement;
- Administrative Use Permit under BMC 23E.84.030.A to establish a new medical office space that is 5,000 square feet or less;
- Use Permit under BMC 23E.84.030.A to establish a mixed-use building;
- Administrative Use Permit under BMC 23E.84.030.A to create two new dwelling units; and,
- Use Permit under BMC 23E.84.080.F to waive two residential parking spaces.

Your appeal has been referred to the Planning Department.

The Planning Department will transmit to Council a statement setting forth the reasons for the Zoning Adjustments Board decision. This report, as well as a copy of the appeal, will appear on the Council agenda of **February 25, 2020**.

This meeting of the Council will commence at 6:00 p.m. and will be held in the School District Board Room located at 1231 Addison Street. Pursuant to the City Council Rules of Procedure, this appeal will appear on the City Council's agenda as a public hearing. Time shall be provided for five-minute presentations each by the appellant and applicant. Where the appellant is not the applicant, the appellants collectively shall have five minutes to comment and the applicant shall have five minutes to comment. Where the appellant is the applicant, the applicant/appellant shall have five minutes to comment and the persons supporting the action of the board or commission on appeal shall have five minutes to comment.

After the conclusion of the five-minute comment periods, members of the public may comment on the appeal. Up to ten (10) speakers may speak for two minutes. If there are more than ten persons interested in speaking, the Presiding Officer may limit the public

RE: 2422 Fifth Street – Appeal ZAB Decision Use Permit # #ZP2018-0108

Page 2

comment for all speakers to one minute per speaker. Speakers are permitted to yield their time to one other speaker, however no one speaker shall have more than four minutes.

The Council will then deliberate and determine to do one of three things: 1) continue the public hearing; 2) based on the record of the Council's consideration and hearing, reverse or affirm, wholly or partly, or modify any decision, determination, condition or requirement of the Board's original action; or 3) remand the matter to the Board to reconsider the application, or any revisions thereto submitted after the Board's action.

Communications to the City Council that are received by the City Clerk pursuant to the following deadlines will be accepted and distributed as follows:

Submission Deadline	Distributed	Packet
February 10, 2020, by 5:00 p.m. (Monday)	Twelve days before the meeting (Thursday)	Agenda Packet
February 18, 2020, by 5:00 p.m. (Tuesday)	Five days before the meeting (Thursday)	Supplemental 1
February 24, 2020, 12:00 p.m. (Monday)	By 5:00 pm the day before the meeting (Monday)	Supplemental 2

If the communication includes maps or photos or any other material not reproducible on a copy machine, fifteen copies should be provided to the City Clerk. Communications should be submitted directly to the City Clerk to ensure receipt by all Councilmembers.

If you have any additional questions regarding this matter, please do not hesitate to contact me at (510) 981-6908.

A copy of the staff report and a City Council agenda will be available in this office after 4:00 p.m. on Thursday, February 13, 2020 or can be viewed on our website at: www.CityofBerkeley.info/CityCouncil.

Sincerely,



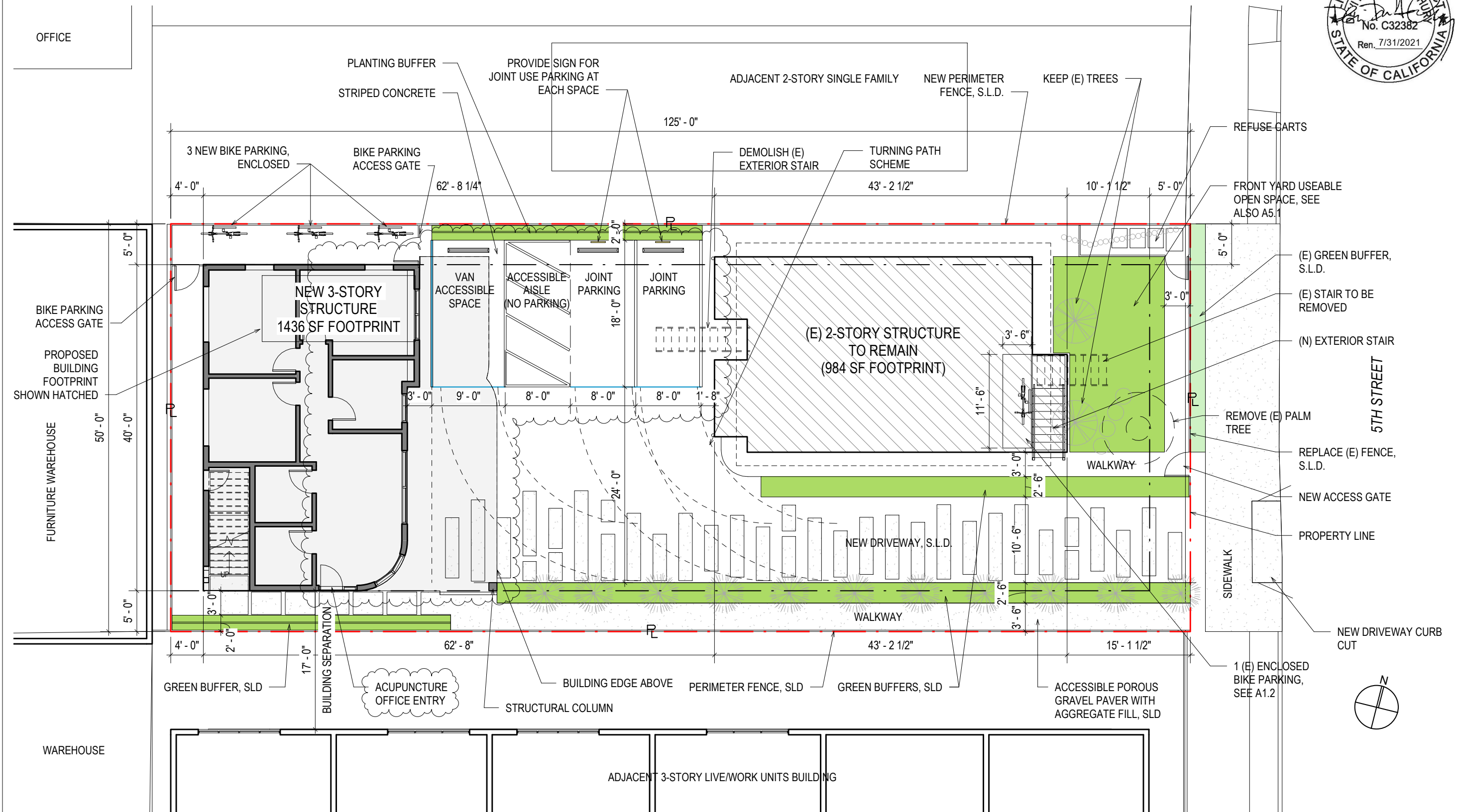
Mark Numainville
City Clerk

cc: Timothy Burroughs, Director of Planning
Steven Buckley, Land Use Planning Manager
Sharon Gong, Staff Planner
Farimah Brown, City Attorney
Devi Dutta Architecture (Applicant)
Anna and Carl Gold (Owner)

RE: 2422 Fifth Street – Appeal ZAB Decision Use Permit # #ZP2018-0108

Page 3

NOTICE CONCERNING YOUR LEGAL RIGHTS: If you object to a decision by the City Council to approve or deny an appeal, the following requirements and restrictions apply: 1) Pursuant to Code of Civil Procedure Section 1094.6 and Government Code Section 65009(c)(1)(E), no lawsuit challenging a City decision to deny or approve a Zoning Adjustments Board decision may be filed and served on the City more than 90 days after the date the Notice of Decision of the action of the City Council is mailed. Any lawsuit not filed within that 90-day period will be barred. 2) Pursuant to Government Code Section 66020(d)(1), the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period. 3) In any lawsuit that may be filed against a City Council decision to approve or deny a Zoning Adjustments Board decision, the issues and evidence will be limited to those raised by you or someone else, orally or in writing, at a public hearing or prior to the close of the last public hearing on the project.



A1.1 PROPOSED SITE PLAN

SCALE: 3/32" = 1'-0" 0 4 8 16 32

2422 5TH STREET TOWNHOMES AND WELLNESS OFFICES

Devi Dutta Architecture Inc.

Zoning Submittal-Revised sheets

01.10.2020



March 21, 2019

Devi Dutta-Choudhury
Devi Dutta Architecture, Inc.
928 Carleton Street
Berkeley, CA 94710

Re: On-Street Parking Occupancy Surveys for the Proposed Project at 2455 5th Street in the City of Berkeley

This report summarizes the results of the parking surveys for the proposed development to be located at 2422 Fifth Street in the City of Berkeley. The proposed project involves constructing two additional apartments on the site along with 929 square feet of medical office space. The residential area would include 2,170 square feet resulting in a total of 3,099 square feet for the building. The purpose of this report is to support a request to waive the requirement for 2 additional residential parking spaces as per Section 23E.84.080.F of the Berkeley Municipal Code which states the following: *“If the Zoning Officer or Board finds that existing evening parking supply is adequate and/or that other mitigating circumstances exist on the property, the requirement for an additional off-street parking space may be waived through a Use Permit when an additional residential unit is added to a property with one or more residential units.”* The project is also requesting to joint park 3 commercial and 2 residential parking spaces under an amended use permit as per Section 23E.28.060 of the Berkeley Municipal Code.

On-Street Parking Surveys - In order to evaluate the local parking situation on-street parking occupancy surveys were conducted based on the standard guidelines specified by the City of Berkeley. This survey included a detailed inventory of all on-street and public off-street parking within one block of the project site. The study involved a block-by-block survey of the number and types of spaces and the current parking occupancy conditions on weekday afternoons and weekday evenings.

The surveys were conducted on Wednesday October 17, 2018, Saturday, March 16, 2019, Sunday March 17, 2019, and Thursday March 21, 2019. The surveys indicated there are approximately 153 on-street parking spaces located within about one block of the project site. The weekday surveys found the highest occupancy levels on a Thursday during the afternoon between 1:00 and 2:00 PM. At this time there were about 129 spaces (84%) that were occupied, and about 24 spaces available. During the early evening between 5:00 and 6:00 PM, about 86 of the 153 on-street parking spaces were occupied, which is an occupancy rate of 56%, with about 67 available on-street spaces. During the late evening between 8:00 and 9:00 PM, about 97 of the 153 on-street parking spaces were occupied, which is an occupancy rate of 63%, with about 56 available on-street spaces. The Saturday and Sunday surveys were very

Page 2 of 2 – 2455 5th Street Parking Surveys

Abrams Associates
TRAFFIC ENGINEERING, INC.

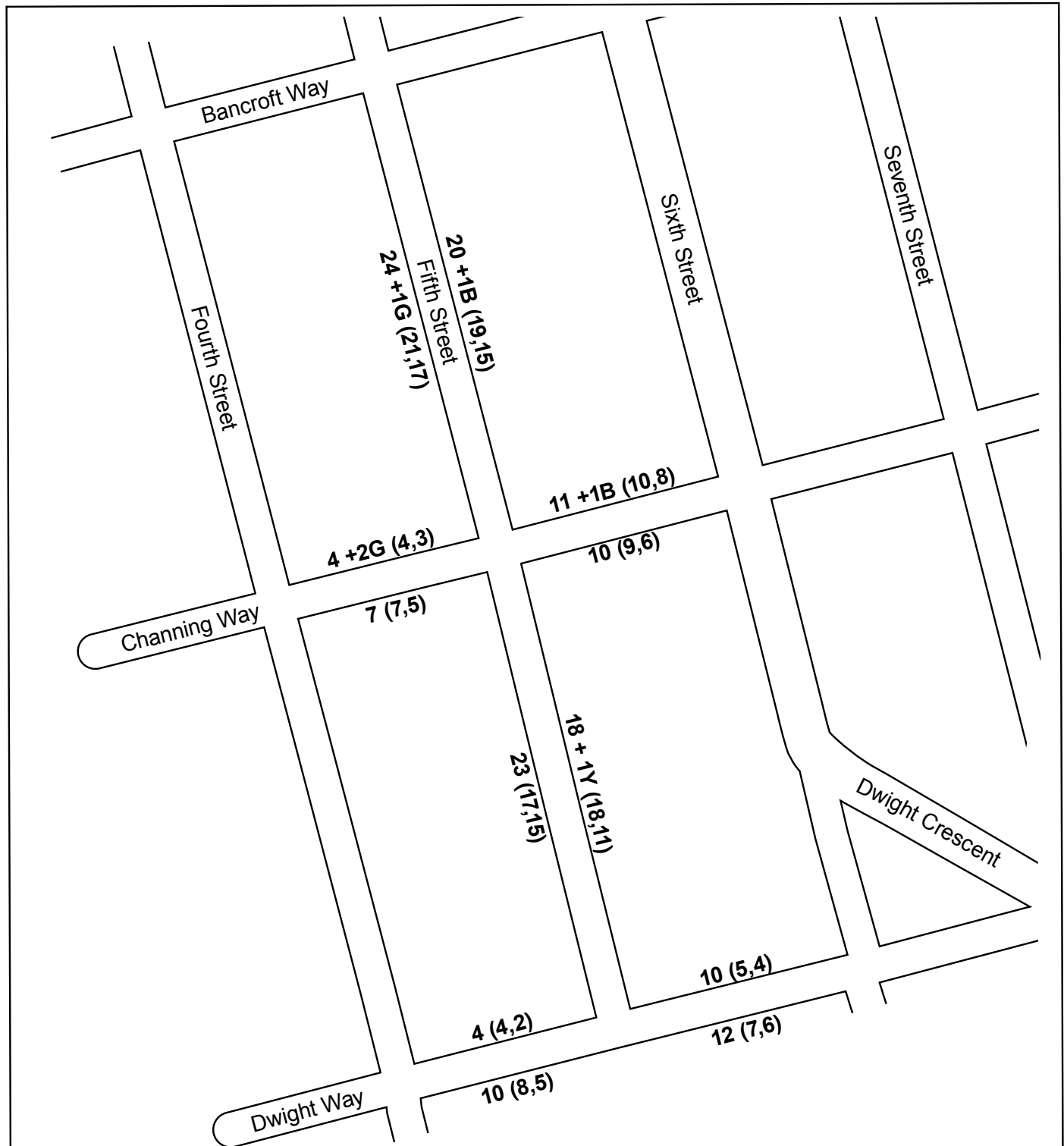
similar to each other and had lower occupancy levels than the weekday surveys. Those surveys found the highest weekend occupancy levels were during the afternoon on Saturday between 1:00 and 2:00 PM when there were about 64 spaces (42%) that were occupied, and about 89 spaces available. During the evening between 5:00 and 6:00 PM, about 54 of the 153 on-street parking spaces were occupied, which is an occupancy rate of 35%, with about 99 available on-street spaces. The detailed survey results are attached to this report.

Please don't hesitate to contact me if you have any questions or need additional information.

Sincerely,

A handwritten signature in black ink that reads "Stephen Abrams". The signature is written in a cursive, flowing style.

Stephen C. Abrams
President, Abrams Associates
T.E. License No. 1852



Legend

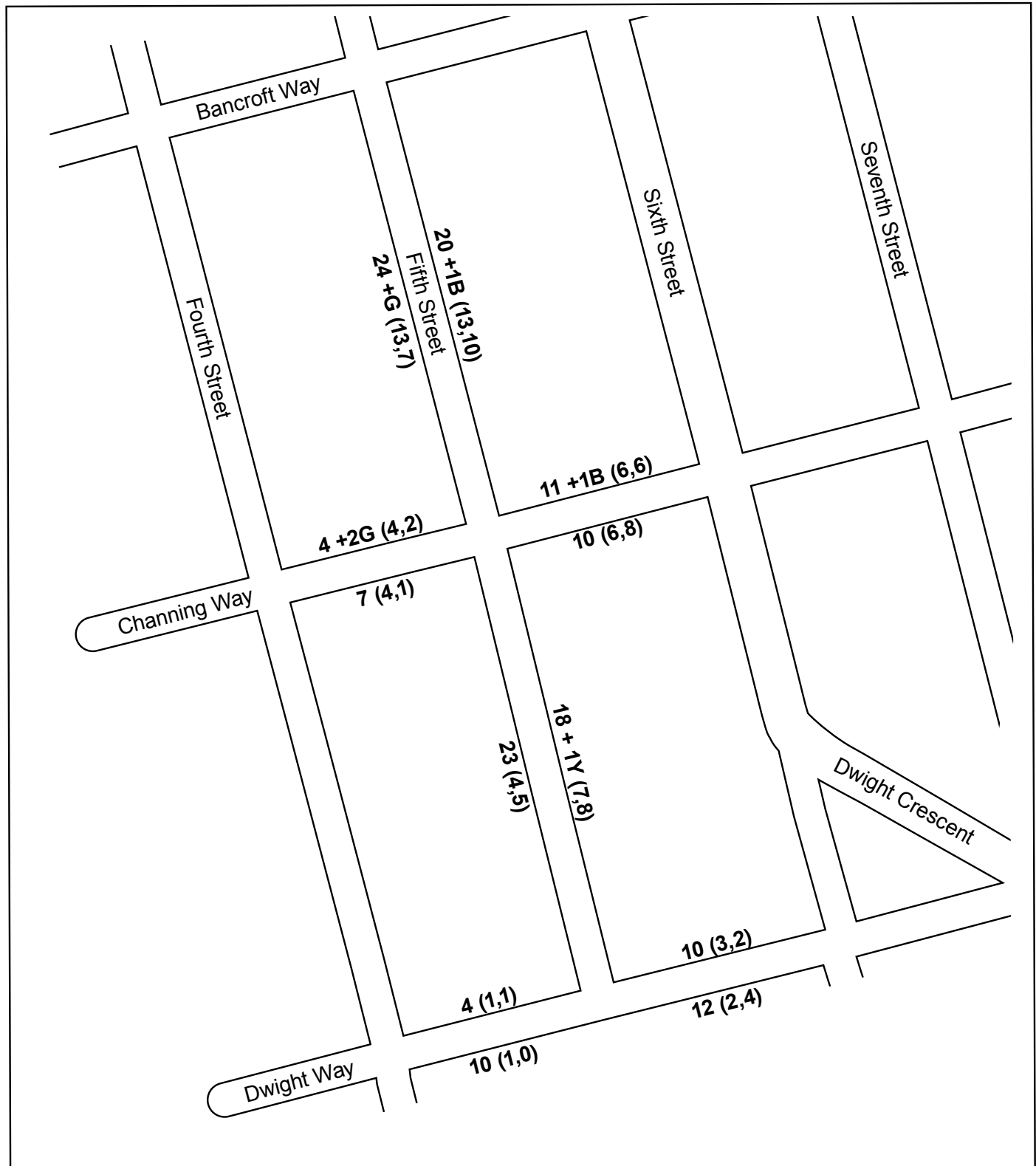
- M - Meters
- B - Handicapped
- Y - Loading Zone
- W- Passenger Loading
- G - Green Zone
- P - Permit Parking
- NP - No Parking
- XX (YY, ZZ) - Supply (Occupancy on Tues Mar 21th: 1:30PM, 8:00PM)

	3-21-19 (1:30 PM)	3-21-19 (8:00 PM)
Total Supply:	153	153
Total Demand:	129	97
Net Vacant Spaces:	24	56

City of Berkeley

On-Street Parking Occupancy

MAR 2019 Prepared by: Abrams Associates

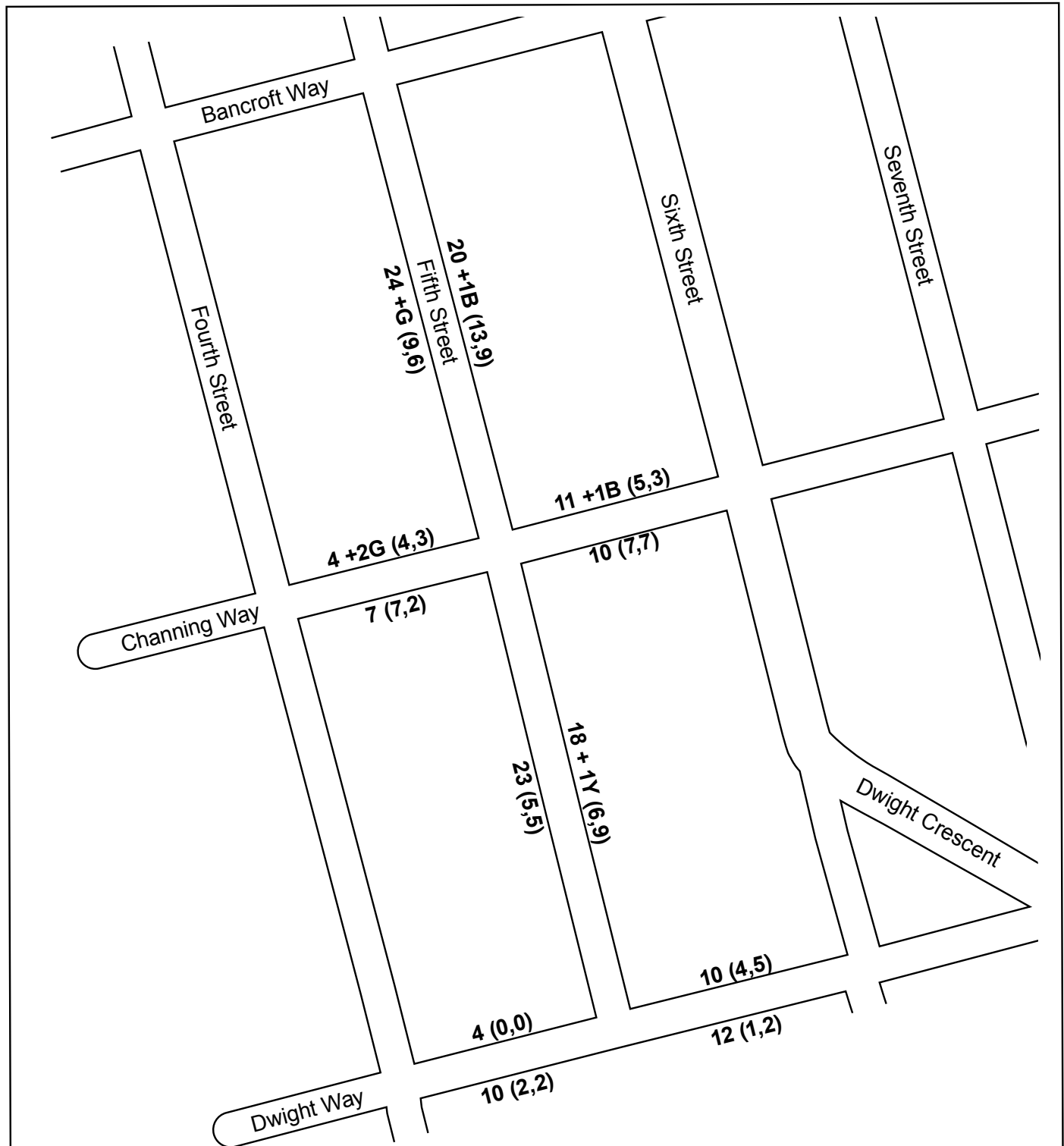


Legend

- M - Meters
- B - Handicapped
- Y - Loading Zone
- W- Passenger Loading
- G - Green Zone
- P - Permit Parking
- NP - No Parking
- XX (YY, ZZ) - Supply (Occupancy on Sat Mar 16th: 2:30PM, 8:00PM)

	3-16-19 (2:30 PM)	3-16-19 (8:00 PM)
Total Supply:	153	153
Total Demand:	64	54
Net Vacant Spaces:	89	99

City of Berkeley	
On-Street Parking Occupancy	
MAR 2019	Prepared by: Abrams Associates



Legend

- M - Meters
- B - Handicapped
- Y - Loading Zone
- W - Passenger Loading
- G - Green Zone
- P - Permit Parking
- NP - No Parking
- XX (YY, ZZ) - Supply (Occupancy on Sun Mar 17th: 1:00PM, 6:00PM)

	3-17-19 (1:00 PM)	3-17-19 (6:00 PM)
Total Supply:	153	153
Total Demand:	63	53
Net Vacant Spaces:	90	100

City of Berkeley

On-Street Parking Occupancy

MAR 2019 Prepared by: Abrams Associates