

North Berkeley BART Draft Objective Design Standards

September 2023



Agenda

Welcome and Presentations (6pm– 7pm)

- >City of Berkeley: Draft Objective Design Standards
- >North Berkeley Housing Partners (NBHP): Revised Development Concept

Community Open House (7pm – 8pm)

Visit topical information stations and provide feedback about the draft Objective Design Standards and the updated design concept to the City, and to the NBHP team and BART.

Note: Following tonight's meeting, all meeting materials will be available online and we'll share information about additional "office hours" and other opportunities to ask questions and provide feedback

Introduction

- Planning Process
- Policy Framework
- Draft Objective Design Standards

Planning Process | North Berkeley BART

Illustrative Timeline – Subject to Change



2020-2022

2023

2024 and Beyond

Preliminary Planning

Developer Selection

Project(s) Design and Development Approvals

Ashby & North Berkeley BART:

- \$53M in City Affordable Housing \$
- R-BMU Zoning
- Joint Vision and Priorities
- MOA

North Berkeley BART Request for Qualifications (RFQ) Process

North Berkeley BART Objective Design Standards Development and Adoption

Developer Applications

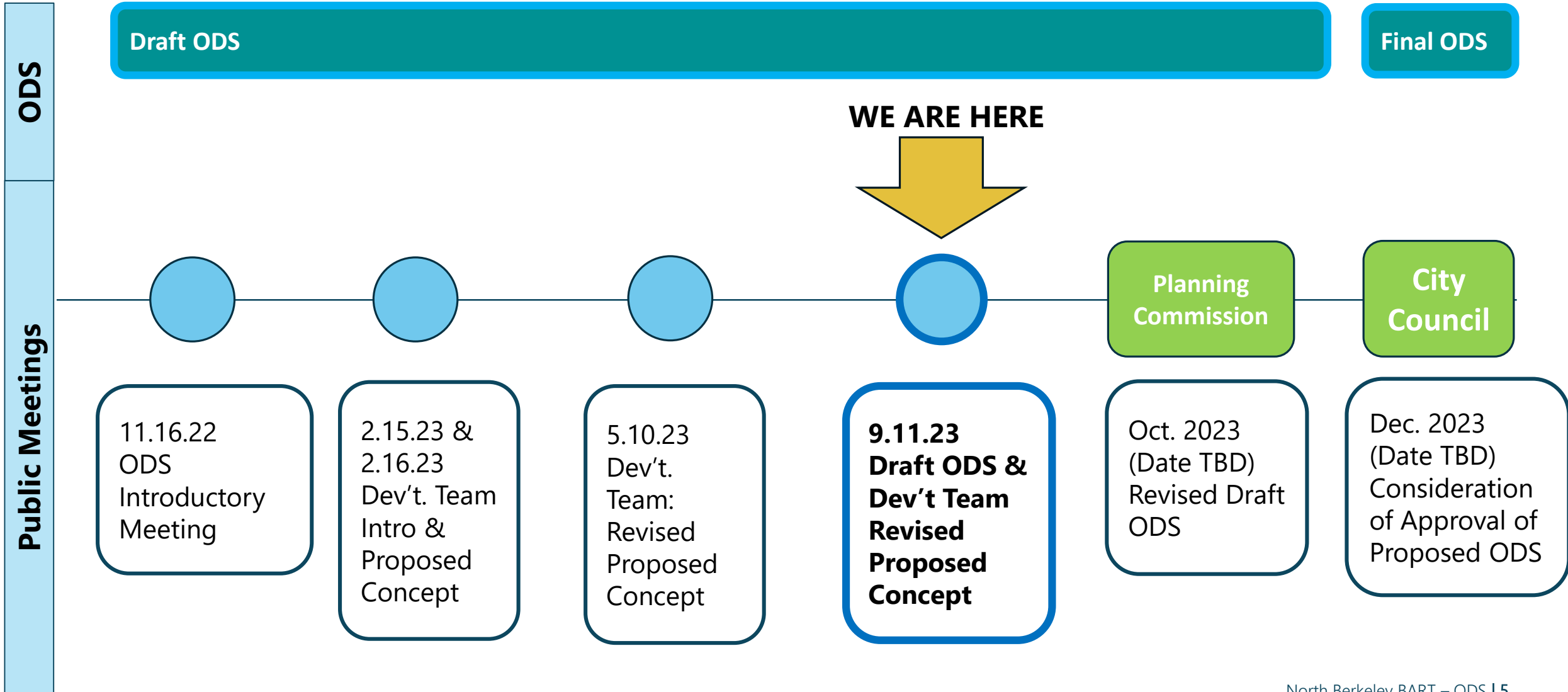
Project Approvals and Entitlements

Phased Financing and Construction (2025+)



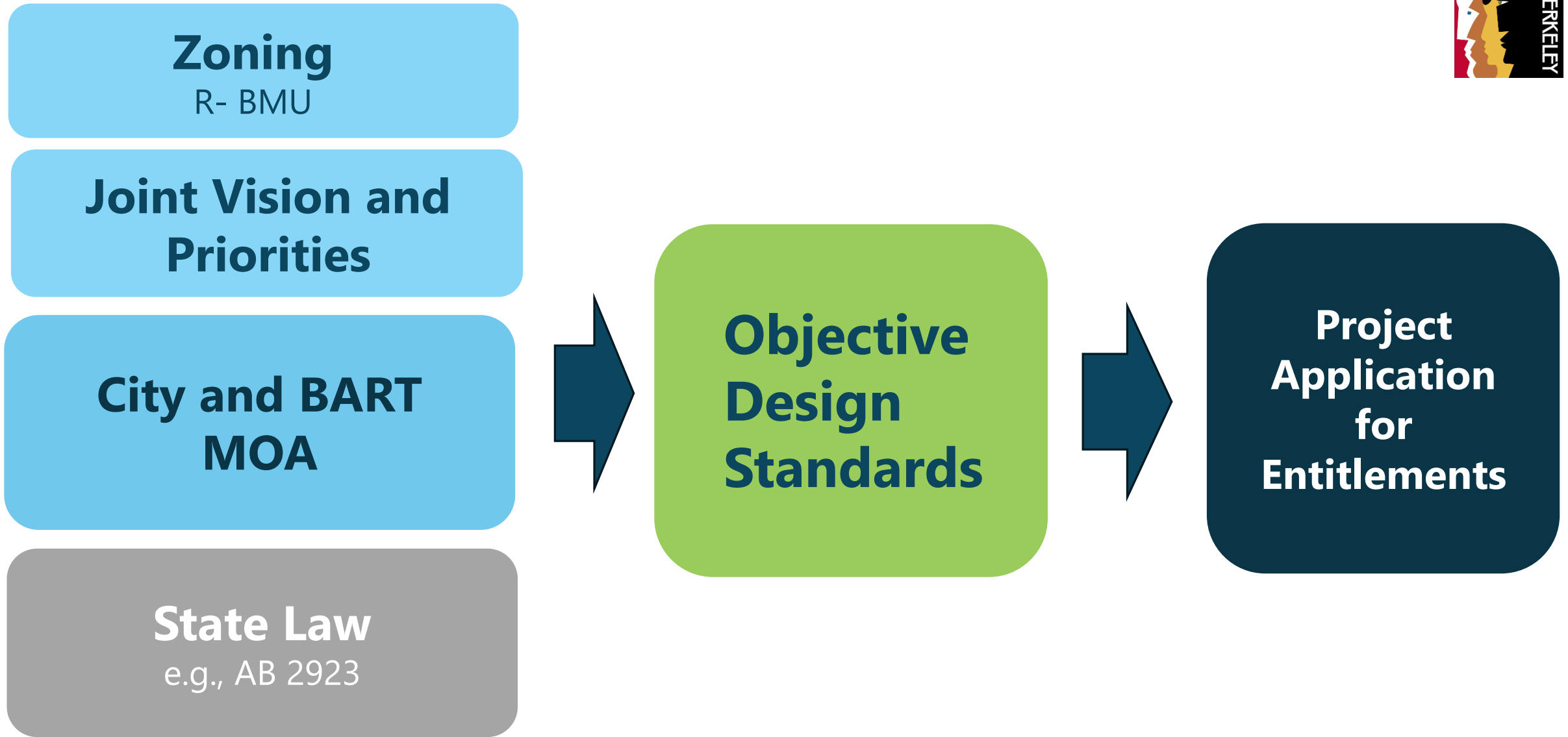
MOA = Memorandum of Agreement between the City and BART (June 2022)

Planning Process | NB Objective Design Standards



Objective Design Standards Framework

- Zoning
- Joint Vision and Priorities (JVP)
- June 2022 Memorandum of Agreement
- State Laws
- Project Feasibility



PROJECT FEASIBILITY

Role of the Objective Design Standards



- To synthesize the zoning, the Joint Vision and Priorities, the MOA and community input into standards that will guide development.
- To balance potentially competing priorities, considering trade-offs and project feasibility.



DRAFT Objective Design Standards

Introduction

- Site Context
- Policy Framework

PART 1: Intent

- ODS Intent and Objectives
- Link to JVP/Zoning

PART 2: Objective Design Standards

- Definitions
- Public Realm Standards
- Building Design Standards

Neighborhood Context



Sacramento Street

- Very wide street with median
- Higher traffic

Delaware Street

- Wide street
- Through street
- South of project area
- Robust street trees

Acton Street

- Narrow street
- Minimal street trees

Virginia Street

- Mixed street trees
- Frontage includes front and side yards



Public Realm Standards

PUBLIC REALM

Internal Connections

Public circulation network and internal streets

Streetscape/ Sidewalk Design

Sidewalk width and street tree planting area

Building Setbacks

Distance a building façade is setback from sidewalk

BUILDING DESIGN

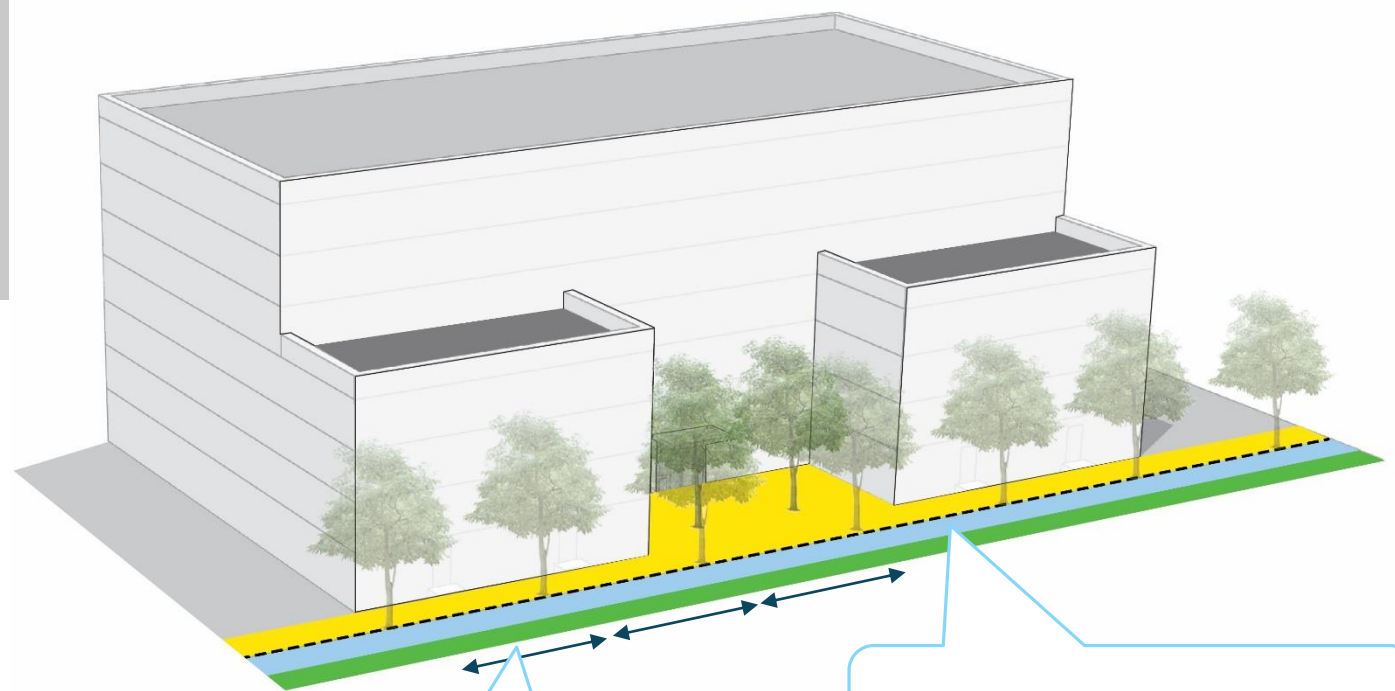
Building Height

Building Massing and Articulation

- Upper floor step backs
- Building length
- Massing Breaks
- Building Articulation

Design Elements

Fenestration, materials, and utilities



- Setback
- Sidewalk
- Planter

Planting

Sidewalk Width



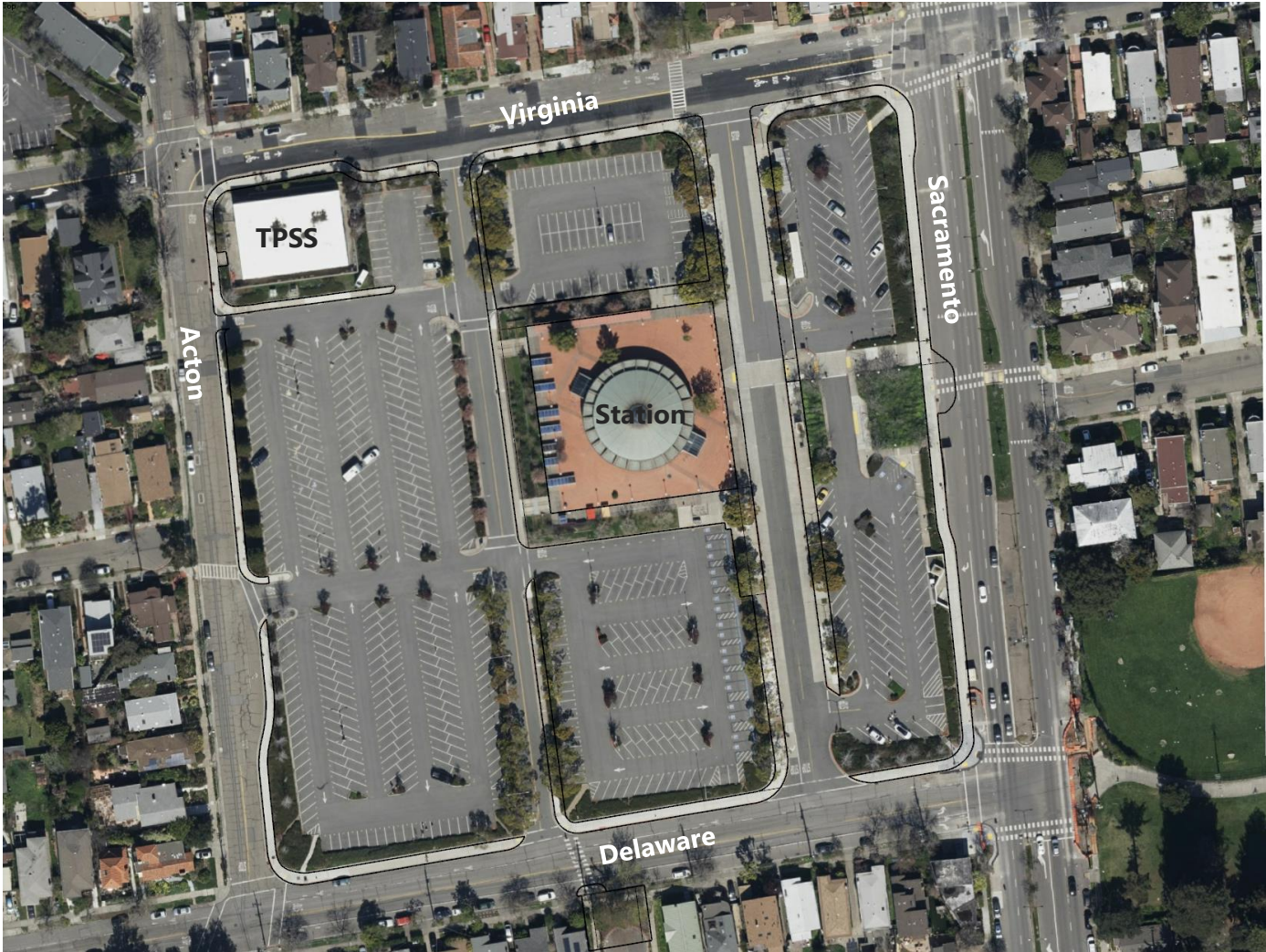
Public Circulation Network



- Intent**
- Ensure access for all users and modes
 - Connect Ohlone Greenway
 - Connect station entrance and key public and pedestrian facilities
 - Establish smaller blocks

- Mid-block Connections** *(Location may vary)*
- Secondary Internal Connection**
(May not be needed depending on location of Mid-Block Connection, Location may vary)
- Ohlone Greenway Connection** *(Location may vary)*

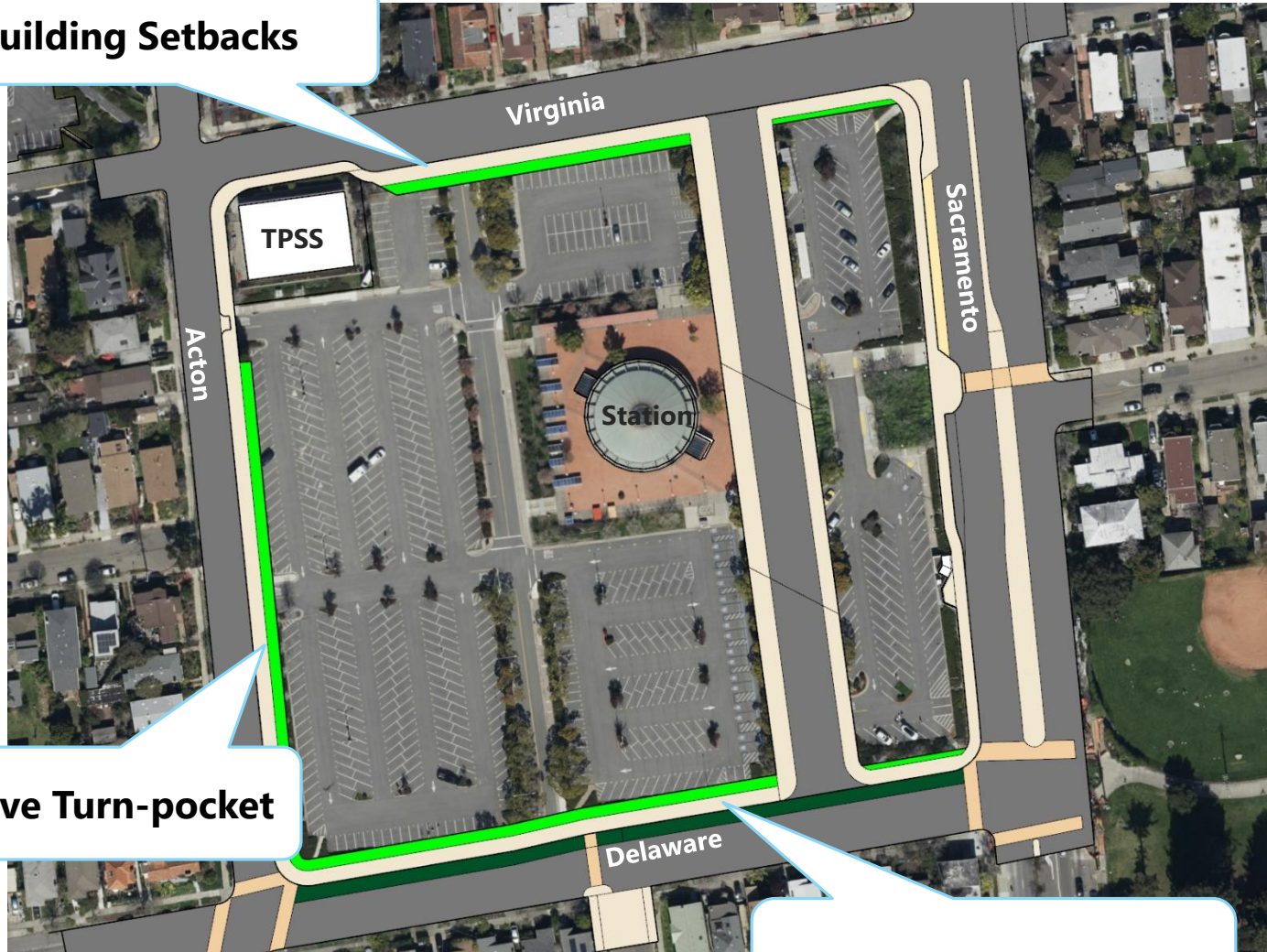
Streetscape/ Sidewalk Design



EXISTING SIDEWALKS

Streetscape/ Sidewalk Design

Building Setbacks



Remove Turn-pocket

Improved Sidewalks

Intent

- Create desirable and comfortable public sidewalks
- Create a sidewalk character that complements the urban form of the neighborhood
- Create sidewalks and building setbacks that fit the new scale of development and consistent with zoning

Trade-offs

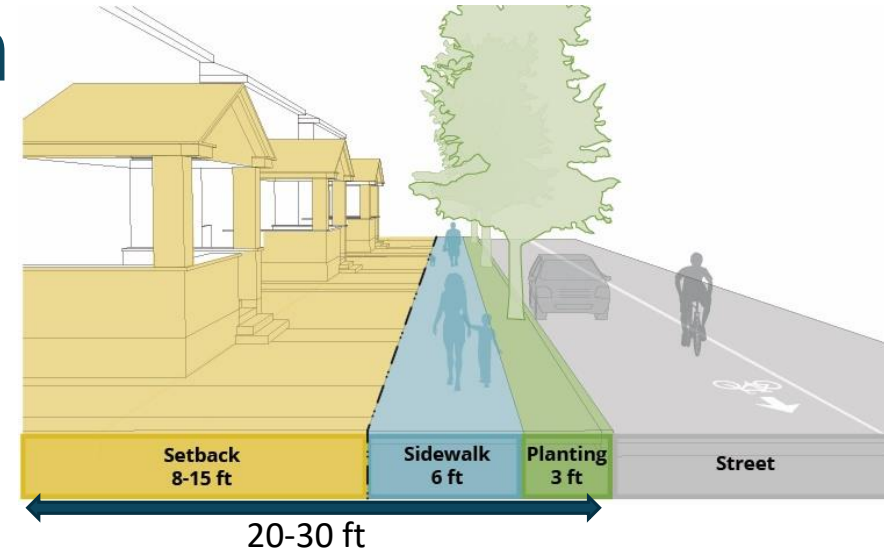
Sidewalk width and building setbacks limit developable area and therefore may result in smaller and/or fewer homes

PROPOSED CONNECTIONS

Streetscape/Sidewalk Design

Context

Sidewalk/Planting Buffer:	9-10 ft
<u>Building Setback:</u>	<u>8-15 ft (some at 20 ft)</u>
Curb-to-building:	20-30 ft**

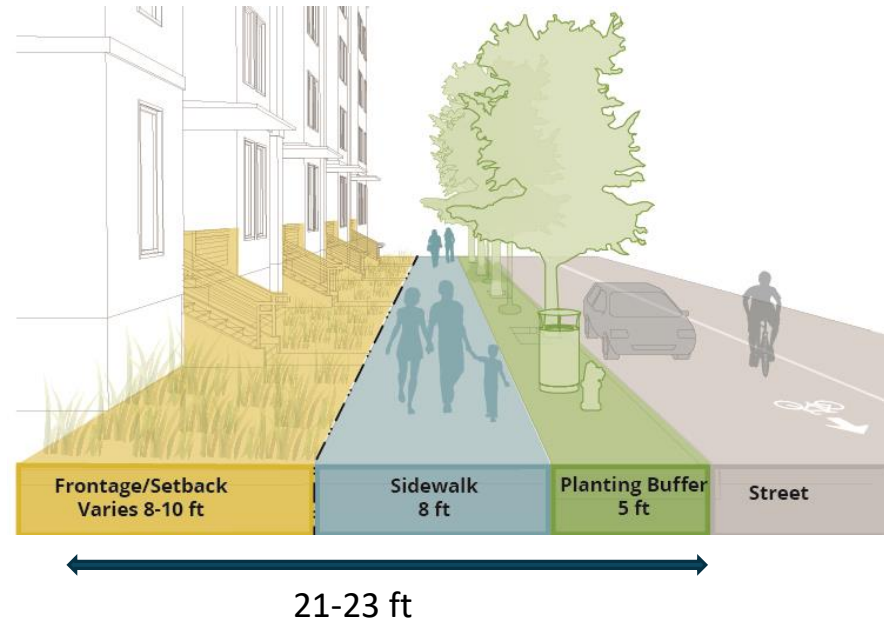


DRAFT ODS | 9.11.23

Delaware/Acton/Virginia

ODS Requirement

Sidewalk:	8 ft
Planting Buffer:	5 ft*
<u>Building Setback:</u>	<u>varies by height of building</u>
Curb-to-building:	21-23 ft



* Street trees required in planting buffer

**1-story entry way encroaches up to 5' from sidewalk

Building Setbacks

12 ft sidewalk, 5 ft setback



12 ft sidewalk, 20 ft setback



12 ft sidewalk, 8 ft setback



~10 ft setback

Intent

- Ensure smooth transition from public to private space
- Encourage interesting street facing frontages and landscape
- Create a sidewalk character that compliments the urban form of the neighborhood
- Create sidewalks and building setbacks that fit the new scale of development

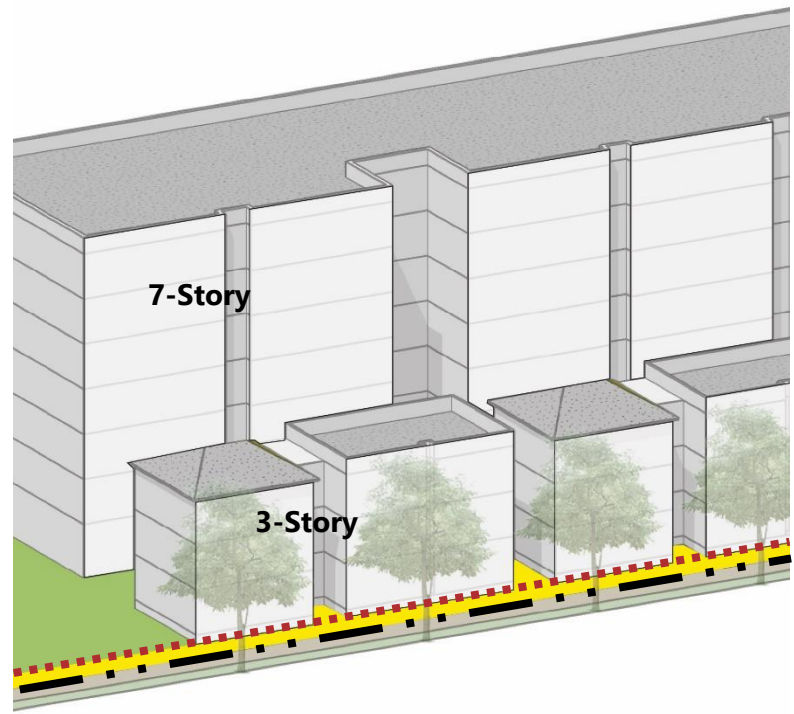
Trade-offs

Building setbacks may result in smaller buildings and therefore, smaller and/or fewer homes



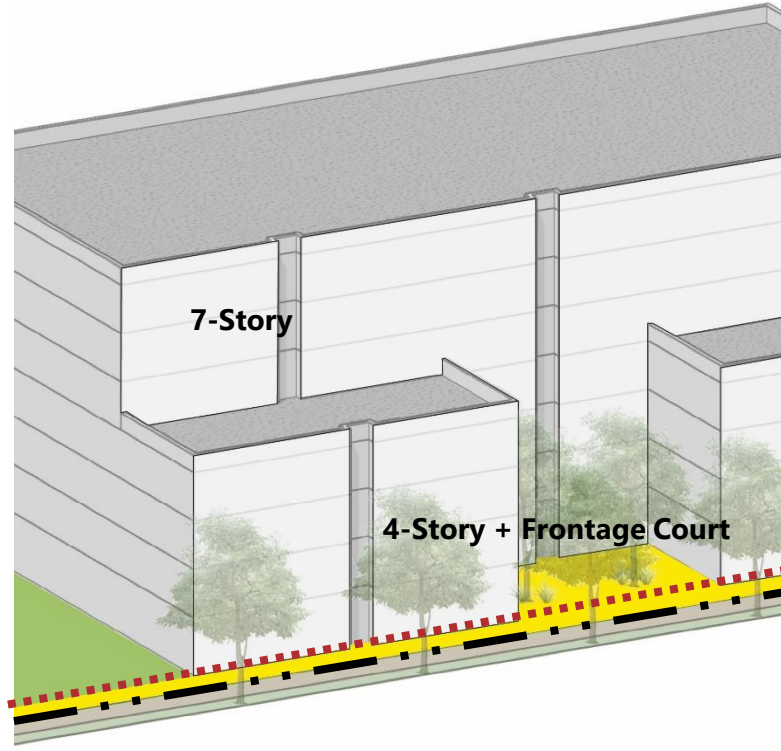
Building Setbacks

3-Story Frontage



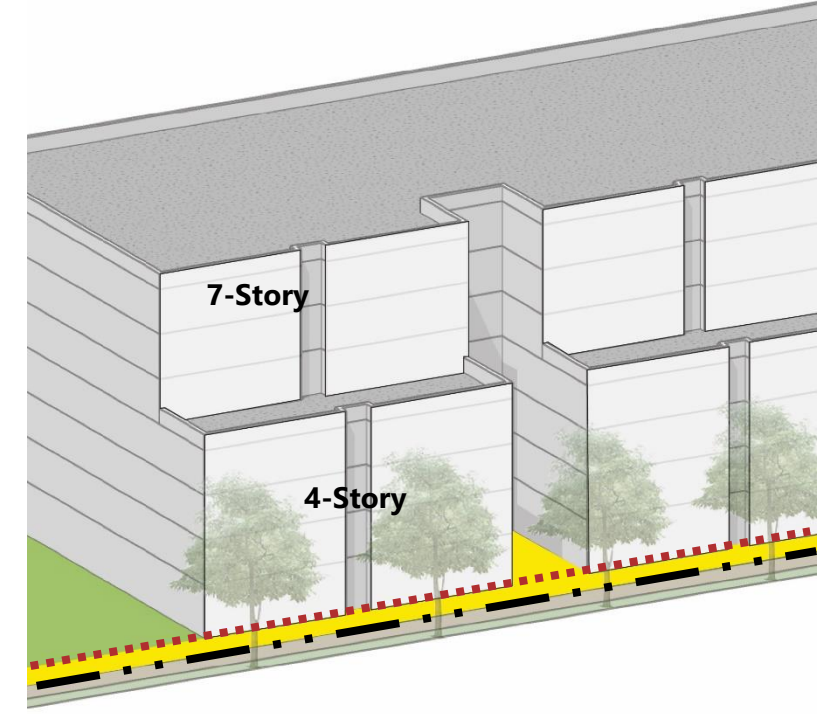
Average 8 ft Setback

Frontage Court Building



Average 8 ft Setback + required frontage courts

4-Story Frontage

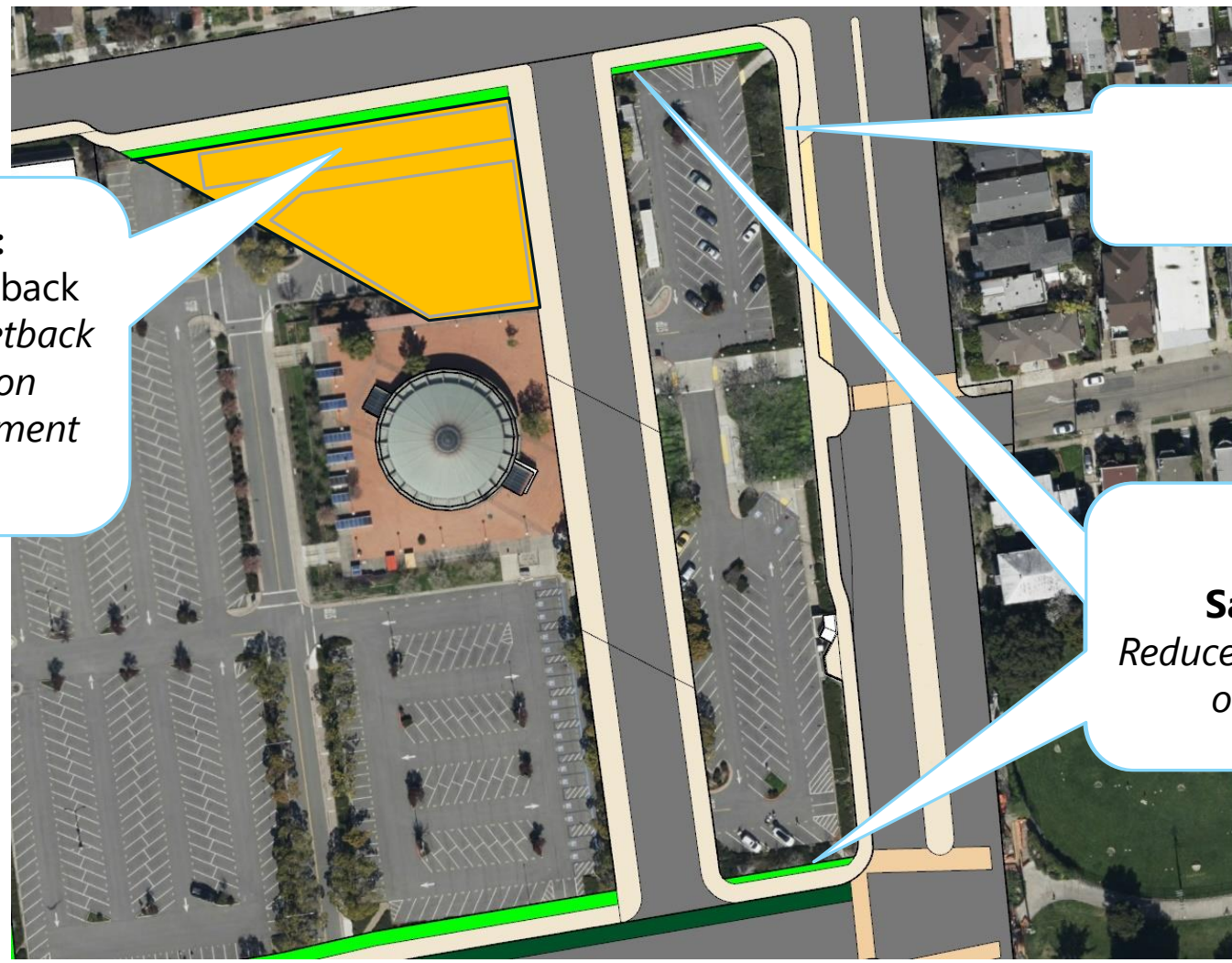


Average 10 ft Setback

Setback
 Setback Line
 Property Line



Building Setbacks | Special Locations



Virginia Street:
3-Story Building Setback
Reduced minimum setback to 5 feet because on constrained development site

Sacramento Street
No Building Setback Required
by R-BMU Zoning

Virginia/Delaware between Sacramento and Internal Street
Reduced minimum setback to 5 feet because on constrained development sites

Building Design Elements

PUBLIC REALM

Internal Connections

Public circulation network and internal streets

Streetscape/ Sidewalk Design

Sidewalk width and street tree planting area

Building Setbacks

Distance a building façade is setback from sidewalk

BUILDING DESIGN

Building Height

Building Massing and Articulation

Upper floor step backs

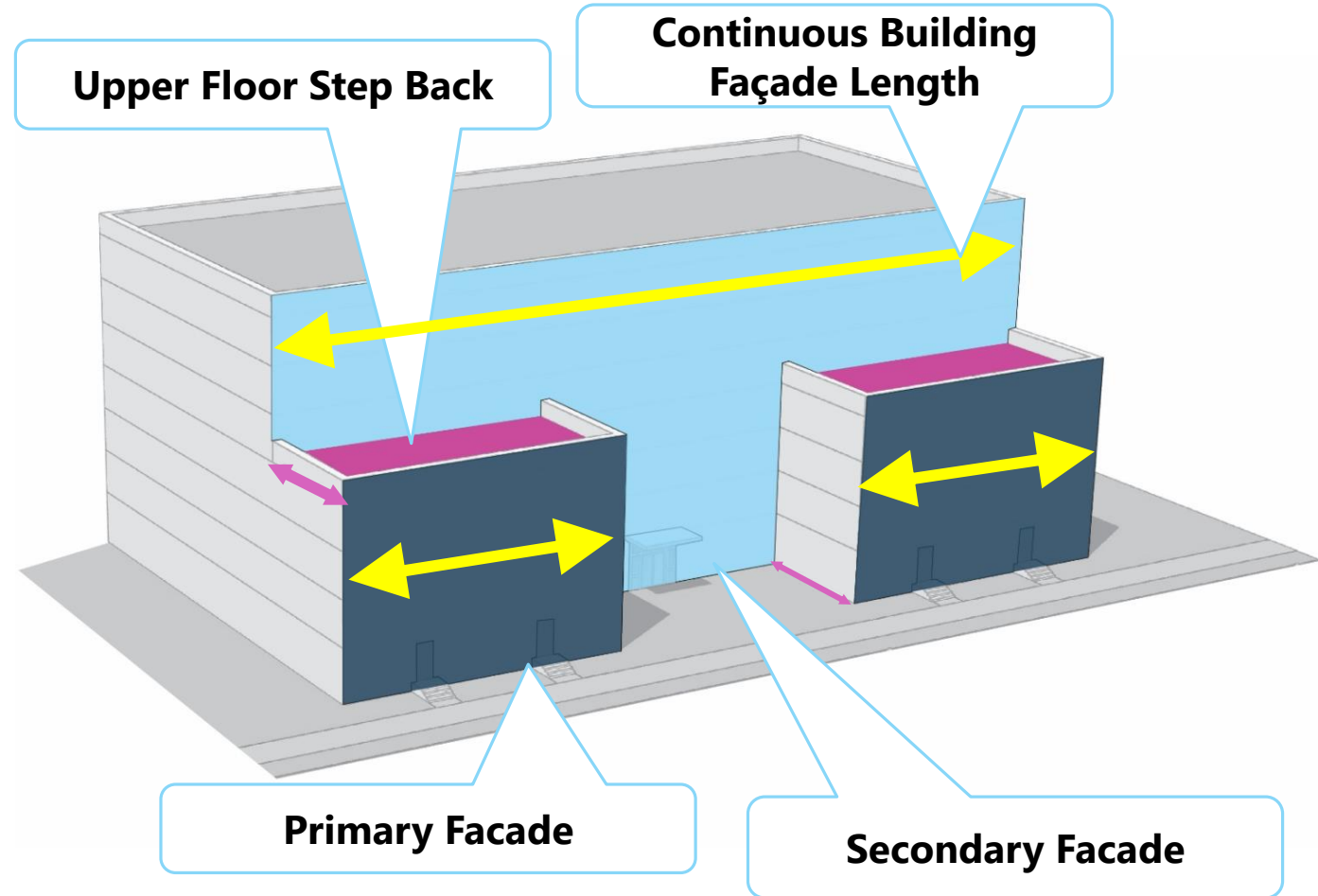
Building length

Massing Breaks

Building Articulation

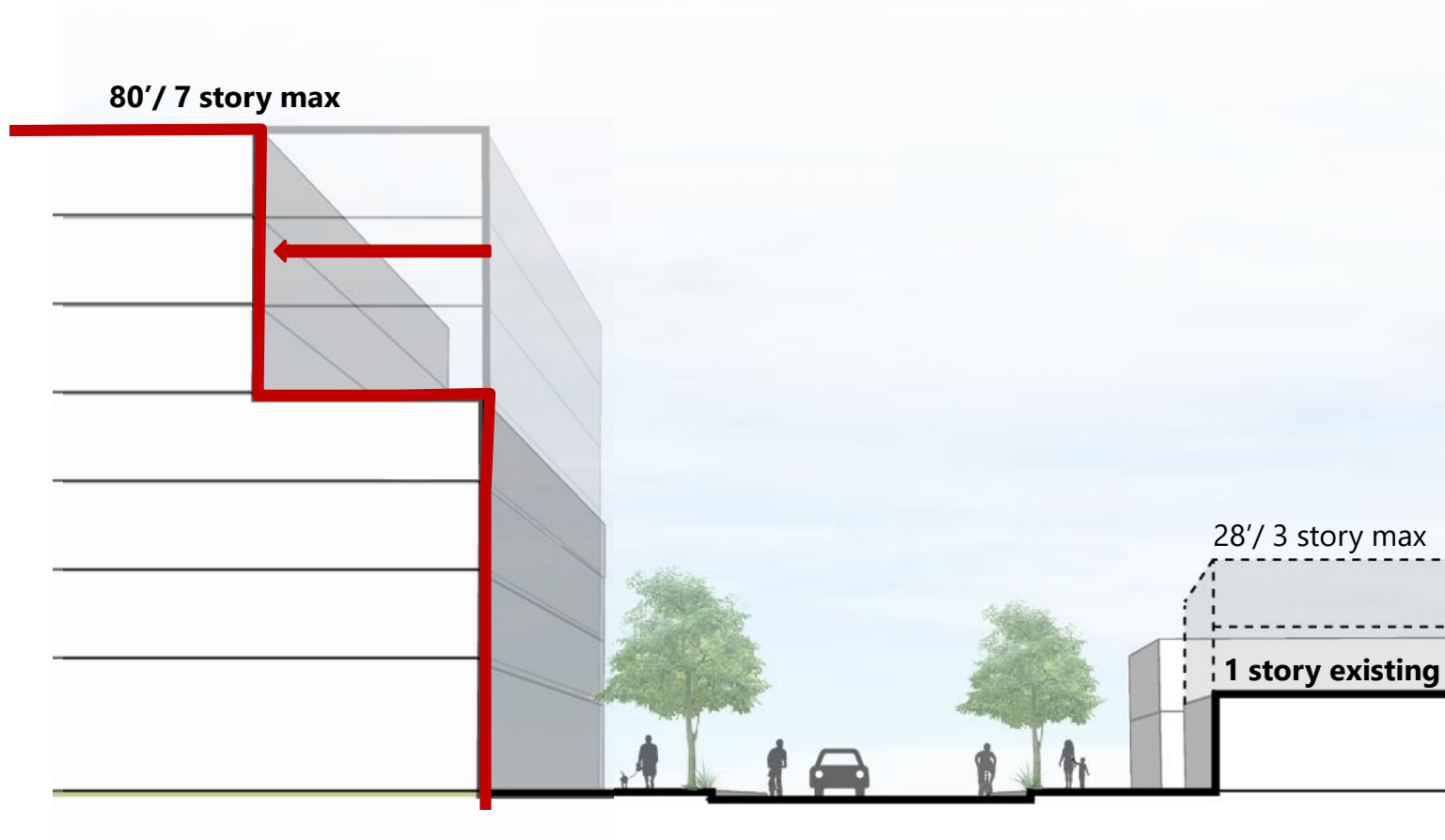
Design Elements

Fenestration, materials, and utilities



Building Massing and Articulation

Upper Floor Step Backs



Intent

- Create human-scale streetscape
- Minimize shadows on streets
- Design visually interesting buildings

Trade-offs

Upper floor step backs may result in smaller buildings and therefore, smaller and/or fewer homes

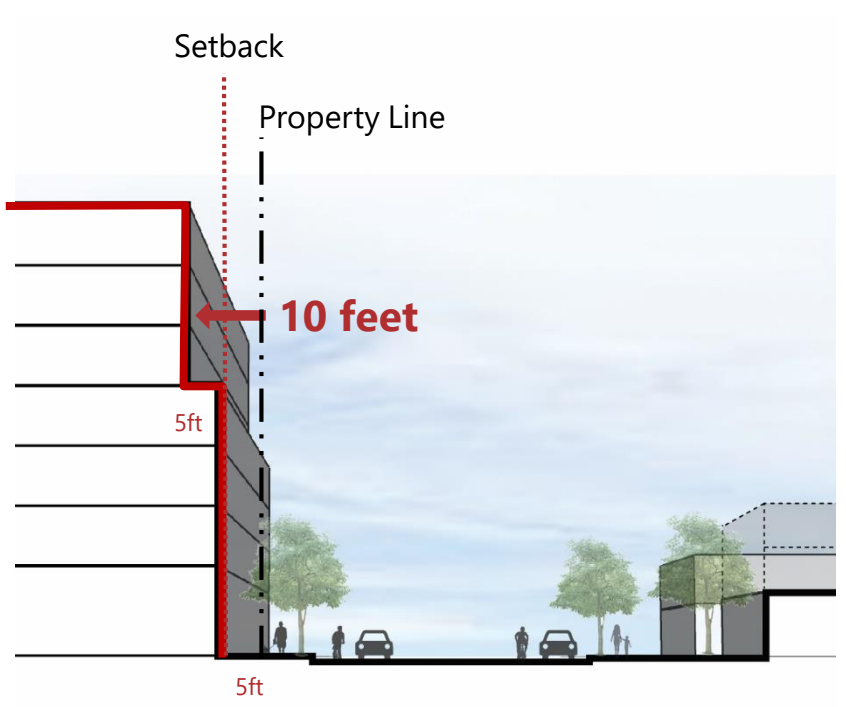




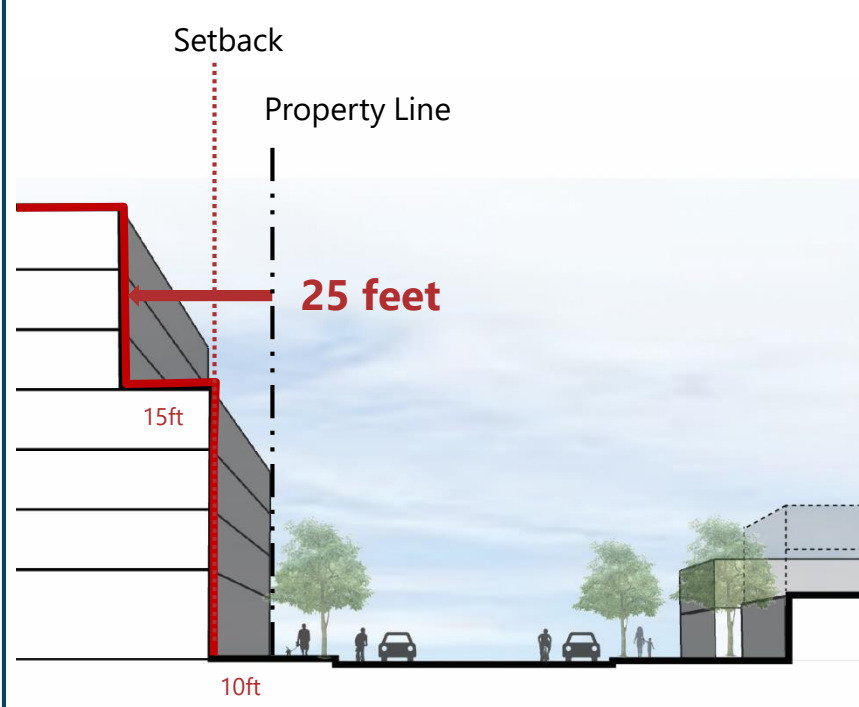
Building Massing and Articulation

Upper Floor Step Backs Standards (above 4th story)

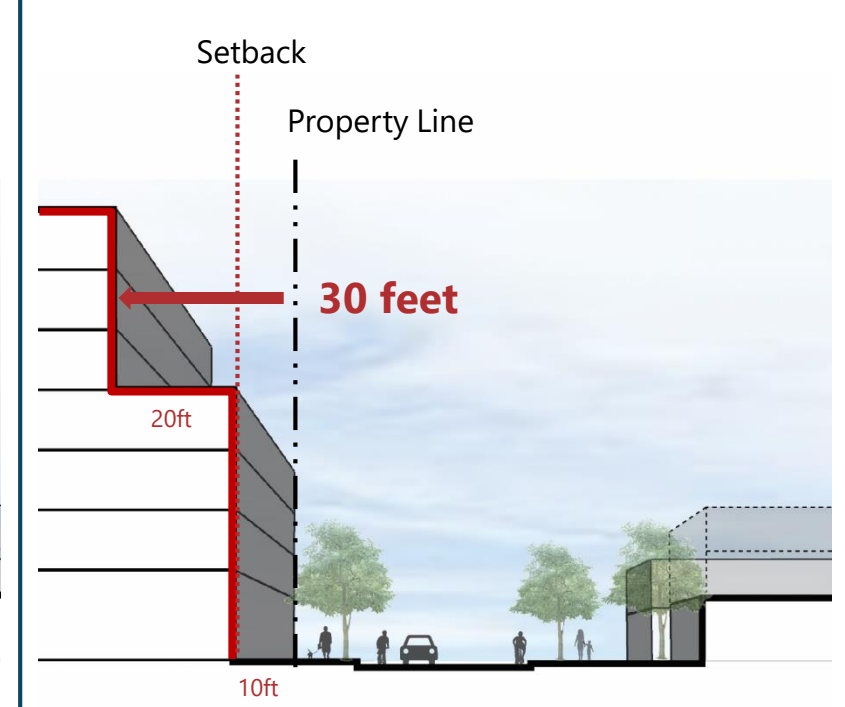
10 feet Step Back 25 feet Step Back 30 feet Step Back



Step back not deep enough
Not included in ODS



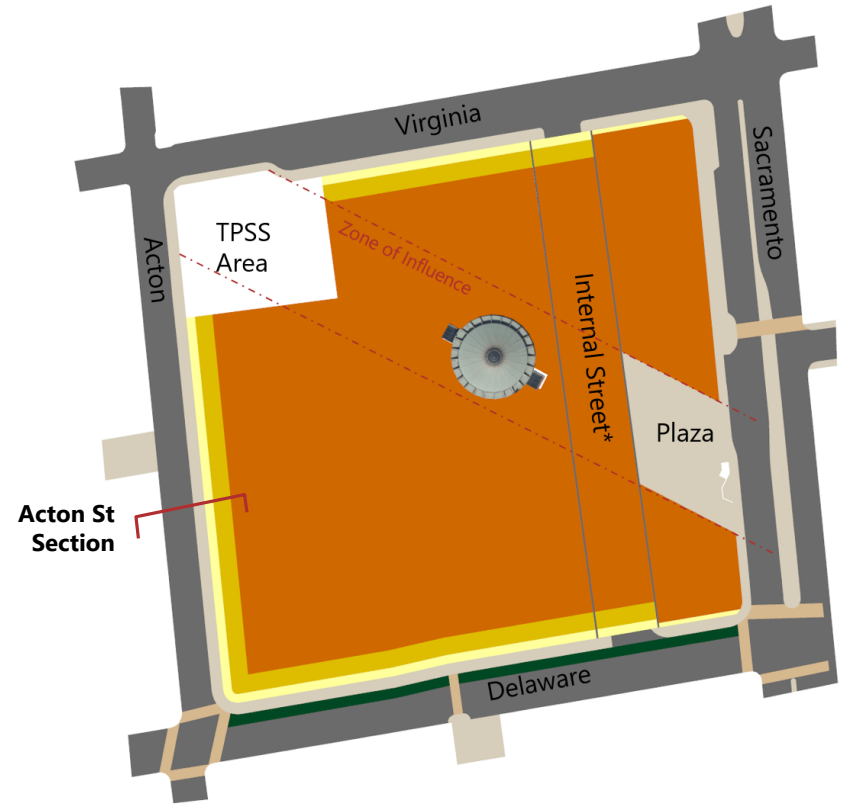
Required on Delaware St



Required on Virginia St and Acton St



Upper Floor Step Backs + Building Height



**Location/geometry of Internal Street subject to change*

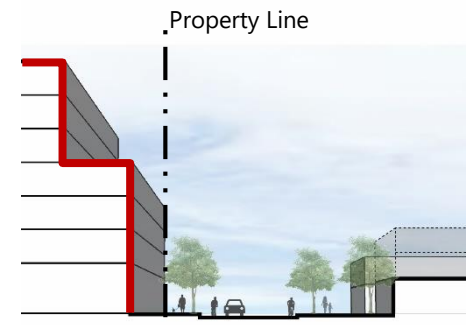
- Building Setback Area:** Varies, see Table 1
- 4-Story Upper Floor Step Back Area:** 25-30 feet; see Table 2
- 7-Story/80 feet Area**

Intent

- Upper floor step backs to reduce building mass along public streets
- Increase density at the center and along Sacramento

Trade-offs

Upper floor step backs may result in smaller buildings and therefore, smaller and/or fewer homes

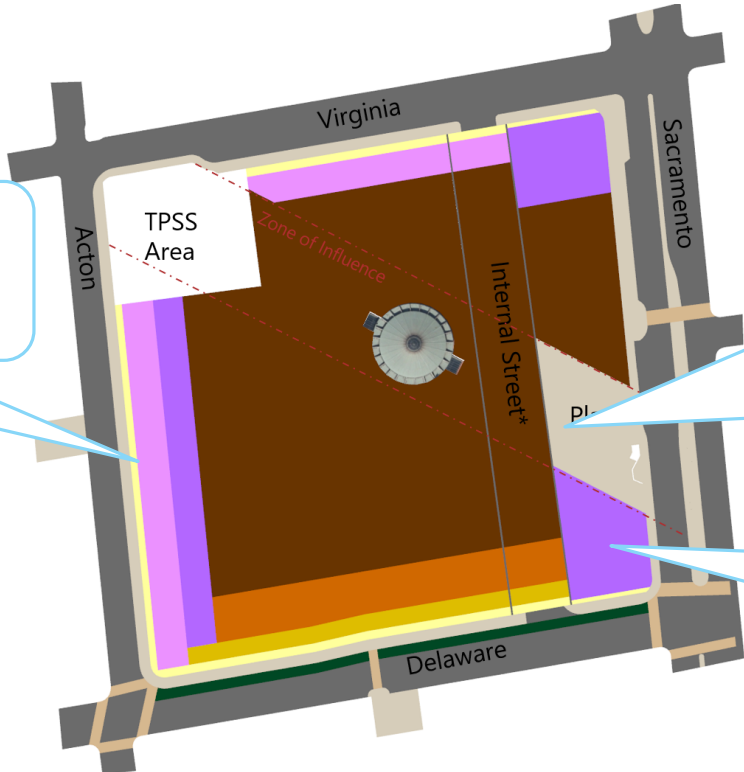


Acton St Section



Building Height Alternative

**3 Story Max Along Acton/Virginia
+ 45 feet setback to taller buildings**



**8 stories/85 feet
at center of site
and along
Sacramento for
State Density
Bonus-eligible
project**

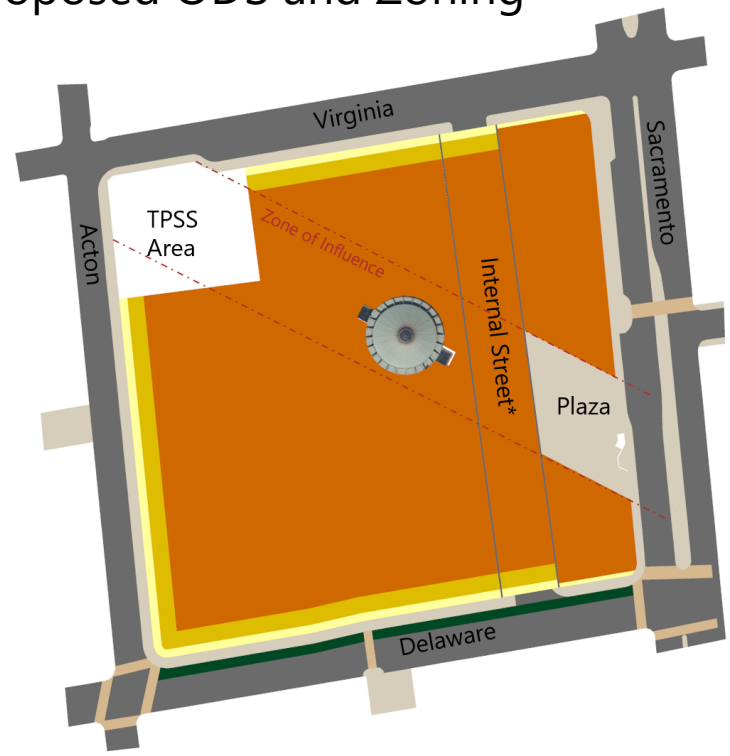
**6 Story Max at
the corners**

**Location/geometry of Internal Street subject to change*

- Building Setback Area:** Varies, see Table 1
- 3-Story Area:** First 45 feet from property line (PL) on Acton and Virginia
- 6-Story Area:** 45 to 80 feet from PL on Acton and at locations between Sacramento and Internal Street identified in diagram above
- 4-Story Upper Floor Step Back Area:** 25-30 feet from PL on Acton on Delaware
- 7-Story/80 feet Area:** 25 to 80 feet from PL on Delaware
- 8-Story/85 feet Area**

Comparison

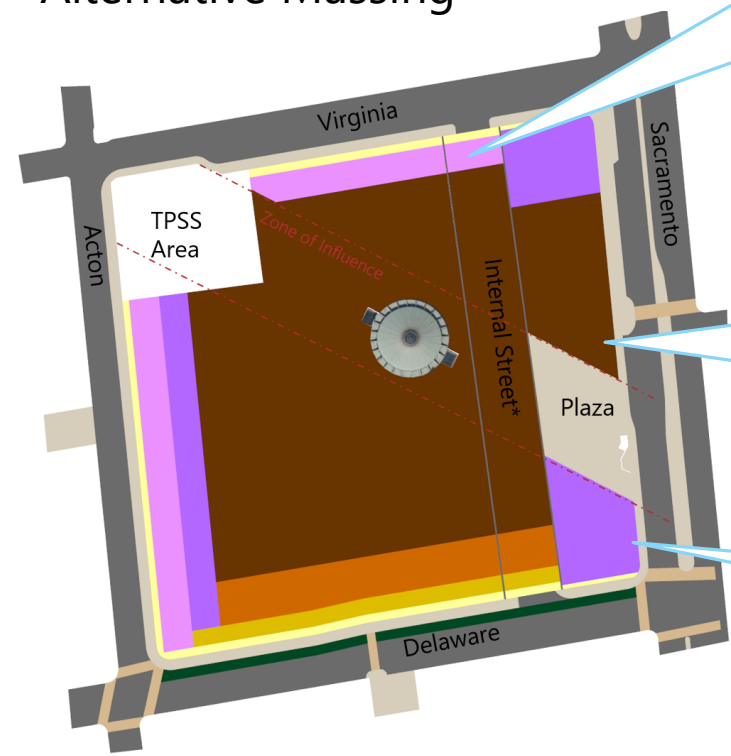
Proposed ODS and Zoning



**Location/geometry of Internal Street subject to change*

- Building Setback Area:** Varies, see Table 1
- 4-Story Upper Floor Step Back Area:** 25-30 feet; see Table 2
From property line (PL on Acton and Delaware)
- 7-Story/80 feet Area**
(R-BMU – BMC Section 23.150(F)(9))

Alternative Massing



**Location/geometry of Internal Street subject to change*

- Building Setback Area:** Varies, see Table 1
- 3-Story Area:** First 45 feet from property line (PL) on Acton and Virginia
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- 4-Story Upper Floor Step Back Area:** 25-30 feet from PL on Acton on Delaware
- 7-Story/80 feet Area:** 25 to 80 feet from PL on Delaware
- 8-Story/85 feet Area**

3 Story Max Along Acton/Virginia + 45 feet setback to taller buildings

8 stories/85 feet at center of site and along Sacramento for State Density Bonus-eligible project

6 Story Max at the corners

***See Sept. 2023 Draft ODS for more detail**

Building Massing and Articulation

Major Breaks

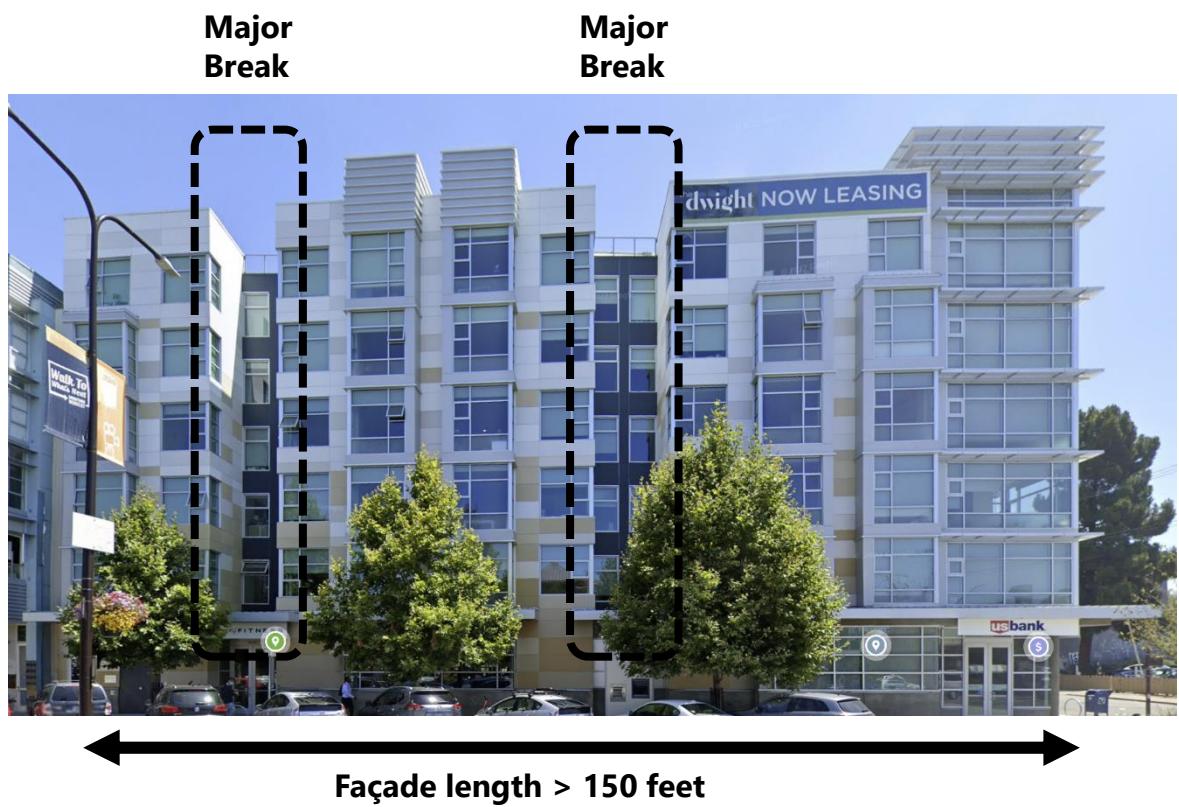
Required for facades greater than 150 feet in length.
Flexible design, either one large break or two smaller breaks

Intent

- Minimize long building facades
- Create a pleasant walking environment
- Design visually interesting buildings

Trade-offs

Major Breaks may result in smaller buildings and therefore, smaller and/or fewer homes



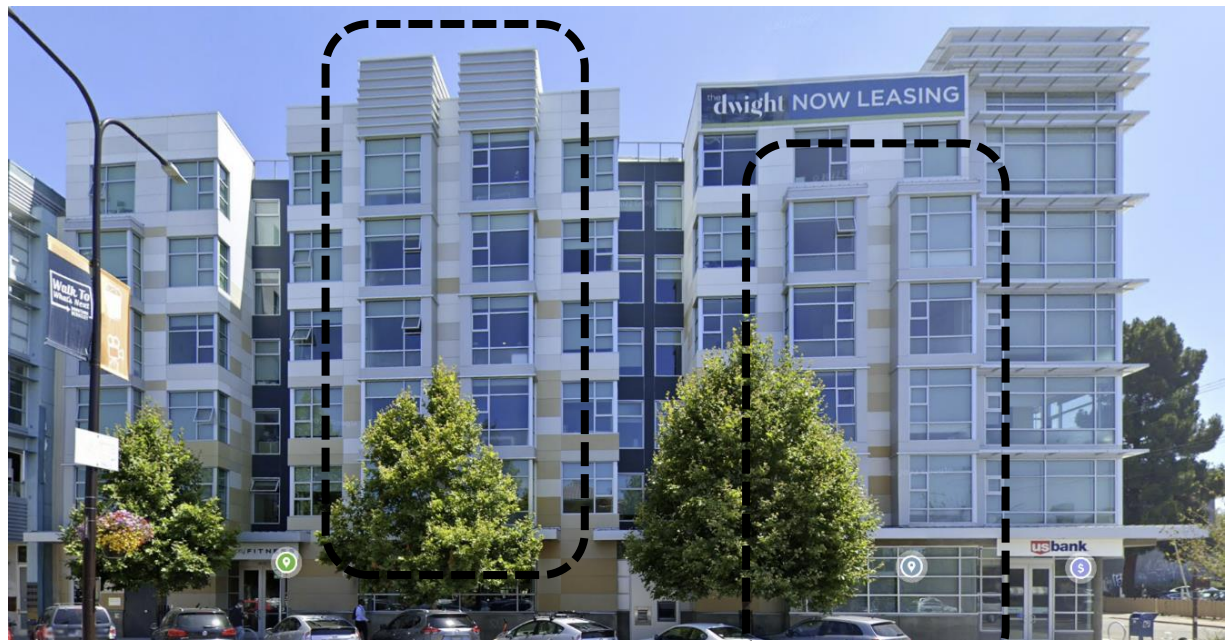
Building Massing and Articulation

Minor Breaks/Modulations

Required for facades greater than 60 feet in length.
2 feet deep recess or projection required an average of 1 per 40 feet of façade length

- Intent**
- Create a residential rhythm and pattern to building facades
 - Respond to the neighborhood context and character
 - Design visually interesting buildings

Minor Break/Modulation



↔
Façade length > 60 feet

Minor Break/Modulation

Building Massing and Articulation

Understanding Trade-offs

No major or minor breaks



Building with major and minor breaks



Draft ODS

PUBLIC REALM

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Streetscape/ Sidewalk Design

Sidewalk width and street tree planting area

Building Setbacks

Distance a building façade is setback from sidewalk

BUILDING DESIGN

Building Height

Building Massing and Articulation

Upper floor step backs

Building length

Massing Breaks

Building Articulation

Design Elements

Windows, materials, and utilities



Next Steps

- **Upcoming Office Hours:** City staff and North Berkeley Housing Partners (NBHP) will each be holding office hours following this event
- **Planning Commission:** Revised Draft Objective Design Standards (ODS) - October (date TBD)
- **City Council** – Consideration of Approval of Proposed ODS - December (date TBD)

*Visit www.berkeleyca.gov/bartplanning to sign up to automatically receive emails about upcoming meetings and access all meeting materials and documents.

City of Berkeley Drop-in Office Hours on: Draft Objective Design Standards

When: Wednesday, September 13, 2023
5:00pm-6:30pm

Where: North Berkeley Senior Center, Poppy Room, 1901 Hearst Ave, Berkeley, CA 94709
(In-person event)

NBHP Drop-in Office Hours on: NBHP's Revised Design Concept

When: Thursday, September 21, 2023
6:30pm – 8pm

Where: The Hope Center, 2012 Berkeley Way, Berkeley, CA 94704 (In-person event)

Community Open House

Information Stations:

Station 1: Welcome Station

Station 2: NBHP: Station Access

Station 3: NBHP: Open Space

Station 4: NBHP: Architecture

Station 5: City: Draft Objective
Design Standards (ODS)



Use this QR code or the link below to give feedback about the City's Draft ODS

<https://forms.gle/FS6C6cES6aSJErGF9>



Use this QR code or the link to give feedback about the North Berkeley Housing Partners (NBHP) Revised Design Concept for the site

<https://forms.gle/fVUwP7H4G5R5R6rJA>